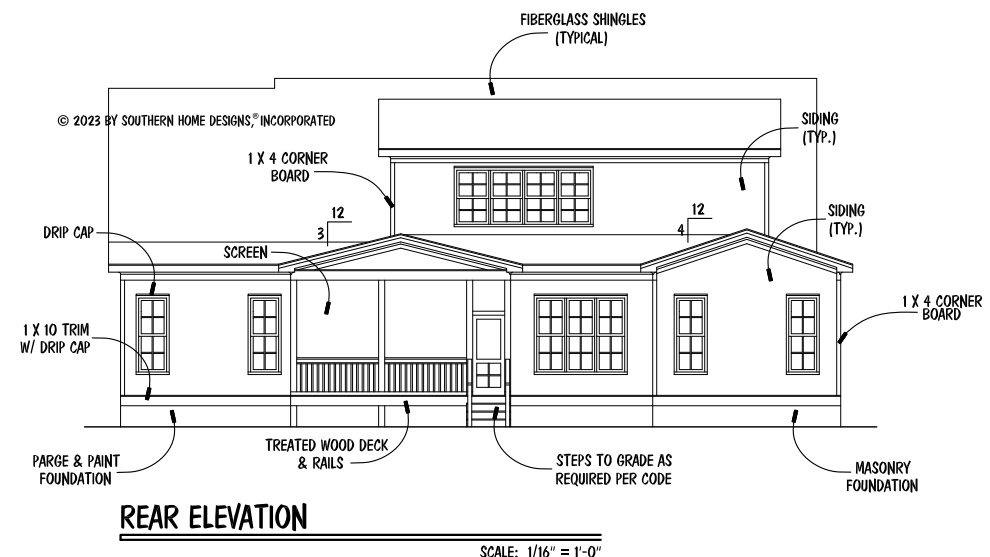


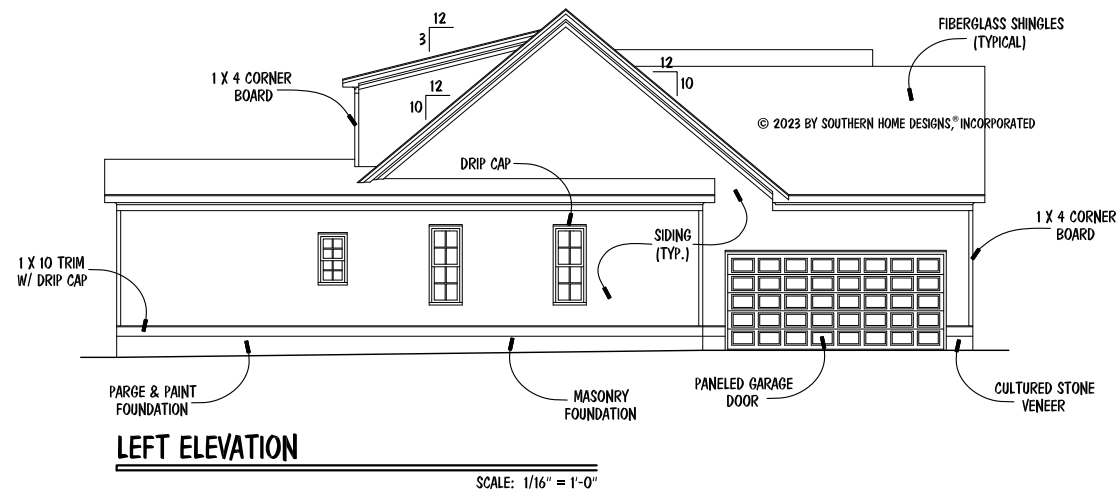
RIGHT ELEVATION

SCALE: 1/16" = 1'-0"



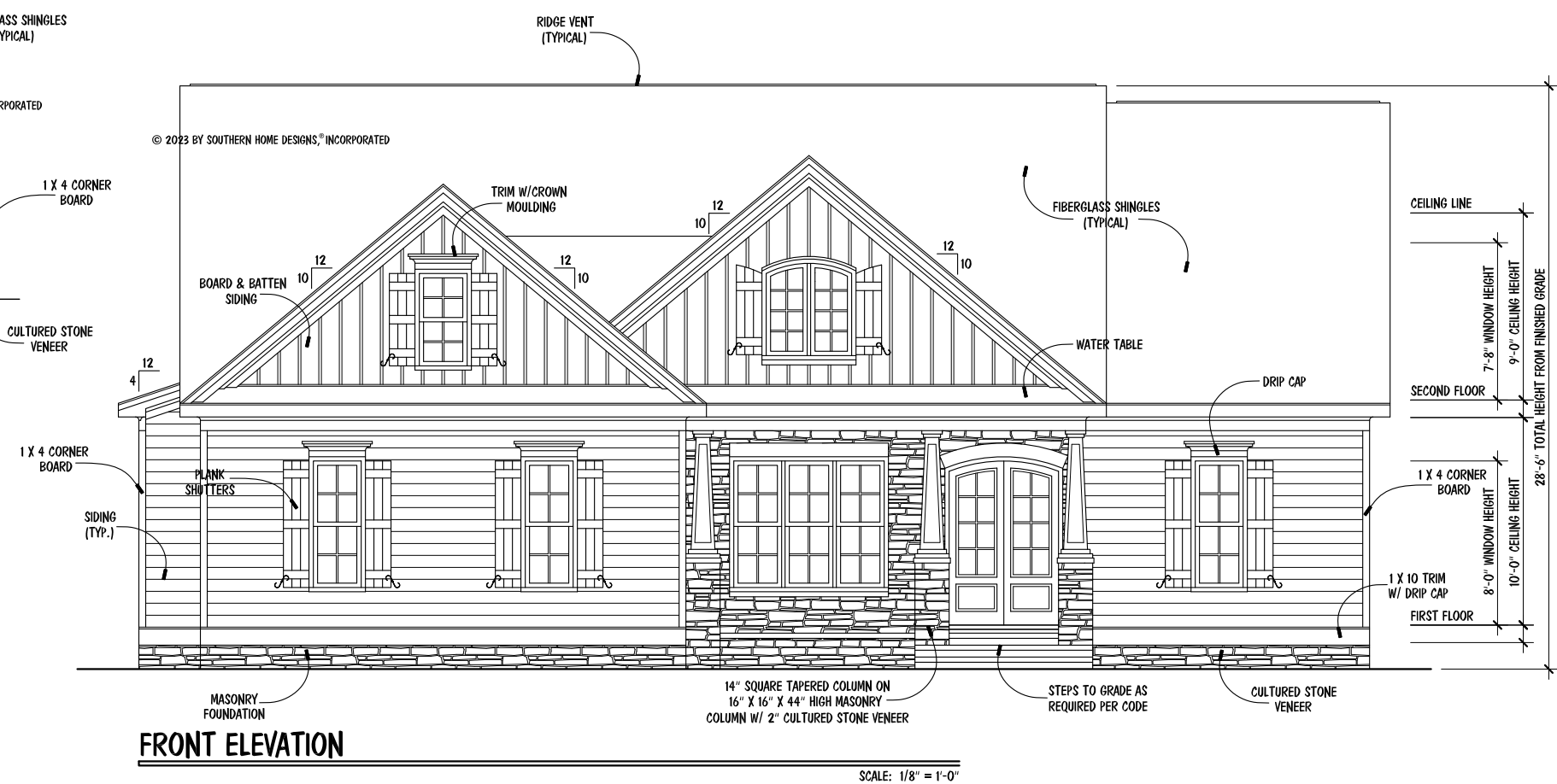
REAR ELEVATION

SCALE: 1/16" = 1'-0"



LEFT ELEVATION

SCALE: 1/16" = 1'-0"



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

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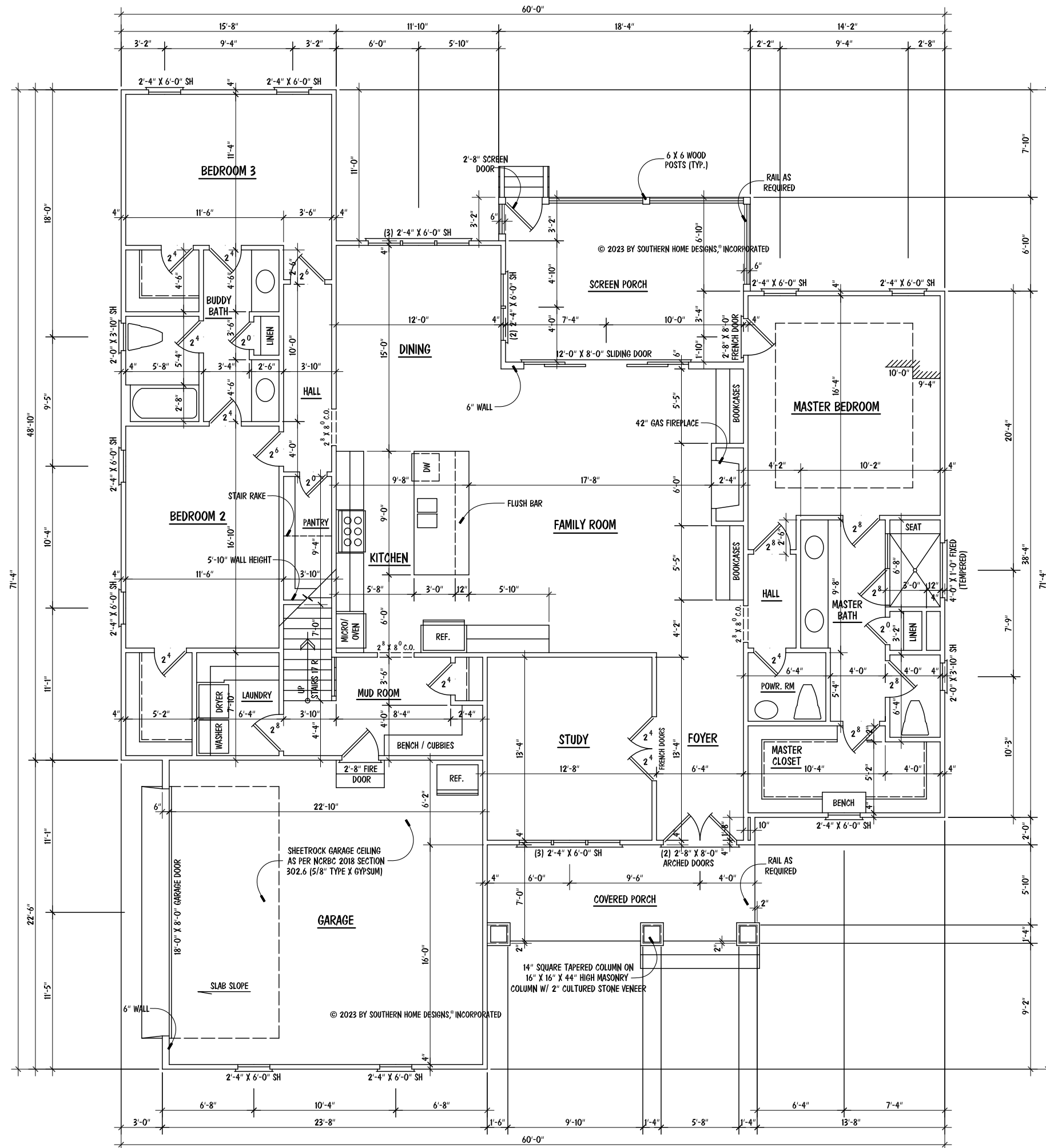
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 919.380.7400 Office 919.380.7464 Fax
 Web: shdplans.com Email: shd@ncrr.com

