### **DETACHED SINGLE FAMILY DWELLING**

### **MODEL 6260 - GARAGE RIGHT**

### The Farm at Neill's Creek - Model

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- MONOLITHIC SLAB FOUNDATION
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- TYPICAL BUILDING SECTION
- FOUNDATION, WALL, AND SOFFIT DETAILS FOUNDATION AND WALL DETAILS
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- STANDARD DETAILS AND NOTES MONOLITHIC

AREA SCHEDULE	
FIRST FLOOR HEATED *	1,206 SF
SECOND FLOOR HEATED *	1,460 SF
TOTAL HEATED AREA	2,666 SF
GARAGE **	384 SF
COVERED FRONT PORCH ***	60 SF
TOTAL COVERED AREA	3,110 SF
OPT. SUNROOM	142 SF
OPT, REAR COVERED PORCH	146 SF

- \* ADD 14 SF @ ELEV. C
- \*\* ADD 252 SF @ THIRD-CAR GARAGE OPTION
- \*\*\* 61 SF @ FLEV. A
  - 115 SF @ ELEV. C 130 SF @ ELEV. D/F/ELEB. B W/ FULL PORCH OPTION

Homesite 104 Plan 6260 **Elevation A** Garage Right

- -Mono Slab
- -Patio
- -Garage Service Door
- -Rear Covered Porch
- -Full Front Porch
- -First Floor Full Bath
- -Gourmet Kitchen Island
- -Fireplace
- -Deluxe Primary Bath
- -Double Bowl Vanity in Hall Bath
- -Laundry Sink
- -Second Floor Pickets and Rails
- -Upgraded Craftsman Pickets Throughout
- -Oak Tread Stairs with Carpet Runner

### **GENERAL NOTES**

- 01. GENERAL CONDITIONS

  1. STAIRS: ALL STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS ESTABLISHED

- REQUIREMENTS OF THE GOVERNINS CODE WITH SPECIAL ATTENTION PAD TO GLAZING AT HAZARDOUS LOCATIONS PER RC SECTION R308.

  ALL VENTED GRAWL OR ATTEN SPACES SHALL BE PROVIDED WITH VENTS TO ALLOW A FLOW OF AIR THROUGH THE SPACE. FREE VEHT AREA IS TO BE AS FOLLOWS: GRAWL VENTS SHOULD EQUAL 1.7150 OF GROUND AREA, ROOF VENTS 1730 OF CELINGA REAW WITH VENTS ISTRIBUTED PER THE GOVERNING BUILDING CODE. PROVIDE ACCESS OPENINGS TO CRAWL (18"X 24" MIN), AND ATTIC (2" X 30" MIN. WITH 30" HEADROOM) OR SIZED FOR RROWALO, FREICHANCLA EQUIPMENT IF LOCATION IN ATTIC PER RCH 305.1.3.

  5. WHERE DRAWNINGS OR INFORMATION IS IN CONFLICT WITH OTHER DRAWNINGS OR DETAILS, THE BUILDER SHALL NOTIFY THE ARCHITECT IN WITHING PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER THAT A CLARRICATION NOTICE CAN BE ISSUED.

  6. ALL COMPONENTS AND CLADONIS SHALL BE ATTTACHED FOR WIND SPEED REQUIREMENTS NOTED ON THIS COWER SHEET OR PER THE GOVERNING BUILDING OFFICIAL'S REQUIREMENTS.

- SITE WORK
   PRESIMED SOIL BEARING CAPACITY IS NOTED ON THIS COVER SHEET. THE BUILDER IS RESPONSIBLE
  FOR VEREYING THIS BEARING CAPACITY, ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR

- FOR VERIFYING THIS BEARING CAPACITY, ALL FOOTINGS SHALL BEAR ON UNDIDITURBED SUIL, UK ENGINEERED FILL

  2. THE BOTTOM OF ALL FOOTINGS SHALL BE BELOW THE FROST LINE AS DEFINED BY THIS COVER SHEET, THE DRAWINGS OR THE GOVERNING BUILDING OFFICIAL'S REQUIREMENTS AND/OR IZ\* IMMIMUM.

  3. FOR BASEMENT CONDITIONS, THE MAXIMUM VERTICAL DISTANCE MEASURED FROM THE TOP OF A BASEMENT FLOOR SLAB TO THE OUTSIDE HINSHED GRADE SHALL NOT EXCEED DISTANCES FOR THE WALL THICKNESS AS SHOWN IN INC TABLES R-404.1.1 (1-4) OR R-404.1.2 (1-9) BASED ON WALL TYPE AND SOL CLASS.

  4. DO NOT BACKFELL HAILL BE CLABA GRANILAR FILL, FREE OF GRADHIC MATERIAL, PLACED EQUALLY ON ALL SIDES, COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTIM D588.

  5. FIRMSHED GRADE SHALL SLOPE AWAY FROM THE BUILDING PER IRC SECTION R401.3.

  6. TERMITE TREATMENT TREAT INTERIOR AND STEPRING PER ATH AT PREMATER WITH EPA APPROVED TERMICADE. SPRAY SORA-CARE OR RG., TERMICODE TERMICATED. SWINN ON HAMS,

  10. CAST-N-HAGE CONCRETE

- PEAR MORNAL LIGHT ON RECOMMENDATIONS. PROVIDE TROMITE STROME STRUCTURE SHOWN ON FLANS.

  2. CAST-IN-PLACE CONCRETE

  1. CONCRETE SHALL HAVE A MINIUM 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.

  2. CENCRETE SHALL HAVE A MINIUM 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.

  2. CONCRETE PLACEMENT SHALL COMPLY WITH RECOMMENDATIONS OF ACI 332.

  3. CONCRETE SLASS SHALL HAVE POLYPROPYLENE RIBER ADDITIVE (1.5 LB/CY) OR WWY REINFORCEMENT

  5. CA, WH. A. WH. A PER ASTM A 18 S LOCATED HOWAY THROUGH THE SLAS THICKNESS. ALL SLASS

  ARE TO BEAR ON COMPACTED FILL TESTED FOR 95% HAXMUM DRY DEINSTY PER ASTM D698.

  IN PREPENDRING STEEL MARSE SHAWN AND ALMS SHALL CONCOUNT ON ACTM ACIS, CRADE EG AUM.
- . REINFORCING STEEL WHERE SHOWN ON PLANS SHALL CONFORM TO ASTM A615, GRADE 60 MIN.,
- DEFORMED.

