



REVISIONS  
 06-19-22

**PROJECT NAME**  
**CORRECTION PLAT**  
**DUNCAN'S**  
**CROSSING**  
**SUBDIVISION**

**PIN** 0639-71-6223.000 &  
 0639-61-6366.000  
**SR 1253 (HOLDER ROAD)**  
**UPPER LITTLE RIVER**  
**TOWNSHIP**  
**HARNETT COUNTY**  
**NORTH CAROLINA**

**OWNER**  
**BS LAND, LLC.**  
 488 Starnal Road  
 Angier, North Carolina 27501  
 Phone: (919) 538-8905

**CLIENT**  
**WELLONS**  
**CONSTRUCTION,**  
**INC.**

**PO Box 730**  
 Dunn, North Carolina 28335  
 Phone: (919) 892-6630

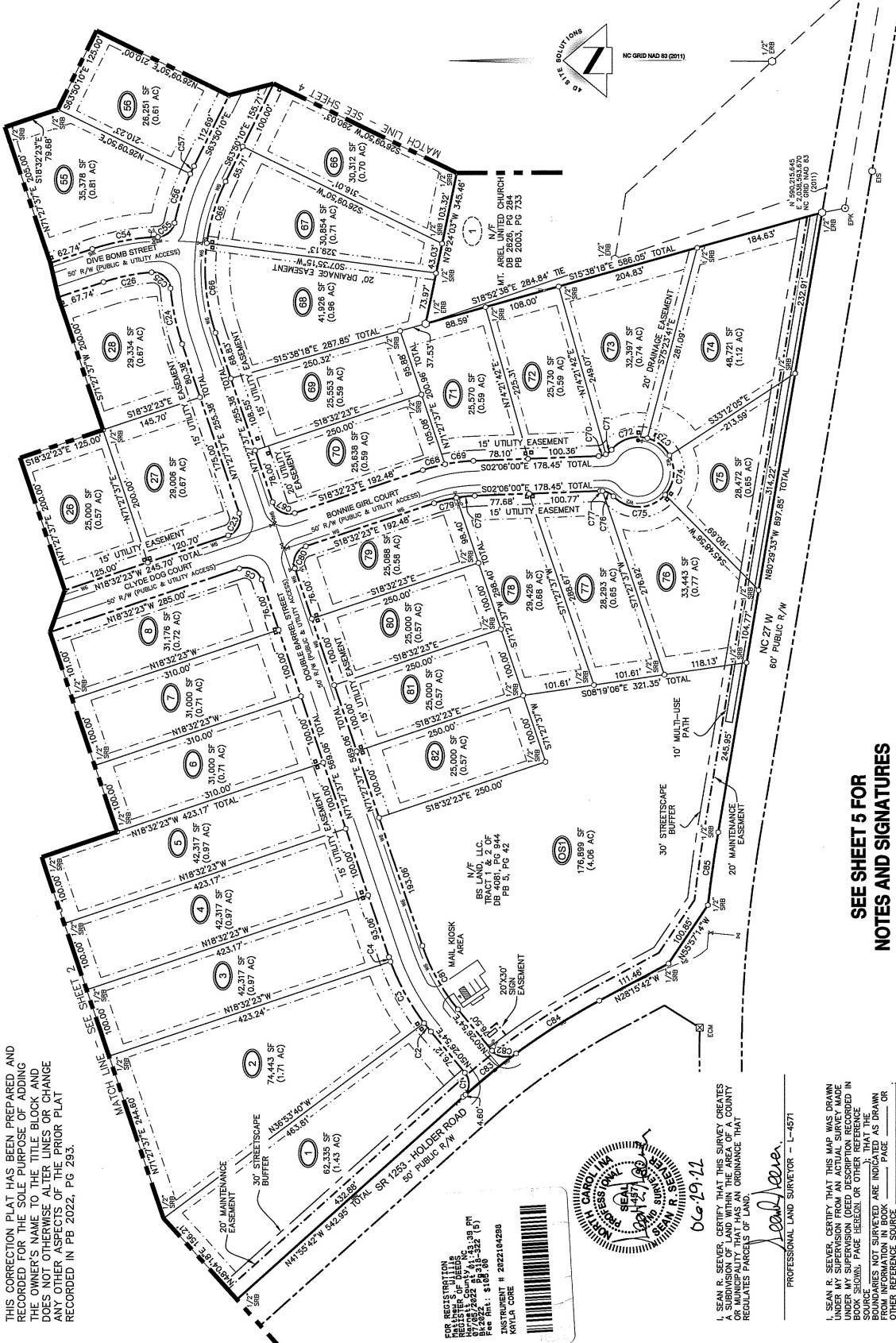
**PROJECT INFORMATION**

|                        |       |
|------------------------|-------|
| <b>SURVEYED BY:</b>    | CLIFF |
| <b>DRAWN BY:</b>       | SEAN  |
| <b>CHECKED BY:</b>     | JIMMY |
| <b>PROJECT NUMBER:</b> | 1871  |

**DRAWING SCALE**  
 HORIZONTAL: 1"=100'

**DATE SURVEYED**  
 JUNE 10, 2022

**SHEET NUMBER**  
 1 OF 5



**CURVE TABLE**

| CURVE | LENGTH | RADIUS  | BEARING     | CHORD  |
|-------|--------|---------|-------------|--------|
| C82   | 37.93  | 25.00   | S08°56'51"W | 34.40  |
| C83   | 93.07  | 979.93  | S39°12'27"E | 93.03  |
| C84   | 146.67 | 979.93  | S32°22'27"E | 140.55 |
| C85   | 104.72 | 1964.50 | N82°01'10"W | 104.70 |