THE
 MINION RESIDENCE
 LOT 120 SERENITY

TRIPLE A
 HOMES, INC.

ENGR. #:
 DATE: 03-30-23
 SHEET: A-1
 PLAN #: 23-033023



NOTES:

- 10'-0" CEILING HGT. (TYP.) U.N.O.
- SET WINDOWS @ 8'-0" A.F.F. (TYP.) U.N.O
- SET WINDOWS IN MASTER TOILET & BUDDY BATH @ 7'-4" A.F.F.
- STAIRS: UP 17 R (TYP.), 1ST FLOOR TO 2ND FLOOR

CRAWL SPACE VENTILATION
 2415 SQ. FT. OF CRAWL AREA / 150 = 16.10 SQ. FT. OF FREE VENT AREA REQUIRED
 SEE SECTION R408.1 OF IRC 2015 NCRBC 2018
 FREE VENT AREA REQUIRED MAY BE REDUCED TO 1/1500 IF APPROVED VAPOR BARRIER IS INSTALLED OVER 100% OF CRAWL FLOOR AREA AND VENTS ARE INSTALLED TO PERMIT CROSS-VENTILATION OF CRAWL SPACE. SEE SECTION R408.1.1.

NOTES:

- MEAN ROOF HEIGHT FOR THIS STRUCTURE IS 20'-9"

ATTIC VENTILATION:

3295 SQUARE FEET = 10.98 REQUIRED
 300

THE NET FREE AREA OF VENTILATION REQUIRED IS TO BE

10.98 SQUARE FEET.

SQUARE FOOTAGE	
FIRST FLOOR	2415
SECOND FLOOR	595
TOTAL	3010
MISCELLANEOUS	
GARAGE	530
FRONT PORCH	137
SCREEN PORCH	213
MECH. / STOR.	809

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

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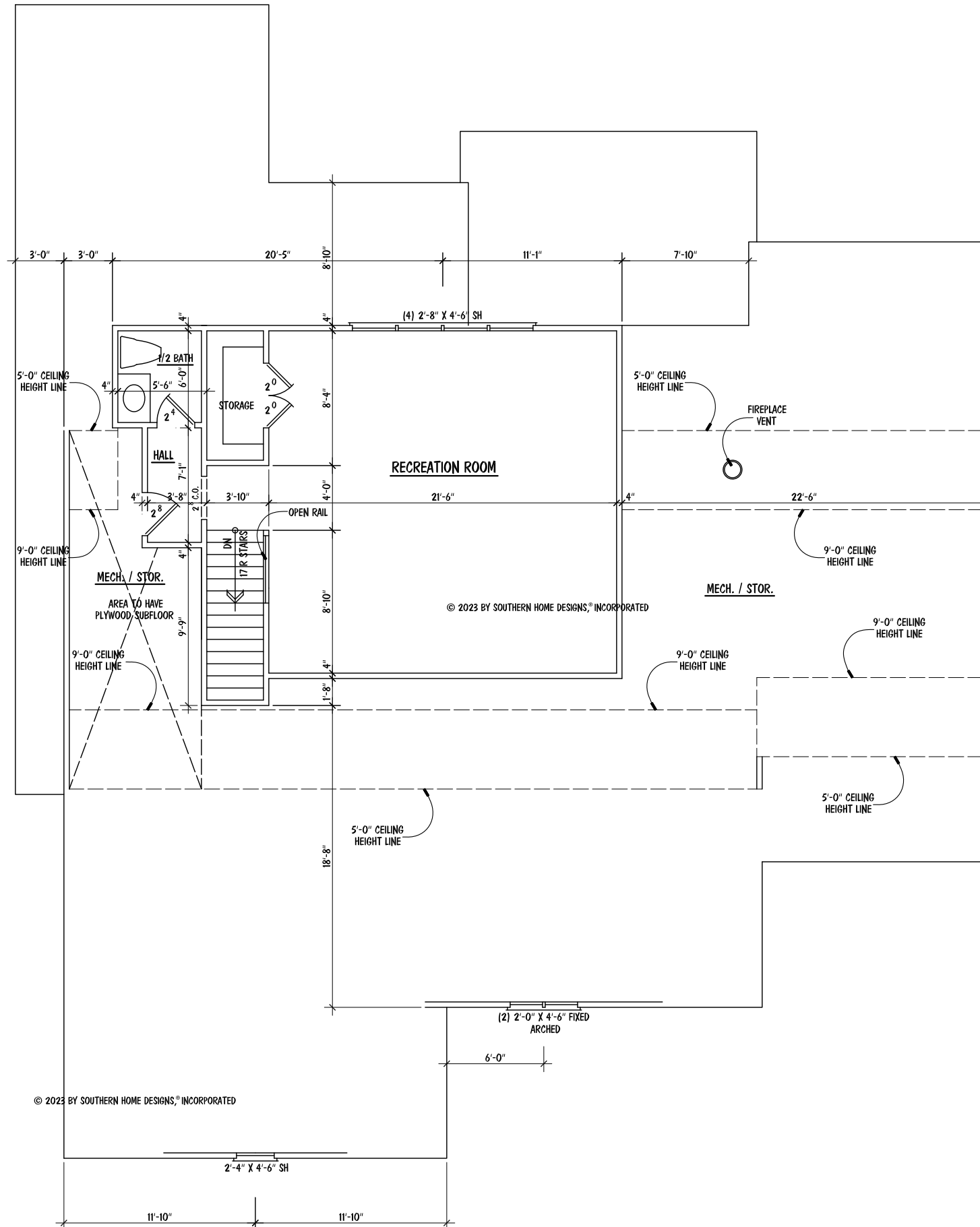
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THE
 MINION RESIDENCE
 LOT 120 SERENITY

TRIPLE A
 HOMES, INC.

ENGR. #:
 DATE: 03-30-23
 SHEET: A-2
 PLAN #: 23-033023



NOTES:

- 9'-0" CEILING HGT. (TYP.) U.N.O.
- SET WINDOWS @ 7'-8" A.F.F. (TYP.) U.N.O
- SET WINDOW IN GARAGE GABLE @ 6'-2" A.F.F.
- SET WINDOWS IN FRONT GABLE @ 6'-8" A.F.F.
- STAIRS: DN 17 R (TYP.), 2ND FLOOR TO 1ST FLOOR

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SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

