

NOTE:
CONTINUOUS RIDGE VENTS
ALL ROOF RIDGES

2424TN
WINDOWS IN
DORMER & GABLE



- 6" WRAP AROUND ALL DOORS & WINDOWS ON FRONT OF HOME
- 6" CORNER BOARDS ON FRONT OF HOME
- 6" FRIEZE BOARD ON GABLE ENDS

ABERNATHY CRAFTSMAN / CUSTOM
FRONT ELEVATION
9' CEILING HEIGHT
SCALE: 1/8" = 1'-0"

DATE: 6/13/2023
SCALE: As Noted
DRAWN BY: DJK
Dwg: 1

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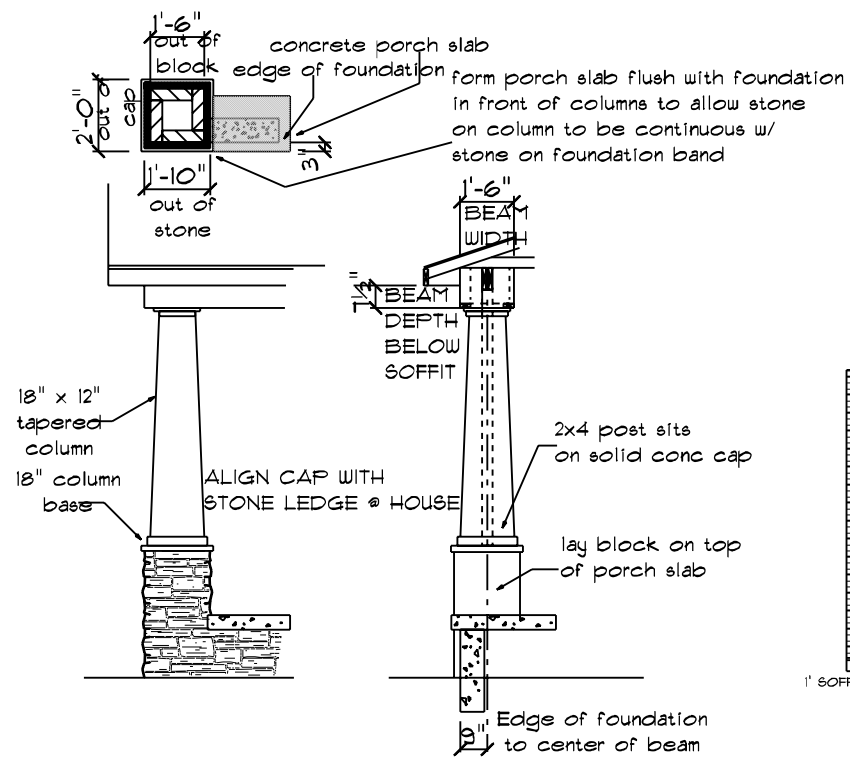
SQUARE FOOTAGES:
CRUISE: 1665
MAIN FLOOR: 663
GARAGE: 435
PORCHES: 310

NOTICE TO CONTRACTOR
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
Limited building only review.
Permit holder responsible for full compliance with the code.

07/18/2023

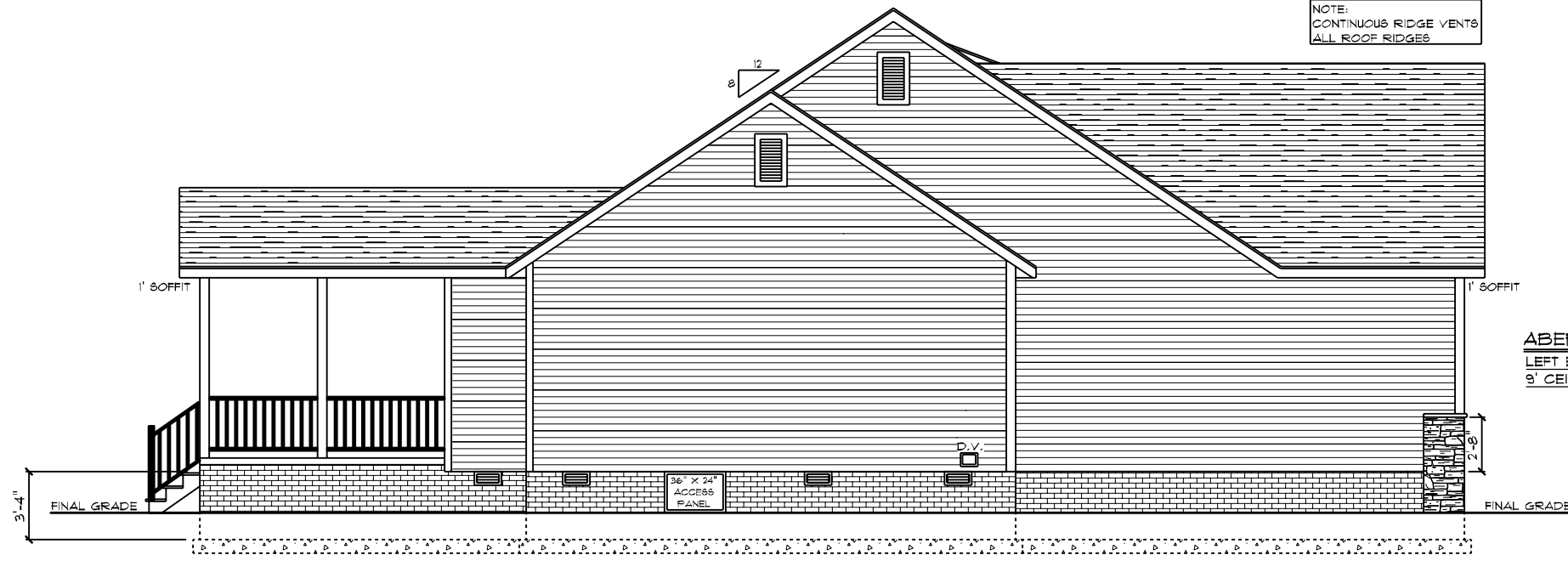
CUSTOM BUILT FOR:
JOHN MICELI AND JENNIFER RANGERS-MICELI
JOB #: DU 000 023 0222 CN # 34656 VN # M 302
LOCATION: LOT 1 OLD HAMILTON RD DUNN, NC 28334 HARNETT COUNTY



ABERNATHY CRAFTSMAN / CUSTOM
REAR ELEVATION
9' CEILING HEIGHT
SCALE: 1/8" = 1'-0"

