

# AVONDALE

DUNCANS CROSSING  
LOT 0019

PLAN ID 040121.0501



QUALITY | INTEGRITY | VALUE

## 110 VILLAGE TRAIL SUITE 215 WOODSTOCK, GA. 30188

DRAWING INDEX	
A0.0	COVER SHEET
A1.1	FRONT ELEVATIONS
A2.1	SIDE & REAR ELEVATIONS
A3.1	SLAB FOUNDATIONS
A5.1	FIRST FLOOR PLANS
A6.1	ROOF PLANS
A7.2	ELECTRICAL PLANS

AREA TABULATION	
FIRST FLOOR	2203
TOTAL	2203
GARAGE	421
FRONT PORCH (COVERED)	85
REAR PATIO (COVERED)	132

PLAN REVISIONS			
DATE	BY	REVISION	PAGE #
2/25/2021	AW	Prototype walk revisions - see revision sheet	ALL
5/1/2022	AW	Changed 2x6 basement walls to 2x4 excluding the finished basement linen rear wall for radon vent	A4.1, A4.2, A7.1, A7.1.1

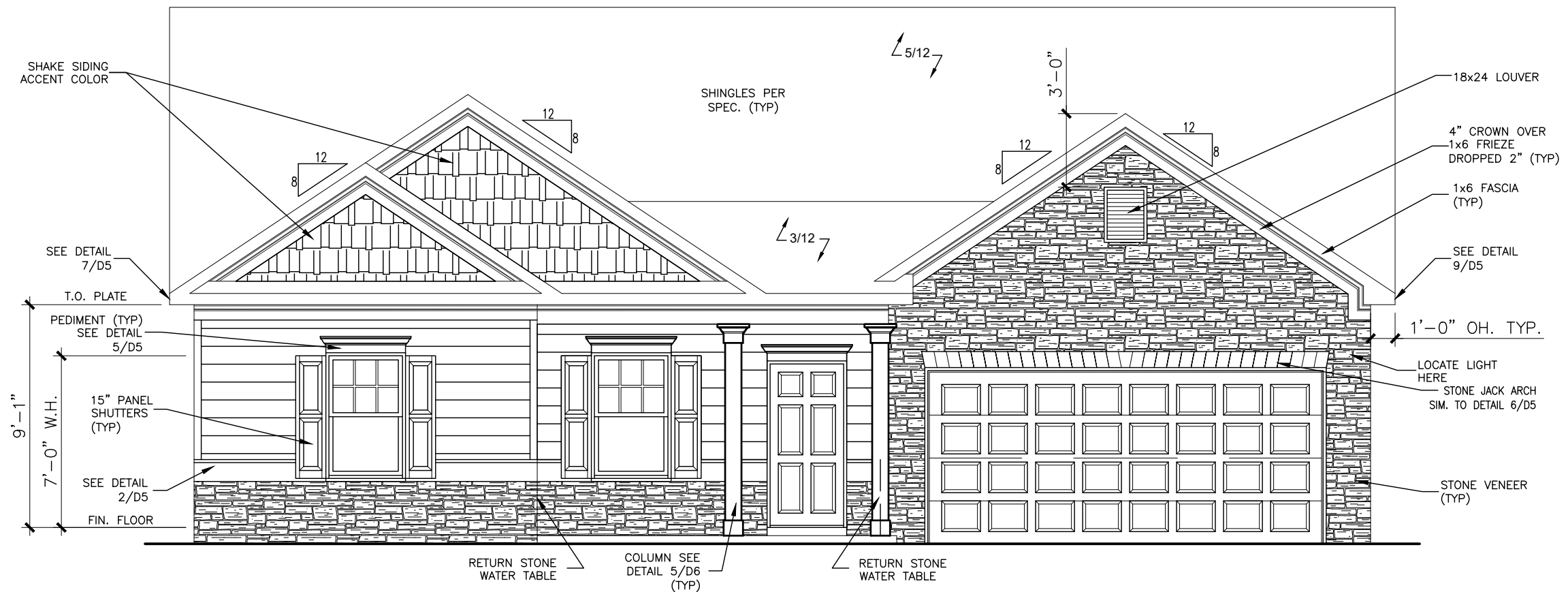
GOVERNMENTAL CODES & STANDARDS
HOME TO BE BUILT TO CONFORM TO ALL APPLICABLE LOCAL CODES, PRACTICES AND STANDARDS

BUILDING CODE ANALYSIS / DESIGN CRITERIA
HOME TO BE BUILT TO MEET OR EXCEED ALL LOCAL CODES AND DESIGN CRITERIA

ALL NON-MASONRY RETURNS TO BE HORIZONTAL SIDING

SEE SHEET D3 OF SDH TYPICAL DETAILS FOR SOFFIT DETAILS PER SOFFIT MATERIAL

# DUNCANS CROSSING LOT 0019



FRONT ELEVATION "E"

SCALE: 3/16" = 1'-0"

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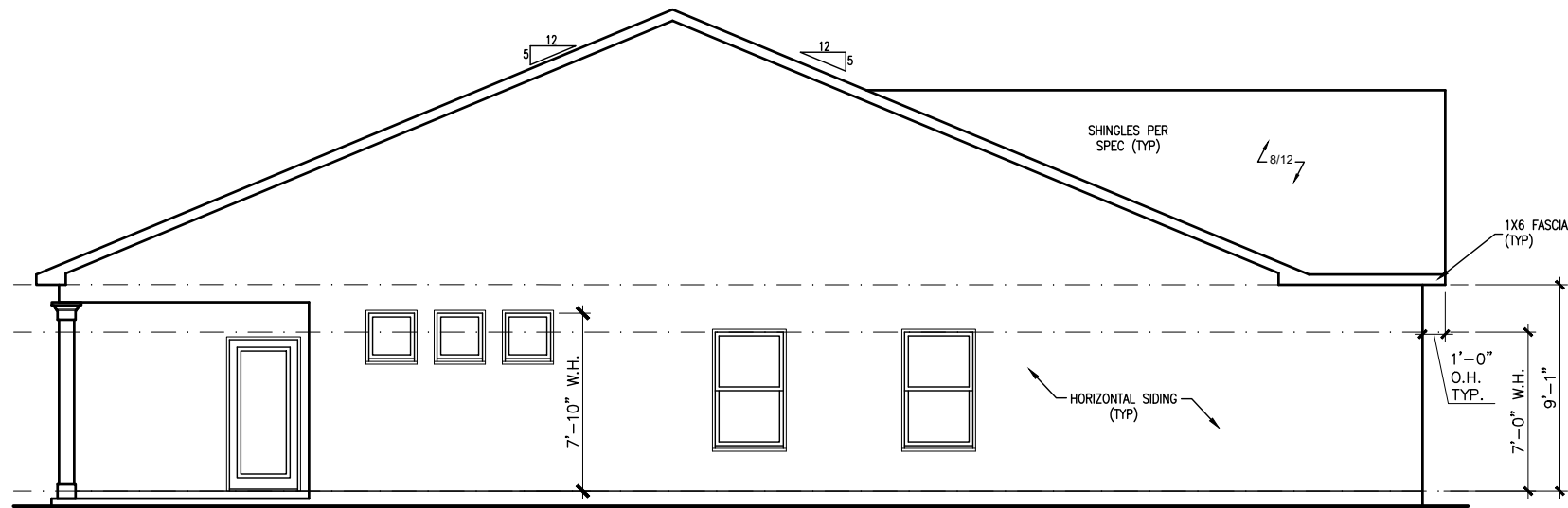
ELEVATIONS  
FRONT ELEVATION  
AVONDALE

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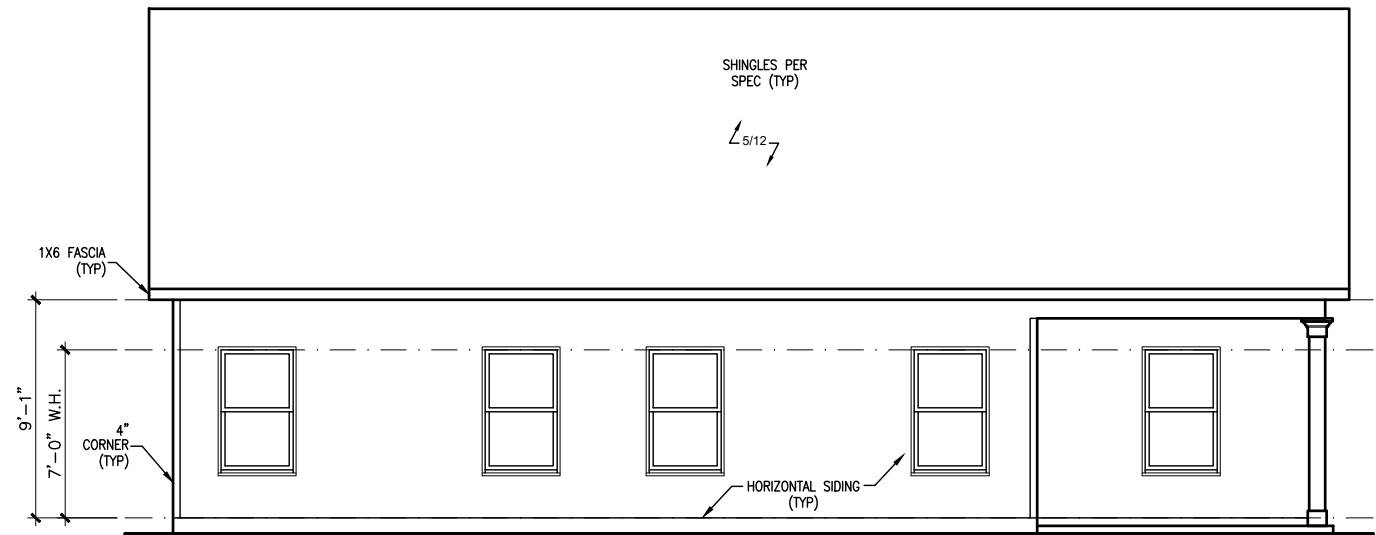
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PLAN ID:	
FND: ALL	ELEV: E
PAGE NO: A1.1	

# DUNCANS CROSSING LOT 0019



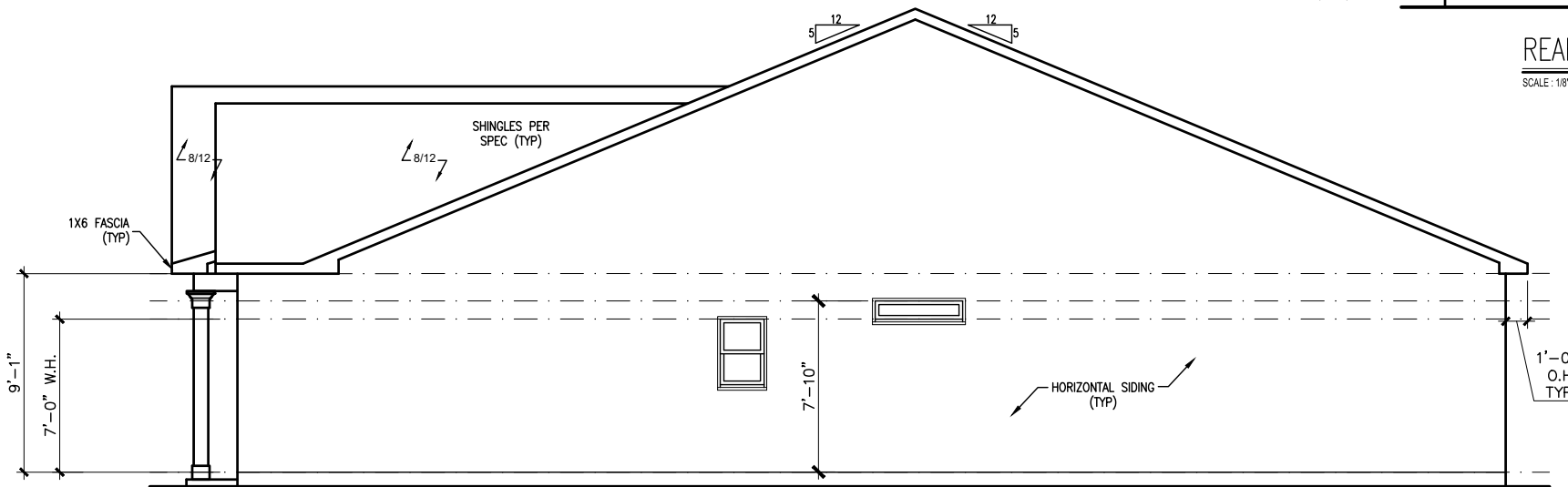
LEFT ELEVATION "E"