  5. PROVIDE A 6 MIL POLYETHELENE MOISTURE VAPOR BARRIER MEMBRANE UNDER INTERIOR AND GARAGE
  CONCRETE SLABS AND FOOTINGS WHERE INJUCATED ON THE DRAWNINGS. LAP SHEETS 6" MIN. AT JOINTS.
  5. COVERED PORCHES SLABS SHALL SLOPE AT A MINIMUM SLOPE OF 1/8" PER FOOT TO DRAIN
  WATER AWAY FROM EXTERIOR WALLS. UNCOVERED PATIO SLABS SHALL SLOPE AT 1/4" PER FOOT.
- LONGREIE MASONRY UNITS (CM) SHALL CONFIDENT OF A SID AS OF A SIZE OF A SI
- JOINT APPLICATION, SECURE BRICK VENEER TO WALL STUDS WITH 22 GA. GALV, METAL TIES ATTACHED
- TO STUDS WITH 8d NAILS SPACING AS SHOWN ON PLANS. 5. APPLY A BITUMINOUS WATERPROOF MEMBRANE TO THE EXTERIOR OF ALL BASEMENT WALLS TO BE BELOW GRADE AFTER BACKFILLING.
- 6. MANUFACTURED STONE WHERE SHOWN ON PLANS, SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND DETAILS AND THE MASONRY VENEER MANUFACTURERS ASSOCIATION (MVMA) "INSTALLATION GUIDE AND DETAILING OPTIONS FOR COMPLIANCE
- THIN AS IN STRUCTURE SEEL.

  1. STEEL BEAMS AND PLATES SHALL CONFORM WITH ASTM A36, STEEL COLUMNS SHALL CONFORM

  1. STEEL BEAMS AND PLATES SHALL CONFORM WITH ASTM A36, STEEL COLUMNS SHALL CONFORM
- 2. ALL STRUCTURAL STEEL SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT AISC SPECIFICATIONS ALL SINUCLIONAL SELECTIVATE OF SINULED BY ACCOUNTAGE WHITE CONSTRUCTION MANUAL." ALL PIPE COLUMNS SHALL BE STANDADD WIGHT STEEL COLUMNS IN ACCORDANCE WITH ASTM ASOO AND FINISHED WITH CORROSION RESISTANT COATING PER ASTM B117. STEEL COLUMNS AT BASEMENT LOCATIONS SHALL PENETRATE THE BASEMENT SLAB DOWN TO THE TOP OF THE COLUMN FOOTING BELOW SLAB.
- L ALL BRICK STEEL LINTELS SHALL BE SIZED PER STRUCTURAL DRAWINGS ON SHEET SD1.

06. WOOD 1. FRAMING LUMBER SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION WHICH

MEMBER	GRADE	VALUES
FRAMING LUMBER	HEM/SYP/SPF #2 OR BETTER	Fb = 875 PSI
PRESSURE TREATED LUMBER	SYP #2 OR BETTER	Fb = 975 PSI
PLATES	HEM/SYP/SPF #3	Fc = 425 PSI
BLOCKING	STANDARD	Fb = 275 PSI

- BLUCKING

  15 2.7 ST

  2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICAN WOOD COUNCIL (AWC),

  "WOOD FRAME CONSTRUCTION MANUAL" (WFCM) AND SHALL COMPLY WITH RIC R301.1 TO SUPPORT

  AND TRANSFER ALL LOADS SAFELY TO THE FOUNDATION.

  3. THE DESIGN LOADS FOR PREFABRICATED WOOD TRUSSES ARE PER THESE SPECS., THE GOVERNING BUILDING CODE

- MIND PRESSORE RESISTANCE TO BE PERFORMED IN SIST MESSO.

  8. DOORS, WINDOWS AND GLASS

  1. INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTALLATION RECOMMENDATIONS.

  2. ALL ALLIMANIM AND/OR VERYIL (PVC) AND/OR WOOD WINDOWS AND DOORS SHALL CONFORM TO CLASS R WITH DP PERFORMANCE GRADE AS NOTED ON THE COVER SHEET, TESTED PER AAMA/YDMA/CSA 101/LS.2/A440 FOR THE APPLICABLE WINDOW AND DOOR TYPES SHOWN ON THE DRAWNINGS. INSTALL TEMPERED GLASS AND WINDOWS WHERE NOTED ON PLANS OR AS REQUIRED BY COOL. EMERCY PERFORMANCE RATINGS FOR UTALLES AND SHIGS SHALL BE AS NOTED ON THE COVER SHEET AND TESTED PER NIFIC 100 AND NIFIC 200 RESPECTIVELY.

  3. RETAIL ADDIA AND BE AERING OF WINDOWS TO BE DIA MCCORDANCE WITH LANGE CRUSTED WINTEND.
- BE AS NOTED ON THE CUVEN SHEET AND TESTED PER NIFC TOO AND NIFC 200 RESPECTIVELY.

  3. RISTALLATION AND FLASHING OF WINDOWS AND DOORS TO BE IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS AND ASTM E2112.

  4. INSECT SCREENS TO BE IN ACCORDANCE WITH ANSI/SMA 1004, ANSI/SMA 2006, OR ANSI/SMA 3001.

  5. PROVIDE AND INSTALL HARDWARE PER OWNER'S SCHEDULE.

  6. GARAGE DOORS SHALL BE CERTIFEED IN ACCORDANCE WITH ASTM/DASMA 108 FOR THE ARPH ICABLE WIND DESCRIPES AS NOTED AND THE ACCORDANCE WITH ASTM/DASMA 108 FOR THE

- APPLICABLE WIND PRESSURES AS NOTED ON THE COVER SHEET.