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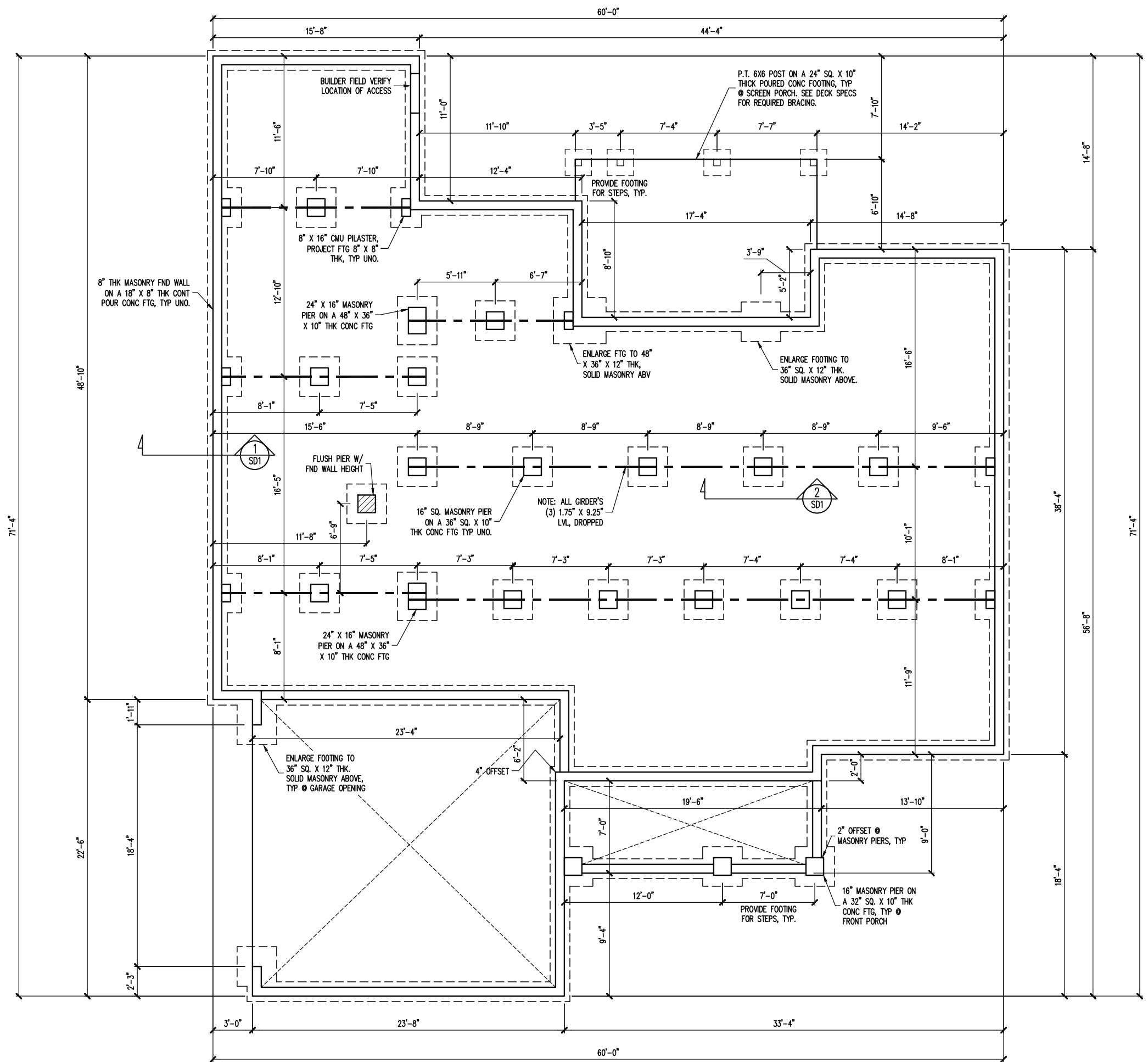
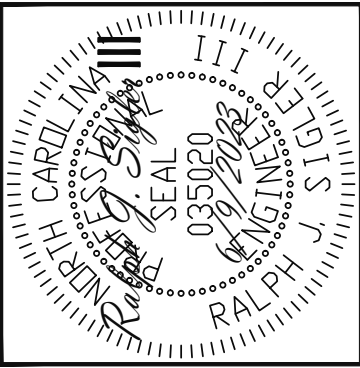
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THE
 MINION RESIDENCE
 LOT 120 SERENITY

TRIPLE A
 HOMES, INC.

ENGR. #:
 DATE: 03-30-23
 SHEET: A-3
 PLAN #: 23-033023



NOTES:
 -HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION. REINFORCEMENT AND GROUTING SHALL BE DETERMINED BY FINAL SITE CONDITIONS.
 -BUILDER TO FIELD LOCATE CRAWLSPACE ACCESS OPENING WITH MINIMUM DIMENSIONS OF 18X24. DO NOT LOCATE ACCESS OPENING BELOW POINT LOADS FROM ABOVE WITHOUT ENGINEER APPROVAL.

FOUNDATION PLAN
 1/8" = 1'-0"

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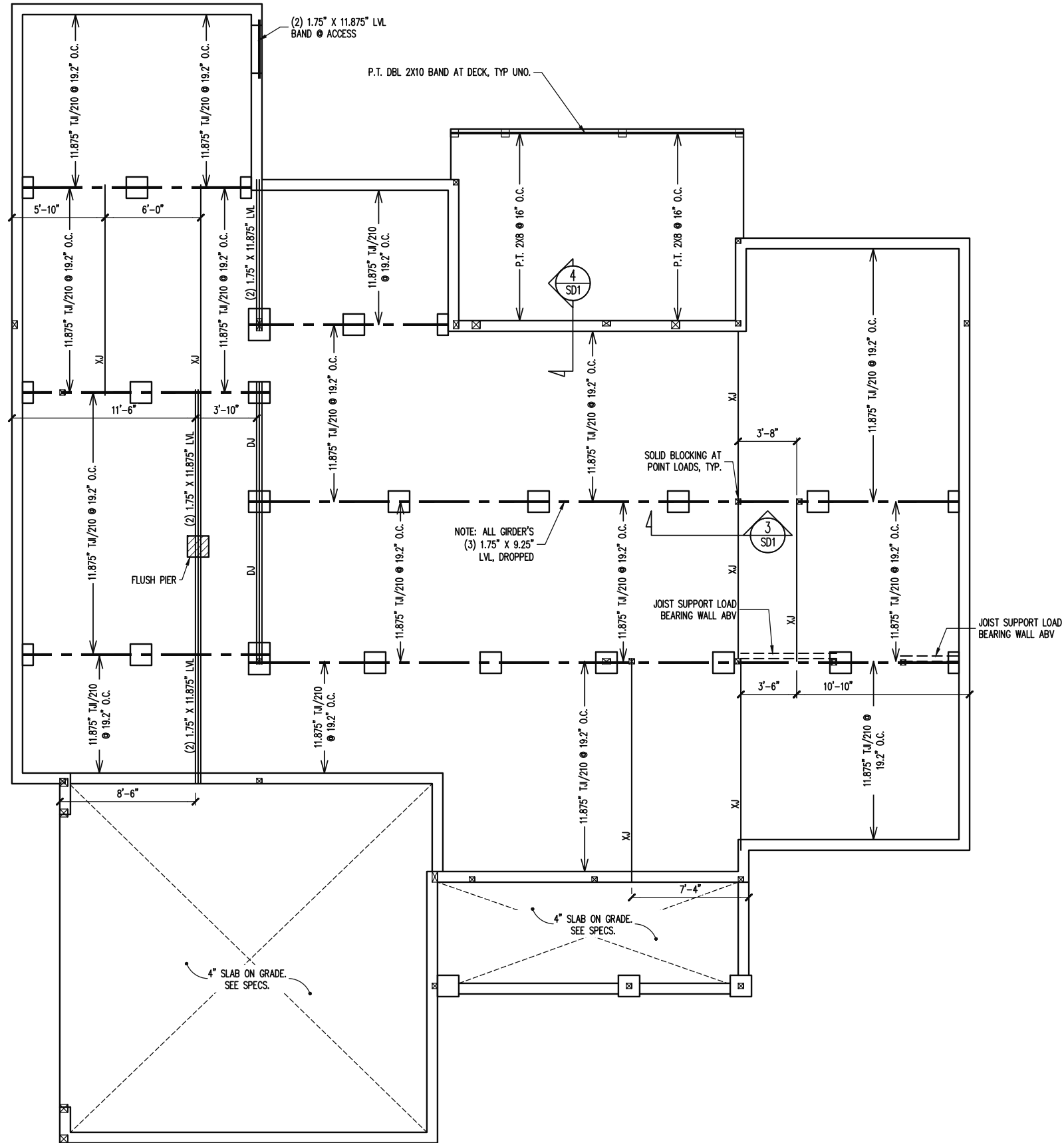
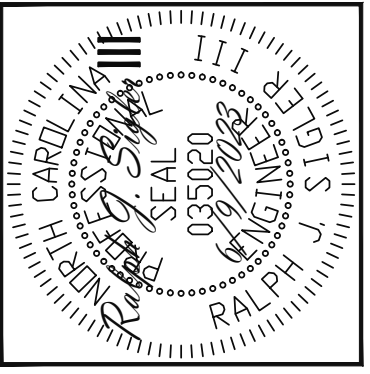
TRIPLE A HOMES	REV #	REF PROJ #	DATE
STRUCTURAL ADDENDUM	1		
SCOPE	120 SERENITY		
LOC			

ENG: RJS/CR
 DATE: 6/9/2023

PLAN
 MINION

PROJECT NO.
 23-28-011

SHEET NO.
 S1



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TRIPLE A HOMES	REV #	REF PROJ #	DATE
STRUCTURAL ADDENDUM	1		
SCOPE	120 SERENITY		
LOC			