SCALE: 1/8" = 1'-0"



REAR ELEVATION "E"

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION "E"

SCALE: 1/8" = 1'-0"

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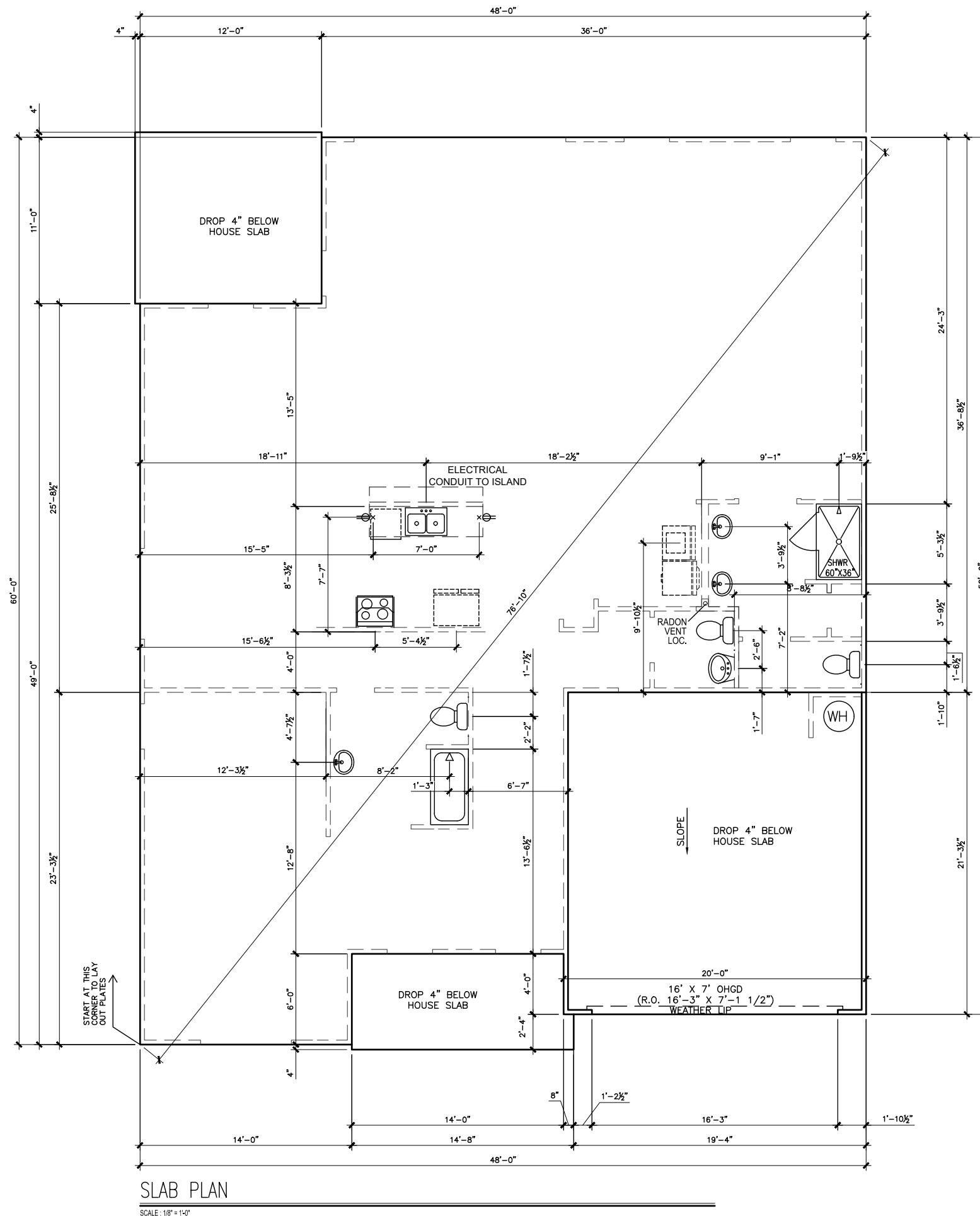
ELEVATIONS  
SIDES AND REAR  
AVONDALE

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PAGE NO: A2.1	

# DUNCANS CROSSING LOT 0019



SLAB PLAN

SCALE: 1/8" = 1'-0"

\*RADON VENT PROVIDED  
PER LOCAL CODE

REFER TO DETAIL 3/D1 FOR  
BRICK LEDGE DETAIL WHEN  
BRICK VENEER IS CHOSEN

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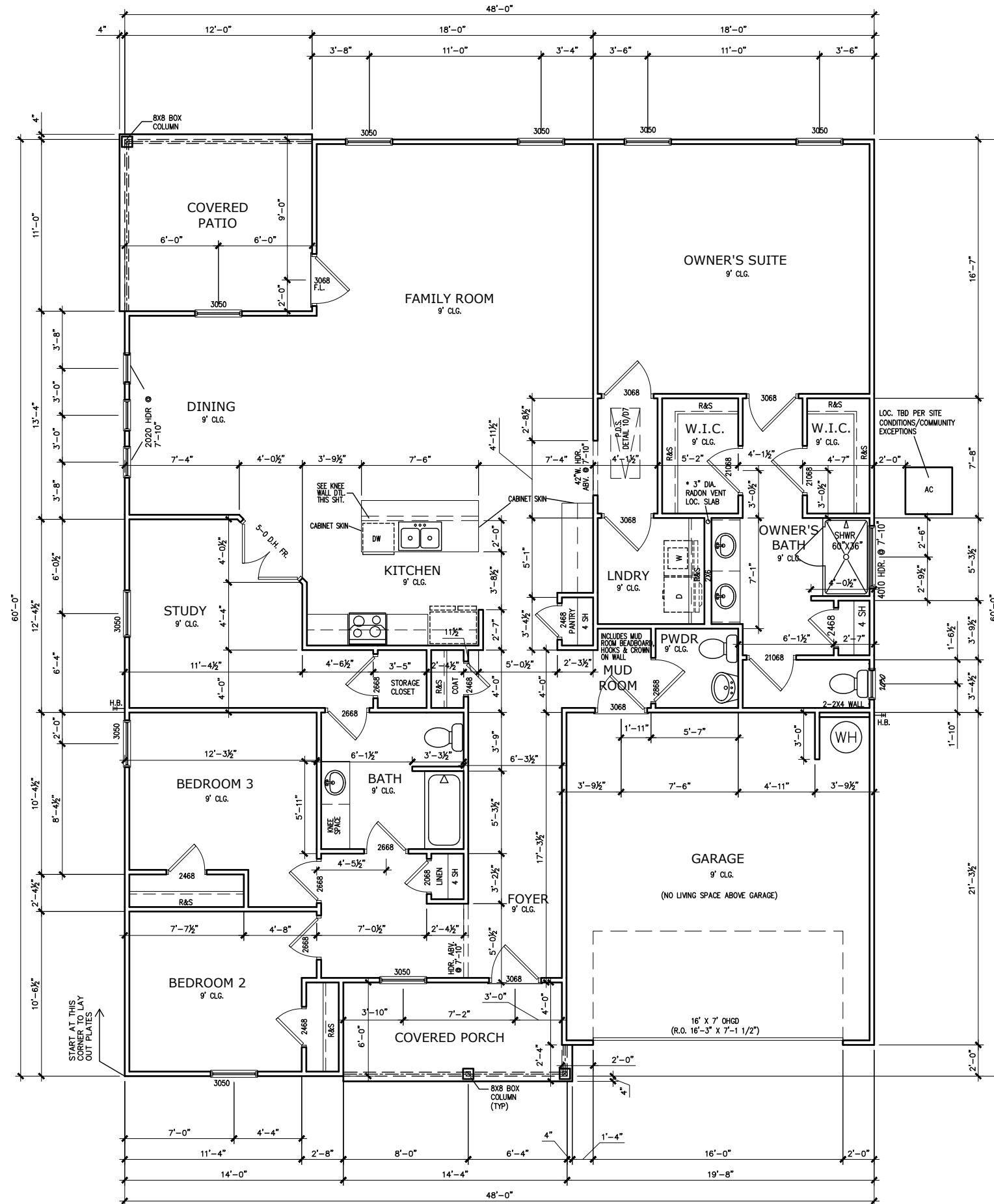
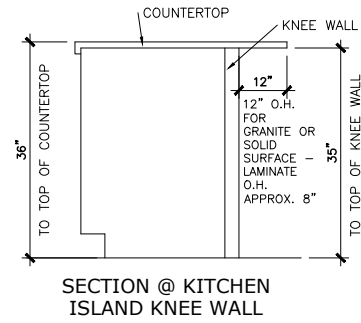
FOUNDATION PLAN  
SLAB PLAN  
AVONDALE

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# DUNCANS CROSSING LOT 0019



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

\*RADON VENT PROVIDED  
PER LOCAL CODE

REFER TO MANUFACTURER'S SPECS.  
FOR DRAIN LOCATIONS ON SHEETS  
D12, D12.1, D12.2, & D12.3

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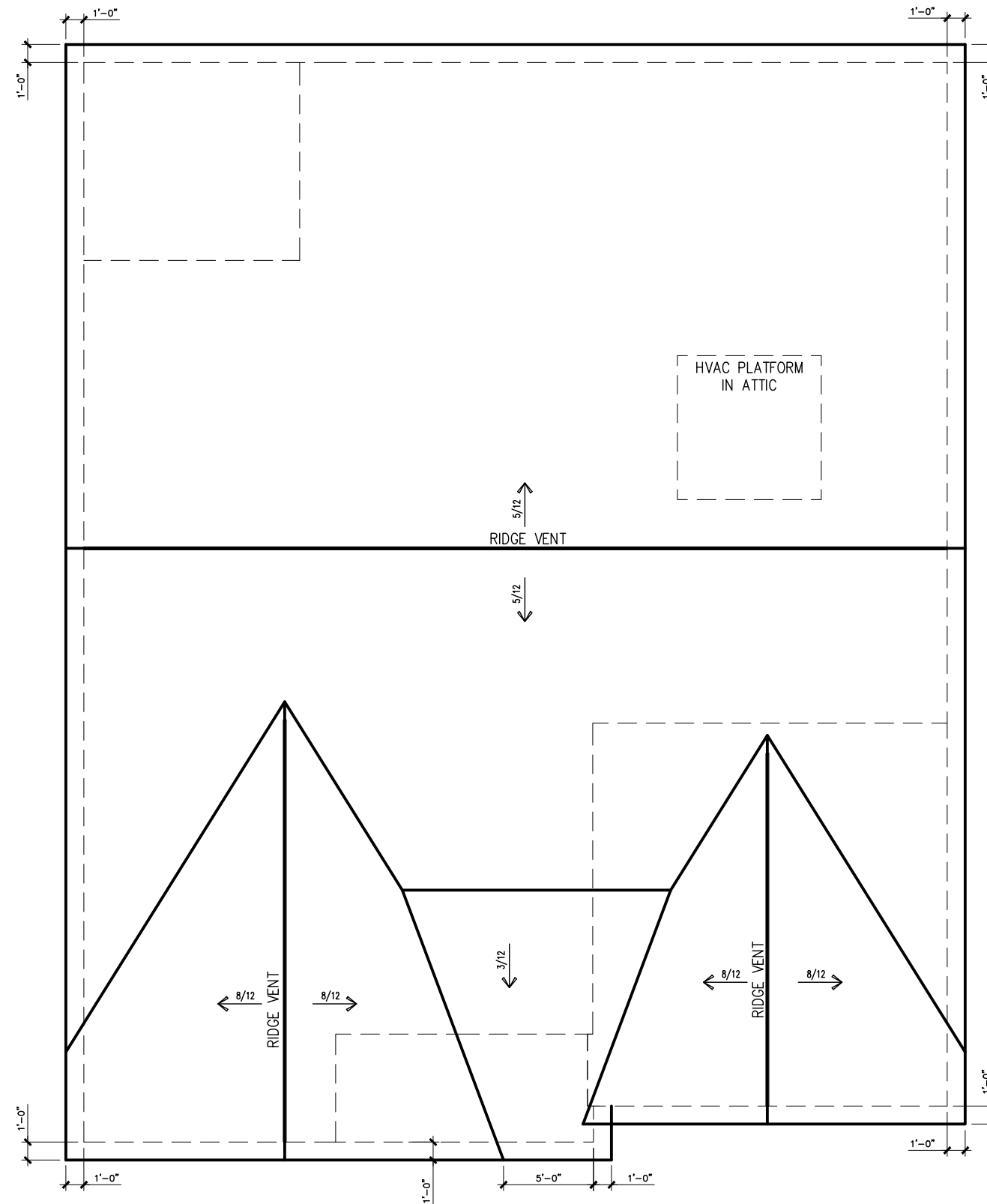
FLOOR PLAN  
FIRST FLOOR  
AVONDALE