**CURVE TABLE**

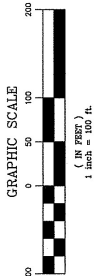
| CURVE | LENGTH | RADIUS | BEARING     | CHORD |
|-------|--------|--------|-------------|-------|
| C72   | 56.63  | 50.00  | S75°50'32"E | 53.65 |
| C73   | 41.15  | 50.00  | S38°11'00"W | 40.00 |
| C74   | 60.08  | 50.00  | N63°49'56"W | 56.53 |
| C75   | 83.33  | 50.00  | N01°39'08"W | 74.01 |
| C76   | 17.45  | 25.00  | N26°05'41"E | 17.10 |
| C77   | 3.58   | 25.00  | N01°59'59"E | 3.57  |
| C78   | 26.16  | 205.00 | N05°45'21"W | 26.14 |
| C79   | 32.66  | 205.00 | N13°58'32"W | 32.63 |
| C80   | 39.27  | 25.00  | N63°32'23"W | 35.36 |

**CURVE TABLE**

| CURVE | LENGTH | RADIUS | BEARING     | CHORD  |
|-------|--------|--------|-------------|--------|
| C55   | 33.30  | 25.00  | S47°15'19"E | 30.89  |
| C56   | 74.56  | 335.00 | S72°13'58"E | 73.41  |
| C57   | 12.32  | 335.00 | S04°53'22"E | 12.32  |
| C58   | 92.40  | 265.00 | N01°39'08"W | 92.00  |
| C59   | 129.86 | 265.00 | S64°31'26"W | 126.84 |
| C60   | 39.27  | 25.00  | S26°27'37"W | 35.36  |
| C61   | 31.51  | 335.00 | N79°25'51"W | 31.31  |
| C62   | 39.18  | 335.00 | N40°30'24"E | 35.29  |
| C63   | 70.39  | 265.00 | N11°27'46"W | 70.22  |
| C64   | 95.50  | 335.00 | N10°22'21"W | 95.18  |

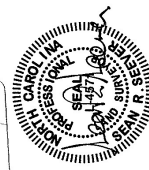
**CURVE TABLE**

| CURVE | LENGTH | RADIUS | BEARING     | CHORD  |
|-------|--------|--------|-------------|--------|
| C1    | 38.23  | 25.00  | S85°44'24"E | 34.61  |
| C2    | 15.54  | 335.00 | N51°46'37"E | 15.54  |
| C3    | 100.38 | 335.00 | N61°41'21"E | 100.00 |
| C4    | 6.94   | 335.00 | N70°52'00"E | 6.94   |
| C5    | 39.27  | 25.00  | N26°27'37"E | 35.36  |
| C6    | 39.27  | 25.00  | S83°32'23"E | 35.36  |
| C7    | 81.51  | 335.00 | S79°25'51"W | 81.31  |
| C8    | 39.18  | 335.00 | N40°30'24"E | 35.29  |
| C9    | 70.39  | 265.00 | N11°27'46"W | 70.22  |
| C10   | 95.50  | 335.00 | N10°22'21"W | 95.18  |



THIS CORRECTION PLAT HAS BEEN PREPARED AND RECORDED FOR THE SOLE PURPOSE OF ADDING THE OWNER'S NAME TO THE TITLE BLOCK AND DOES NOT OTHERWISE ALTER LINE OR CHANGE ANY OTHER ASPECTS OF THE PRIOR PLAT RECORDED IN PB 2022, PG 293.

FOR RECORDS ONLY  
 REGISTERED COMPANY  
 3749572622 5-11-332 (5)  
 Fee Amt: \$168.00  
 INSTRUMENT # 2022184280  
 KAYLA CORE



06-19-22  
 I, SEAN R. SEEVER, CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY AND TOWNSHIP AND AN EASEMENT THAT REGULATES PARCELS OF LAND

*Sean R. Seaver*  
 PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK SHOWING PAGE HEREON) OR OTHER REFERENCE SOURCE (DEEDS NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ OR OTHER REFERENCE SOURCE \_\_\_\_\_). THIS SURVEY IS 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED; WITNESS MY HAND AND SEAL THIS 22 DAY OF JUNE, 2022.

*Sean R. Seaver*  
 PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY PERFORMED TO C-200 PACE SPECIFICATIONS WITH GPS WITH VRS FIELD PROCEDURES WERE USED. THE COORDINATES WERE OBTAINED THROUGH A GRID TO GROUND ADJUSTMENT SURVEY WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5790 RECEIVERS.

*Sean R. Seaver*  
 PROFESSIONAL LAND SURVEYOR - L-4571

**SEE SHEET 5 FOR NOTES AND SIGNATURES**



REVISIONS

06-19-22

CORRECTION PLAT  
DUNCAN'S  
CROSSING  
SUBDIVISION

PIN 0589-71-6222.000 &  
0589-91-6866.000  
SR 1253 (HOLDER ROAD)  
UPPER LITTLE RIVER  
TOWNSHIP  
HARNETT COUNTY  
NORTH CAROLINA

OWNER

BS LAND, LLC.  
468 Shamal Road  
Angier, North Carolina 27501  
Phone: (919) 598-5845

CLIENT

WELLONS  
CONSTRUCTION,  
INC.  
PO Box 780  
Dunn, North Carolina 28335  
Phone: (919) 892-6630

PROJECT INFORMATION

|                 |       |
|-----------------|-------|
| SURVEYED BY:    | CLIFF |
| DRAWN BY:       | SEAN  |
| CHECKED BY:     | JIMMY |
| PROJECT NUMBER: | 1871. |

DRAWING SCALE

HORIZONTAL: 1"=100'