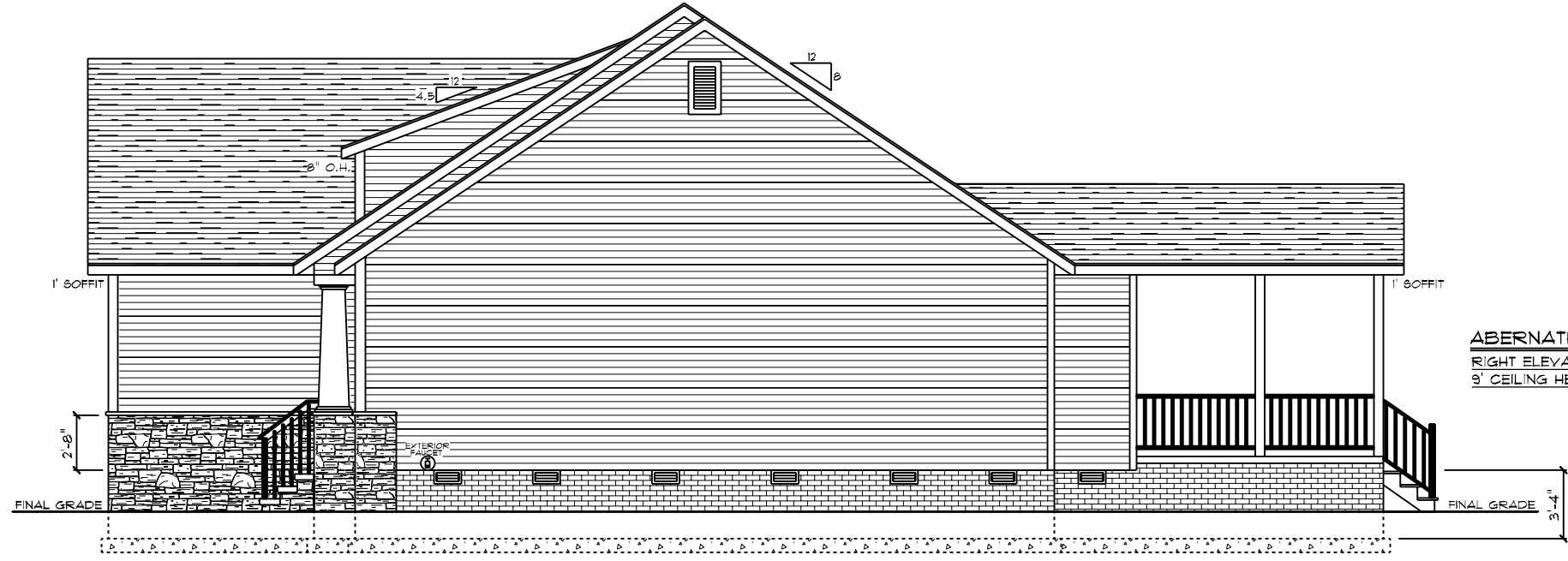
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NOTE:
CONTINUOUS RIDGE VENTS
ALL ROOF RIDGES

ABERNATHY CRAFTSMAN / CUSTOM
LEFT ELEVATION
9' CEILING HEIGHT



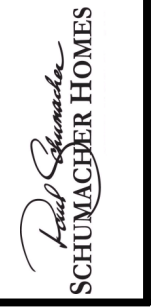
ABERNATHY CRAFTSMAN / CUSTOM
RIGHT ELEVATION
9' CEILING HEIGHT

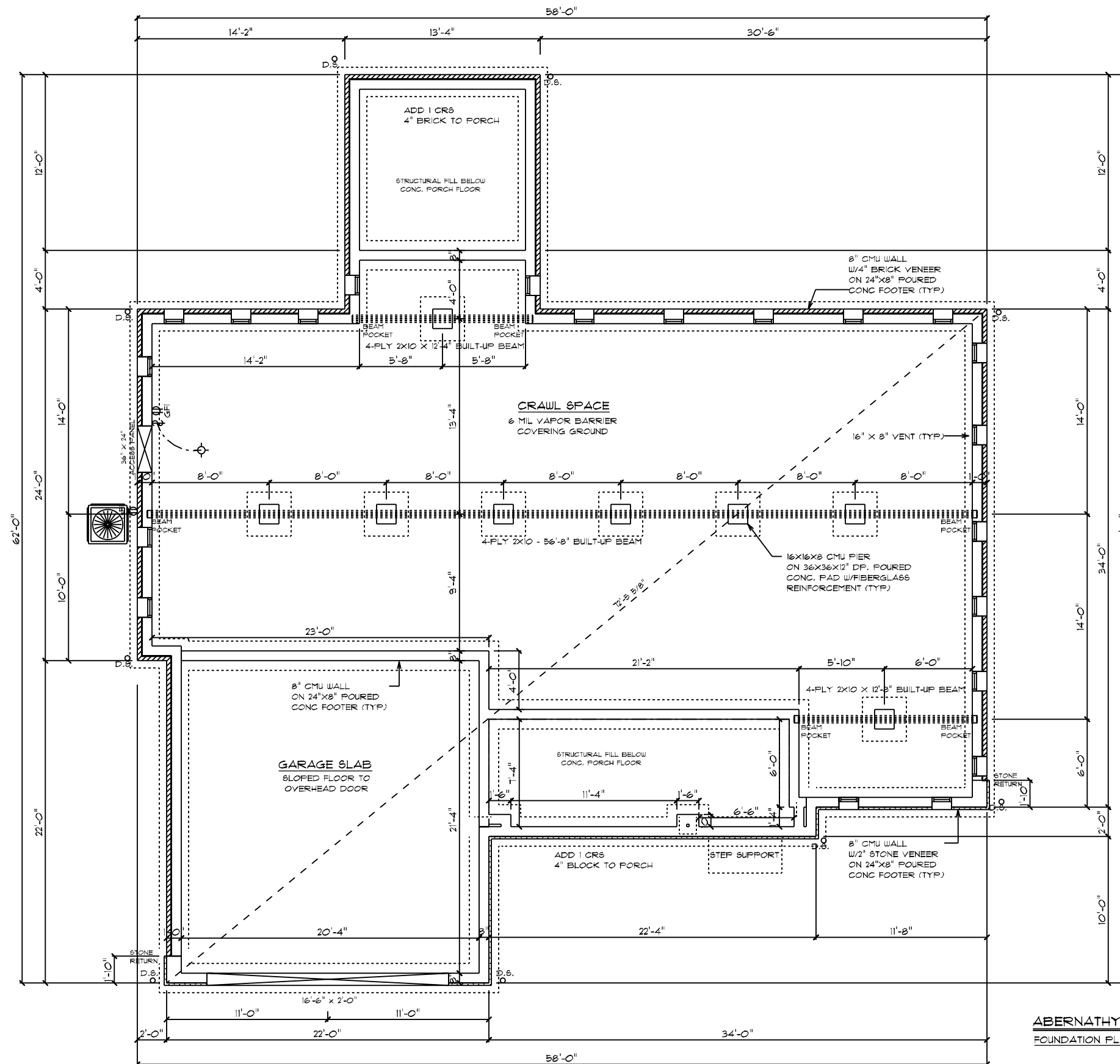
DATE: 6/13/2023
SCALE: 1/8" = 1'-0"
DRAWN BY: DJK
Dwg: 2