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# DUNCANS CROSSING LOT 0019



ROOF PLAN "E"

SCALE : 1/8" = 1'-0"

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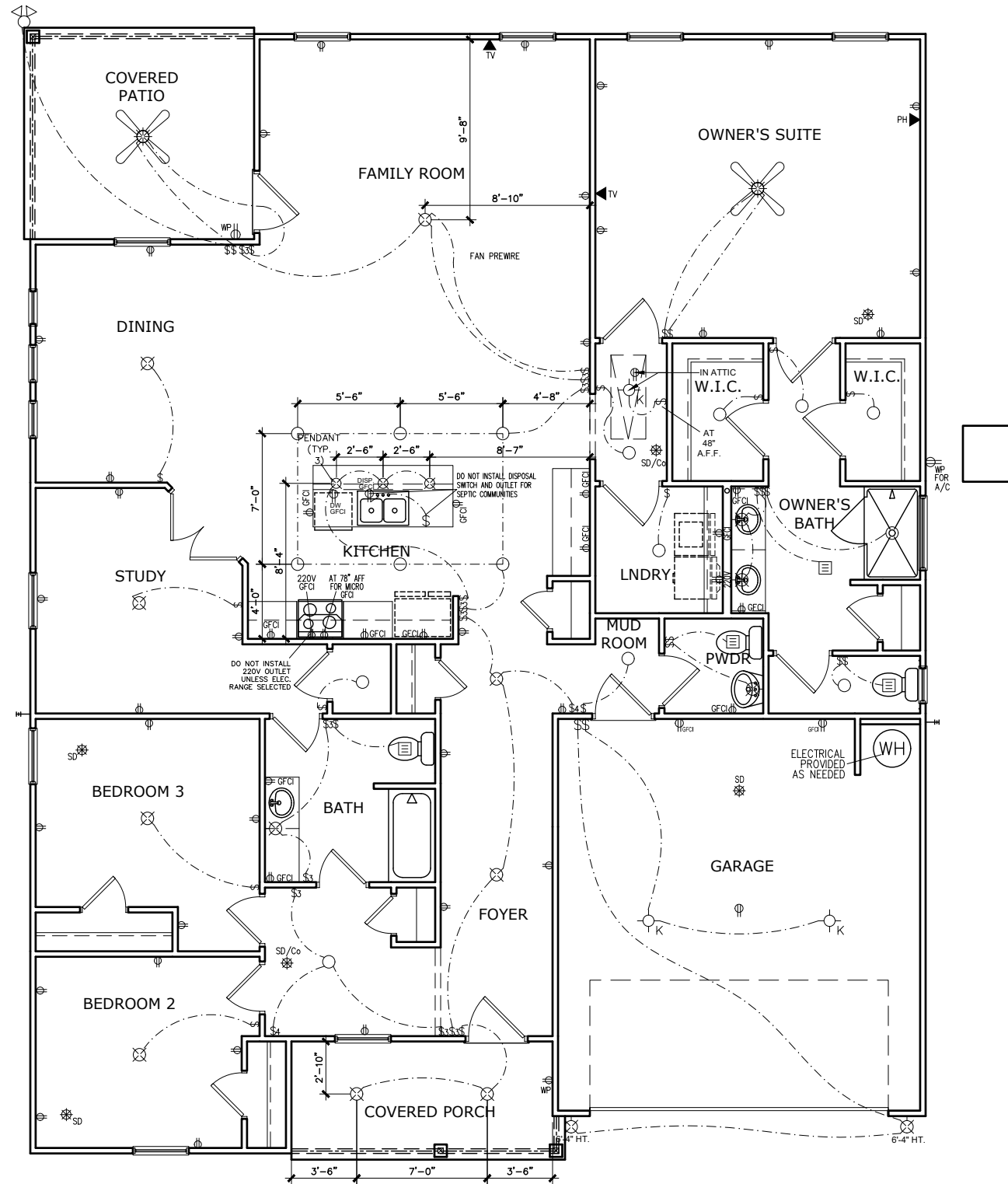
ROOF PLAN  
ROOF PLAN  
AVONDALE

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PAGE NO:	A6.1		

# DUNCANS CROSSING LOT 0019



ELECTRICAL LEGEND			
Ⓢ	SWITCH	▼	TV
Ⓢ3	3 WAY SWITCH	⊕	120V RECEPTACLE
Ⓢ4	4 WAY SWITCH	⊕	120V SWITCHED RECEPTACLE
⊗	CEILING FIXTURE	⊕	220V RECEPTACLE
⊕ <sub>K</sub>	KEYLESS	⊕GFCI	GFCI OUTLET
⊕ <sub>W</sub>	WALL MOUNT FIXTURE	⊕AFCI	ARCH FAULT CIRCUIT INTERRUPTER
○	CEILING FIXTURE	† <sub>GL</sub>	GAS LINE
●	FLEX CONDUIT	† <sub>WL</sub>	WATER LINE
Ⓢ	CHIMES	⊥	HOSE BIBB
▼	TELEPHONE	⊕	FLOOD LIGHT
SD/Cc	SMOKE DETECTOR & CARBON MONOXIDE	▭	1x4 LUMINOUS FIXTURE
ⓈO	SECURITY OUTLET	⊗	CEILING FAN
Ⓢ	GARAGE DOOR OPENER	—	ELECTRICAL WIRING
Ⓢ	EXHAUST FAN	⊕	CEILING FIXTURE
Ⓢ	FAN/LIGHT		

ELECTRICAL PLANS TO FOLLOW ALL LOCAL CODES

APPROX. FIXTURE HGTS (MEASURED FROM BOTTOM OF FIXTURE)	
BREAKFAST/DINING ROOM	63" ABOVE FINISHED FLOOR
KITCHEN PENDANT LIGHTS	33" ABOVE COUNTER TOP
TWO STORY FOYER FIXTURE	96" ABOVE FINISHED FLOOR
CEILING FAN	96" ABOVE FINISHED FLOOR

NOTE: ALL FAN PREWIRES ARE OPTIONAL U.N.O. BY BUILDER PER SUBDIVISION SPECIFICATIONS

FIRST FLOOR ELECTRICAL PLAN  
SCALE: 1/8" = 1'-0"

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ELECTRICAL PLAN  
FIRST FLOOR  
AVONDALE

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PAGE NO: A7.2	

# DUNCANS CROSSING LOT 0019

Lot Definition			
<b>Project: Duncans Crossing</b>		<b>Community: Duncans Crossing</b>	
<b>Building: 0019</b>		<b>Builder: Reagan Wells</b>	
<b>Unit: 0019</b>		<b>Status: Sold</b>	
Plan: Avondale E	Sq. Ft. 2,203	RTeam: Raleigh West	Slot: 5485
Orientation: Garage Right	Bedrooms: 3	Bathrooms: 2	Permit:
Address: 1234 Clyde Dog Court	Notes:		
Lillington			
NC	27546		
CAD Version: 040121.0501	CAD Notes:		
<b>Sales Data</b>		<b>Dates</b>	
Contract: 113437		Ratified: 03/18/2023	
Buyer: Glenn C Eistun		Original Start: 06/07/2023	
Sales Agent: James Coppola		Start: 06/07/2023	
		Scheduled Complete: 10/05/2023	
Option Category	Option	Description	Qty
01Exterior Colors	Stone 11 B ExtColPkg(v)		1
01Interior Finish Colors	Chrome Interior Finish Color Package	Includes chrome kitchen faucet, bath faucets, & fixtures, brushed nickel door hardware (handles, bumps, knobs/levers, deadbolts), light fixtures per Sales Sheets, & pewter oval mirror (if applies). Separate options also affected: shower door, shower grab bar, cabinet hardware (to be chrome).	1
02Structural	Optional Powder Room (w/ Mud Room Trim)	Adds Optional Powder Room. Includes the Mud Room trim in the Mud Room outside of the Powder Room, but does not include a Mud Room bench.	1
02Structural/Windows	Window in Owner Bath Water Closet	2030 Single Window for Owner Bath Water Closet. NOTE: Blind or screen not included.	1
02Structural/Windows	Window(s) in Dining Room	Add window(s) in Dining Room per plan option. Does not include blind or screen.	1
03KitchenApplianceRefr	1.BLK Side-by-Side Refr	Black Standard-Depth Side-by-Side Refrigerator Multi-Level LED Lighting; Exterior Dispenser with Color Match User Interface; PureSource® 3 Ice & Water Filtration; 2 Store-More™ Humidity-Controlled Crisper Drawers; 2 Store-More™ Glass Shelves; Automatic Ice Maker	1
03KitchenBacksplash	Tile - Kit Backsplash LVL 1 Diagonal		1
03KitchenCabinetUpgr	36" Cabinet [0] Standard	Note: Bath cabinets to match	1
03KitchenCabinetUpgr	Cabinet Bump above Microwave (Cab Only)	Cabinet Bump above Microwave	1
User Name: Kim Fullerton 1 of 3 04/27/2023			
Database: SmithDouglasCommunities 11:28:56 AM			

Lot Definition			
03KitchenCabinetUpgr	Cabinet Knob/Pull Combo	Cabinet Knob/Pull Hybrid-Element 1092 series-pulls on all drawers, knobs on all doors. Note: Bath cabinets to match	1
03KitchenCabinetUpgr	Crown Molding on Kitchen Cabinets		1
03KitchenTopFaucSinkSS	Kitchen Faucet-Lv2 (forSOLIDSURFACETop)	Upgrade to Level 2 Pulldown Kitchen Sink Faucet From Level 1 Faucet on Solid Surface	1
03KitchenTopFaucSinkSS	Solid Surface-Kitchen Countertops (I)	Kitchen Solid Surface Countertops from Laminata	1
03KitchenTopFaucSinkSS	Solid Surface-Kitchen Sink Level 1	Level 1 Undermount rectangular stainless steel sink upgrade for kitchen solid surface.	1
04OwnerBathCabsTops	Owner Bath Laminata Dbl-w/DS ILO Laminat	Owner Bath Laminata Double Vanity with Drawer Stack in lieu of Laminata Single Vanity with Kneespace. NOTE: Standalone Option. Do not use with any other owner bath top option.	1
04OwnerBathShower	Prefab Lg Shwr Only Large FD OBATHA	Large prefab shower with framed clear glass door ILO of standard bath. (obath)	1
07Floor Pkg	FIPkg 5AA-Floorte Pro, StdCpt (IPkg1)	Flooring Package 5AA - Floorte Pro, Standard Carpet (from Package 1). SPC (solid polymer core) 0.5 mm vinyl top layer plank.	1
08TrimPlumbing	Comfort Height Toilets-All Bathrooms	Comfort Height Toilet- All Bathrooms, Standard and Optional. Floor to bowl=17" high	1
08TrimWindowBlinds/Scrns	Blind per Optional 2030 Window	One 2030 blind. For use when you've added a 2030 optional window. See Optional Windows Sales Guide on the Process Model for assistance.	1
08TrimWindowBlinds/Scrns	Blinds for Base House	Includes blinds for all standard windows on front, sides, and rear that are operational and accessible. Does not include blinds for any optional windows, including windows for optional second floors.	1
08TrimWindowBlinds/Scrns	Screen Per Optional 2030 Window		1
08TrimWindowBlinds/Scrns	Screens Base House Single Family	Add window screens to all operable standard windows on single family home. NOTE: Does not include screens for windows for optional 2nd-floors, side entry garages, or windows added or changed from structural options, optional windows, or basement windows. See additional options to complete screens.	1
09Electr-Ceiling Fan	Ceiling Fan w/Light Owner Bedroom	Ceiling fan, including Light Kit. Does not include Prewire. This option is for use in Owner Bedrooms that are pre-wired standard but have no fan.	1
09Electr-Ceiling Fan	RearPorchCeiling Fan w/Light and PreWire	NOTE: DONT PICK TWICE. Rear Porch Exterior Ceiling Fan including Light Kit. Includes Pre-Wire. For use on plans with Included Covered Porches OR lots with Optional Rear Covered Porches. Includes credit for std light.	1
09Electr-Lighting Add	Exterior Flood Lights		1
09Electr-Lighting Add	Kitchen Ceiling Fixture Lights ILO Std	Kitchen Lights - Low Profile Flush Mount LED Lights per Plan ILO Standard Light.	1
User Name: Kim Fullerton 2 of 3 04/27/2023			
Database: SmithDouglasCommunities 11:28:56 AM			