DATE SURVEYED

JUNE 10, 2022

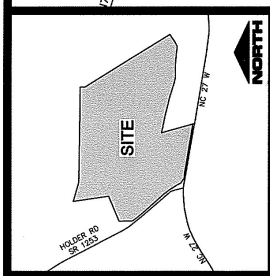
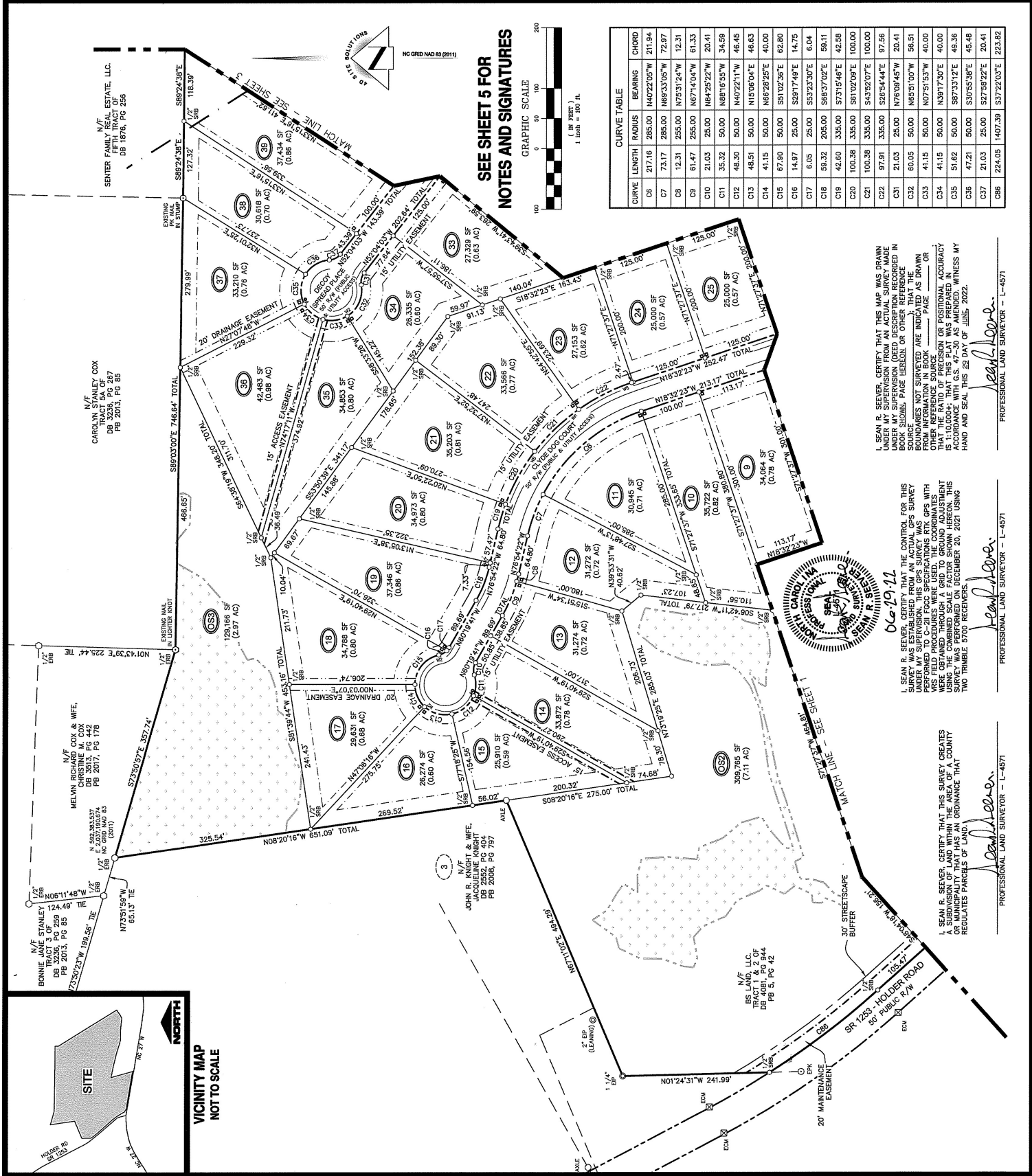
SHEET NUMBER

2 OF 5

SEE SHEET 5 FOR  
NOTES AND SIGNATURES

GRAPHIC SCALE  
1 inch = 100 ft.

| CURVE | LENGTH | RADIUS  | BEARING     | CHORD  |
|-------|--------|---------|-------------|--------|
| C6    | 27.116 | 285.00  | M40°22'05"W | 211.94 |
| C7    | 73.717 | 285.00  | M68°33'05"W | 72.97  |
| C8    | 12.31  | 255.00  | M75°31'24"W | 12.31  |
| C9    | 61.47  | 255.00  | M67°14'04"W | 61.33  |
| C10   | 21.03  | 25.00   | M84°25'22"W | 20.41  |
| C11   | 35.32  | 50.00   | M81°16'55"W | 34.59  |
| C12   | 48.30  | 50.00   | M40°22'11"W | 46.45  |
| C13   | 48.51  | 50.00   | M15°08'04"E | 46.63  |
| C14   | 41.15  | 50.00   | M65°28'25"E | 40.00  |
| C15   | 67.90  | 50.00   | M81°02'36"E | 62.80  |
| C16   | 14.97  | 25.00   | S29°17'49"E | 14.75  |
| C17   | 6.05   | 25.00   | S53°23'30"E | 6.04   |
| C18   | 58.32  | 205.00  | S65°37'02"E | 59.11  |
| C19   | 42.60  | 335.00  | S73°15'46"E | 42.59  |
| C20   | 100.38 | 335.00  | S81°02'09"E | 100.00 |
| C21   | 100.38 | 335.00  | S43°52'07"E | 100.00 |
| C22   | 97.91  | 335.00  | S28°54'44"E | 97.56  |
| C31   | 21.03  | 25.00   | M76°09'45"W | 20.41  |
| C32   | 60.05  | 50.00   | M65°10'05"W | 56.51  |
| C33   | 41.15  | 50.00   | M07°51'53"W | 40.00  |
| C34   | 41.15  | 50.00   | M39°17'30"E | 40.00  |
| C35   | 51.62  | 50.00   | S07°55'38"E | 49.36  |
| C36   | 47.21  | 50.00   | S30°55'58"E | 45.48  |
| C37   | 21.03  | 25.00   | S57°58'22"E | 20.41  |
| C98   | 224.05 | 1407.38 | S37°22'03"E | 223.82 |



I, SEAN R. SEEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT ACCURATELY REPRESENTS THE ACTUAL SURVEY. I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF NORTH CAROLINA. MY LICENSE NUMBER IS 1110004. THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY HAND AND SEAL THIS 22 DAY OF JUNE, 2022.