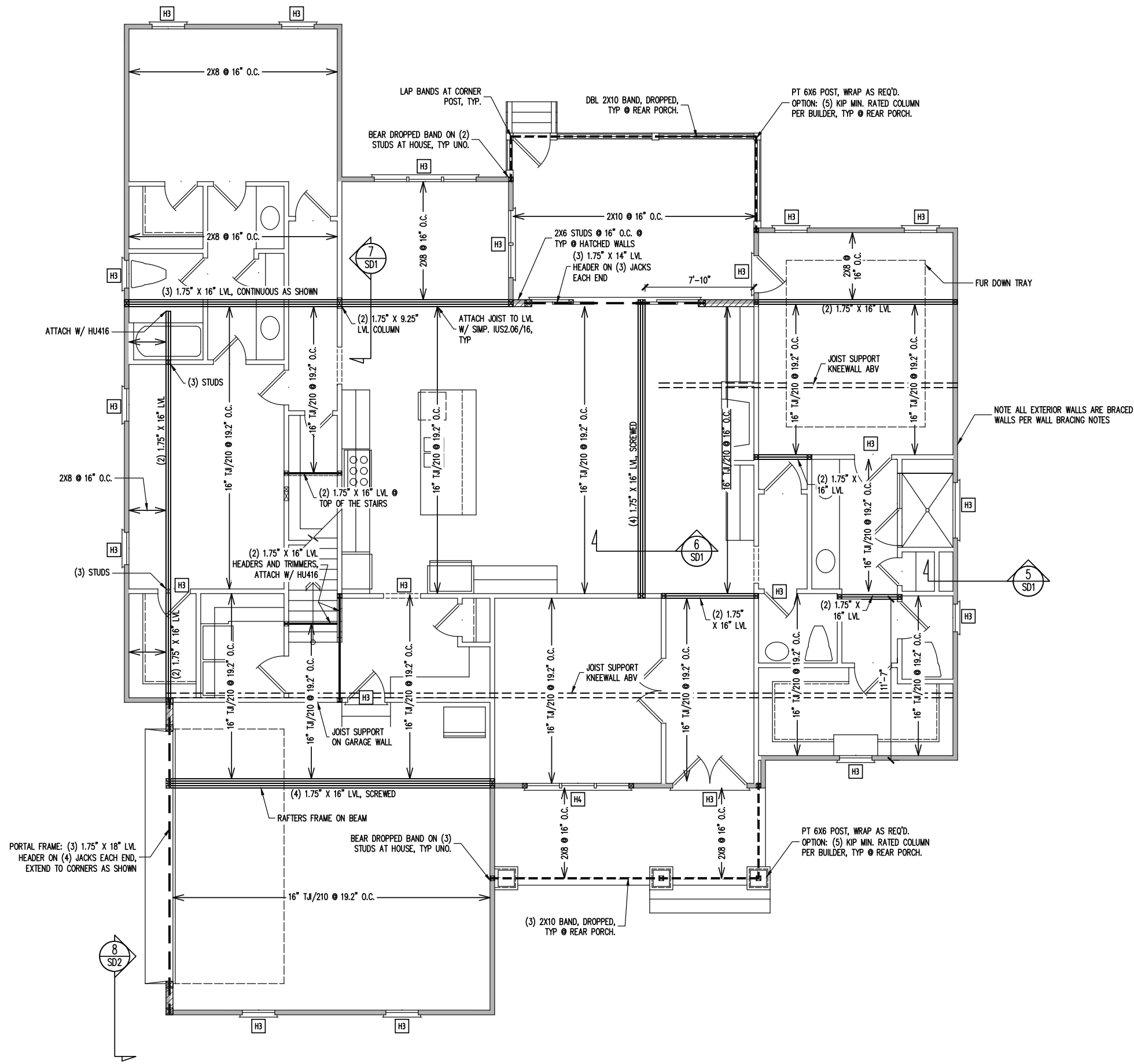
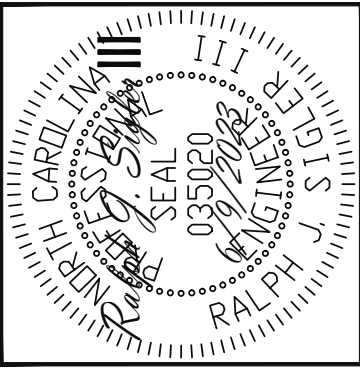
ENG: RJS/CR
 DATE: 6/9/2023

PLAN
 MINION

PROJECT NO.
 23-28-011

SHEET NO.
 S2
 2 of 7

CRAWL SPACE FRAMING PLAN
 1/8" = 1'-0"



WALL BRACING

SHADED WALLS:

ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

NOTES:
PROVIDED CONTINUOUS SHEATHING = 273" MIN.

REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.

HEADER SCHEDULE

H1	SINGLE 2X4 TURNED FLAT (A)
H2	(2) 2X4'S ON SINGLE JACKS (B)
H3	(2) 2X10'S ON SINGLE JACKS (C)
H4	(2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5	(3) 2X10'S ON SINGLE JACKS

NOTES:
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

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Engineering Lech ASSOCIATES, P.A.

SCOPE	TRIPLE A HOMES
	STRUCTURAL ADDENDUM
LOC	120 SERENITY
	REV # REF PROJ # DATE
	1

ENG: RJS/CR
DATE: 6/9/2023

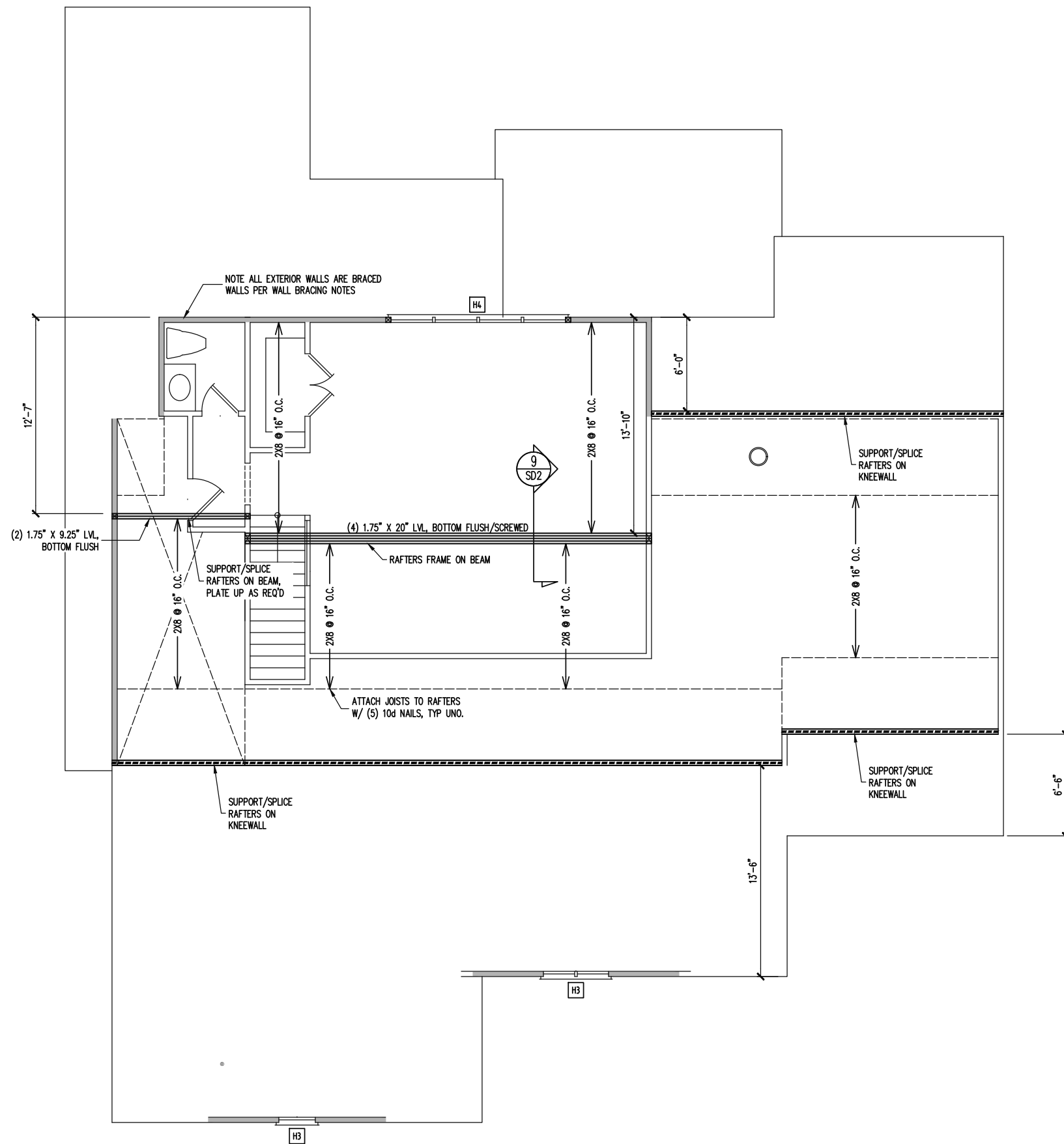
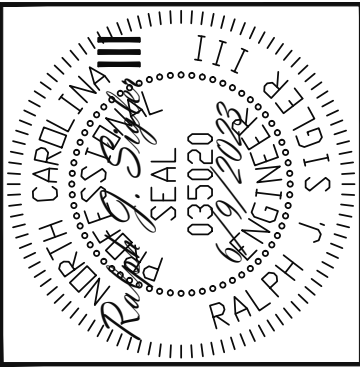
PLAN
MINION

PROJECT NO.
23-28-011

SHEET NO.
S3

3 of 7

1ST FLOOR FRAMING PLAN
WALLS AND CEILING
1/8" = 1'-0"



WALL BRACING

SHADED WALLS:

ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

NOTES:
PROVIDED CONTINUOUS SHEATHING = 132' MIN.

REFERENCE PART 16.02 OF CONSTRUCTION SPECIFICATIONS FOR GENERAL WIND BRACING INFORMATION.

HEADER SCHEDULE

H1	SINGLE 2X4 TURNED FLAT (A)
H2	(2) 2X4'S ON SINGLE JACKS (B)
H3	(2) 2X10'S ON SINGLE JACKS (C)
H4	(2) 1.75" X 9.25" LVL'S ON DBL JACKS
H5	(3) 2X10'S ON SINGLE JACKS

