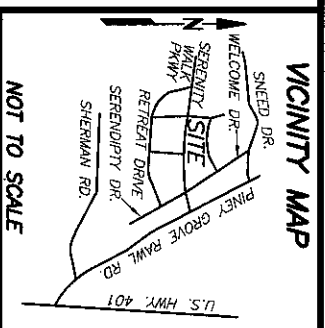
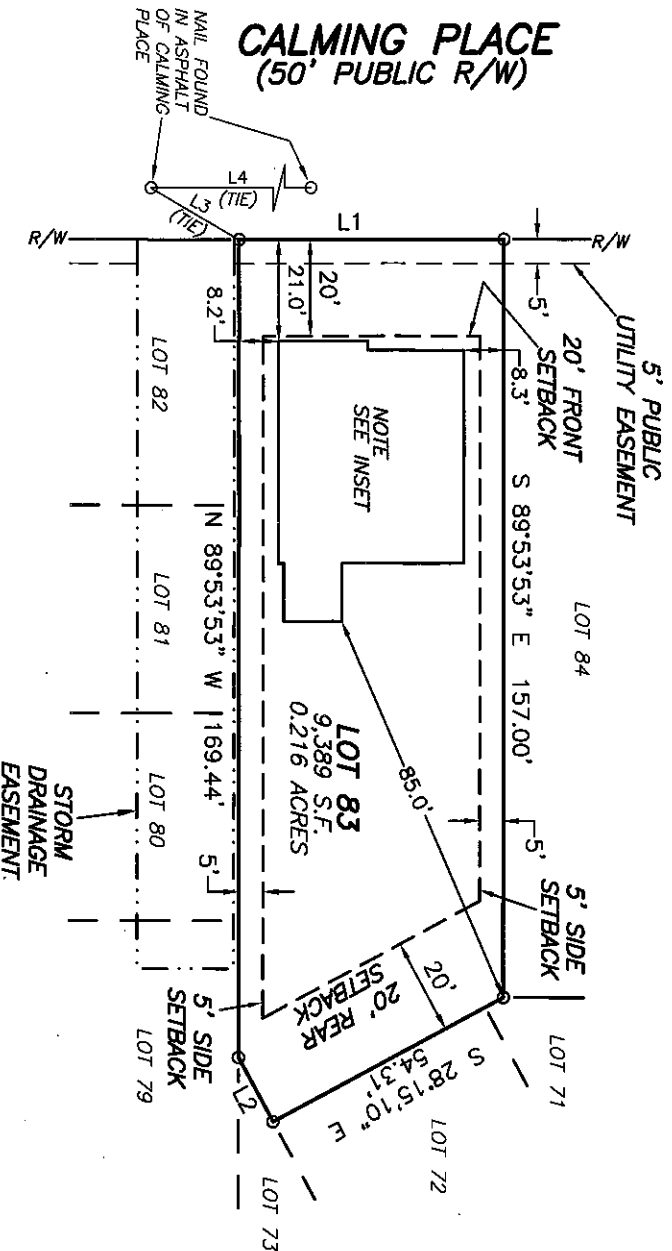
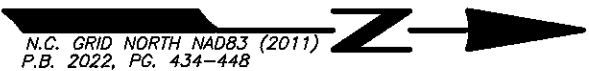


LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 00°06'07" E	55.00'
L2	S 61°44'50" W	15.18'
L3	S 30°32'52" W	21.11'
L4	N 00°05'20" E	68.75'



NOT TO SCALE

REFERENCES:
 1. D.B. 4165, PG. 506
 PIN 0655-23-1389,000
 PID 080655 0032 85
 RESTRICTIVE COVENANTS:
 2. D.B. 4109, PG. 612



SETBACKS
 >43' LOT WIDTHS
 FRONT YARD-20'
 SIDE YARD-5'
 REAR YARD-20'
 CORNER SIDE-12'

NOTES:

1. ALL EASEMENTS, RIGHTS OF WAY AND BOUNDARY INFORMATION TAKEN FROM P.B. 2022, PG 434-448 UNLESS OTHERWISE NOTED.
2. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN DONE BY ROBINSON & PLANTE, P.C.

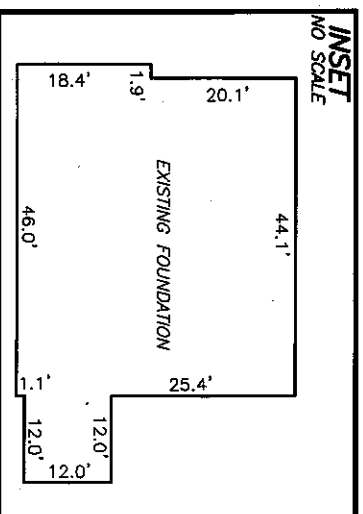
NOTE:
 RATIO OF PRECISION IS 1:10,000±. MISCLOSURE WAS DISTRIBUTED BY THE COMPASS METHOD. THE DISTANCES ON THIS MAP ARE ADJUSTED HORIZONTAL GROUND UNLESS NOTED OTHERWISE. ALL AREAS ARE CALCULATED BY COORDINATE COMPUTATION.

LOT 83 SERENITY SUBDIVISION
PHASE 1A
43 CALMING PLACE
HARNETT COUNTY
FUQUAY-VARINA, N.C. 27526

REFERENCE: PLAT BOOK 2022 PAGE 434-448.

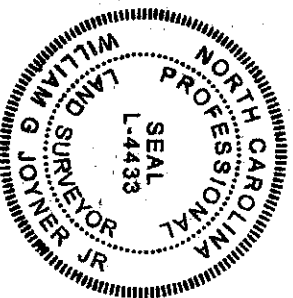


FILE: STY10783FD



FOUNDATION SURVEY FOR
DREES HOMES

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION DESCRIPTION RECORDED IN REFERENCES AS SHOWN THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN THAT THE RATIO OF PRECISION IS 1:10,000; AND THAT THIS MAP MEET THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.16000), THIS 12th DAY OF JULY 2023.
William G. Joyner Jr.
 PROFESSIONAL LAND SURVEYOR L-4433



ROBINSON & PLANTE PC
 LAND SURVEYING
 C-2687
 970 TRINITY ROAD
 RALEIGH, N.C. 27607
 PHONE (919) 859-6030
 FAX (919) 859-6032

DATE: 7-11-23

SCALE: 1"=40'