I, SEAN R. SEEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY PERFORMED TO C-20I CDI SPECIFICATIONS RTK GPS WITH WRS FIELD PROCEDURES WERE USED. THE COORDINATES USING THE COMBINED SCALE FACTOR SHOWN HEREON SURVEY WAS RECEIVED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS.

I, SEAN R. SEEVER, CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE JURISDICTION OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

Seean R. Seever  
PROFESSIONAL LAND SURVEYOR - L-4571

Seean R. Seever  
PROFESSIONAL LAND SURVEYOR - L-4571

Seean R. Seever  
PROFESSIONAL LAND SURVEYOR - L-4571



REVISIONS  
06-19-22

**PROJECT NAME**  
**CORRECTION PLAT**  
**DUNCAN'S**  
**CROSSING**  
**SUBDIVISION**

**PIN** 0539-71-6223.000 &  
0539-61-6366.000  
**SR 1253 (HOLDER ROAD)**  
**UPPER LITTLE RIVER**  
**TOWNSHIP**  
**HARNETT COUNTY**  
**NORTH CAROLINA**

**OWNER**  
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488 Standal Road  
Angier, North Carolina 27501  
Phone: (919) 638-5845

**CLIENT**  
**WELLONS**  
**CONSTRUCTION,**  
**INC.**  
PO Box 730  
Dunn, North Carolina 28368  
Phone: (919) 682-6880

**PROJECT INFORMATION**

|                 |       |
|-----------------|-------|
| SURVEYED BY:    | CLIFF |
| DRAWN BY:       | SEAN  |
| CHECKED BY:     | JIMMY |
| PROJECT NUMBER: | 1871  |

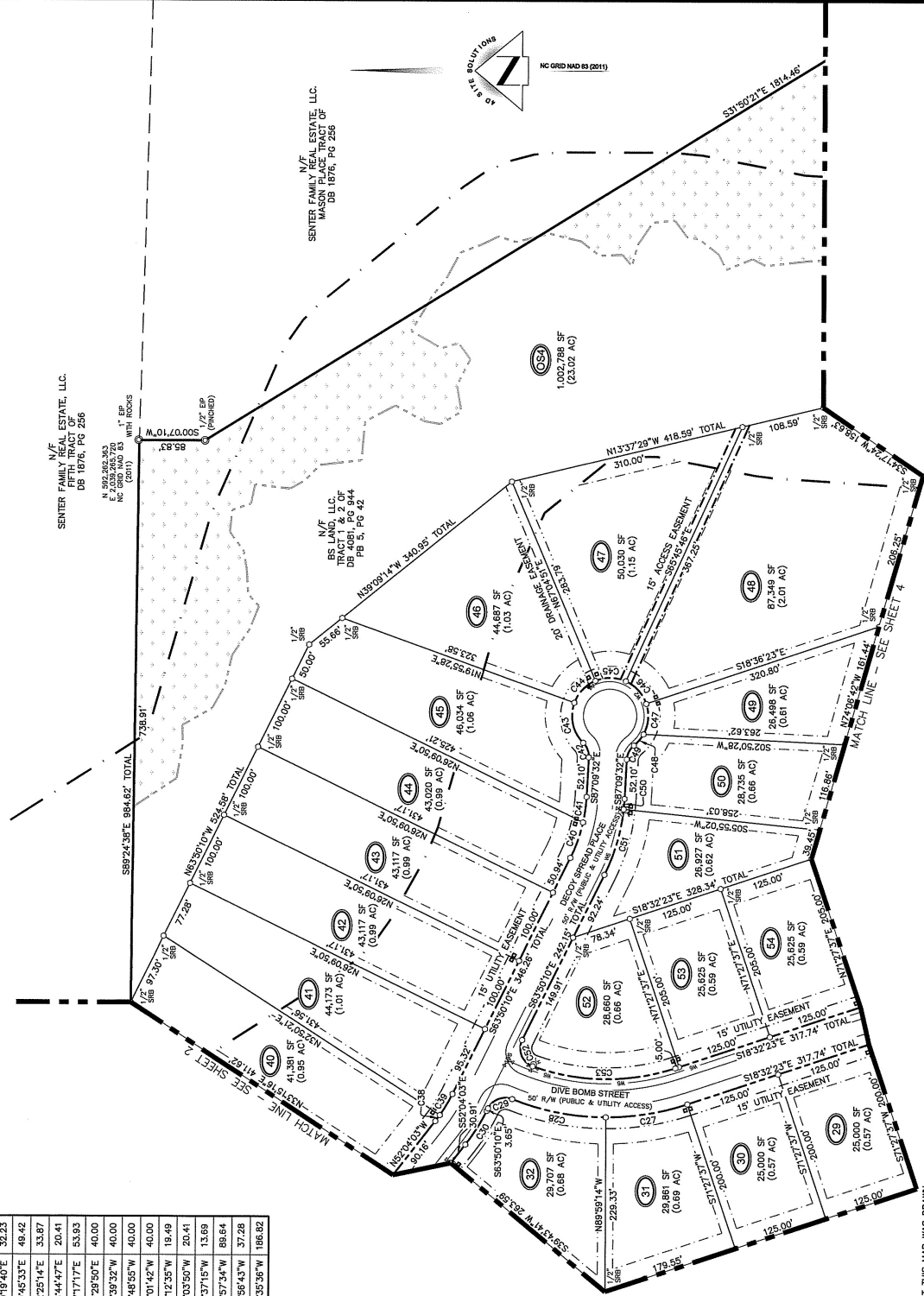
**DRAWING SCALE**  
HORIZONTAL: 1"=100'

