



Town of Erwin

Zoning Application & Permit

Planning & Inspections Department

Permit #

Rev Sep2014

Each application should be submitted with an attached plot/site plan with the proposed use/structure showing lot shape, existing and proposed buildings, parking and loading areas, access drives and front, rear, and side yard dimensions.

Name of Applicant	H&H Constructors of Fayetteville LLC	Property Owner	Same
Home Address	3709 Raeford Road Suite 200	Home Address	Same
City, State, Zip	Fayetteville NC 28304	City, State, Zip	Same
Telephone	910-486-4864-ext 21423	Telephone	Same
Email	tamaragreen@hhhomes.com	Email	Same

Address of Proposed Property	56 Mary Raymond Lane		
Parcel Identification Number(s) (PIN)	0596-94-4406	Estimated Project Cost	174596
What is the applicant requesting to build / what is the proposed use of the subject property? Be specific.	New stick built SFD		
Description of any proposed improvements to the building or property	New Single Family Home		
What was the Previous Use of the subject property?	Vacant Farm land		
Does the Property Access DOT road?	yes		
Number of dwelling/structures on the property already	None	Property/Parcel size	.46
Floodplain SFHA <u>Yes</u> <input checked="" type="checkbox"/> <u>No</u> <input type="checkbox"/>	Watershed <u>Yes</u> <input checked="" type="checkbox"/> <u>No</u> <input type="checkbox"/>	Wetlands <u>Yes</u> <input checked="" type="checkbox"/> <u>No</u> <input type="checkbox"/>	
MUST circle one that applies to property	Existing/Proposed <u>Septic System</u> Or Existing/Proposed County/City Sewer <u>new septic system</u>		

Owner/Applicant Must Read and Sign

The undersigned property owner, or duly authorized agent/representative thereof certifies that this application and the forgoing answers, statements, and other information herewith submitted are in all respects true and correct to the best of their knowledge and belief. The undersigning party understands that any incorrect information submitted may result in the revocation of this application. Upon issuance of this permit, the undersigning party agrees to conform to all applicable town ordinances, zoning regulations, and the laws of the State of North Carolina regulating such work and to the specifications of plans herein submitted. The undersigning party authorizes the Town of Erwin to review this request and conduct a site inspection to ensure compliance to this application as approved.

Print Name Tammy Green	Signature of Owner or Representative <u>Tammy Green</u>	Date 5/16/2023
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For Office Use

Zoning District	RD	Existing Nonconforming Uses or Features
Front Yard Setback	40'	Other Permits Required <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Building <input type="checkbox"/> Fire Marshal <input checked="" type="checkbox"/> Other
Side Yard Setback	12'	Requires Town Zoning Inspection(s) <input type="checkbox"/> Foundation <input checked="" type="checkbox"/> Prior to C. of O.
Rear Yard Setback	40'	Zoning Permit Status <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied
Comments		Fee Paid: 100 Date Paid: Staff Initials:

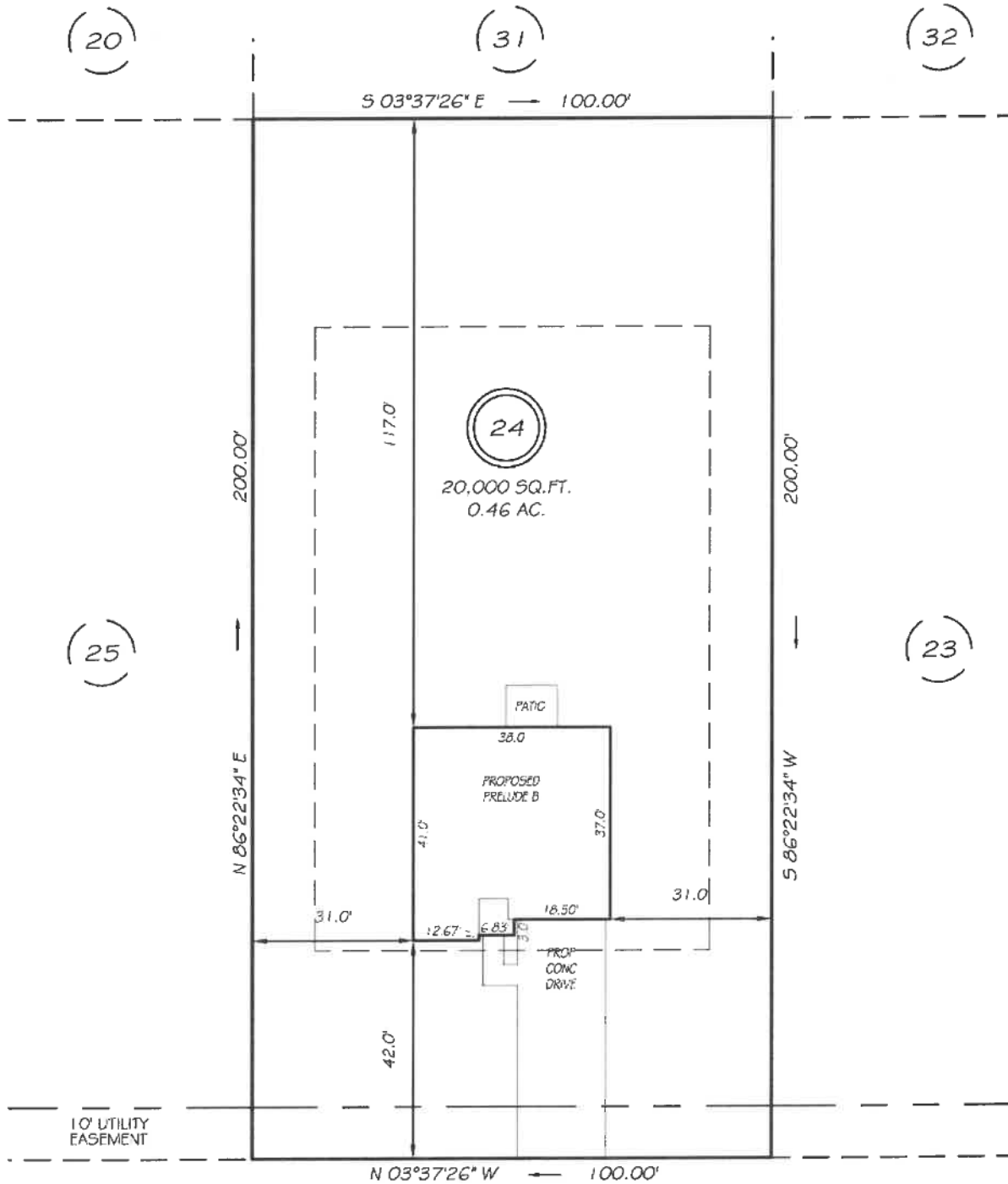
Signature of Town Representative: <u>Shon Bond</u>	Date Approved/Denied: <u>5/17/2023</u>
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(New stick built SFD, please contact Harnett County Development Services to obtain building permits - Harnett County will need to approve septic system - NC DOT driveway permit need

I, MICHAEL P. GRIFFIN, certify that under my direction and supervision this map was drawn from an actual field survey; that the error of closure of the survey as calculated by coordinates is 1: 10,000+; that the area shown hereon was calculated by coordinates.

Witness my hand and seal this day of MONTH 2023.

BK 2022 PAGE 226-227
HARNETT CO. REGISTRY



MARY RAYMOND LANE
50' RW (PUBLIC & UTILITY ACCESS)

SETBACKS	
FRONT	40'
REAR	40'
SIDE	12'

LEGEND