- 09. FINISHES

  1. GYPSUM WALL BOARD, GYPSUM SHEATHING MATERIALS AND ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE

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- 10. SPECIALTIES

  1. PROVIDE KITCHEN AND BATH CABINETS FIXTURES AND APPLIANCES, FIREPLACE, HARDWARE AND MISC, ITEMS PER OWNERS INSTALLATION INSTRUCTIONS. PRE-FAB FIREPLACES TO BE ULLISTED AND COMPLY WITH UL 127. 11-14. N/A

  15. MECHANICAL

  1. INSTALL VENTILATORS AND HEATING AND AIR CONDITIONING SYSTEMS AS SHOWN ON PLANS OR PER OWNER'S SCHEDULE.

- SIZE ALL EQUIPMENT PER ACCA MANUAL S AND J AND INSTALL FOR FUTURE ACCESS SERVICE AND REMOVAL. PROVIDE COMPLISTION AIR WHEN REQUIRED PER M1701. ALL DUCTWORK AND PIPING LOCATED IN UNCONDITIONED SPACES SHALL BE INSULATED AND SEALED PER CODE. INSTALL DRYER DUCT TO OUTSIDE WITH SMOOTH METAL DUCTING WITHOUT SCREWS AND WITH MINIMUM BENDS, MAXIMUM DUCT LENGTH PER IRC M1502
- VENTING: ALL DRYERS AND BATH EXHAUSTS MUST BE VENTED DIRECT TO THE EXTERIOR OF THE STRUCTURE WITH A BACKDRAFT DAMPER IN ACCORDANCE WITH THE CURRENT CODE. 3. PROVIDE A PROGRAMABLE THERMOSTAT, MANUALS FOR MECHANICAL AND WATER HEATING FOUIPMENT ENERGY COMPLIANCE CERTIFICATE AND ALL OTHER REQUIREMENTS OF THE CURRENT ENE
- ENERGY COMPILANCE CERTIFICAL AND ALL OTHER REQUEST.

  1. TEMPINAL HOOK UP IS REQUIRED FOR ALL FIXTURES, APPLIANCES, MOTORS, FANS AND CONTROLS. LOCATION
  OF OUTLETS AND EQUIPMENT ON PLANS IS APPROXIMATE, EXACT ROUTING OF WIRING AND OUTLETS SHALL
  BE GOVERNED BY STRUCTURAL CONDITIONS AND DISTRUCTIONS.
  2. ALL ELECTRICAL BREAKERS AND CONTROLS SHALL BE PROPERLY LABELED, INSTALL GFCI PROTECTED AND AFCI
  OUTLETS WHERE SHOWN ON PLANS OR AS REQUIRED BY CODE, MATERIAL AND EQUIPMENT SHALL BEAR A UL LABEL
  LIGHT PRIVILES MUST MEET CLEARANCES STATED IN THE NEC. INSTALL LIGHT STRUCKES AT 3' 6" A.F.F. AND OUTLETS

  137 A.F.E. TO PENTERLINE LIN.O.
- LIGHT FIXTURES MUST HEET CLEARANCES STATED IN THE MED. IN STATE AND TO CENTERLINE U.N.O.

  3. INSTALL ELECTRIC SMOKE DETECTORS, CARBON MONOXIDE/ALARMS WHERE SHOWN ON PLANS. ALL DETECTORS
  MUST BE INTER-CONNECTED AND MOROPROPATE A BATTERY BACK-UP, INSTALL PER NFTA 72 AND UL 217 REQUIREMENTS.
  CO ALARMS TO COMPLY WITH NFPA 720 AND UL 2034. COMBINATION SMOKE/CO ALARMS MUST BE USTED PER UL 2034.

  4. PROVIDE HIGH EFFICACY LAMPS IN PERMANENT FIXTURES PER CURRENT ENERGY CODE.
- PHOYDE BINST ETFOCK STATES.
   PLIMEBING
   BISTALL PLUMBING PIXTURES, SUPPLY AND WASTE LINES PER GOVERNING CODE. ALL NOTCHES AND CUTS IN FRAMING SHALL NOT EXCEED MAX. DMENSIONS AS DEFINED IN THE BUILDING CODE. PROTECT PLUMBING LINES AND REINFORCE STUD WALL NOTCHES WITH 16 GA. METAL PLATES.

### **BUILDING CODE SUMMARY**

Proposed Use: Owner: Contact Person:	Detached Single Chesapeake Horn	nes		
Contact i ciscii.	Brad Blough	Telephone #: (919)	256-3060 E-mail:	bblough@cheshomes.com
DESIGNER OF R	ECORD:			
Designer	Name	License #	Telephone #;	E-mail;
ArchitectJa	ames W. Wentling	NC-Arch. # 4642	(215) 568-2551	JamesWentling @wentlinghouseplans
Structural: _Jo	onathan A. Troxler	NC-P.E # 27845	(919) 878-1617	jtroxler @southernengineers.
				G southernering inteers.
BUILDING DATA:				
	ode; 2018 North	Carolina State Resident		

### DESIGN LOADS:

Floor Live Load: Floor Live Load Sleeping Rooms:	
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20 PSF 115-120 MPH C B Moderate 12\* Moderate to Heavy 20 a

Minimum Insulation (R-30 w/ Raised Heel Truss)

Floors: Slab: Glazing 'U' Value: (Note: Minimum insulation values per Southern Energy Reports)

### SOIL BEARING CAPACITIES:

Presumptive Bearing Capacity: 2.000 PSF

TEVT	DESCRIPTION	TEVE	DECCRIPTION
TEXT	DESCRIPTION	<u> IEXI</u>	DESCRIPTION
AF.F.	: ABOVE FINISHED FLOOR	HANUF. :	MANUFACTURER
ALUNL	: ALUMINUM	MAX. :	HAXIMUM
BRG.	: BEARING	MIN. :	MNMUN
С	: CARPET	0.C. :	ON CENTER
CLG.	: CEILING	OPT. ;	OPTIONAL
cr	: CEILING JOISTS	osa :	ORIENTED STRAND BOARD
CONC.	: CONCRETE	P.T. :	PRESSURE TREATED
COND.	: CONDITION	R :	RISERS
DBL JST.	: DOUBLE JOIST	REF. :	REFIGERATOR
DIA.	: DIAMETER	REQ, :	REQURED
DWG.	: DRAWING	R&S :	ROD AND SHELF
E, M.	: ELECTRIC METER	RR. :	ROOF RAFTERS
ENG.	; ENGINEERED	R.T. :	ROOF TRUSSES
E.P.	: ELECTRICAL PANEL	s.c. :	SOLID CORE
EQ.	: EQUAL	S.S. :	SELECT STRUCTURAL
EXT.	: EXTERIOR	SHOW. :	SHOWER
FOUND.	: FOUNDATION	SL :	SIDE LITE
FTG.	: FOOTING	SPEC. :	SPECIFICATIONS
H.P.D.	: HINGED PATIO DOOR	т. :	TREADS
H.	: HGH	темр. :	TEMPERED
нз	: HOSE BIBB	T.O.F. :	TOP OF FOUNDATION
INCL.	: INCLUDED	TYP. :	TYPICAL
INT.	: INTERIOR	UNO. :	UNLESS NOTED OTHERWIS
1M	: JOIST HANUFACTURER	v :	VINIL.
21	: JACK STUDS	W/ :	WITH

ADDDEVIATIONS

### JAMES WENTLING/ ARCHITECTURE LAND PLANNING



REVIS	SIONS	
KARK	DATE	DESCRIPTION
АМ	12-29-20	OPT. GOURMET ISLAND
АМ	01-14-21	RESTAMP SHEET
DN	02-09-21	OPT. PORCH POOTINGS
AM	09-09-21	M. BATH WINDOW
JW	02-07-23	NEILL'S POINT/FARM
DN	02-15-23	OPT, EXT. FINISHES
DN	02-23-23	1'-0" DINING EXTENSION STRUCT, DWGS, REV.