SQUARE FOOTAGES:
CRAWL: 1668
MAIN FLOOR: 1663
GARAGE: 435
PORCHES: 310

CUSTOM BUILT FOR:
JOHN MICELI AND JENNIFER RANGERS-MICELI
JOB #: DU 00 023 0222 CN # 34656 VN # MI 302
LOCATION: LOT 1 OLD HAMILTON RD
DUNN, NC 28334
HARNETT COUNTY

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FOUNDATION NOTES:

1. BRICK VENEER ALL EXPOSED FOUNDATION
2. BOTTOM OF PIER PADS ELEVATION SHALL BE 2" BELOW BOTTOM OF CONC. FOOTER ELEVATION.
3. DURA-WALL 16" O.C. VERTICALLY (HORIZ. REINF.)
4. CONCRETE & MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE FINISHED GRADE ADJACENT TO THE FOUNDATION A MIN. OF 4" WHERE MASONRY VENEER IS USED AND 6" MIN. ELSEWHERE.
5. ALL SILLS, PLATES, OR BAND JOISTS THAT REST ON OR IN CONTACT WITH CONCRETE OR MASONRY EXTERIOR WALLS SHALL REQUIRE THE USE OF PRESSURE PRESERVATIVE TREATMENT.

PIERS:

1. THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED 10 TIMES THEIR LEAST DIMENSION. WHEN HOLLOW CONCRETE MASONRY UNITS ARE USED FOR ISOLATED PIERS TO SUPPORT BEAMS AND GIRDERS, THE CELLULAR SPACES SHALL BE FILLED SOLIDLY WITH CONCRETE.

CRAWL SPACE VENT CALCULATIONS:

TOTAL CRAWL SPACE AREA: 1665
 8"X16" VENT = 128 SQ. IN. = .89 SQ. FT
 ASSUMED NET FREE AREA = .53 SQ. FT. PER VENT
 TOTAL SQ. FT. VENTILATION NEEDED:
 1665 / .53 = 3141.5
 3141.5 / 150 = 21 TOTAL VENTS.

GENERAL ELECTRICAL NOTES:

- GFI'S REQUIRED IN CRAWL SPACE @ ACCESS PANEL AND @ AIR HANDLER/FURNACE
- LIGHTS TO BE WITHIN 6' OF ACCESS PANEL AND @ AIR HANDLER/FURNACE
- WIRE AIR HANDLER/FURNACE
- ELECTRICAL PANEL TO BE GROUNDED TO THE OUTSIDE

WIRE DEDICATED CIRCUIT FOR WELL AND SEPTIC

ABERNATHY CRAFTSMAN / CUSTOM
 FOUNDATION PLAN

DRAWING: 3

DATE: 6/13/2023

SCALE: 1/8" = 1'-0"

DRAWN BY: DJK

DRAIN BY: DJK

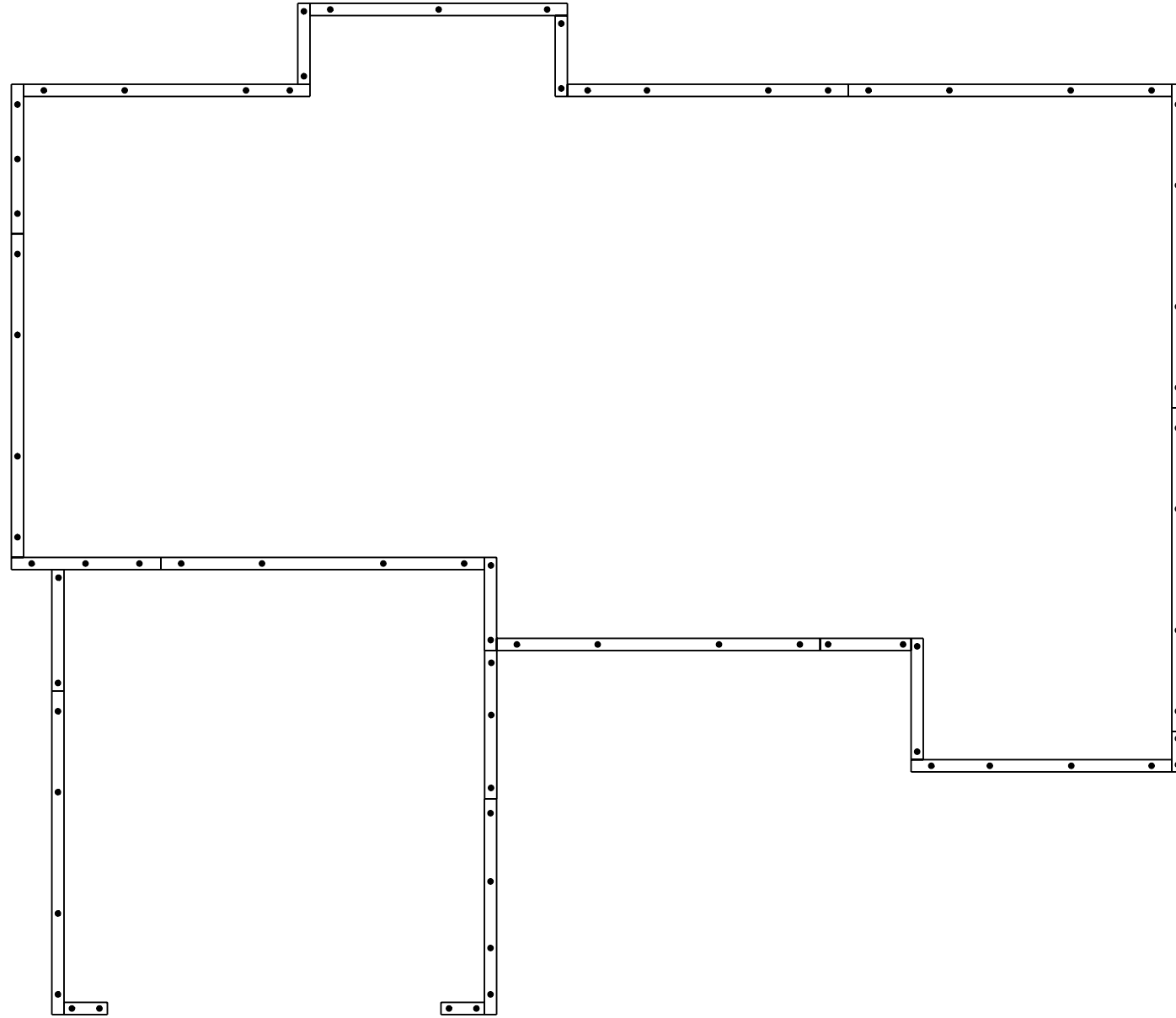
SQUARE FOOTAGES:
 CRAWL: 1665
 MAIN FLOOR: 663
 GARAGE: 485
 PORCHES: 310

CUSTOM BUILT FOR:
 JOHN MICELI AND JENNIFER RANGERS-MICELI
 JOB #: DU 000 023 0222 CN #: 34656
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CONSTRUCTION NOTES:

1. 2X8 TREATED SILL PLATE
2. 1/2" DIAM. X 18" L. ANCHOR BOLTS SHALL EXTEND A MINIMUM OF 1" INTO MASONRY OR CONCRETE AS REQUIRED BY CODE # 6" O.C. AND 12" FROM ALL CORNERS (2 PER CORNER)
3. ANCHOR BOLTS TO BE LOCATED IN CENTER 1/3 OF SILL PLATE

**ABERNATHY CRAFTSMAN / CUSTOM
BOLT & PLATE LAYOUT**

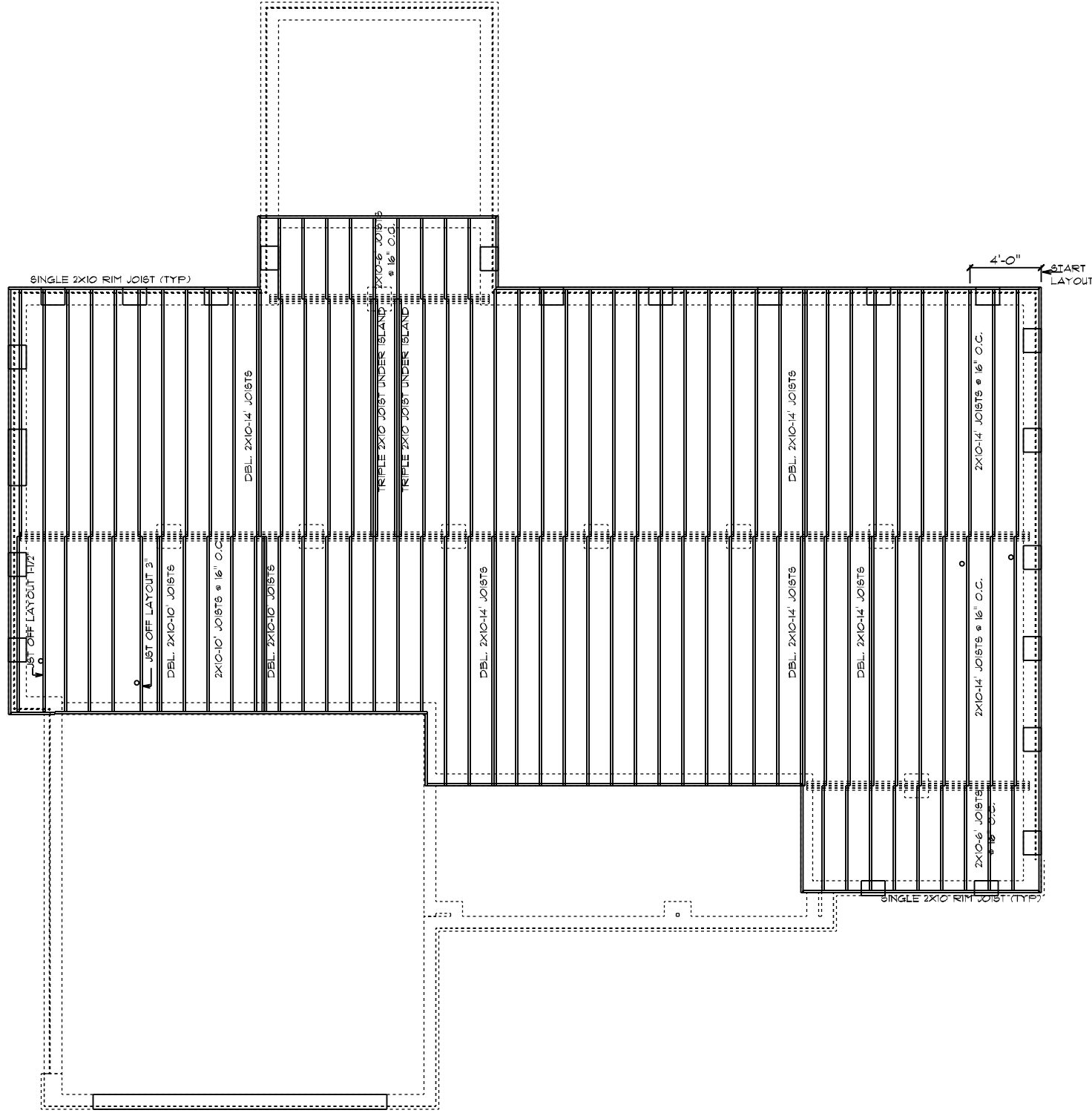
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JOHN MICELI AND JENNIFER RANGERS-MICELI
JOB #: DU 00 023 0222 CN #: 34656 VN #: MI 302
LOCATION:
LOT 1 OLD HAMILTON RD
DUNN, NC 28334
HARNETT COUNTY

SQUARE FOOTAGES:
CRAWL: 1665
MAIN FLOOR: 1663
GARAGE: 435
PORCHES: 310

DRAWN BY: DJK DATE: 6/13/2023 SCALE: 1/8" = 1'-0" SHEET: 4
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FRAMING NOTES:

1. LEAVE 1/2" BETWEEN EACH END JOIST & RIM JOIST TO ALLOW FOR INSULATION.
2. INSULATE ALL FRAMED CHANNELS & CORNERS; ALSO, BEHIND EACH TUB AND SHOWER UNIT
3. INSTALL FIREBLOCK FRAMING IN ALL STAIRWAY CEILING
4. INSTALL ALL TRUSSES, I-JOISTS, LVL'S AND BEAMS PER MANUFACTURER SPECIFICATIONS AND LAY OUTS. DO NOT CUT, NOTCH OR BORE WITHOUT EXACT SPECIFICATIONS.
5. ALL FRAMING TO BE SOUTHERN YELLOW PINE NO. 2 OR GREATER UNLESS NOTED OTHERWISE
6. DOUBLE JOISTS SHOULD BE LOCATED UNDER ALL PARTITIONS WHEN THE LENGTH OF THE PARTITION EXCEEDS 1/2 THE SPAN OF THE JOIST