**DATE SURVEYED**  
JUNE 10, 2022

**SHEET NUMBER**  
3

**CURVE TABLE**

| CURVE | LENGTH | RADIUS | BEARING     | CHORD  |
|-------|--------|--------|-------------|--------|
| C27   | 106.47 | 335.00 | N09°15'48"W | 108.00 |
| C28   | 125.75 | 335.00 | N10°45'58"E | 125.01 |
| C29   | 37.24  | 25.00  | N21°09'30"W | 33.89  |
| C30   | 52.38  | 255.00 | S07°57'07"E | 52.28  |
| C38   | 9.85   | 205.00 | S52°28'36"E | 9.84   |
| C39   | 32.26  | 205.00 | S59°19'40"E | 32.23  |
| C40   | 49.54  | 205.00 | S70°45'33"E | 49.42  |
| C41   | 33.91  | 205.00 | S82°25'14"E | 33.87  |
| C43   | 21.03  | 25.00  | N68°44'47"E | 20.41  |
| C43   | 95.96  | 50.00  | N77°17'17"E | 53.93  |
| C44   | 41.15  | 50.00  | S46°28'50"E | 40.00  |
| C46   | 41.15  | 50.00  | S00°39'32"W | 40.00  |
| C46   | 41.15  | 50.00  | S77°48'55"W | 40.00  |
| C47   | 41.15  | 50.00  | N85°01'42"W | 40.00  |
| C48   | 19.62  | 50.00  | N50°12'35"W | 19.49  |
| C49   | 21.03  | 25.00  | N63°03'50"W | 20.41  |
| C50   | 13.69  | 255.00 | N85°37'15"W | 13.69  |
| C51   | 90.11  | 255.00 | N73°57'34"W | 89.64  |
| C52   | 42.08  | 25.00  | S87°26'43"W | 37.28  |
| C53   | 180.34 | 285.00 | S00°35'36"W | 186.82 |



**SEE SHEET 5 FOR**  
**NOTES AND SIGNATURES**

GRAPHIC SCALE  
1 inch = 100 ft.



I, SEAN R. SEVER, CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN HARNETT COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

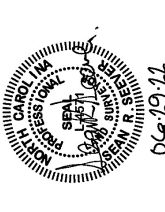
Sean R. Sever  
PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY PERFORMED TO C-201 FCC SPECIFICATIONS. THE GPS WITH VRS FIELD PROCEDURES WERE USED. THE COORDINATES WERE OBTAINED FROM THE NATIONAL TRIMBLE SURVEY USING THE COMBINED SCALE FACTOR SHOWN HEREON. THIS SURVEY WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS.

Sean R. Sever  
PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY. BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK PAGE OR THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10,000. THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY HAND AND SEAL THIS 22 DAY OF JUNE, 2022.

Sean R. Sever  
PROFESSIONAL LAND SURVEYOR - L-4571



REVISIONS  
06-19-21

### PROJECT NAME CORRECTION PLAT DUNCAN'S CROSSING SUBDIVISION

PIN 0639-71-8223.000 &  
0639-81-8366.000  
SR 1293 (HOLDER ROAD)  
UPPER LITTLE RIVER  
TOWNSHIP  
HARNETT COUNTY  
NORTH CAROLINA

OWNER

**BS LAND, LLC.**

488 Starnel Road  
Angier, North Carolina 27501  
Phone: (919) 892-8805

CLIENT

**WELLONS  
CONSTRUCTION,  
INC.**

PO Box 790  
Dunn, North Carolina 28335  
Phone: (919) 892-6630

PROJECT INFORMATION

|                 |       |
|-----------------|-------|
| SURVEYED BY:    | CLIFF |
| DRAWN BY:       | SEAN  |
| CHECKED BY:     | JIMMY |
| PROJECT NUMBER: | 1871  |

DRAWING SCALE

HORIZONTAL: 1"=100'