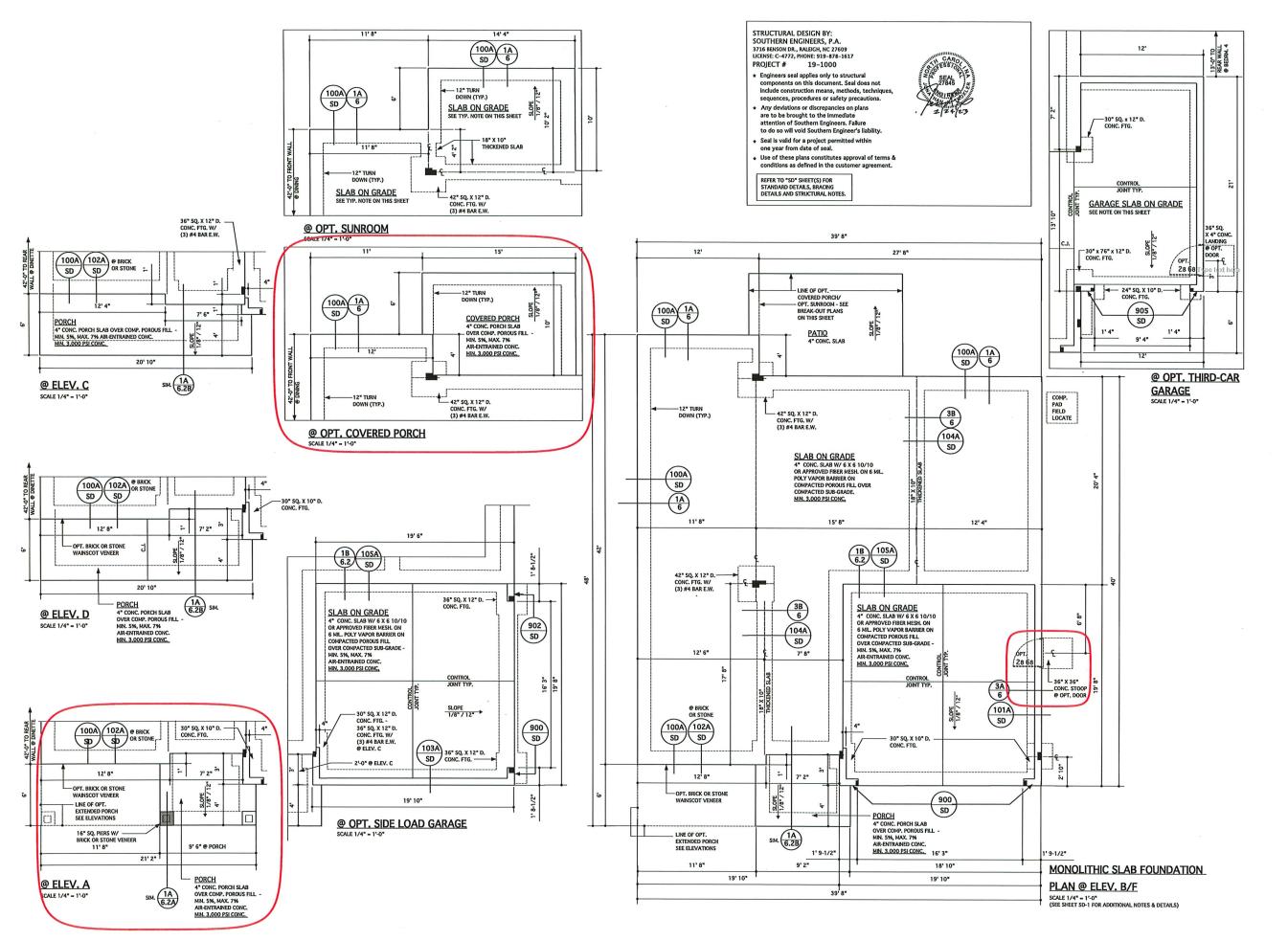
NO SCALE PERMITS/CONSTRUCTION

GARAGE RIGHT

MODEL 6260 -

**CHESAPEAKE** HOMES OF NC 3100 Smoketre Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

> CONTENTS AND PROJECT INFORMATION





	СН	12-10-19	3RD CAR GARAGE EXT.		
	AM	01-14-21	RESTAMP SHEET		
	DN	02-09-21	OPT. PORCH FOOTINGS		
	AM	09-09-21	RESTAMP SHEET		
	JW	02-15-23	NEILL'S POINT/FARM		
	DN	02-23-23	1'-0' DINING EXTENSION/ STRUCT, DWGS, REV.		
	PROJECT	T NO. 113-81	1		
	DATE	01-08	-18		
	SCALE	AS NO	OTED		
	DRAWN BY JK				
	OÆCKE	JW.			
	ISSUED FOR PERMITS/CONSTRUCTION				
i	PROJECT	TITLE			
	MODEL 6260 - GARAGE RIGHT				
I	CHESAPEAKE				

HOMES OF NC 3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

DRAWING TITL

MONOLITHIC SLAB FOUNDATION PLAN

2

STRUCTURAL DESIGN BY: SOUTHERN ENGINEERS, P.A. 3716 BENSON DR., RALEIGH, NC 27609 LICENSE: C-4772, PHONE: 919-878-1617 PROJECT # 19-1000

- \* Engineers seal applies only to structural components on this document. Seal does not include construction means, methods, techniques sequences, procedures or safety precautions.
- Any deviations or discrepancies on plans are to be brought to the immediate attention of Southern Engineers. Failure to do so will void Southern Engineer's liability.
- Seal is valid for a project permitted within one year from date of seal.
- Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

### PORTAL FRAME LEGEND

SEE SD SHEETS FOR PORTAL FRAME DETAILS

APA-PF: APA PORTAL FRAME

APA-PF-END; END CONDITION FOR APA PORTAL FRAME CS-PF: CONTINUOUS PORTAL FRAME CONSTRUCTION

CS-PF-END; END CONDITION FOR CONTINUOUS PORTAL FRAME

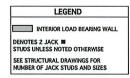
REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.