ABERNATHY CRAFTSMAN / CUSTOM
MAIN FLOOR JOIST PLAN

DATE: 6/13/2023
SCALE: 1/8" = 1'-0"
DRAWN BY: DJK
DESIGN: B

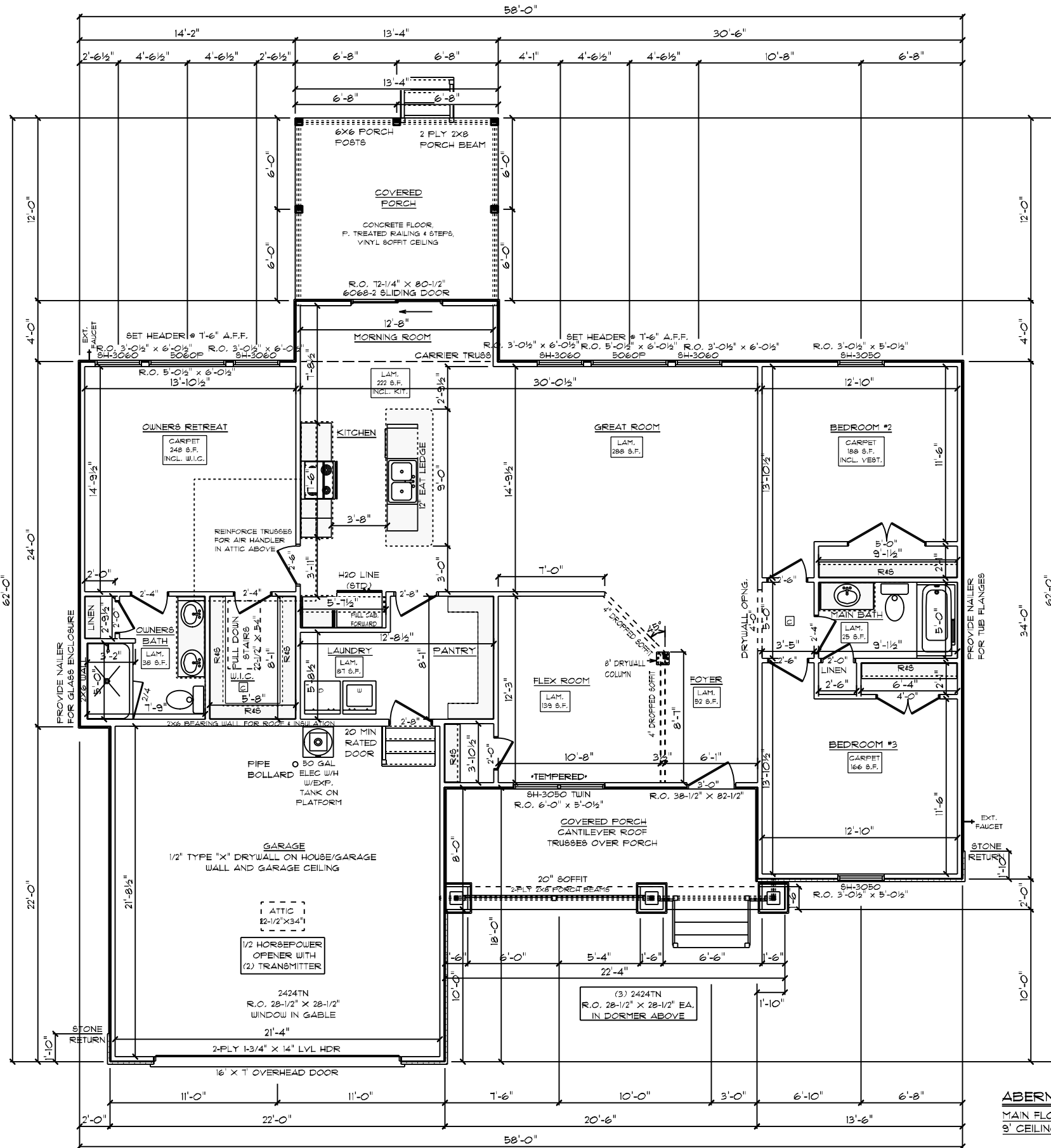
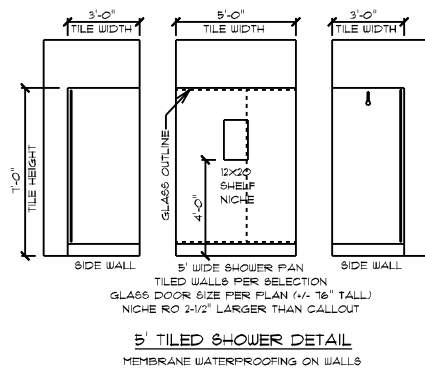
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SQUARE FOOTAGES:
CRAWL: 1665
MAIN FLOOR: 663
GARAGE: 435
PORCHES: 310

CUSTOM BUILT FOR:
JOHN MICELI AND JENNIFER RANGERS-MICELI
JOB #: DU TOO 023 0222 CN # 34656 VN 1 MI 302
LOCATION: LOT 1 OLD HAMILTON RD
DUNN, NC 28334
HARNETT COUNTY

Raleigh/Durham, NC
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GENERAL FRAMING NOTES:

- DRYWALLED OPENINGS TO BE 8'-0" HEIGHT UNLESS OTHERWISE NOTED
- HEADERS TO BE 2-PLY 2X10 W/ (1) KING & (2) JACK STUDS UNLESS OTHERWISE NOTED
- ALL LVL, CARRIER TRUSSES AND BEAMS TO HAVE A MIN OF (2) KING & (2) JACK STUDS, UNLESS NOTED OTHERWISE

PLAN NOTES:

- SMOOTH CEILINGS THROUGHOUT HOME
- PAINTED TRIM
- 5-1/4" BASEBOARDS
- 3-1/4" CASING ON INTERIOR DOORS AND WINDOWS HAVE DRYWALLED RETURNS
- INTERIOR DOORS PER RETURN

FLOORING NOTES:

- ALL FLOORING BREAKS OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS OTHERWISE NOTED
- FLOORING SQUARE FOOTAGES INCLUDE CLOSETS RELATIVE TO THE AREA UNLESS OTHERWISE NOTED
- SOME FLOORING SQUARE FOOTAGES MAY INCLUDE HALLS OR AREAS THAT CONNECT WITHOUT WALL SEPARATION IF THE SAME FINISH IS CONTINUED