DATE SURVEYED

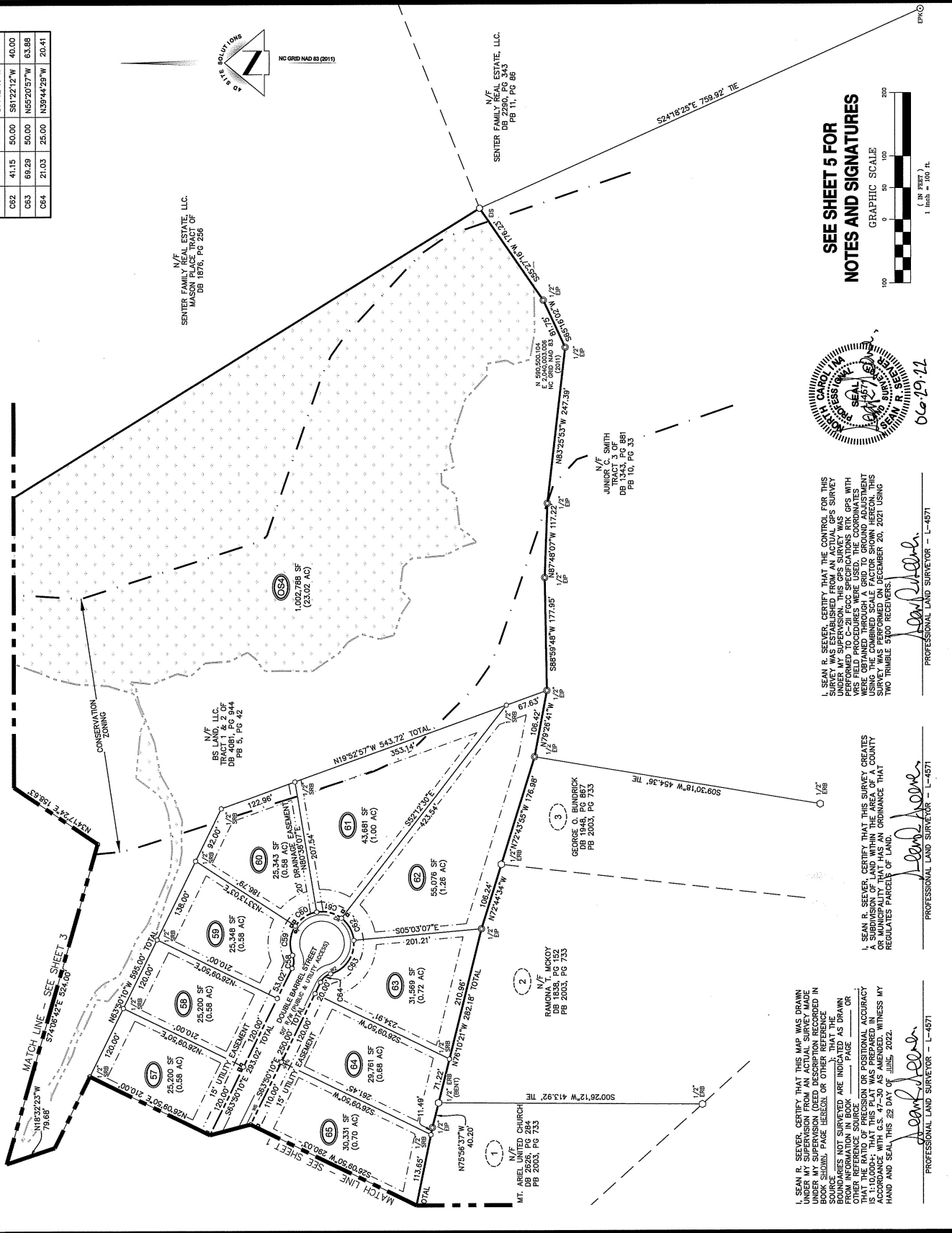
JUNE 10, 2022

SHEET NUMBER

4

OF 5

| CURVE TABLE | CURVE LENGTH | RADIUS | BEARING     | CHORD |
|-------------|--------------|--------|-------------|-------|
| C58         | 21.03        | 25.00  | S87°55'52"E | 20.41 |
| C59         | 48.21        | 50.00  | S84°24'15"E | 46.36 |
| C60         | 41.38        | 50.00  | S33°04'25"E | 40.21 |
| C61         | 41.15        | 50.00  | S1°12'49"W  | 40.00 |
| C62         | 41.15        | 50.00  | S81°22'12"W | 40.00 |
| C63         | 66.29        | 50.00  | N52°20'57"W | 63.88 |
| C64         | 21.03        | 25.00  | N39°44'25"W | 20.41 |



I, SEAN R. SEEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY PERFORMED TO C-200 PRECISION SPECIFICATIONS BY GPS WITH VERIFIED PROCEDURES WERE USED. THE COORDINATES WERE OBTAINED THROUGH A GRID TO GROUND ADJUSTMENT SURVEY THAT WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS.

I, SEAN R. SEEVER, CERTIFY THAT THIS SURVEY CREATES AN EASEMENT THAT HAS AN ORIGINANCE THAT REGULATES PARCELS OF LAND.

I, SEAN R. SEEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE IN BOOK SHOWING PAGE RECORD OR OTHER REFERENCE SOURCE. THE SURVEY ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK, PAGE, CASE OR OTHER REFERENCE SOURCE. THAT THE RATIO OF PRECISION WAS PROFESSIONAL ACCURACY ACCORDANCE WITH G.S. 47-50 AS AMENDED. WITNESS MY HAND AND SEAL THIS 22 DAY OF JUNE, 2022.

PROFESSIONAL LAND SURVEYOR - L-4871

PROFESSIONAL LAND SURVEYOR - L-4871

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PROFESSIONAL LAND SURVEYOR - L-4871



4D site solutions  
Civil Engineering / Land Surveying  
100 Chicago Drive, Suite 102, Fayetteville, NC 28404  
Office: 910-486-8777 | Fax: 910-486-8777 | www.4dsite.com



06-19-22

REVISIONS

STATE OF NORTH CAROLINA  
COUNTY OF HARNETT

I, Johnnie Webb, REVIEW OFFICER OF HARNETT COUNTY, CERTIFY THAT THE MAP OR PLAN TO WHICH THIS CERTIFICATE IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

Johnnie Webb  
REVIEW OFFICER  
DATE: 7-5-22

HARNETT COUNTY, NORTH CAROLINA  
FILED FOR REGISTRATION ON THE 5th DAY OF JULY AT 11:55 (AM/PM) AND DULY RECORDED IN MAP BOOK 1117 AT PAGE 318-322  
Matthew S. Willis  
Matthew S. Willis  
Blaine Kaula B. Carrel - Deputy  
REGISTER OF DEEDS OF HARNETT COUNTY

DEPARTMENT OF TRANSPORTATION  
DIVISION OF HIGHWAYS

PROPOSED SUBDIVISION ROAD  
CONSTRUCTION STANDARDS CERTIFICATION  
APPROVED Lee L. Hines Jr. P.E.  
DISTRICT ENGINEER  
DATE 7-5-22

ACCEPTED FOR THE NORTH CAROLINA  
DEPARTMENT OF TRANSPORTATION  
DIVISION OF HIGHWAYS

BY Lee R. Hines Jr. P.E.  
DISTRICT ENGINEER  
DATE 7-5-22

CERTIFICATE OF OWNERSHIP AND DEDICATION  
I, HEREBY CERTIFY THAT I AM THE OWNER OF THE WHICH IS PROPERTY SHOWN AND DESCRIBED HEREON, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF HARNETT COUNTY, NORTH CAROLINA, SUBJECT TO RECORDATION OF THIS SUBDIVISION WITH MY FREE CONSENT, ESTABLISH MINIMUM BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I HEREBY DEDICATE ALL WATER LINES TO THE COUNTY OF HARNETT.