Lot Definition			
09Electr-Lighting Add	Light Over Tub or Shower	NOTE: As of 4/1/2020, any Home or Change Order processed will have LED Light(s) ILO of recessed can light(s). Lighting - Low Profile Flush Mount LED) Light.	1
09Electr-Lighting Add	Pendant Lights per Plan	Pendant Lights above Island/Bar Top per plan electrical diagram. To match lighting package selected. NOTE: Choose this option only once.	1
10Electr-GarageDoorOpenr	Automatic Garage Door Opener	Garage Door Opener - Per Door	1
Activity	Description	Selection Description	
Ceramic Tile Set-Kitchen	TILEKITBacksplash-1stUpgr ALL	Milan Latte 200 (6x6)Navejo/White00012	
Del&Install AppliancePkg	Appliance Package Select - All	Appliance Package Selected	
Deliver & Install Blinds	Blind Color	White	
Install Cabinets Complet	Cabinet Finish - Standard Arts	Standard-Sinclair Birch-Saddle	
Install Cabinets Complet	Master Bath Vanity Tops - All	1888K-07 Marmo Bianco	
Install Cabinets Complet	Secondary Bath Vanity Tops-All	1888K-07 Marmo Bianco	
Install Carpet	Carpet - Standard ALL	Smith Grove III Natural Tan 700	
Install Floorte Pro (LP)	Floorte Pro 1stUpgr ALL	Simonton Plus - 709 Modeled Oak	
Install Laminata Tops	Master Bath Vanity Tops - All	1888K-07 Marmo Bianco	
Install Laminata Tops	Secondary Bath Vanity Tops-All	1888K-07 Marmo Bianco	
Install SolidSurfaceTops	RDU Rectangular SS sink LVL 1	Single Bowl Sink-Chemore Radial ZS-300	
Install SolidSurfaceTops	RDU Solid Surface Kitchen	Daltile Quartz- Chipped Ice-NQ81	
Paint Interior Complete	Interior Paint (Trim)	SW 7006 Extra White	
Paint Interior Complete	Interior Paint (Walls) - Base	SW 8917 Shell White	
PM Install Vinyl Floor	VinylPkg-Option Baths	River Chase II Citadel 560	
PM Install Vinyl Floor	VinylPkg-Owner Bath	River Chase II Citadel 560	
PM Install Vinyl Floor	VinylPkg-Std 2nd Baths/Laundry	River Chase II Citadel 560	
User Name: Kim Fullerton 3 of 3 04/27/2023			
Database: SmithDouglasCommunities 11:28:56 AM			

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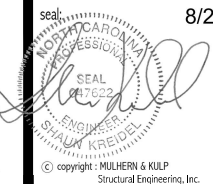
LOT DEFINITION  
LOT DEFINITION  
AVONDALE

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MULHERN+KULP  
RESIDENTIAL STRUCTURAL ENGINEERING  
3025 Matthews Parkway, Suite 105 - Alpharetta, GA 30022  
770-777-4074 - mulhern@mulhernkulp.com



Mulhern+Kulp project number:  
**256-21001**

project mgr: **SMK**  
drawn by: **MJF**  
issue date: **02-21-2022**

REVISIONS:  
date: \_\_\_\_\_ initial: \_\_\_\_\_

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GENERAL STRUCTURAL NOTES  
AVONDALE MODEL

RALEIGH, NC

sheet:  
**SO.0**

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

Table with 3 columns: DESCRIPTION OF BLDG. ELEMENT, 3"x0.13" NAILS, 3"x0.120" NAILS. Rows include JOIST TO SOLE PLATE, SOLE PL. TO JOIST/RIM OR BLK'G STUD TO PLATE, RIM TO TOP PLATE, etc.

\* 2 1/2"x0.13 IS AN ACCEPTABLE ALTERNATIVE TO A 3"x0.120", SAME SPACING OR NUMBER OF NAILS. (ONLY ACCEPTABLE WHERE \* ARE SHOWN)

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSSES AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MK FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

VENEER LINTEL SCHEDULE

Table with 3 columns: SPAN (MAX), HEIGHT OF VENEER ABOVE LINTEL, STEEL ANGLE SIZE. Rows include 3'-0", 6'-0", 8'-0", 9'-6" spans.

ALL LINTELS - SHALL SUPPORT 2 3/4" - 3 1/2" VENEER w/ 40 psf MAXIMUM HEIGHT. < 8" SHALL HAVE 4" MIN. BEARING. > 8" SHALL HAVE 8" MIN. BEARING. > 16" SHALL NOT BE FASTENED BACK TO HEADER.

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 NCSEB-RESIDENTIAL CODE.
FOOTING DESIGN - 2,000 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED.
FASTEN 2x4/6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING: 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C., 1" MIN. EMBEDMENT. F44 ANCHOR STRAPS @ 6'-0" O.C.

LEGEND

- RT. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
OF. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
F.L. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM: 115 MPH WIND IN 2018 NCSEB-RC & 115 MPH WIND IN 2018 IRC (115 MPH WIND SPEED IN ASCE 7 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2015 & 2018 IBC (SECTION 1604) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2018 NCSEB-RC & 2018 IRC. IF THE PARAMETERS OF SECTION R602.12 COMPLY. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

DESIGN WIND UPLIFT LOADS HAVE BEEN CALCULATED UTILIZING ASCE 7 (ACCEPTED ENGINEERING PRACTICE) AS ALLOWED PER 2018 NCSEB-RC & 2018 IRC SECTION R602.11.1. THIS MODEL HAS BEEN DETAILED WHERE REQUIRED & ENGINEERED TO RESIST THE WIND UPLIFT LOAD PATH PER SECTIONS R602.3.5 & R602.11.

EXT. WALL SHEATHING SPECIFICATION

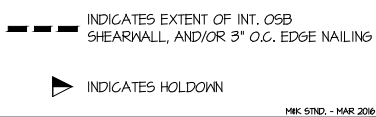
- 7/16" OSB OR 1/2" PLYWOOD: FASTEN SHEATHING w/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD.
ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC.
ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 3" x 0.120" NAILS @ 4" O.C. (THRU ONE SIDE ONLY)



FLOOR FRAMING

- I-JOISTS SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA.
PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER 'DESIGN LOADS').
FLOOR SYSTEMS & SHEATHING HAVE BEEN DESIGNED TO SUPPORT ADDITIONAL DEAD LOAD FROM CERAMIC TILE (EXCLUDING MARBLE OR STONE).
AT I-JOIST FLOORS, PROVIDE 1" MIN. OSB RIM BOARD.

ROOF FRAMING

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL).
WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPs FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
FASTEN EACH ROOF TRUSS TO TOP PLATE w/ USP RT1A CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS.
RECT AND INSTALL ROOF TRUSSES PER ITCA & ITPI'S BC01 I \*GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.\*

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS.

GENERAL STRUCTURAL NOTES

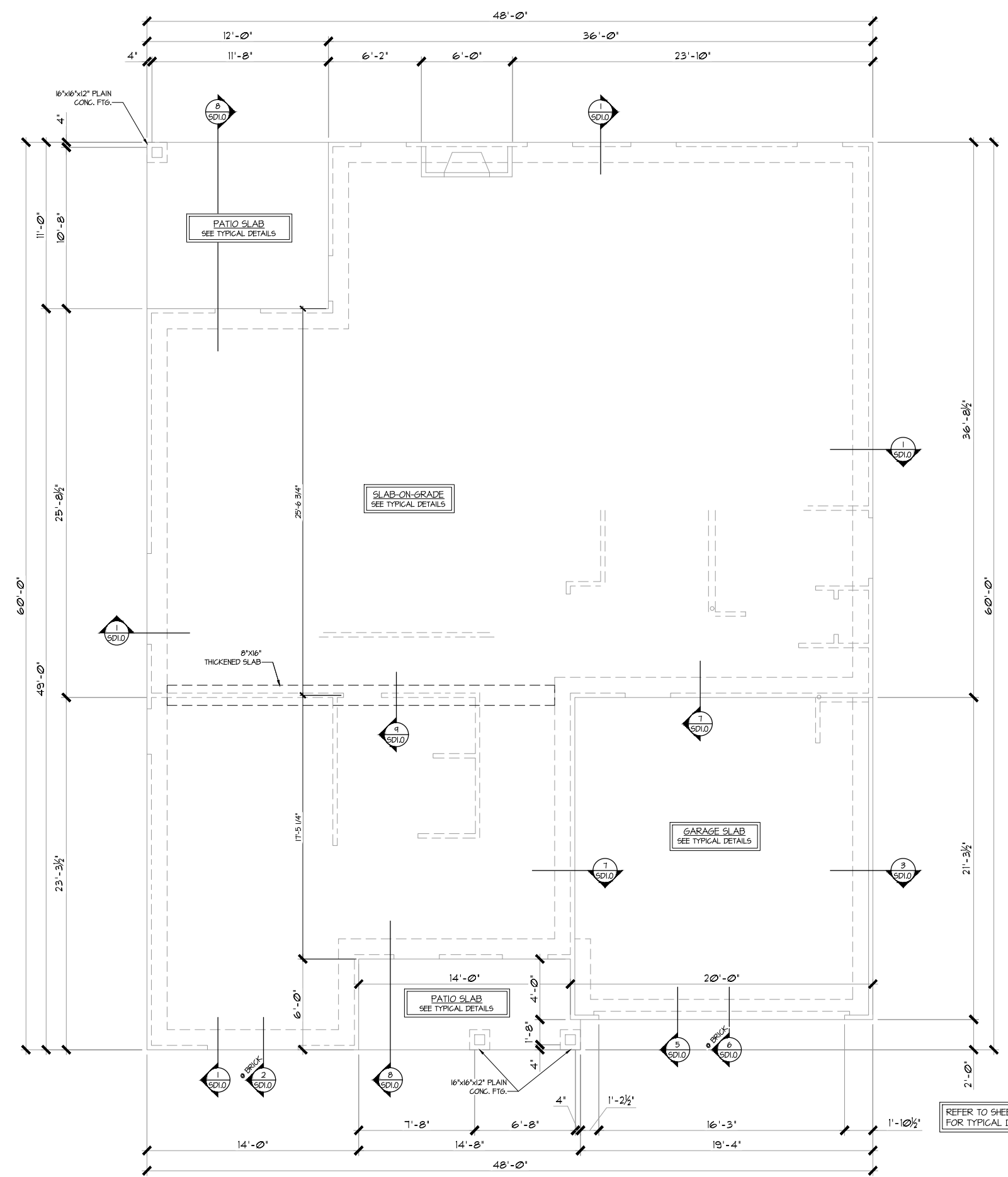
- DESIGN IS BASED ON 2018 NCSEB-RESIDENTIAL CODE.
WOOD FRAME ENGINEERING IS BASED ON NDS, 'NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION' - LATEST EDITION.
DESIGN LOADS:
ROOF: LIVE = 20 PSF, DEAD = 7 PSF T.C., 10 PSF B.C., LOAD DURATION FACTOR = 1.25
FLOOR: LIVE = 40 PSF (30 PSF @ SLEEPING AREAS), DEAD = 10 PSF (I-JOISTS), ADD'L 10 PSF @ CERAMIC TILE IN BATHS & LAUND.
SOIL: 2,000 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3.11) OR ON PLANS.
ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED w/ GYP WALL BOARD (ONE SIDE MIN.) OR PROVIDE MID HT. BLOCKING.
ALL HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPRUCE-PINE-FIR #2 (SPF) OR SOUTHERN PINE #2 (SP) LUMBER, OR BETTER.
ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING:
ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING:
FOR 2 & 3 PLY BEAMS OF EQUAL 1 3/4" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O.C. OR 2 ROWS USP W635 SCREWS (OR 3/8" TRUSSLOK SCREWS) @ 16" O.C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER.