PROVIDE AIR BARRIER/THERMO-PLY AT INSULATED VERTICAL WALLS BETWEEN HEATED AND UNHEATED AREAS

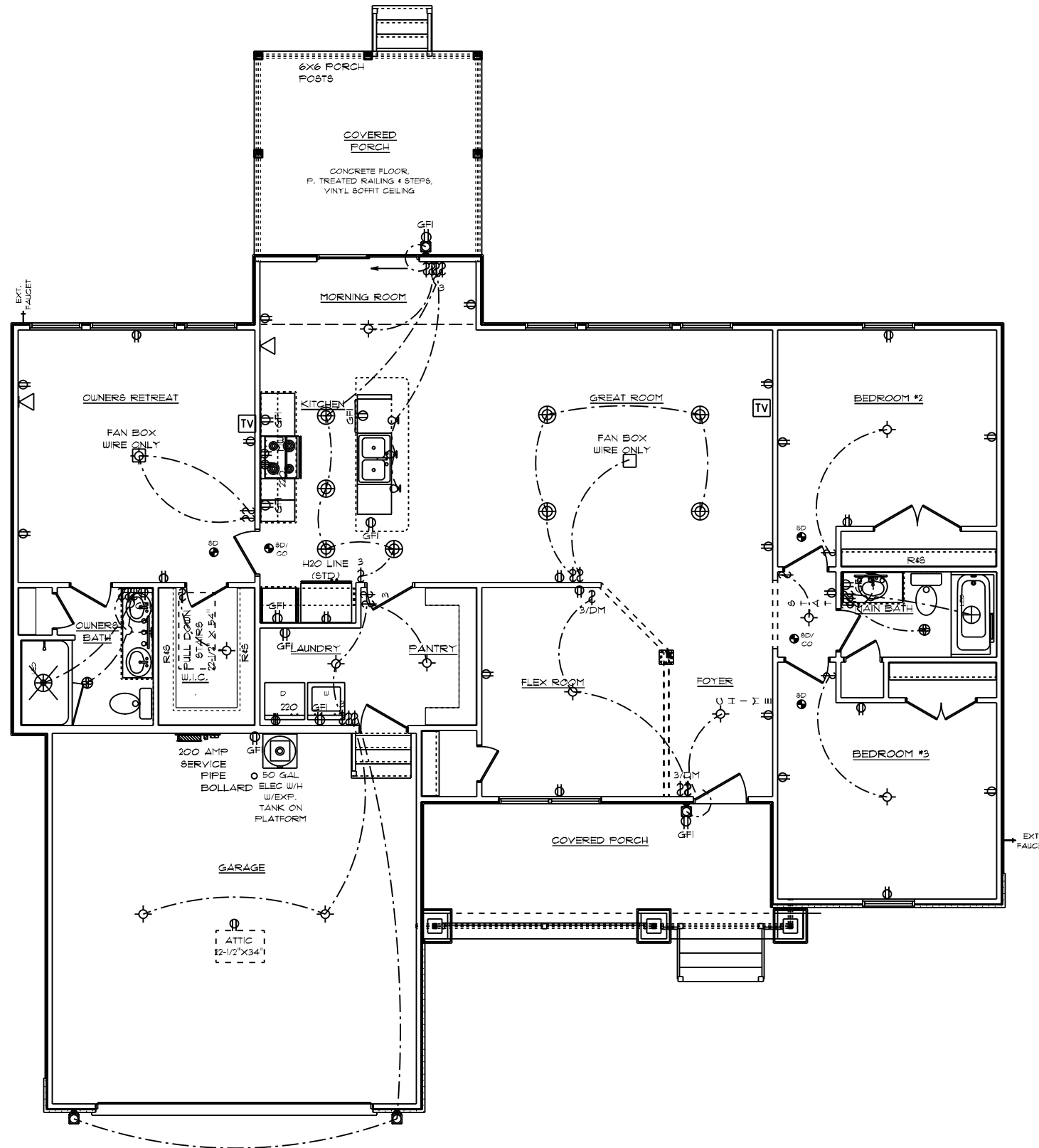
ABERNATHY CRAFTSMAN / CUSTOM
MAIN FLOOR PLAN
9' CEILING HEIGHT

CUSTOM BUILT FOR: JOHN MICELI AND JENNIFER RANGERS-MICELI
 JOB #: DU 100 023 0222 CN #: 34656 VN #: M 302
 LOCATION: LOT 1 OLD HAMILTON RD DUNN, NC 28334 HARNETT COUNTY
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SQUARE FOOTAGES:
 CRAWL: 1669
 MAIN FLOOR: 1663
 GARAGE: 435
 PORCHES: 310

DRAIN BY: DJK
 DATE: 6/13/2023
 SCALE: 1/8" = 1'-0"
 DRAWING: 6

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GENERAL ELECTRICAL NOTES:

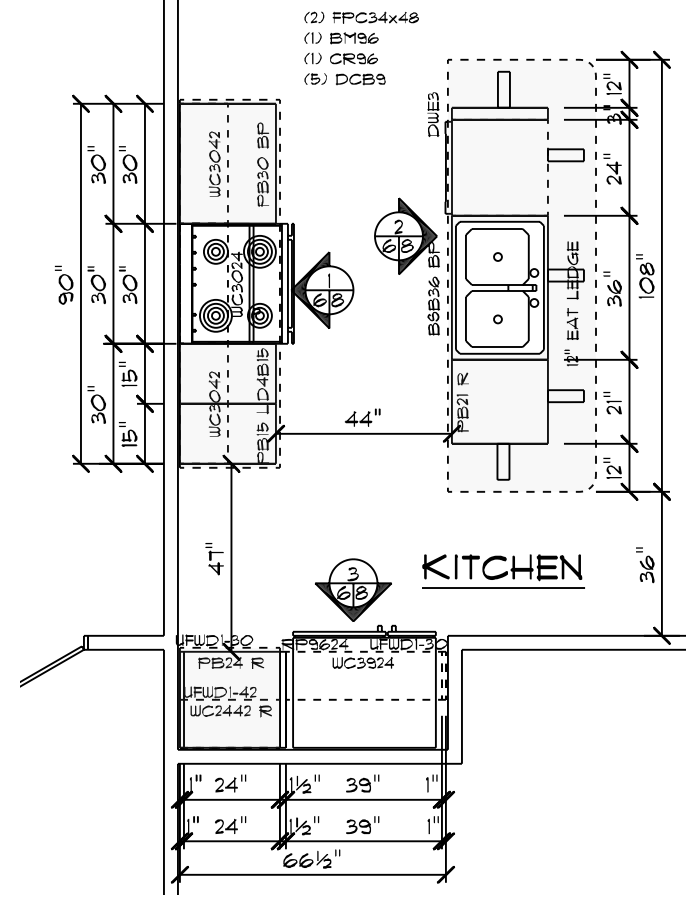
- (1) EXISTING SWITCH UPGRADED TO A 3-WAY SWITCH, (1) ADDITIONAL 3-WAY SWITCH AND (1) COACH LIGHT WIRED TO A STANDARD SWITCH ARE INCLUDED WHEN A GARAGE SERVICE DOOR IS PURCHASED
- (1) COACH LIGHT, (1) SWITCH, AND (1) GFI OUTLET ARE INCLUDED WHEN ANY ADDITIONAL DOOR IS PURCHASED, EXCLUDING THE GARAGE SERVICE DOOR
- ALL SMOKE DETECTORS TO BE INTERCONNECTED WITH BATTERY BACKUP
- E3902 II ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- GARAGE DOOR LOW VOLTAGE WIRING BY ELECTRICIAN
- TWO SEPARATE KITCHEN GENERAL ELECTRIC OUTLET CIRCUITS FED BY NUMBER 12 WIRE AND ON 20 AMP BREAKERS REQUIRED IN KITCHEN
- ALL OUTLETS INSTALLED IN BATHROOMS, GARAGES, & UNFINISHED BASEMENTS SHALL HAVE GFCI PROTECTIONS ALONG WITH OUTLETS LOCATED W/IN 6'-0" OF LAUNDRY, UTILITY & WET BAR SINKS & ALL OUTLETS SERVING KITCHEN COUNTERTOP SURFACES
- ALL OUTLETS TO BE PLACED PER CODE
- MOUNTING HEIGHTS
 - VANITY LIGHTS: 80" AFF
 - WALL SCONCES: 66" AFF
 - PENDANT LIGHTS: 66" AFF
 - CHANDELIERS (TO BTM OF FIXTURE)
 - FOYER 3' CEILING: 84"
 - FOYER OVER 3' CLG: 30"
 - DINING ROOM: 60"