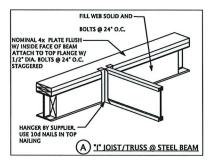


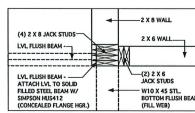
WALLS ARE DIMENSIONED TO FACE OF STUD AND ARE 3-1/2" THICK UNLESS NOTED OTHERWIS (SEE SHEET SD-1 FOR ADDITIONAL NOTES & DETAILS)

(SEE FLOOR SYSTEM LAYOUT AND SHOP DRAWINGS FO TO VERIFY BEAM & TRUSS SIZES AND LOCATIONS.)

NOTE: SEE ELEVATIONS FOR OPT. BRICK OR STONE WAINSCOT/VENEER TYPES & LOCATIONS







**BEAM/STUD CONNECTION DETAIL 2** 

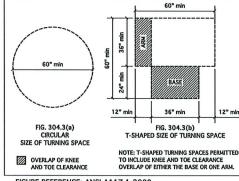


FIGURE REFERENCE: ANSI A117.1-2009

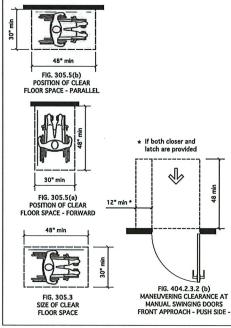
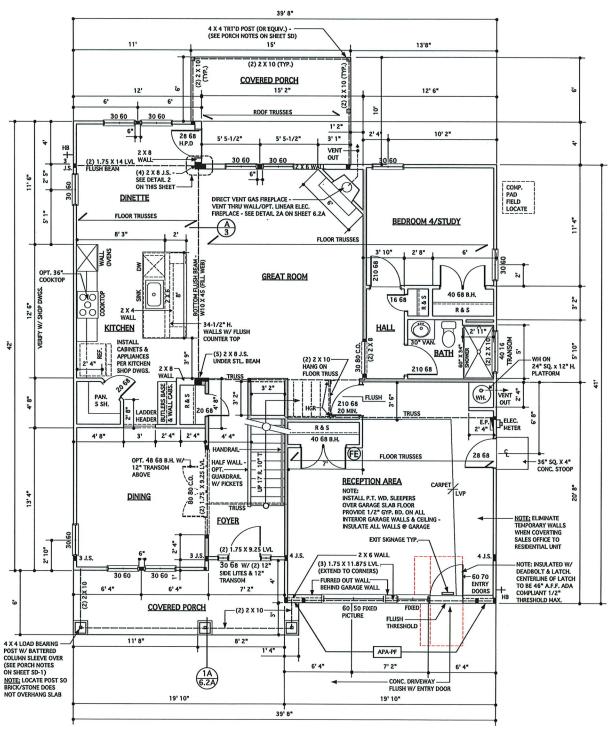


FIGURE REFERENCE: ANSI A117.1-2009



FIRST FLOOR PLAN @ ELEV. A

JAMES WENTLING/ ARCHITECT

LAND TITLE BUILDING 100 SOUTH BROAD STREET, SUITE 1524 PHILADELPHIA, PA 19110

(215) 568-2551

ARCHITECTURE

LAND PLANNING GRAPHICS



CH 12-10-19 3RD CAR GARAGE EXT. AM 01-14-21 RESTAMP SHEET AM 09-09-21 RESTAMP SHEET JW 02-15-23 NEILL'S POINT/FARM DN 02-23-23 1'-0' DINING EXTENSION STRUCT, DWGS, REV. TF 04-19-23 SALES OFFICE - LOT 104

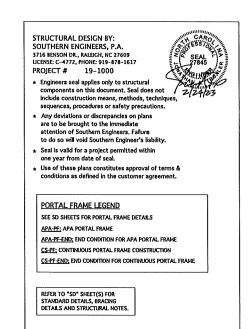
113-88 01-08-18 AS NOTED

MODEL 6260 -GARAGE RIGHT THE FARM AT NEILL'S CREEK - SALES OFFICE -LOT 104

CHESAPEAKE HOMES OF NC

3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

FIRST FLOOR PLANS



### NOTES:

WALLS ARE DIMENSIONED TO FACE OF STUD AND ARE 3-1/2" THICK UNLESS NOTED OTHERWISE.

(SEE SHEET SD-1 FOR ADDITIONAL NOTES & DETAILS)

(SEE FLOOR SYSTEM LAYOUT AND SHOP DRAWINGS FOR ADDITONAL INFORMATION AND TO VERIFY BEAM & TRUSS SIZES AND LOCATIONS)

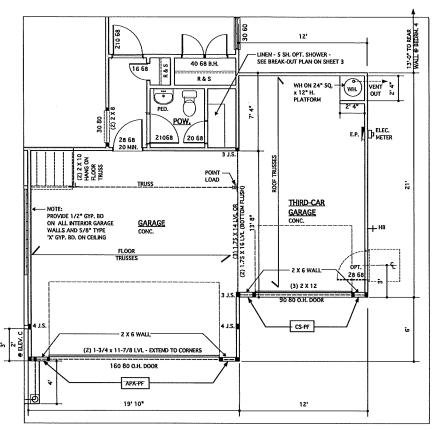
NOTE: SEE ELEVATIONS FOR OPT, BRICK OR STONE WAINSCOT/VENEER TYPES & LOCATIONS

LEGEND

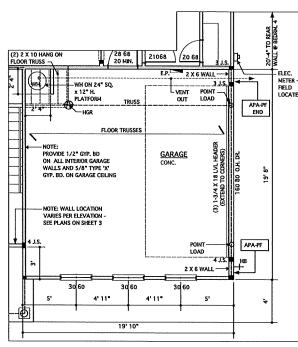
INTERIOR LOAD BEARING WALL

DENOTES 2 JACK STUDS UNLESS NOTED OTHERWISE

SEE STRUCTURAL DRAWINGS FOR NUMBER OF JACK STUDS AND SIZES

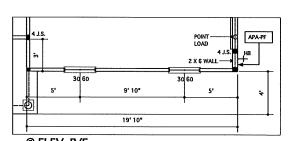


FLOOR PLAN @ OPT. THIRD-CAR GARAGE SCALE 1/4" = 1"-0"
NOTE: SEE FIRST FLOOR PLAN ON SHEET 3 FOR ADDITIONAL NOTES & DIMENSIONS

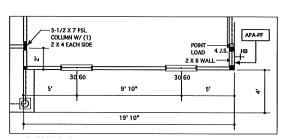


@ OPT. SIDE-LOAD GARAGE @ ELEV. A

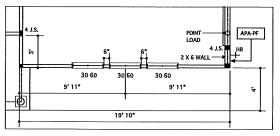
SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.