Duncans  
Lot 19

**Duncans  
 Lot 19**

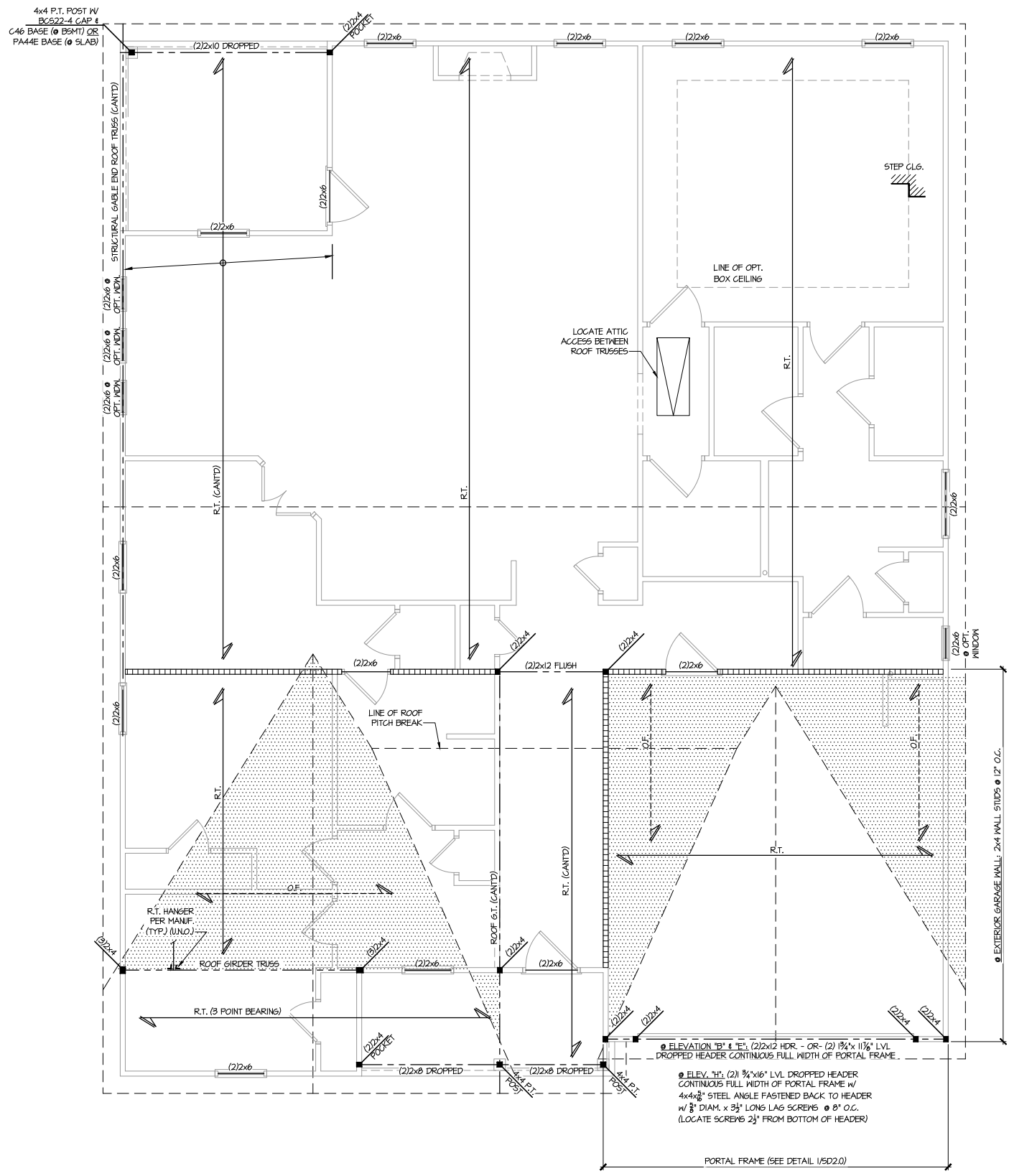


**MONO-SLAB FOUNDATION PLAN (ALL ELEVS. SIM.)**  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17

REFER TO S0.0 FOR TYPICAL  
 STRUCTURAL NOTES & SCHEDULES

REFER TO SHEET S0.0  
 FOR TYPICAL DETAILS

LEGEND	
	INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. UNO.)
	INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. UNO.)
	INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
	INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	METAL HANGER
	INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.



EXTERIOR GARAGE POSTS AND WALL STUDS HAVE BEEN DESIGNED FOR A MAX 11'-6" PLATE HEIGHT

Duncans  
 Lot 19

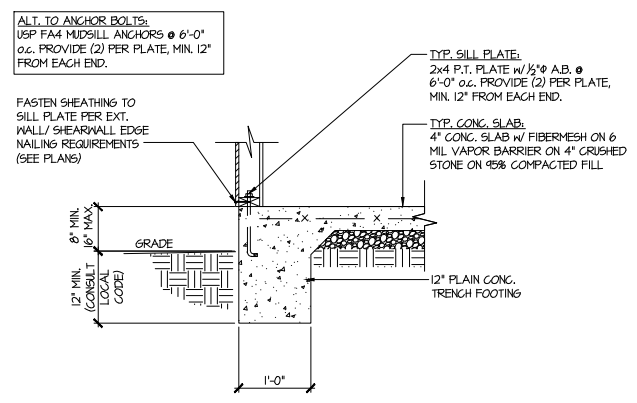
REFER TO S.O. FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

LEGEND	
	R.T. INDICATES ROOF TRUSSES @ 24" O.C. PER ROOF. MANUF. (TYP. U.N.O.)
	O.F. INDICATES TRUSS OVERFRAMING @ 24" O.C. (TYP. U.N.O.)
	F.J. INDICATES 14" DEEP FLOOR I-JOISTS (24" O.C. MAX SPACING). JOIST SERIES AND SPACING SHALL BE THE RESPONSIBILITY OF THE JOIST MANUFACTURER
	D.J. INDICATES 2x8 P.T. DECK JOISTS @ 16" O.C. (MAX)
	INDICATES LOCATIONS OF POTENTIAL TILE FLOOR. JOIST MANUFACTURER SHALL DESIGN FLOOR SYSTEM FOR ADD'L 10 PSF DEAD LOAD AT THESE LOCATIONS.
	INTERIOR BEARING WALL
	BEARING WALL ABOVE (B.W.A.)
	BEAM/HEADER
	M.L. METAL HANGER
	* INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

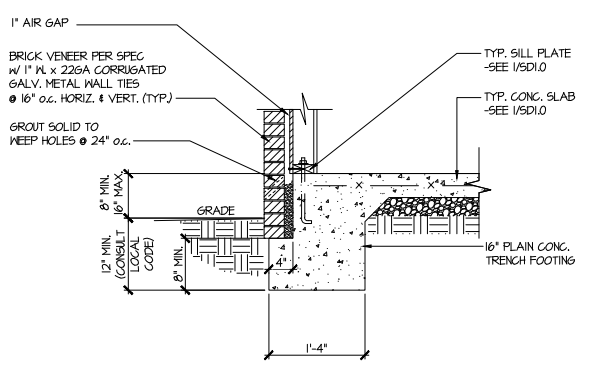
**1** ROOF FRAMING PLAN (ELEV. "B") (ELEV. "E" & "H" SIM.)  
 SCALE: 1/4"=1'-0" ON 22x34  
 1/8"=1'-0" ON 11x17

sheet:

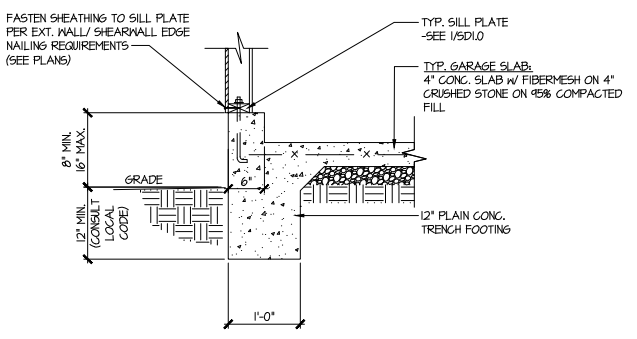
**S3.1**



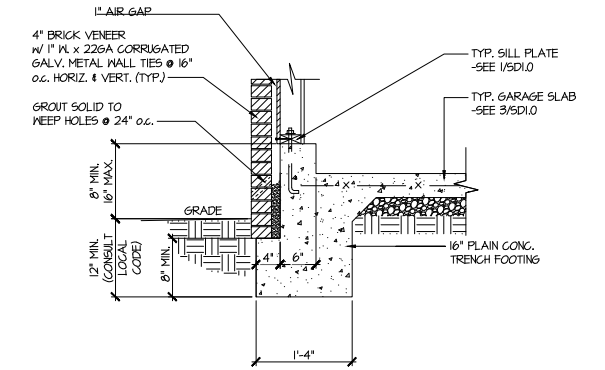
1 TYPICAL SLAB ON GRADE PERIMETER FOOTING



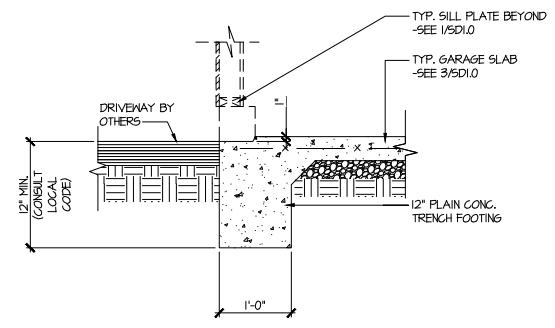
2 TYPICAL SLAB ON GRADE PERIMETER FOOTING w/ BRICK VENEER



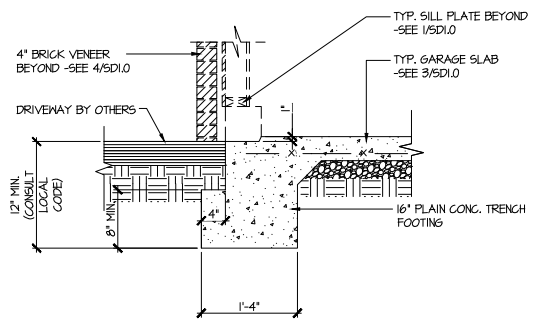
3 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING



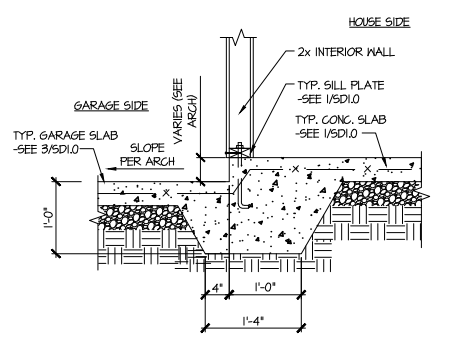
4 TYPICAL SLAB ON GRADE GARAGE PERIMETER FOOTING w/ BRICK VENEER



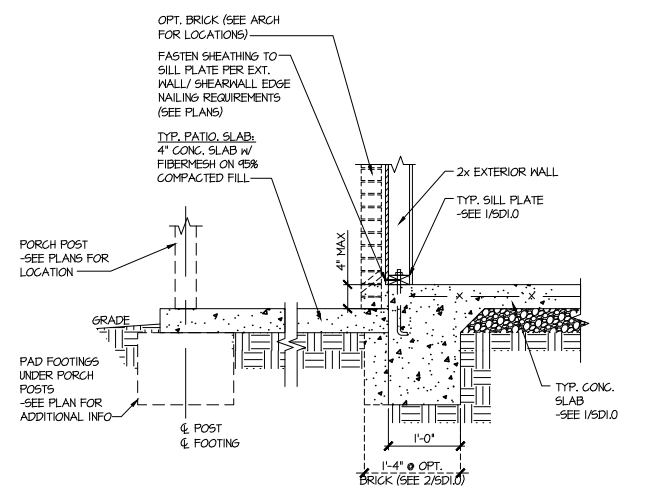
5 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING



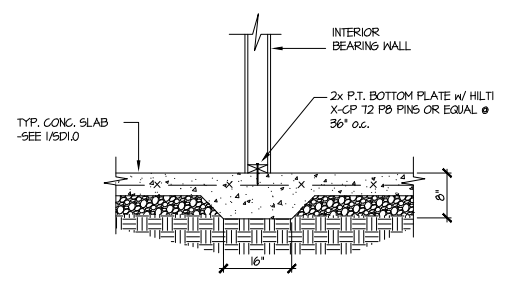
6 TYPICAL SLAB ON GRADE GARAGE ENTRY @ PERIMETER FOOTING w/ BRICK VENEER



7 TYPICAL MONOLITHIC INTERIOR GARAGE FOOTING



8 TYPICAL SLAB ON GRADE PERIMETER FOOTING @ PORCH/PATIO



9 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL

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 770-777-8974 - mulhern+kulp.com  
 NC License # C-3825

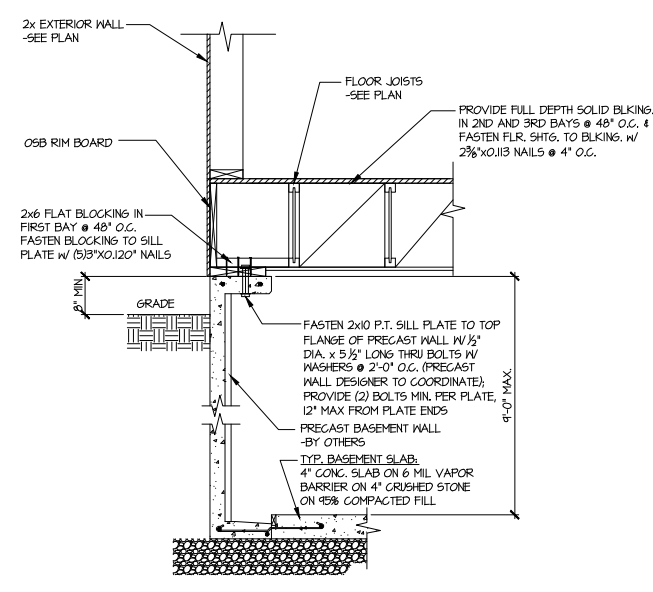
Mulhern+Kulp project number:  
 256-21001

project mgr: SMK  
 drawn by: MJF  
 issue date: 02-21-2022

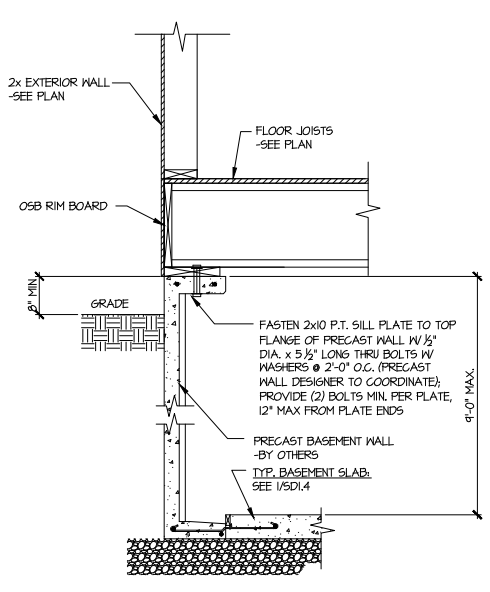
REVISIONS:  
 date: initial:

SMITH DOUGLAS  
 HOMES

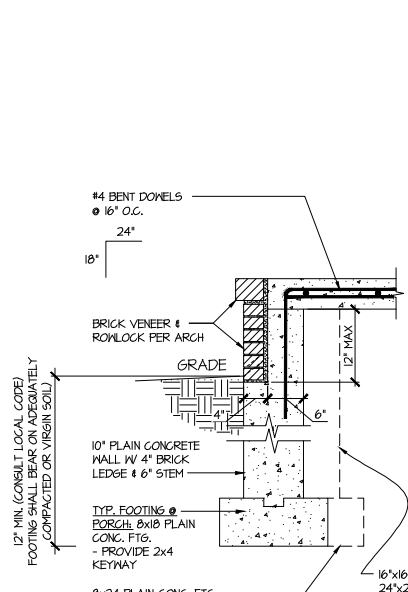
FOUNDATION DETAILS  
 AVONDALE MODEL  
 RALEIGH, NC



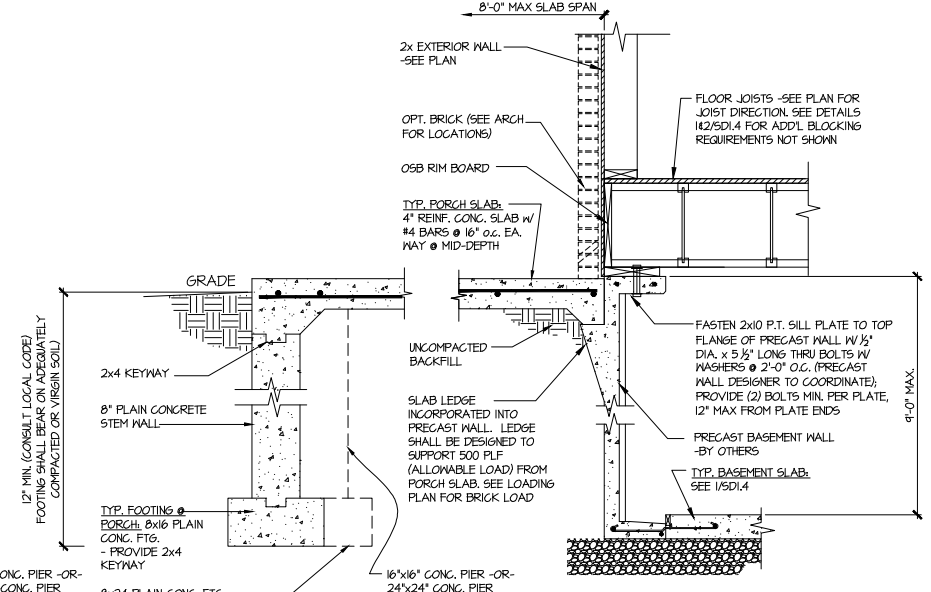
**1 SECTION**  
 SCALE: 3/4"=1'-0"



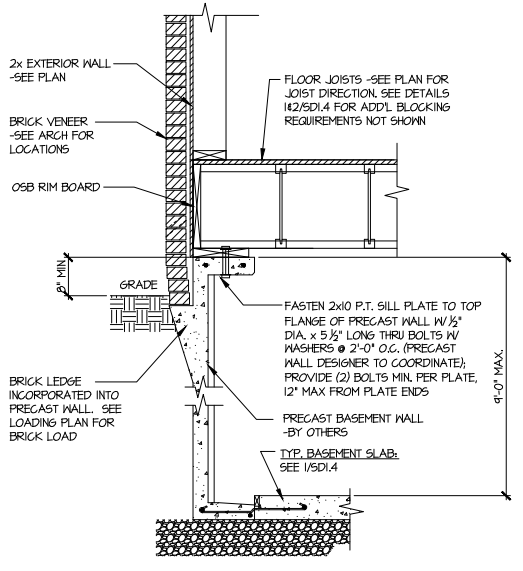
**1A SECTION**  
 SCALE: 3/4"=1'-0"



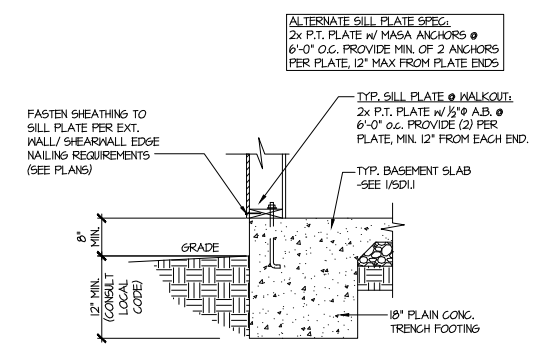
**3 SECTION**  
 SCALE: 3/4"=1'-0"



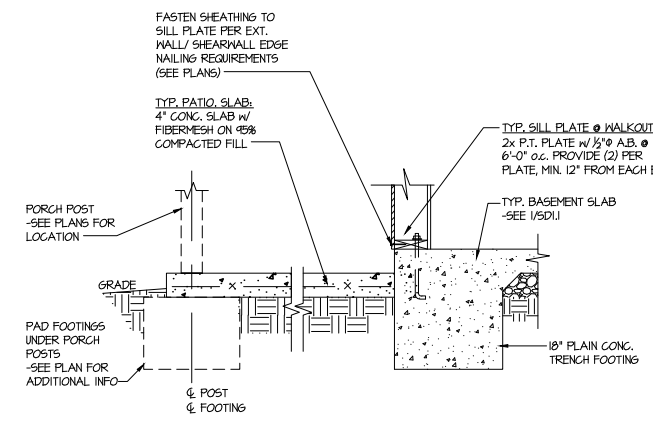
**3 SECTION**  
 SCALE: 3/4"=1'-0"



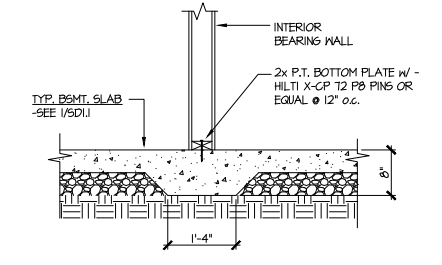
**2 SECTION**  
 SCALE: 3/4"=1'-0"



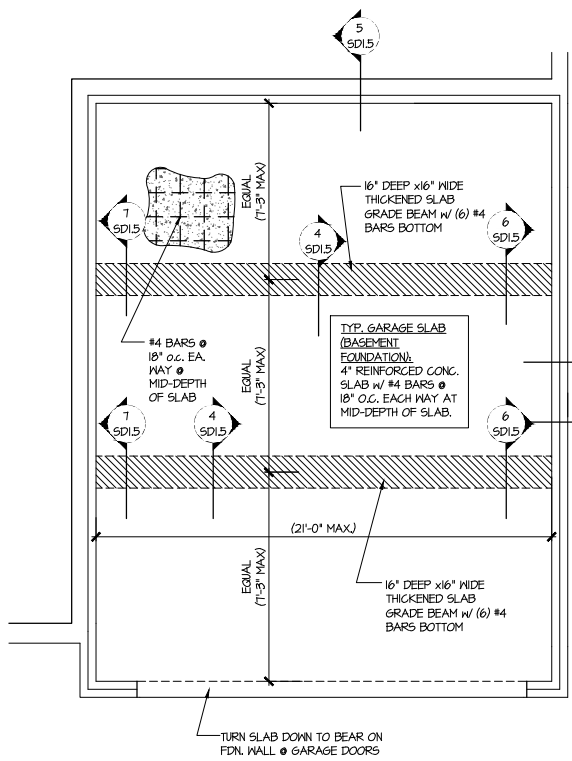
**4 TYPICAL BASEMENT FOUNDATION @ WALKOUT**



**5 TYPICAL BASEMENT FOUNDATION @ WALKOUT**



**6 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL**



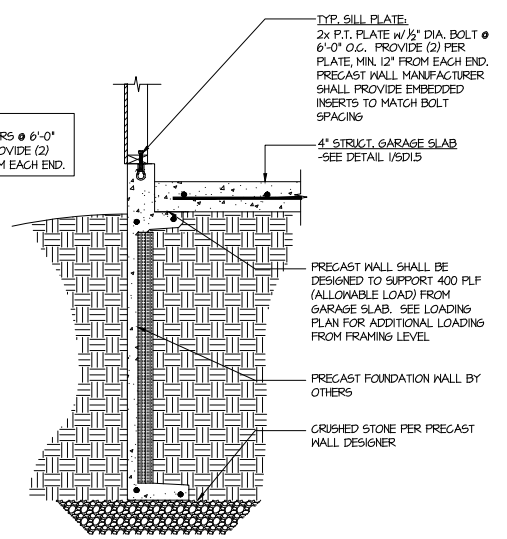
**1** GENERIC FOUNDATION PLAN KEY @ GARAGE  
 SCALE: 1/4"=1'-0"

ALT. TO BOLTS:  
 USP FA4 MIDSILL ANCHORS @ 6'-0"  
 o.c. OR EQUIVALENT. PROVIDE (2)  
 PER PLATE, MIN. 12" FROM EACH END.