ABERNATHY CRAFTSMAN / CUSTOM
 MAIN FLOOR PLAN
 9' CEILING HEIGHT
 ELECTRICAL PLAN

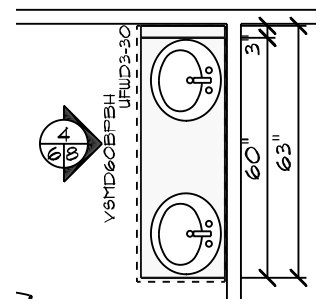
CUSTOM BUILT FOR: JOHN MICELI AND JENNIFER RANGERS-MICELI JOB #: DU 000 023 0222 CN #: 34656 LOCATION: LOT 1 OLD HAMILTON RD DUNN, NC 28334 HARNETT COUNTY	SQUARE FOOTAGES: CRAWL: 1668 MAIN FLOOR: 663 GARAGE: 485 PORCHES: 310	DRAWN BY: DJK	DATE: 6/13/2023	SCALE: 1/8" = 1'-0" 7
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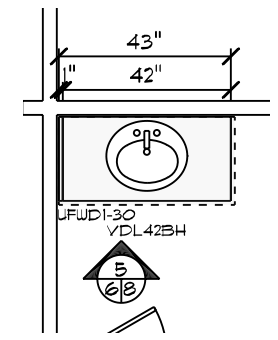
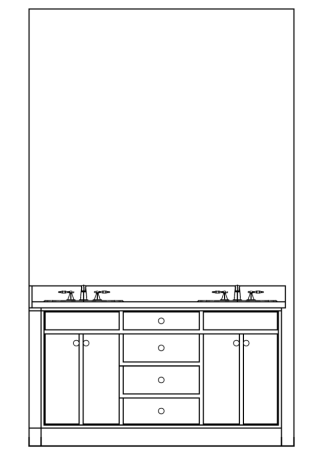




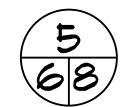
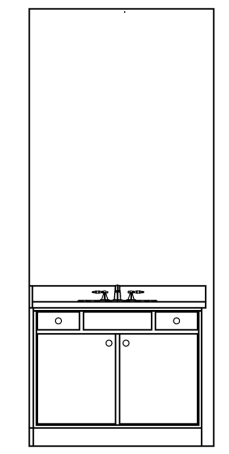
CABINET DRAWING



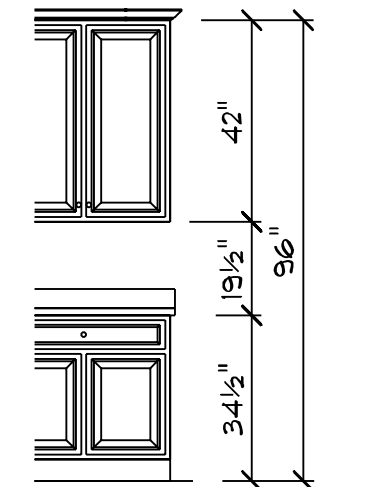
OWNERS BATH



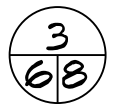
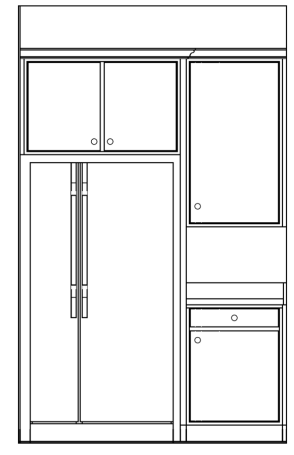
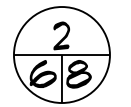
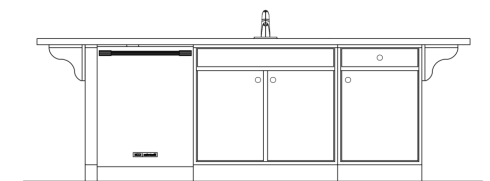
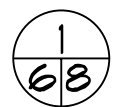
MAIN BATH



CABINET NOTES:
 KITCHEN
 • MARSH CABINETS W/ TRADITIONAL OVERLAY
 • 2-1/4" KITCHEN CABINET CROWN MOLDING
 • COUNTERTOPS PER SELECTION
 • UNDERMOUNT STAINLESS STEEL KITCHEN SINK
 • HARDWARE PER SELECTION
 BATHS
 • MARSH CABINETS W/ TRADITIONAL OVERLAY
 • COUNTERTOPS PER SELECTION
 • HARDWARE PER SELECTION
 CABINET IMAGES, HARDWARE APPLIANCES & OTHER DESIGN ITEMS ARE SHOWN FOR REPRESENTATION PURPOSES ONLY REFER TO FINAL SELECTIONS