NOTES:
-HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

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SCOPE	TRIPLE A HOMES
	STRUCTURAL ADDENDUM
LOC	120 SERENITY
	1

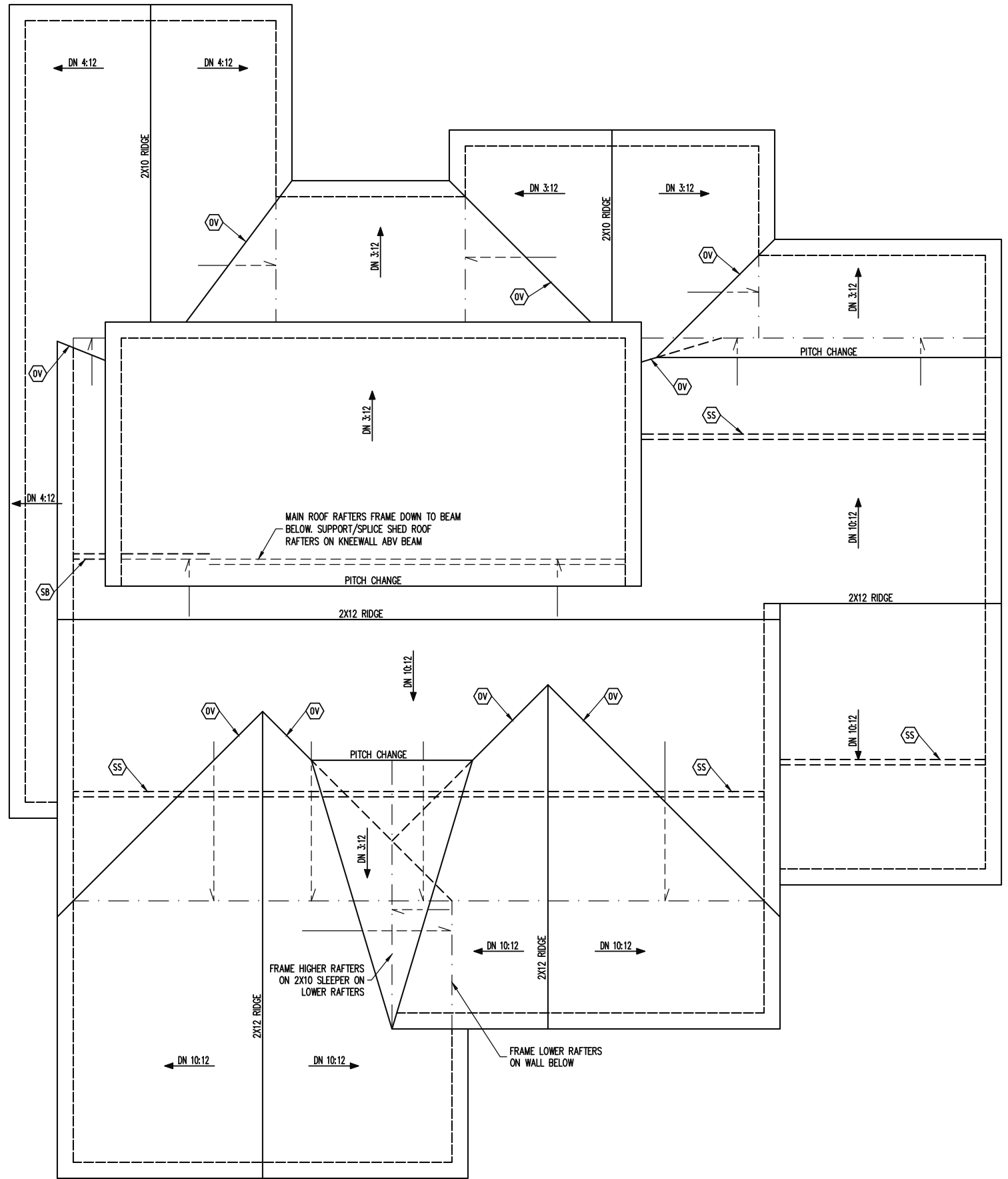
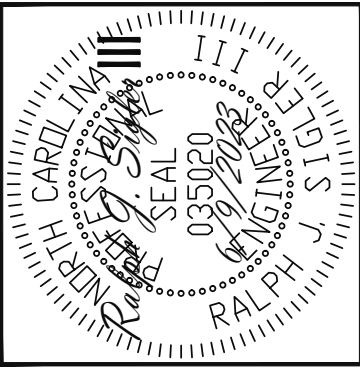
ENG: RJS/CR
 DATE: 6/9/2023

PLAN
 MINION

PROJECT NO.
 23-28-011

SHEET NO.
 S4
 4 of 7

2ND FLOOR FRAMING PLAN
 WALLS AND CEILING
 1/8" = 1'-0"



FRAMING NOTES
 ROOF ONLY
 -COMMON RAFTERS 2X8 @ 16" O.C. TYP U.N.O.
 -COLLAR TIES 2X4 EVERY 3RD SET OF RAFTERS TYP U.N.O.
 -ROOF PITCHES 12:12 TYP U.N.O.
 -VERIFY ROOF PITCHES, OVERHANG LENGTHS, AND KNEEWALL FRAMING HGTS WITH ARCHITECTURAL DRAWINGS, TYPICAL.

FRAMING SCHEDULE
 ROOF ONLY

AN	SUPPORT BRICK VENEER WITH ANGLE ATTACHED TO MODIFIED STUD WALL
BR	SUPPORT BRICK VENEER PER SECT.703.7 OF THE NCR, LATEST EDITION.
OV	OVERFRAME VALLEY (2X10 SLEEPER)
SK	DBL 2X4 STIFF KNEE
SS	SUPPORT/SPLICE RAFTERS ON KNEEWALL BELOW

ROOF FRAMING PLAN
 1/8" = 1'-0"

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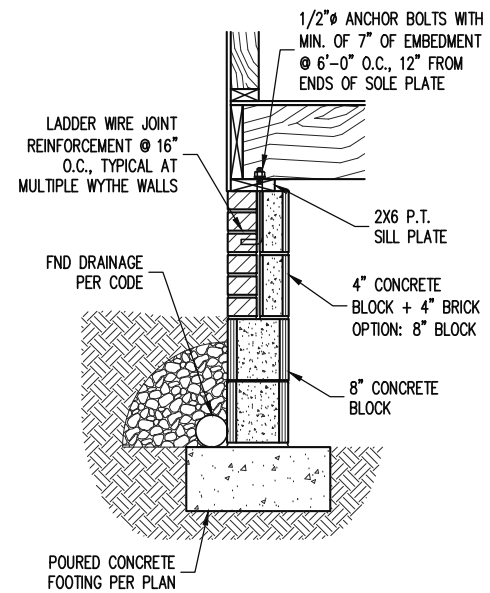
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SCOPE	STRUCTURAL ADDENDUM
LOC	120 SERENITY
REV #	REF PROJ #
1	
DATE	

ENG: RJS/CR
 DATE: 6/9/2023

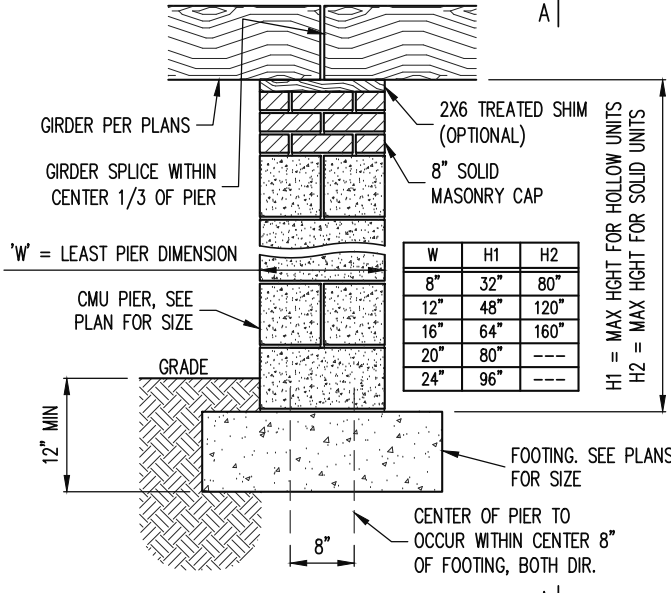
PLAN
 MINION

PROJECT NO.
 23-28-011

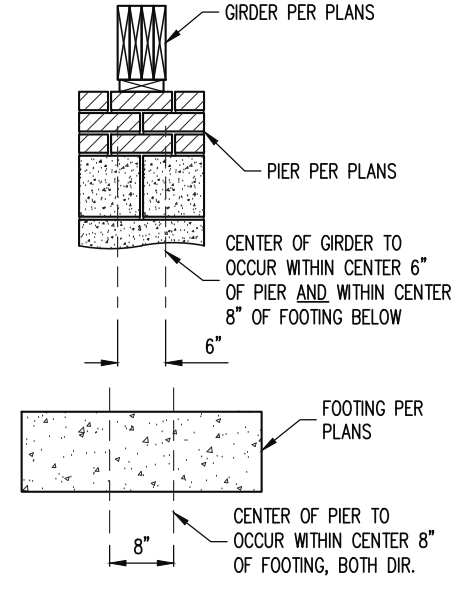
SHEET NO.
 S5
 5 of 7



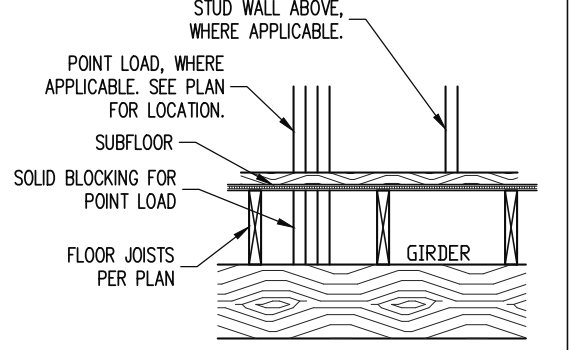
1 SECTION
S1
TYPICAL FND WALL
1/2" = 1'-0"



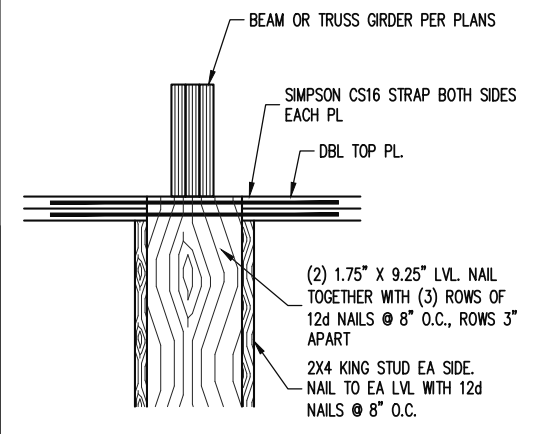
2 SECTION
S1
TYPICAL MASONRY PIER,
GIRDER
1/2" = 1'-0"