@ ELEV. B/F SCALE 1/4" = 1'-0" - 9'-0" CLG, U.N.O.



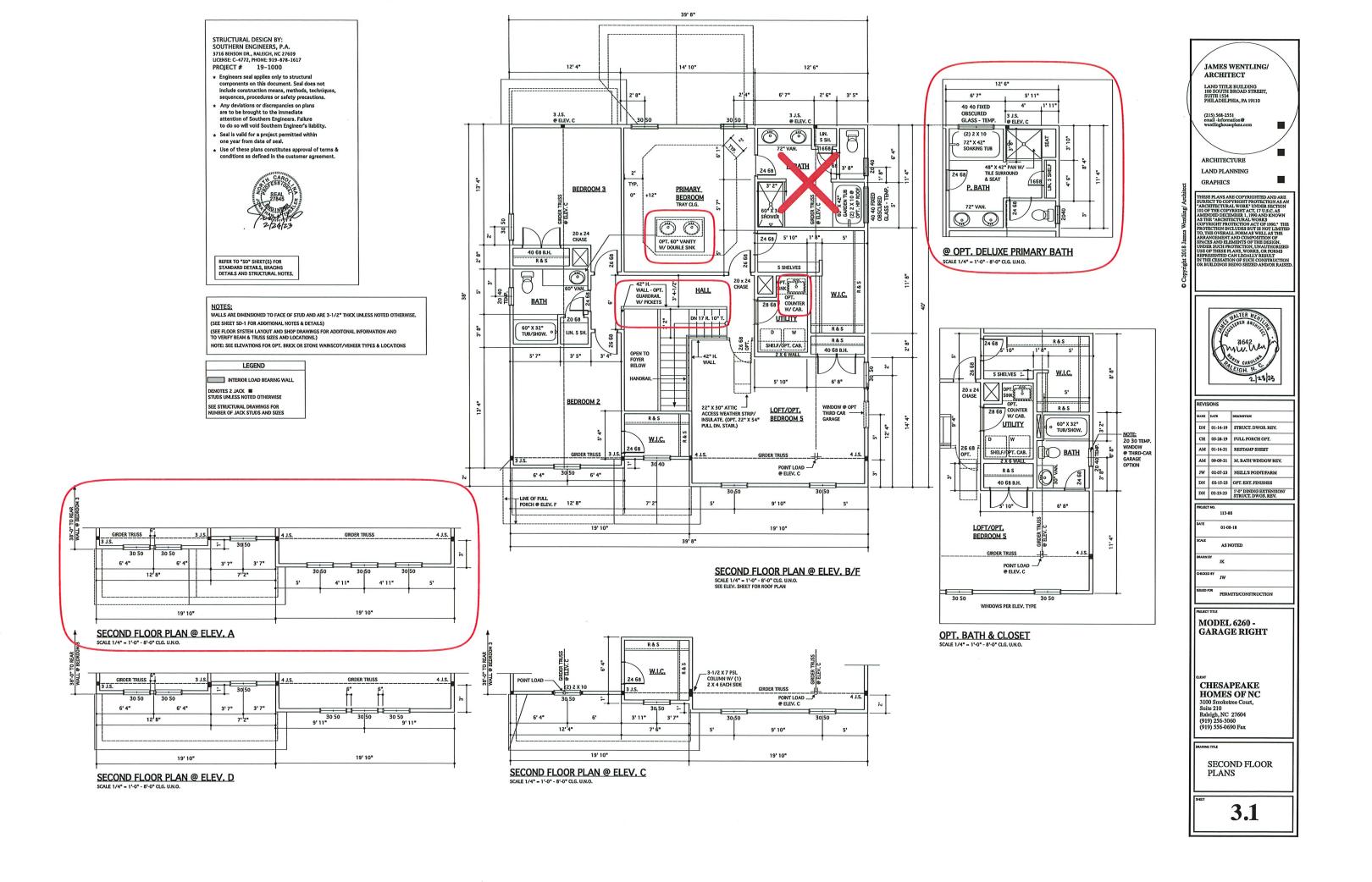
@ ELEV. C

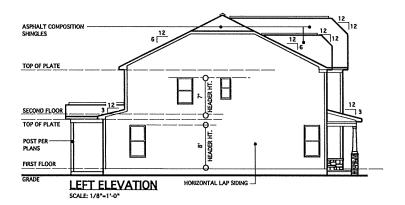


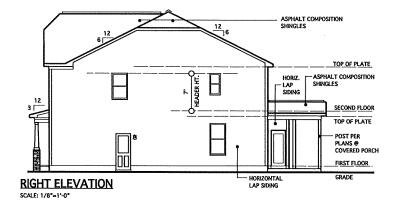
@ ELEV. D SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.







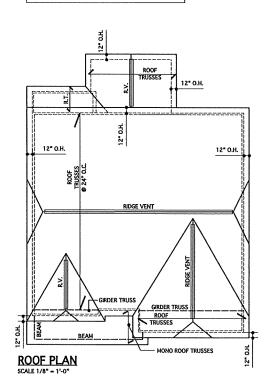


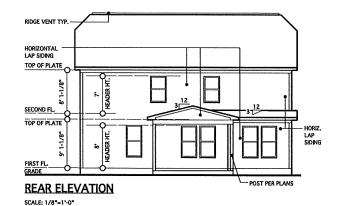


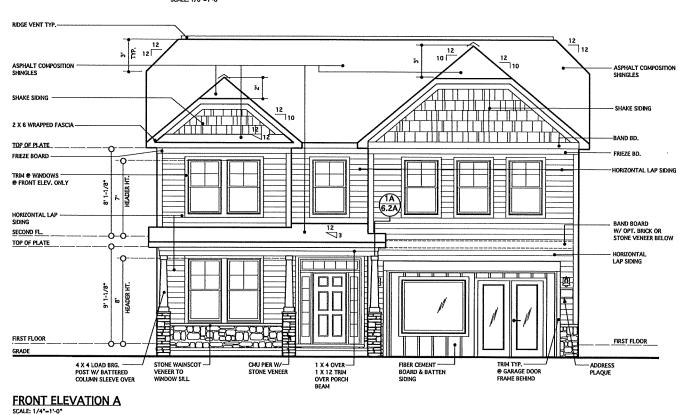
	REQUIRED VENTILATION SO	CHEDULE
1	,942 SQ. FT. OF CEILING AREA / 300	= 6.48 SQ. FT. REQ.
ROOF. VENTS	6.48 X 0.5 = 3.24 SQ, FT. 3.24 SQ, FT. X 144 = 466 SQ, IN. 466 SQ, IN. / 18 SQ, IN. = 26 (18 SQ, IN. PER LIN. FT.)	= 26 LIN. FT. REQ. 74 LIN. FT. PROVIDED
SOFFIT. YENTS	6.48 X 0.5 = 3.24 SQ, FT. 3.24 SQ, FT. X 144 = 456 SQ, IN. 466 SQ, IN. / 9 SQ, IN. = 52 LIN. FT. (9 SQ, IN. VENT PER LIN. FT.)	= 52 LIN. FT. REQ. 82 LIN. FT. PROVIDED