7-5-22  
DATE  
Bradly Skelton  
OWNER'S SIGNATURE  
BS LAND, LLC.

I HEREBY CERTIFY THAT STORMWATER CONVEYANCE AND CONTROL MEASURES HAVE BEEN COMPLETED IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION SPECIFICATIONS TO THE BEST OF OUR ABILITIES. DUE CARE AND DILIGENCE WERE USED IN OBSERVATION AND TESTING OF THE CONSTRUCTION TO BE SURE IT WOULD BE BUILT WITHIN SUBSTANTIAL COMPLIANCE OF THE PERMIT AND OTHER SUPPORTING MATERIALS.

7-5-22  
DATE  
Bradly Skelton  
OWNER'S SIGNATURE  
BS LAND, LLC.

PUBLIC PLAT DECLARATION

ALL LOTS IN THIS SUBDIVISION ARE HEREBY DECLARED TO BE SEPARATELY OWNED AND THE RESPONSIBILITY OF THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE OWNER OF EACH LOT. THE SUBDIVISION SHALL BE SUBJECT TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE ANY STREETS OR HIGHWAYS ARE CONSTRUCTED THEREON. THE STATE HIGHWAY SYSTEM, IF THE DISTRICT ENGINEER HAS NOT RECOMMENDED THAT THE A.C. DEPARTMENT OF TRANSPORTATION HAS ISSUED BUILDING PERMITS FOR THE REQUIRED PUBLIC ROAD IMPROVEMENTS BY THE SEVENTY-FIVE PERCENT (75%) OF THE LOTS SHOWN ON THIS SUBDIVISION MAP. THE DISTRICT ENGINEER MAKES SUCH A RECOMMENDATION AND FORMALLY NOTIFIES THE SUBDIVISION ADMINISTRATOR.

TOTAL AREA (BY COORDINATE COMPUTATION)  
4,977,047 Sq. (107.37 AC)

PIN 0539-71-6223.000 & 0539-81-8366.000

TOWNSHIP: UPPER LITTLE RIVER

LAND USE CLASSES: AGRICULTURAL & RURAL RESIDENTIAL  
ENVIRONMENTALLY SENSITIVE

ZONING: RA-30 & CONSERVATION

35' FRONT  
10' SIDE  
25' REAR

TO VERIFY SETBACK INFORMATION CONTACT THE HARNETT COUNTY REGISTER OF DEEDS  
PLANNING DEPARTMENT 910-653-7525

SOURCE OF TITLE  
G.S. 47-30  
HARNETT COUNTY  
REGISTER OF DEEDS

I, SEAN R. SEEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY UNDER MY SUPERVISION. THIS GPS SURVEY WAS PERFORMED IN ACCORDANCE WITH THE FIELD PROCEDURES WITH WHICH I WAS FAMILIAR. THE COORDINATES WERE OBTAINED THROUGH A GRID TO GROUND ADJUSTMENT SURVEY THAT WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS

Sean R. Seever  
PROFESSIONAL LAND SURVEYOR - L-4571

I, HEREBY CERTIFY THAT THE DEVELOPMENT DEPICTED HEREON HAS BEEN GRANTED FINAL APPROVAL BY THE HARNETT COUNTY PLANNING AND ZONING DEPARTMENT, ENVIRONMENTAL HEALTH, FIRE MARSHAL, AND PUBLIC UTILITIES OF HARNETT COUNTY, NORTH CAROLINA, SUBJECT TO RECORDATION IN THE HARNETT COUNTY OFFICE OF REGISTER OF DEEDS WITHIN THIRTY DAYS OF THE DATE BELOW.

APPROVED: Johnnie Webb DATE 7-5-22  
DEVELOPMENT REVIEW CHAIRMAN

CERTIFICATE OF IMPROVEMENTS MAINTENANCE  
I HEREBY CERTIFY THAT I ASSUME ALL FINANCIAL AND LEGAL RESPONSIBILITIES FOR THE MAINTENANCE AND IMPROVEMENT OF THE CROSSING SUBDIVISION UNTIL SUCH TIME THAT THEY ARE ACCEPTED FOR MAINTENANCE BY THE NCDOT.

7-5-22  
DATE  
Bradly Skelton  
OWNER  
BS LAND, LLC.