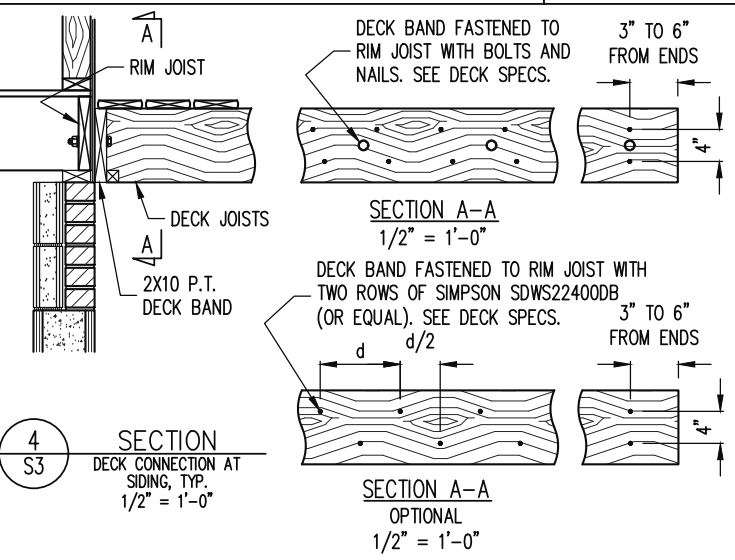
SECTION A-A
1/2" = 1'-0"



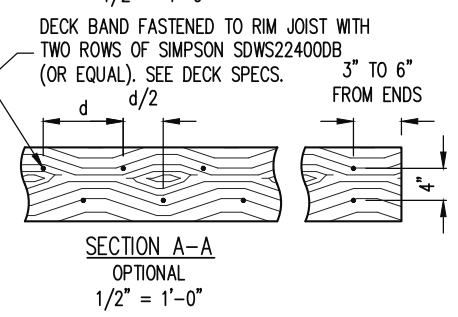
3 SECTION
S2
TYPICAL DROPPED
GIRDER
1/2" = 1'-0"



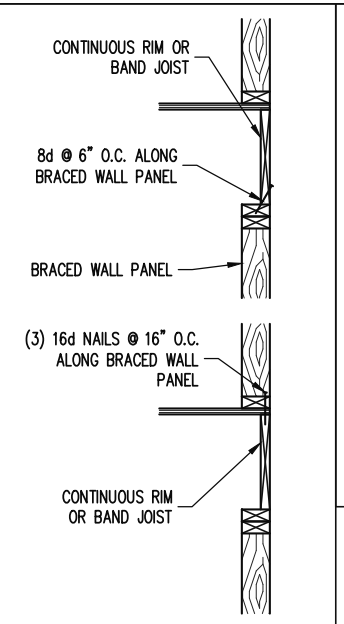
7 SECTION
S3
LVL COLUMN FOR FLUSH
BEAM
1/2" = 1'-0"



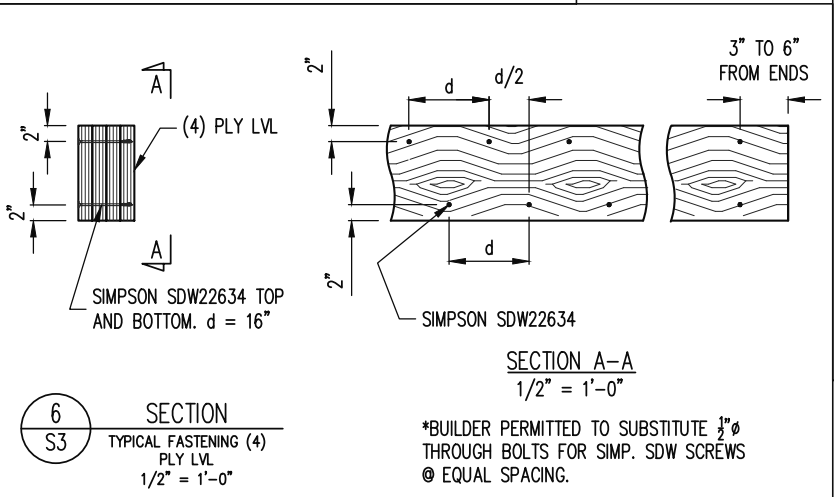
4 SECTION
S3
DECK CONNECTION AT
SIDING, TYP.
1/2" = 1'-0"



SECTION A-A
OPTIONAL
1/2" = 1'-0"

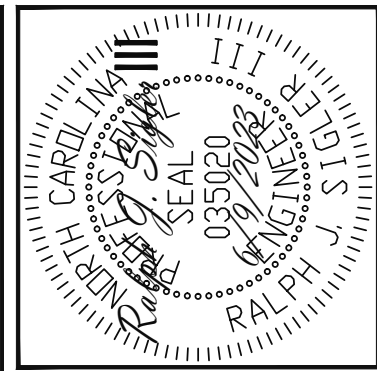


5 SECTION
S3
TYPICAL BRACED WALL
PANEL CONNECTION AT
EXTERIOR WALL, JOISTS
PERPENDICULAR OR
PARALLEL.
1/2" = 1'-0"



6 SECTION
S3
TYPICAL FASTENING (4)
PLY LVL
1/2" = 1'-0"

*BUILDER PERMITTED TO SUBSTITUTE 3/8" THROUGH BOLTS FOR SIMP. SDW SCREWS @ EQUAL SPACING.



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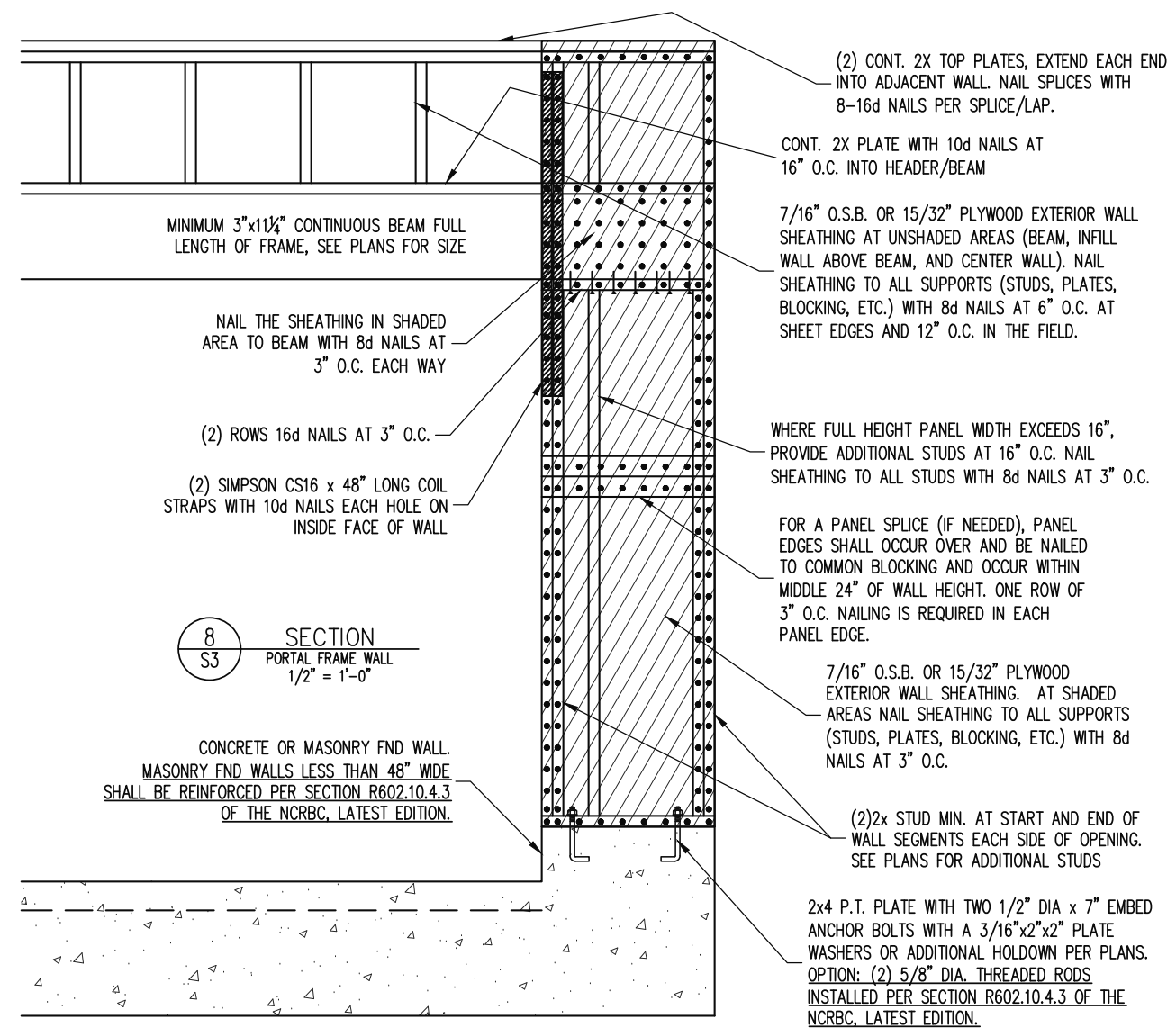
TRIPLE A HOMES	REV #	REF PROJ #	DATE
STRUCTURAL ADDENDUM	1	120 SERENITY	
SCOPE			
LOC			