### CODE REFERENCE: 2018 NCSBC, RESIDENTIAL CODE, R806.2

NOTE: BUILDING ELEMENTS ARE TO BE APPLIED TO MEET LOCAL WINDLOAD REQUIREMENTS







JAMES WENTLING/ ARCHITECT

LAND TITLE BUILDING 100 SOUTH BROAD STREET, SUITE 1524 PHILADELPHIA, PA 19110

(215) 568-255 email -information@ wentlinghouseplans.com

ARCHITECTURE

LAND PLANNING

GRAPHICS

THESS PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN 'ARCHITECTURAL WORK' UNDES SECTION 100 OFFISE COPYRIGHT ACT, 17 U.S.C., AS WAS AS THE "ARCHITECTURAL WORKS COPYRIGHT ACT, 1900." THE PROTECTION ACT, 1900. "THE PROTECTION ACT, 1900." THE DESIGN. UNDER SUCH FROTECTION, UNAUTHORIZED USB OF THESE PLANS, WORKS, OR FORMS USB OF THESE PLANS, WORKS, OR FORMS THE PROTECTION, UND THE DESIGN. IN THE CESS ATTOM OF SUFIC CONSTRUCTION OR BUILDINGS BEING SEIZED ANDOR RAISE



REVIS	SIONS	
MARK	DATE:	DESCRIPTION
AM	01-14-21	RESTAMP SHEET
AM	09-09-21	M. BATH WINDOW
JW	02-07-23	NEILL'S POINT/FARM
DN	02-15-23	OPT. EXT. FINISHES
DN	02-23-23	1'-0" DINING EXTENSION, STRUCT, DWGS, REV.
TF	04-19-23	SALES OFFICE - LOT 104

PROJECT NO.	
	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	DN
CHECKED BY	лw
ISSUED FOR	PERMITS/CONSTRUCTION

PROJECT TITLE

MODEL 6260 -GARAGE RIGHT THE FARM AT NEILL'S CREEK - SALES OFFICE -LOT 104

CHESAPEAKE
HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TH

ELEVATION A AND ROOF PLAN

4



OPT. BRICK OR STONE \_\_\_\_\_ WAINSCOT VENEER TO WINDOW SILL

HORIZ. VINYL SIDING

 4 X 4 P.T. LOAD BRG.
 POST W/ ROUND TAPERED COLUMN SLEEVE OVER

GRDER TR.
ROOF
ROOF
TRUSSES

LINE OF OPT.
FULL COVERED
PORCH

FIRST FLOOR

FRONT ELEVATION B

12" O.H.