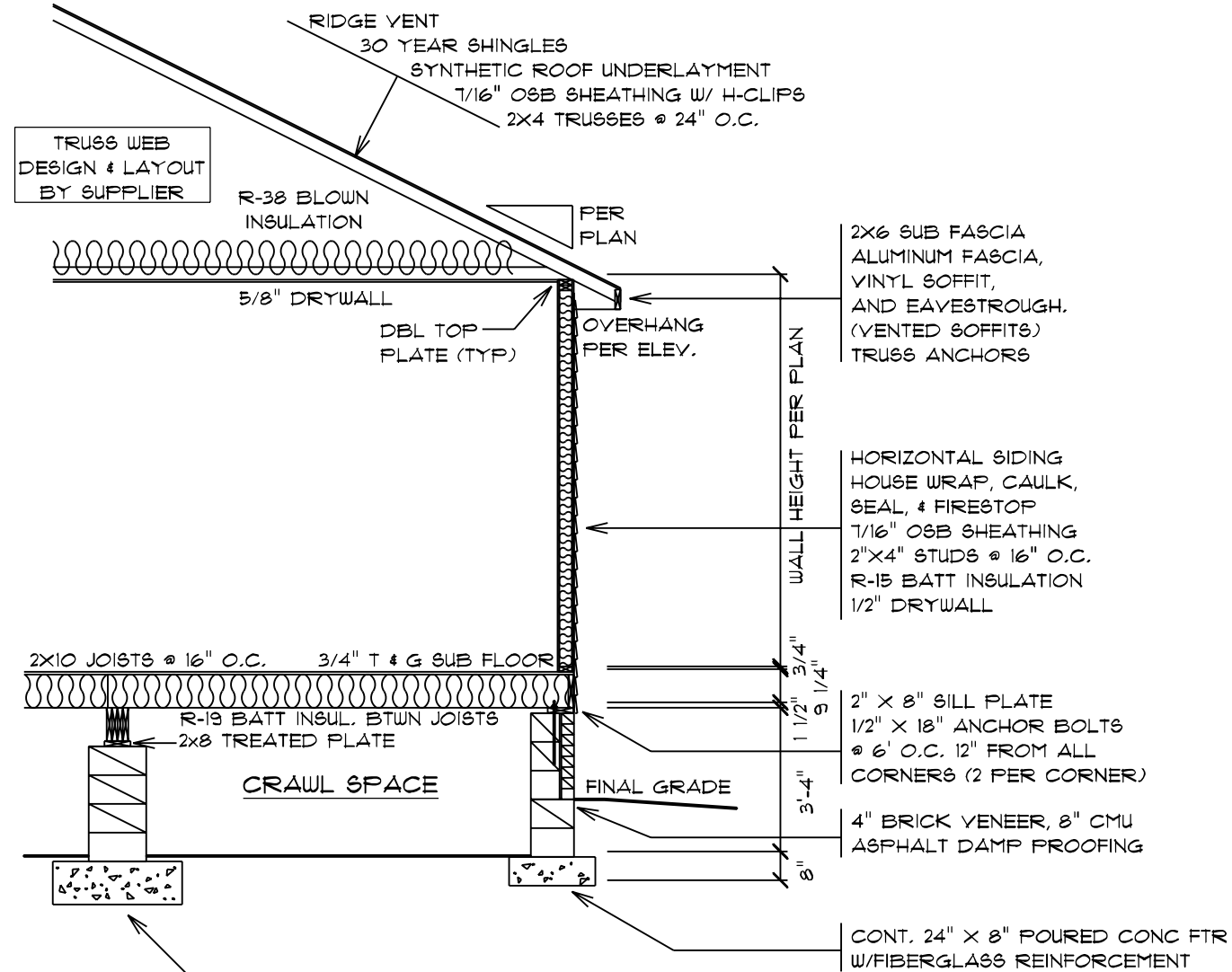


TYPICAL CABINET HEIGHTS



CUSTOM BUILT FOR: JOHN MICELI AND JENNIFER RANGERS-MICELI
 JOB #: DU TOO 023 0222 CN # 34656 V.N. # M 302
 LOCATION: LOT 1 OLD HAMILTON RD DUNN, NC 28334 HARNETT COUNTY
 SQUARE FOOTAGES:
 CRAWL: 1668
 MAIN FLOOR: 663
 GARAGE: 485
 PORCHES: 310
 SCALE: 1/4" = 1'-0"
 DATE: 6/13/2023
 DRAWN BY: DJK
 DRUG: 8
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NOTE:
 ROOF UNDERLAYMENT TO BE OVERLAPPED
 50% PLUS 1" ON ROOFS LESS THAN 4/12 PITCH



TRUSS WEB
 DESIGN & LAYOUT
 BY SUPPLIER

2X6 SUB FASCIA
 ALUMINUM FASCIA,
 VINYL SOFFIT,
 AND EAVESTROUGH.
 (VENTED SOFFITS)
 TRUSS ANCHORS

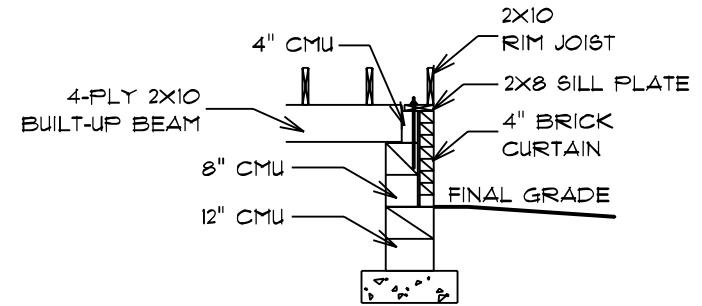
HORIZONTAL SIDING
 HOUSE WRAP, CAULK,
 SEAL, & FIRESTOP
 7/16" OSB SHEATHING
 2"X4" STUDS @ 16" O.C.
 R-15 BATT INSULATION
 1/2" DRYWALL

2" X 8" SILL PLATE
 1/2" X 18" ANCHOR BOLTS
 @ 6' O.C. 12" FROM ALL
 CORNERS (2 PER CORNER)

4" BRICK VENEER, 8" CMU
 ASPHALT DAMP PROOFING

CONT. 24" X 8" Poured CONC FTR
 W/FIBERGLASS REINFORCEMENT

16x16x8 CMU PIER
 ON 36"x 36"x 12" DP. Poured CONC.
 PAD W/ FIBERGLASS REINFORCEMENT
 (TYPICAL EA. PIER)



BEAM POCKET
 DETAIL

DATE: 6/13/2023
 SCALE: 1/4" = 1'-0"
 DRAWN BY: DJK
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SQUARE FOOTAGES:
 CRAWL: 1663
 MAIN FLOOR: 1663
 GARAGE: 435
 PORCHES: 510

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