ENG: RJS/CR
DATE: 6/9/2023

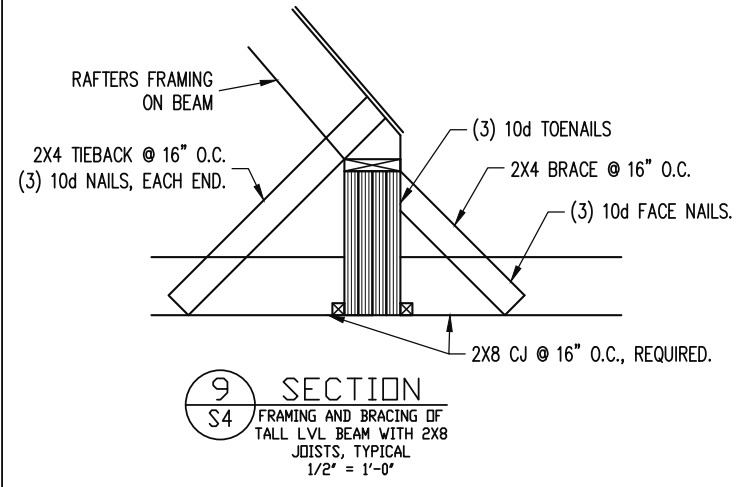
PLAN
MINION

PROJECT NO.
23-28-011

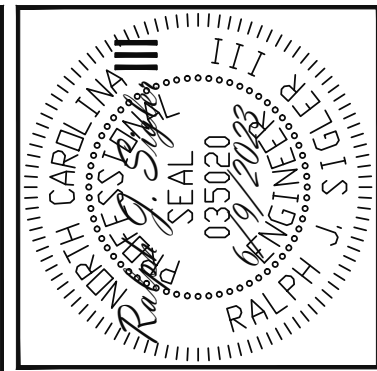
SHEET NO.
SD1



8 SECTION
S3 PORTAL FRAME WALL
1/2" = 1'-0"



9 SECTION
S4 FRAMING AND BRACING OF TALL LVL BEAM WITH 2X8 JOISTS, TYPICAL
1/2" = 1'-0"



NOTES

THE BUILDER IS RESPONSIBLE FOR REVIEWING PLANS PRIOR TO CONSTRUCTION. THE BUILDER SHALL IMMEDIATELY CONTACT THE ENGINEER OF RECORD (EOR) BEFORE PROCEEDING IF THE FOLLOWING CONDITIONS ARE NOTED BEFORE OR DURING CONSTRUCTION:
 1) THE WORKING PLANS DO NOT BEAR THE SEAL OF THE EOR
 2) THE PLANS CONTAIN DISCREPANT OR INCOMPLETE INFORMATION

ANY ERRORS DUE TO A FAILURE TO FOLLOW THE ABOVE PROCEDURES SHALL NOT BE THE RESPONSIBILITY OF THE EOR. FURTHERMORE, IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THAN ANY REVISIONS ISSUED BY THE EOR ARE PROMPLY DISTRIBUTED TO THE SUBCONTRACTORS

THE EOR DOES NOT PERFORM FENESTRATION OR VENTING CALCULATIONS OR ANY OTHER CALCULATIONS THAT ARE NOT DIRECTLY RELATED TO STRUCTURAL ENGINEERING.

ROOF AND FLOOR TRUSSES TO BE DESIGNED BY AN ENGINEER REGISTERED BY THE STATE. FINAL TRUSS DRAWING SHOULD BE SUBMITTED TO THE EOR FOR REVIEW

ABBREVIATIONS

ABV ABOVE	FND FOUNDATION	TJ TRIPLE JOIST
B. BOTH	FTG FOOTING	TYP TYPICAL
B.E. BOTH ENDS	HDG HOT DIPPED	TRPL TRIPLE
BTWN BETWEEN	GALV GALVANIZED	TSP TRIPLE STUD POCKET
CIP CAST IN PLACE	HGR HANGER	UNO UNLESS NOTED OTHERWISE
CONC CONCRETE	LVL LAMINATED VENEER LUMBER	XJ EXTRA JOIST
CS CONTINUOUS SHEATHING	NTS NOT TO SCALE	
DIA DIAMETER	O.C. ON CENTER	
DBL DOUBLE	PSL PARALLEL STRAND LUMBER	
DJ DOUBLE JOIST	PT PRESSURE TREATED	
DSP DBL STUD POCKET	QJ QUAD JOIST	
EQ EQUAL	SP SPACE (OR SPACING)	
EA EACH	SSP SINGLE STUD POCKET	
FLG FLANGE	SQ SQUARE	
FL PL FLITCH PLATE		
FLR FLOOR		

DECK SPECIFICATIONS

- A DECK IS AN EXPOSED EXTERIOR WOOD FLOOR STRUCTURE WHICH MAY BE ATTACHED TO A STRUCTURE OR BE FREE STANDING. ROOFED PORCHES, OPEN OR SCREENED IN, MAY BE CONSTRUCTED USING THESE PROVISIONS.
- SUPPORT POSTS SHALL BE SUPPORTED BY A FOOTING.
- WHEN ATTACHED TO A STRUCTURE, THE STRUCTURE TO WHICH ATTACHED SHALL HAVE A TREATED WOOD BAND FOR THE LENGTH OF THE DECK, OR CORROSION RESISTANT FLASHING SHALL BE USED TO PREVENT MOISTURE FROM COMING IN CONTACT WITH THE UNTREATED FRAMING OF THE STRUCTURE. THE DECK BAND AND THE STRUCTURE BAND SHALL BE CONSTRUCTED IN CONTACT WITH EACH OTHER EXCEPT AT BRICK VENEER AND WHERE PLYWOOD SHEATHING IS REQUIRED AND PROPERLY FLASHED. SIDING SHALL NOT BE INSTALLED BETWEEN THE STRUCTURE AND THE DECK BAND. IF ATTACHED TO A BRICK STRUCTURE, NEITHER FLASHING NOR A TREATED BAND FOR THE BRICK STRUCTURE IS REQUIRED. IN ADDITION, THE TREATED DECK BAND SHALL BE CONSTRUCTED IN CONTACT WITH THE BRICK
- WHEN THE DECK IS SUPPORTED AT THE STRUCTURE BY ATTACHING THE DECK TO THE STRUCTURE, THE FOLLOWING ATTACHMENT SCHEDULES SHALL APPLY FOR ATTACHING THE DECK BAND TO THE STRUCTURE:

JOIST LENGTH	
UP TO 8' MAX.	UP TO 16' MAX.
REQUIRED FASTENERS	ONE - 5/8" BOLT @ 42" O.C. AND (2) ROWS OF 12d NAILS @ 8" O.C. OR TWO ROWS OF SIMPSON SDWS22400DB @ d = 32" O.C. STAGGERED
	ONE - 5/8" BOLT @ 20" O.C. AND (3) ROWS OF 12d NAILS @ 6" O.C. OR TWO ROWS OF SIMPSON SDWS22400DB @ d = 16" O.C. STAGGERED
- IF THE DECK BAND IS SUPPORTED BY A 1/2" MINIMUM MASONRY LEDGE ALONG THE FOUNDATION WALL, 5/8" BOLTS SPACED @ 48" O.C. MAY BE USED FOR SUPPORT.
- OTHER MEANS OF SUPPORT, SUCH AS JOIST HANGERS, MAY BE USED TO CONNECT DECK JOISTS TO A TREATED STRUCTURE BAND
- GIRDERS SHALL BEAR DIRECTLY ON POSTS OR BE CONNECTED TO THE SIDES OF POSTS WITH 2 - 5/8" BOLTS
- FLOOR DECKING SHALL BE NO. 2 GRADE TREATED SOUTHERN PINE OR EQUIVALENT. THE MINIMUM FLOOR DECKING THICKNESS SHALL BE AS FOLLOWS:

JOIST SPAN	DECKING
12" O.C.	1" S4S
16" O.C.	1" T&G
24" O.C.	1 1/4" S4S
32" O.C.	2" S4S

9. MAXIMUM HEIGHT OF DECK SUPPORT POSTS IS AS FOLLOWS:

POST SIZE	MAX POST HEIGHT
4X4	8'
6X6	20'
ENGINEERED	20' +

NOTES: 1) THIS TABLE IS BASED ON NO. 2 TREATED SOUTHERN PINE POSTS.
 2) THIS TABLE IS BASED ON A MAXIMUM TRIBUTARY AREA OF 128 SQ. FT.
 3) POST HEIGHT IS FROM TOP OF FOOTING TO BOTTOM OF GIRDER.

10. DECKS SHALL BE BRACED TO PROVIDE LATERAL STABILITY BY ONE OF THE FOLLOWING METHODS:

- WHEN THE DECK FLOOR HEIGHT IS LESS THAN 4'-0" AND THE DECK IS ATTACHED TO THE STRUCTURE IN ACCORDANCE WITH SECTION 4, LATERAL BRACING IS NOT REQUIRED.
- 4X4 WOOD KNEE BRACES MAY BE PROVIDED ON EACH COLUMN IN BOTH DIRECTIONS. THE KNEE BRACES SHALL ATTACH TO EACH POST AT A POINT NOT LESS THAN 1/3 OF THE POST LENGTH FROM THE TOP OF THE POST, AND THE BRACES SHALL BE ANGLED BETWEEN 45° AND 60° FROM THE HORIZONTAL. KNEE BRACES SHALL BE ATTACHED AT THE ENDS TO THE GIRDER AND THE POST WITH ONE - 5/8" BOLT
- FOR FREE STANDING DECKS WITHOUT KNEE BRACES OR DIAGONAL BRACING, LATERAL STABILITY MAY BE PROVIDED BY EMBEDDING THE POSTS IN CONCRETE IN ACCORDANCE WITH THE FOLLOWING:

POST SIZE	TRIBUT. AREA	POST HEIGHT	EMB. DEPTH	CONC. DIAM.
4X4	48 SQ. FT.	4'-0"	2'-6"	1'-0"
6X6	120 SQ. FT.	6'-0"	3'-6"	1'-8"

D. 2X6 DIAGONAL VERTICAL CROSS BRACING SHALL BE PROVIDED IN TWO PERPENDICULAR DIRECTIONS FOR FREE STANDING DECKS OR PARALLEL TO THE STRUCTURE AT THE EXTERIOR COLUMN LINE FOR ATTACHED DECKS. THE BRACES SHALL BE ATTACHED TO THE POSTS WITH ONE - 5/8" BOLT AT EACH END OF THE BRACE.

NOTES: 1) ALL NAILS AND BOLTS ARE TO BE HOT DIPPED GALVANIZED.
 2) MINIMUM EDGE DISTANCE FOR BOLTS IS 2 1/2".
 3) NAILS MUST PENETRATE THE SUPPORTING STRUCTURE BAND A MINIMUM OF 1 1/2".

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Engineering
 Lech
 ASSOCIATES, P.A.