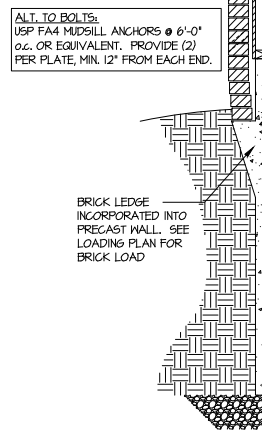
2 SD1.5 @ NON-BRICK  
 3 SD1.5 @ BRICK

SLAB THICKNESS  
 SHOWN IS MIN.  
 THICKNESS REQ'D -  
 SLOPE OF SLAB SHALL  
 NOT COMPROMISE MIN.  
 THICKNESS

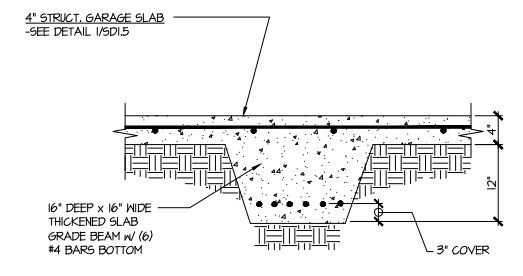
SEE ARCHITECTURAL  
 PLANS FOR ACTUAL  
 GARAGE DIMENSIONS



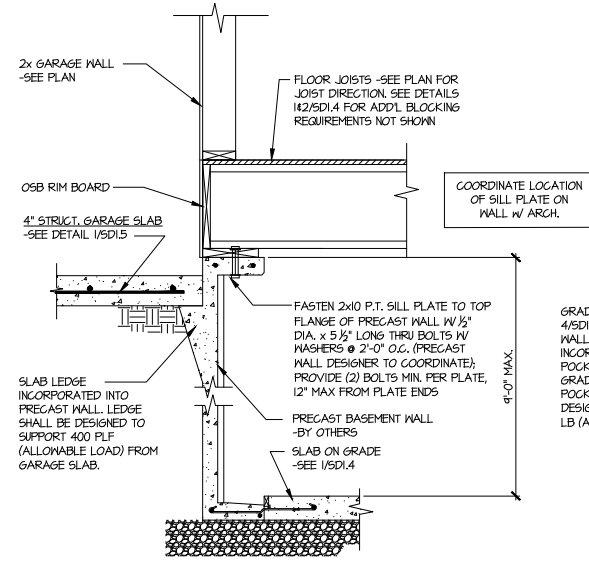
**2** TYPICAL PERIMETER FOOTING @  
 GARAGE - BASEMENT FOUNDATION



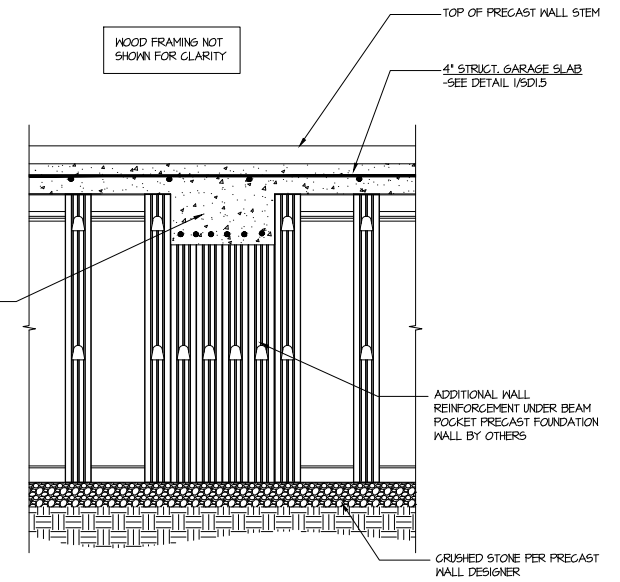
**3** TYPICAL PERIMETER FOOTING @  
 GARAGE - BASEMENT FOUNDATION (BRICK)



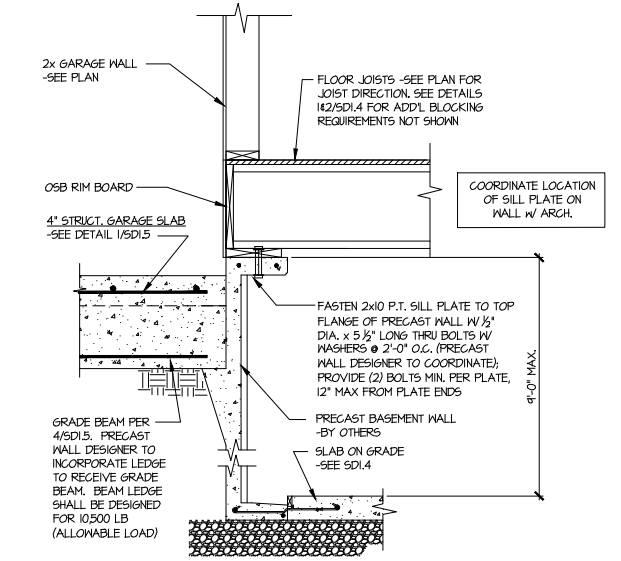
**4** TYPICAL CONCRETE GRADE BEAM @ GARAGE FDN.  
 SCALE: 3/4"=1'-0"



**5** CONCRETE BSMT. FDN. WALL @  
 GARAGE



**6** SECTION  
 SCALE: 3/4"=1'-0"



**7** SECTION  
 SCALE: 3/4"=1'-0"

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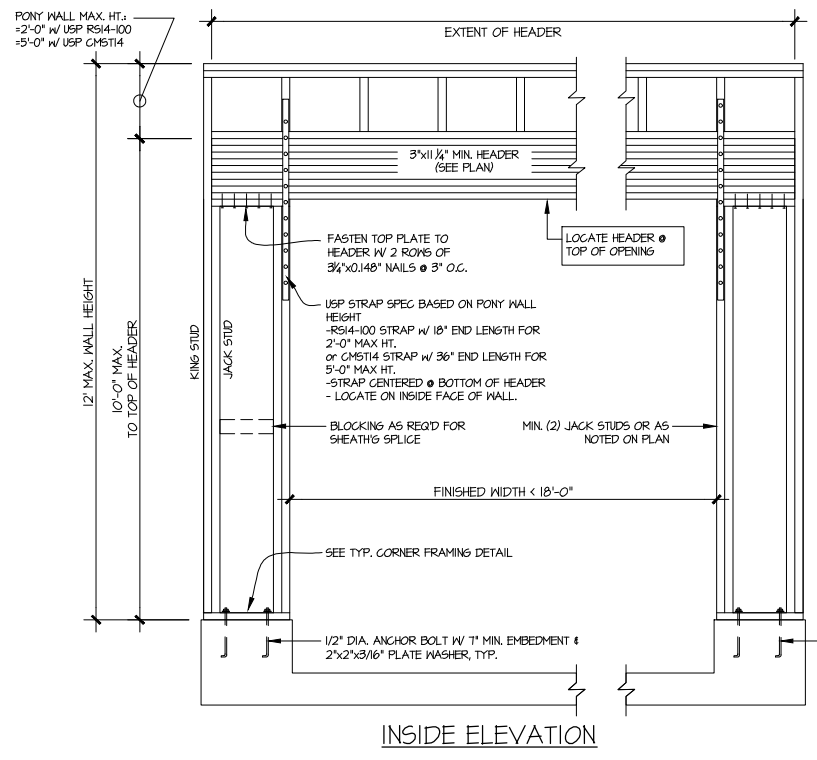
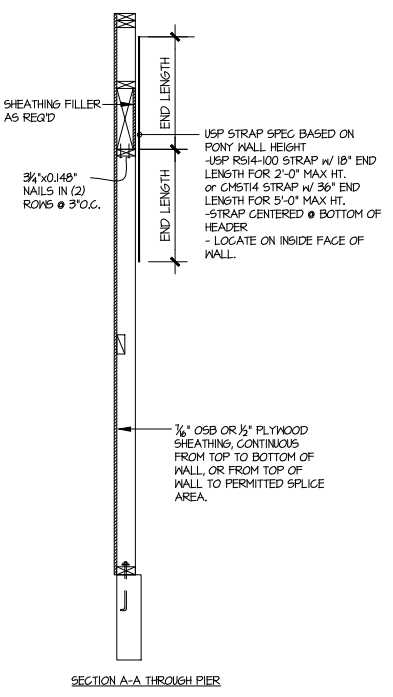
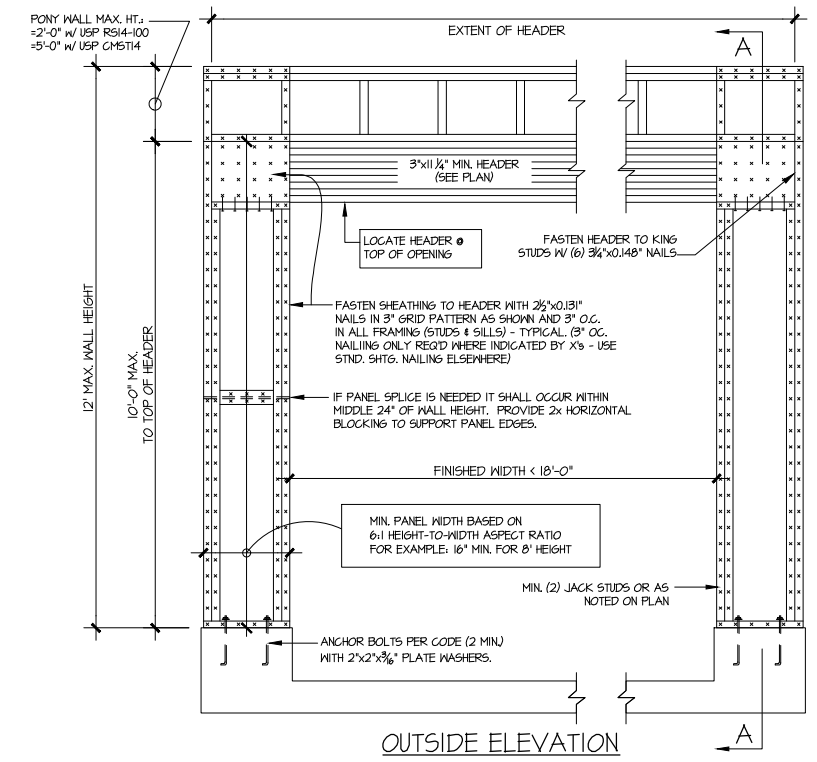
Mulhern+Kulp project number:  
 256-21001  
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 drawn by: MJF  
 issue date: 02-21-2022

REVISIONS:  
 date: initial:

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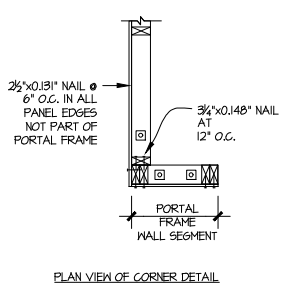
FRAMING DETAILS  
 AVONDALE MODEL  
 RALEIGH, NC

sheet:  
**SD2.0**



NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH 1/2" PLYWOOD OR 3/8" OSB

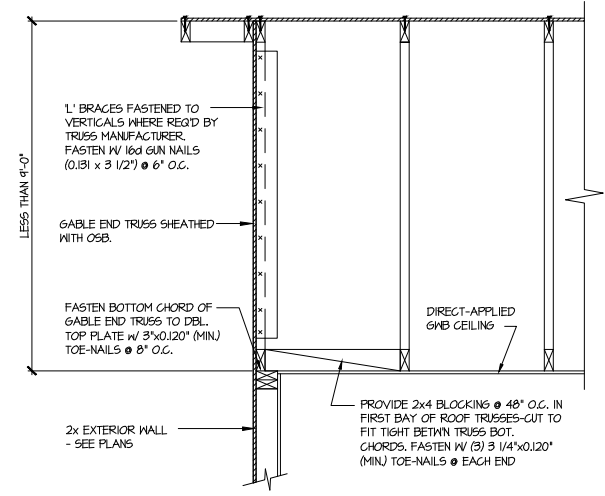
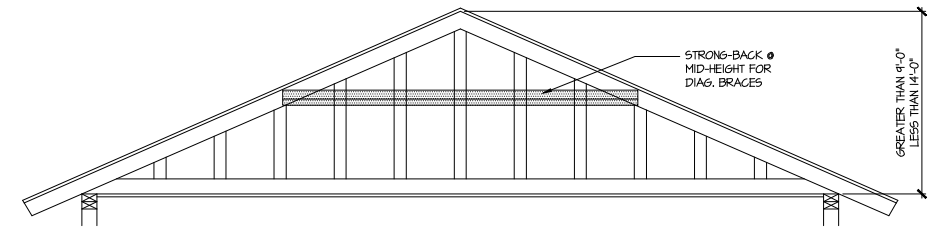
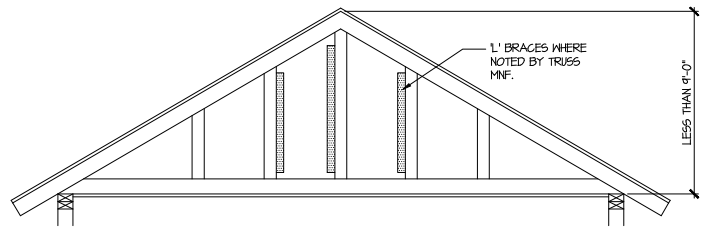
WALL FRAMING SPECIFICATION:  
 @2x4 WALL: USE SPF #2 GRADE STUDS (OR BETTER)  
 @2x6 WALL: USE SPF STUD GRADE STUDS (OR BETTER)



ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:  
 1) 1/2" DIA. THREADED ROD EPOXY SET W/ 4 1/2" EMB. (MIN UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL))

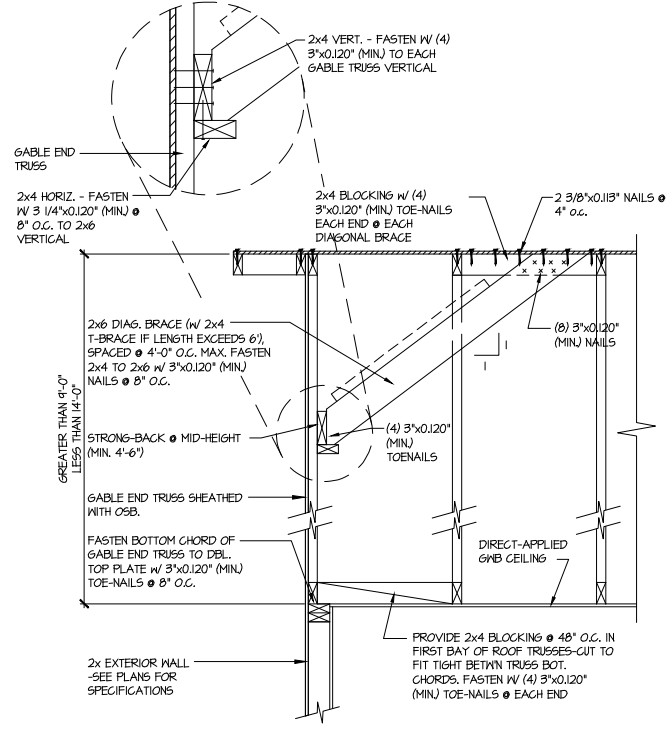
**GARAGE PORTAL FRAME BRACING ELEVATION**  
 SCALE: N.T.S. BOTH SIDES OF GARAGE DOOR  
 115 MPH WIND SPEED (ULT)

Duncans  
 Lot 19



**A TYPICAL GABLE END BRACING DETAIL**  
 SCALE: NONE  
 REQ'D @ GABLE END TRUSS HEIGHT UP TO 9'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT IS LESS THAN 9'-0". 1" BRACES REQUIRED WHERE NOTED BY TRUSS MANUFACTURER.



**B TYPICAL GABLE END BRACING DETAIL**  
 SCALE: NONE  
 REQ'D @ GABLE END TRUSS HEIGHT BETWEEN 9'-0" TO 14'-0"

BRACE GABLE END TRUSSES PER ABOVE DETAIL WHEN GABLE HEIGHT EXCEEDS 9'-0". 1" BRACES NOT REQUIRED.

LETTERED DETAILS ARE TYPICAL FOR THIS HOME & SHALL BE IMPLEMENTED IN ALL APPLICABLE AREAS. THESE DETAILS ARE NOT "CUT" ON THE PLANS.  
 NUMBERED DETAILS ARE PLAN SPECIFIC AND ARE ONLY REQUIRED WHERE SPECIFICALLY INDICATED ("CUT") ON THE PLANS.

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Mulhern+Kulp project number:  
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REVISIONS:  
 date: initial:

SMITH DOUGLAS  
 HOMES

FRAMING DETAILS  
 AVONDALE MODEL

RALEIGH, NC

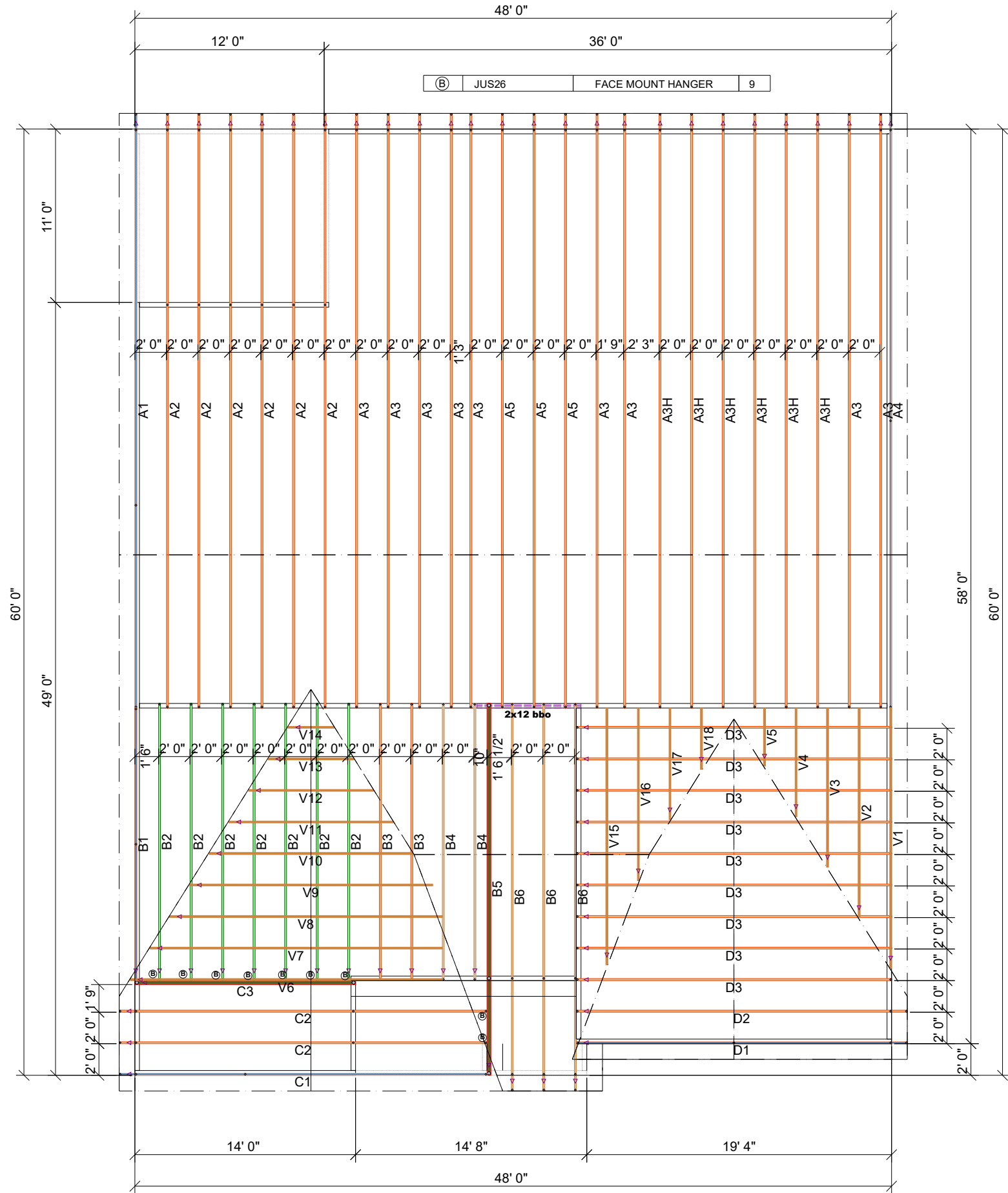


# 72317272 19 DUNCANS CROSSING

THIS IS A TRUSS PLACEMENT DIAGRAM (TPD) ONLY, NOT AN ENGINEERED DOCUMENT. Trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual truss design drawings (TDDs) for each truss design identified on the TPD. The Contractor is responsible for the temporary bracing of the roof and floor system, and the building designer is responsible for the permanent bracing of the roof and floor system and the overall structure. The design of the support structure including but not limited to headers, beams, walls, and columns is also the responsibility of the building designer. For general guidance regarding installation and bracing, consult "Building Component Safety Information" (BCSI) available from the SBC Association (www.sbccomponents.com). It is the responsibility of the General Contractor to verify that the provided component layout matches the final intended construction plans, loading conditions, and use. If they do not, it is the responsibility of the General Contractor to notify UFP and provide plans containing the latest specifications and designs. UFP will not be responsible for plan changes by others after final approval of shop drawings, or for errors or modifications made on-site during construction. DO NOT CUT, NOTCH, DRILL, OR OTHERWISE "REPAIR" MANUFACTURED TRUSSES IN ANY WAY WITHOUT PRIOR WRITTEN AUTHORIZATION BY A LICENSED PROFESSIONAL DESIGNATED BY UFP. The Framing is responsible to verify all dimensions, including adjusting member spacing within tolerances to allow for the drop and rise of plumbing/HVAC, unless noted otherwise. Truss-to-wall connections, if shown, are for uplift only and do not consider lateral loads. All connectors on this project are to be installed per the connector manufacturer's specifications. All connectors shown that are not truss-to-truss are suggestions only and are to be verified by the Building Designer or Engineer of Record for suitability to this particular project. UFP accepts no responsibility for the specific application or suitability of any connector that is not truss-to-truss as they apply to this specific structure.

## PLACEMENT PLAN

THESE VALUES ARE APPROXIMATE ONLY	
ROOF AREA	3383.72 sq ft
RIDGE LINE	97.07 ft
VALLEY LINES	100.92 ft
HIP LINES	0 ft



△ INDICATES LEFT END OF TRUSS SCALE: N.T.S

REVISIONS	DATE	DESCRIPTION	DSN

DESIGNER JNN  
 LAYOUT DATE 7/22/22  
 ARCH DATE -  
 STRUC DATE -  
 JOB #: MASTER

SD RALEIGH

AVONDALE BEH

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