NOTES:

- 1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- 2. COMBINED SCALE FACTOR: 0.99987479
- 3. LOCALIZATION POINT N: 590.372796 E: 2.07550103
- 4. POINTS LOCATED VIA NORTH CAROLINA GEODETIC SURVEY VIRTUAL REFERENCE SYSTEM
- 5. THE HORIZONTAL AND VERTICAL CONTROL FOR THIS SURVEY WERE ESTABLISHED BY THE HARNETT COUNTY REGISTER OF DEEDS.
- 6. LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION ON RECORDED INSTRUMENTS.
- 7. THIS SURVEY WAS DONE WITHOUT BENEFIT AND HAS BEEN BASED ON REFERENCED INFORMATION SHOWN HERE ON. OTHER DOCUMENTS OF RECORD ASSUMED BY THIS SURVEY OR THIS PROPERTY HAS NO RESPONSIBILITY TO EXIST BUT ARE UNKNOWN OR REFERENCED HERE ON, SUCH AS BUT NOT LIMITED TO HAZARDOUS WASTE MATERIALS, EASEMENTS, OPEN SPACES, AND FLOOD AREAS.
- 8. THE FLOOD INSURANCE RATE, DATED OCTOBER 3, 2008, SHOWS THE FLOOD INSURANCE RISK FOR THIS PROPERTY AS MODERATE TO HIGH.
- 9. WATER LINES ARE SHOWN USING INFORMATION PROVIDED BY HARNETT COUNTY CONCEPT STANDARDS.
- 10. THIS DEVELOPMENT WAS DESIGNED IN ACCORDANCE WITH COMPATIBILITY DESIGN CONCEPT STANDARDS.
- 11. PROPERTY IS WITHIN ONE MILE OF A VOLUNTARY AGRICULTURAL DISTRICT.
- 12. PORTION OF PROPERTY IS LOCATED IN MSW CLASSIFICATION.
- 13. THE MAINTENANCE OF STREETS/SCAPE BUFFERS, OPEN SPACE, MAIL BOX/S STREET LIGHTS, AND OTHER AMENITIES SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.
- 14. SIGNS SHALL BE PLACED AT LEAST 20' FROM ALL INTERSECTION R/W'S AND A MINIMUM OF 10' FROM ALL DRIVEWAYS.
- 15. MS 27W IS ON THE HARNETT COUNTY COMPREHENSIVE TRANSPORTATION PLAN AS WELL AS THE HARNETT COUNTY GREENWAY PLAN.
- 16. ACCESS TO PRIVATE DRIVEWAYS IS PROVIDED SUCH THAT THE COUNTY CAN MAINTAIN THE DRIVEWAYS.
- 17. STREET LIGHTS ARE INSTALLED NOT MORE THAN 300' APART.
- 18. FIRE HYDRANTS ARE INSTALLED NO FURTHER THAN 500' FROM ANY STRUCTURE.
- 19. DOUBLE BARREL STREET: 1,885 LF  
CLYDE DOG COURT: 1,141 LF  
BURNING WOOD STREET: 736 LF  
BURNING WOOD STREET: 736 LF  
DECOY SPREAD PLACE: 885 LF

THIS CORRECTION PLAT HAS BEEN PREPARED AND RECORDED FOR THE SOLE PURPOSE OF ADDING THE OWNER'S NAME TO THE TITLE BLOCK AND DOES NOT OTHERWISE ALTER LINES OR CHANGE ANY OTHER ASPECTS OF THE PRIOR PLAT RECORDED IN PB 2022, PG 293.

I, SEAN R. SEEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE IN ACCORDANCE WITH THE FIELD PROCEDURES WITH WHICH I WAS FAMILIAR. THE COORDINATES WERE OBTAINED THROUGH A GRID TO GROUND ADJUSTMENT SURVEY THAT WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS

Sean R. Seever  
PROFESSIONAL LAND SURVEYOR - L-4571

06-19-22

REVISIONS

HARNETT COUNTY, NORTH CAROLINA  
FILED FOR REGISTRATION ON THE 5th DAY OF JULY AT 11:55 (AM/PM) AND DULY RECORDED IN MAP BOOK 1117 AT PAGE 318-322  
Matthew S. Willis  
Matthew S. Willis  
Blaine Kaula B. Carrel - Deputy  
REGISTER OF DEEDS OF HARNETT COUNTY

DEPARTMENT OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
PROPOSED SUBDIVISION ROAD  
CONSTRUCTION STANDARDS CERTIFICATION  
APPROVED Lee L. Hines Jr. P.E.  
DISTRICT ENGINEER  
DATE 7-5-22

ACCEPTED FOR THE NORTH CAROLINA  
DEPARTMENT OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
BY Lee R. Hines Jr. P.E.  
DISTRICT ENGINEER  
DATE 7-5-22

LEGEND:  
EPC O EPC-EXISTING CONCRETE MONUMENT  
EPC O EPC-EXISTING IRON STAKE  
EPC O EPC-EXISTING PK NAIL  
EPC O EPC-EXISTING REBAR  
SBB O SBB-SET REBAR  
C COMPUTED POINT  
N/W - NOW OR FORMERLY  
R/W - RIGHT OF WAY  
- PROPERTY LINE  
- ADJACENT PROPERTY LINE  
- RIGHT-OF-WAY  
- SETBACK LINE  
- WATER LINE  
- WETLANDS  
- PERMANENT EASEMENT  
- ACCESS & MAINTENANCE EASEMENT  
- UTILITY EASEMENT  
- WATER VALVE  
- WATER LUTER  
- WATER BLOW OFF  
- WETLANDS

PROJECT NAME  
**CORRECTION PLAT  
DUNCAN'S  
CROSSING  
SUBDIVISION**

PIN 0539-71-6223.000 &  
0539-81-8366.000  
SR 1293 (HOLDER ROAD)  
UPPER LITTLE RIVER  
TOWNSHIP  
HARNETT COUNTY  
NORTH CAROLINA

OWNER  
**BS LAND, LLC.**  
468 Shand Road  
Angler, North Carolina 27601  
Phone: (919) 539-8845

CLIENT  
**WELLONS  
CONSTRUCTION,  
INC.**  
PO Box 730  
Dunn, North Carolina 28335  
Phone: (919) 892-8630

PROJECT INFORMATION  
SURVEYED BY: CLIFF  
DRAWN BY: SEAN  
CHECKED BY: JIMMY  
PROJECT NUMBER: 1871

DRAWING SCALE  
HORIZONTAL: 1"=200'

DATE SURVEYED  
JUNE 10, 2022

SHEET NUMBER  
5

OF 5



06-19-22