TRIPLE A HOMES
 STRUCTURAL ADDENDUM

REV #	REF PROJ #	DATE
1		

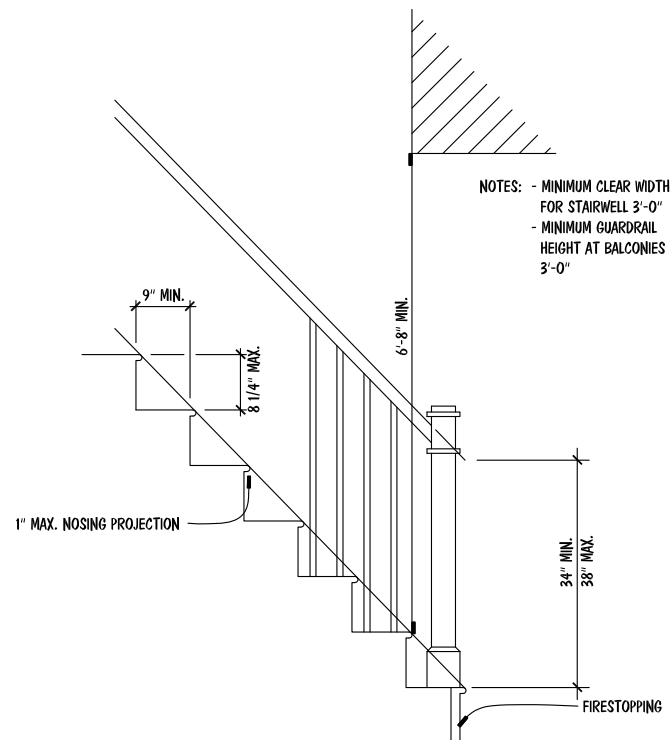
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 LOC:

ENG: RJS/CR
 DATE: 6/9/2023

PLAN
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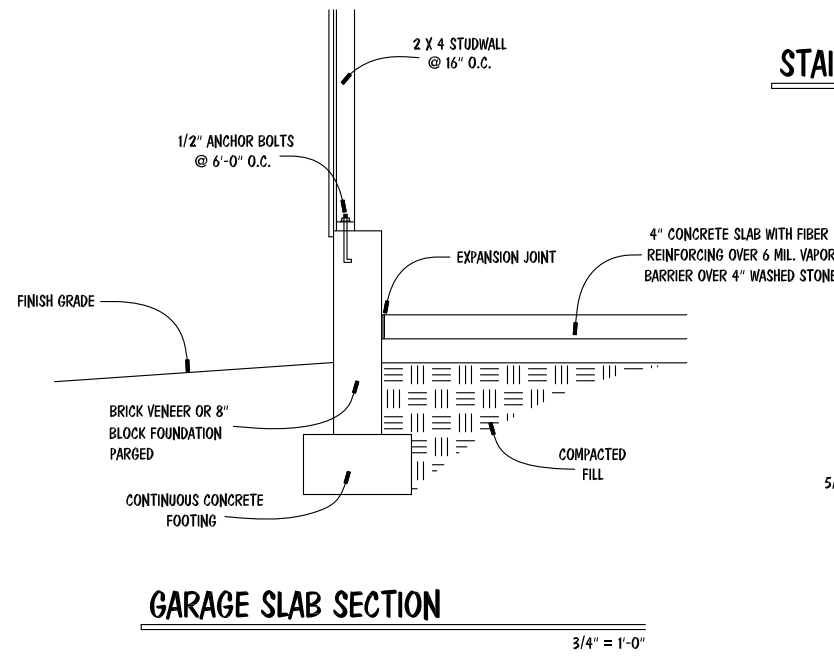
PROJECT NO.
 23-28-011

SHEET NO.
 SD2
 7 of 7



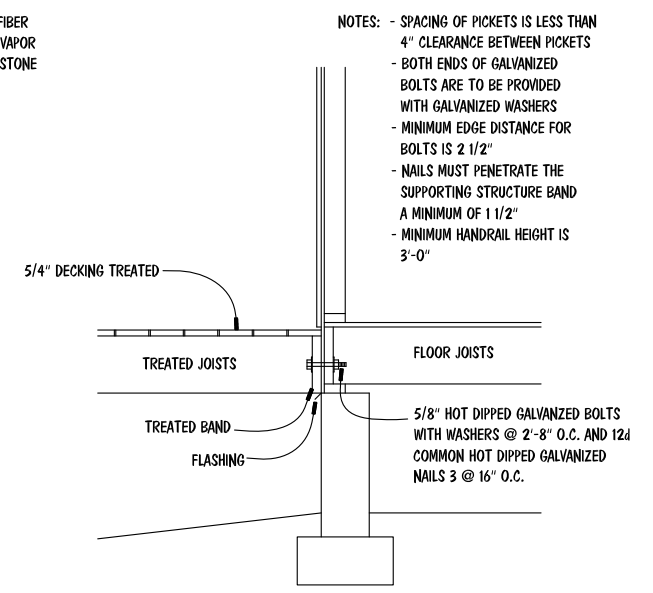
NOTES: - MINIMUM CLEAR WIDTH FOR STAIRWELL 3'-0"
- MINIMUM GUARDRAIL HEIGHT AT BALCONIES 3'-0"

INSULATION VALUES	
WALLS	R-15
FLOORS	R-19
CEILING	R-38



GARAGE SLAB SECTION

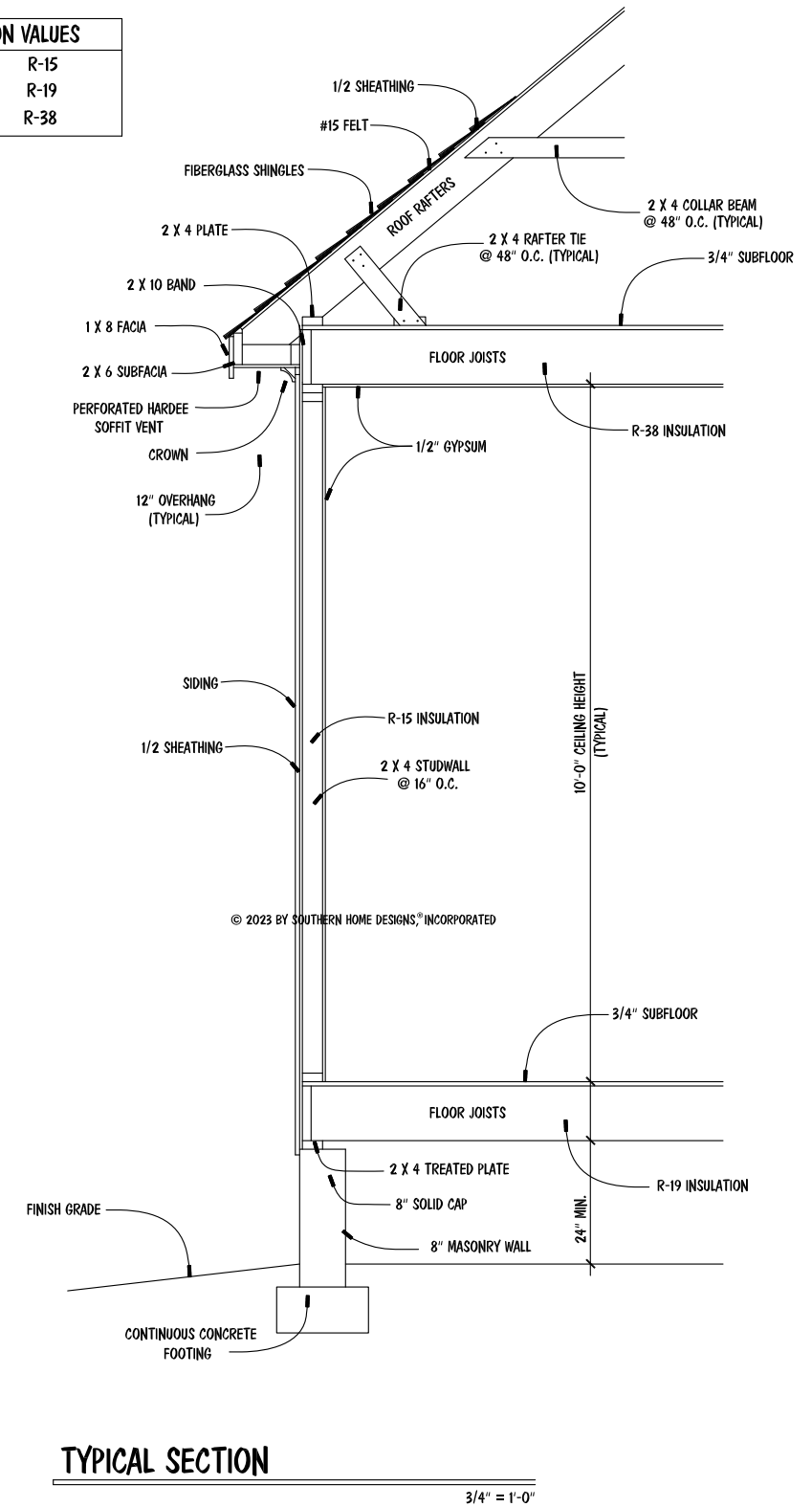
3/4" = 1'-0"



NOTES: - SPACING OF PICKETS IS LESS THAN 4" CLEARANCE BETWEEN PICKETS
- BOTH ENDS OF GALVANIZED BOLTS ARE TO BE PROVIDED WITH GALVANIZED WASHERS
- MINIMUM EDGE DISTANCE FOR BOLTS IS 2 1/2"
- NAILS MUST PENETRATE THE SUPPORTING STRUCTURE BAND A MINIMUM OF 1 1/2"
- MINIMUM HANDRAIL HEIGHT IS 3'-0"

DECK ATTACHMENT DETAIL

N.T.S.



TYPICAL SECTION

3/4" = 1'-0"

STR. DETAIL PLAN

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THE
MINION RESIDENCE
LOT 120 SERENITY

**TRIPLE A
HOMES, INC.**

ENGR. #:
DATE: 03-30-23
SHEET: A-4
PLAN #: 23-033023