**ROOF PLAN** 

6 X O.5 = 3 SQ, FT. 3 SQ, FT. X 144 = 432 SQ, IN. 432 SQ, IN. / 9 SQ, IN. = 48 LIN. FT. (9 SQ, IN. VENT PER LIN. FT.)

CODE REFERENCE: 2018 NCSBC, RESIDENTIAL CODE, R806.2

NOTE: BUILDING ELEMENTS ARE TO BE APPLIED TO MEET

LOCAL WINDLOAD REQUIREMENTS

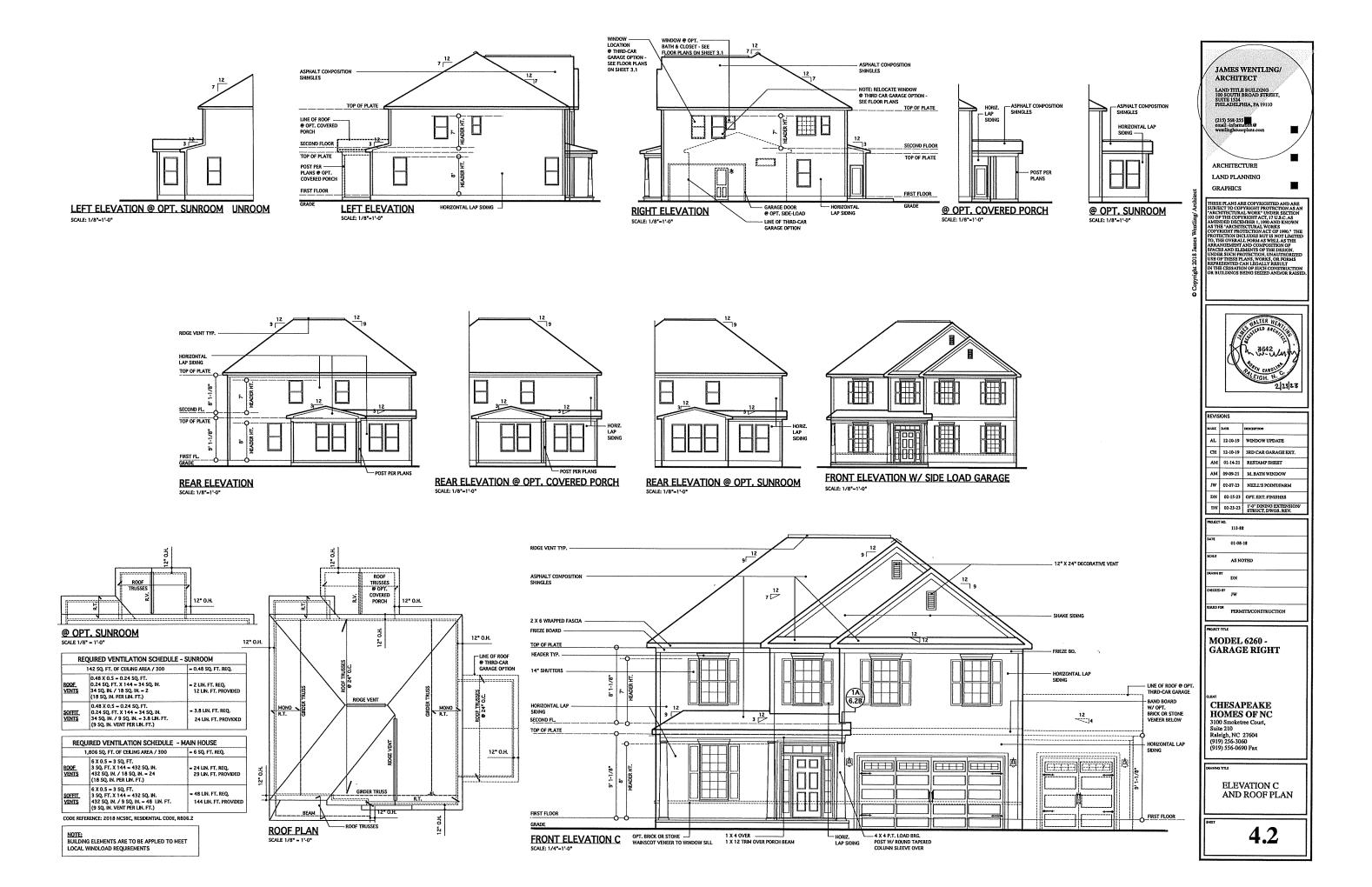
SOFFIT VENTS

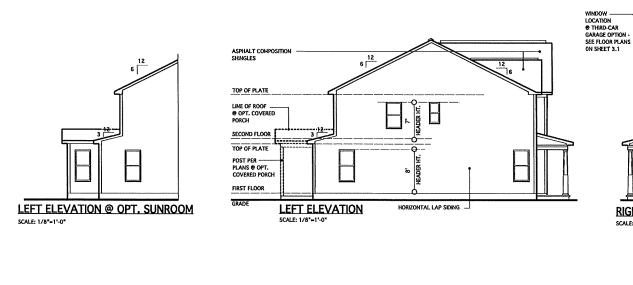
48 LIN. FT. REQ.

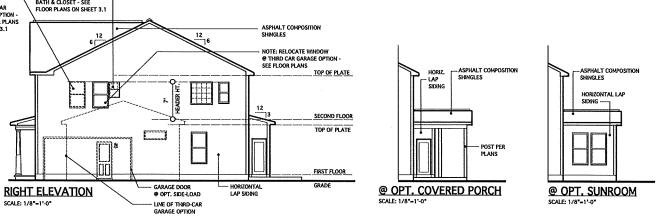
78 LIN. FT. PROVIDED

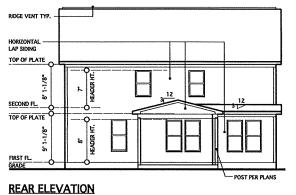
**ELEVATION B** AND ROOF PLAN 4.1

FIRST FLOOR

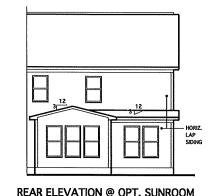










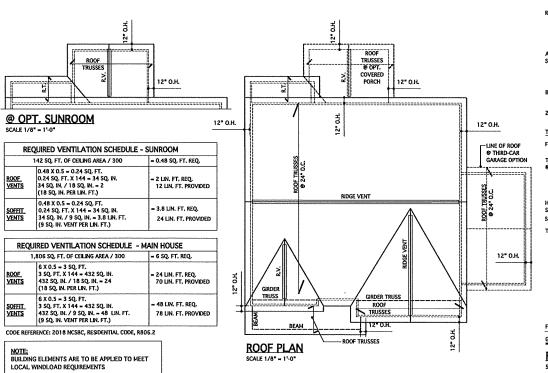


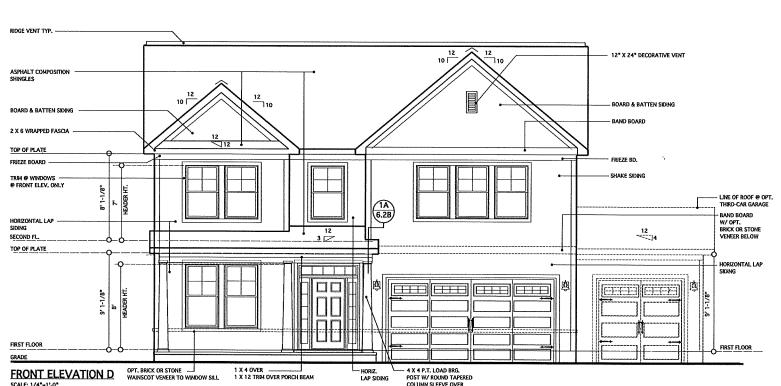


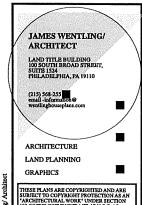
**REAR ELEVATION @ OPT. COVERED PORCH** 

REAR ELEVATION @ OPT. SUNROOM

FRONT ELEVATION W/ SIDE LOAD GARAGE SCALE: 1/8"=1'-0"







THESE MANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK UNDER SECTION 101 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMEDICED DECEMBER 1, 1900 AND ENOWN AS THE "ARCHITECTURAL WORKS COPYRIGHT FOR THE COPYRIGHT ACT, 10 1900." THE PROTECTION ACTUBES BUT IS NOT LIMITED ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION ACTUBED USE OF THESE FLANS, WORKS, OR FORMS REPRESENTED CAN LIGITATIVE THE SULT. IN THE CESSATION OF SUCH CONSTITUTION TO INSPECT OF THE SECONDARY OF THESE FLANS, WORKS, OR FORMS REPRESENTED CAN LIGITATIVE RESULT. IN THE CESSATION OF SUCH CONSTITUTION TO BUILDINGS SERVICE CONSTITUTION AS SERVICE SERVICE OF THE SECONDARY OF THESE FLANS, WORKS, OR FORMS REPRESENTED CAN LIGITATIVE RESULT.



KAR	EATE	DESCRIPTION
AL	12-10-19	WINDOW UPDATE
CH	12-10-19	3RD CAR GARAGE EXT.
АМ	01-14-21	RESTAMP SHEET
ΑМ	09-09-21	M. BATH WINDOW
JW	02-07-23	NEILL'S POINT/FARM
DN	02-15-23	OPT. EXT. FINISHES
DN	02-23-23	1'-0" DINING EXTENSION STRUCT, DWGS, REV.

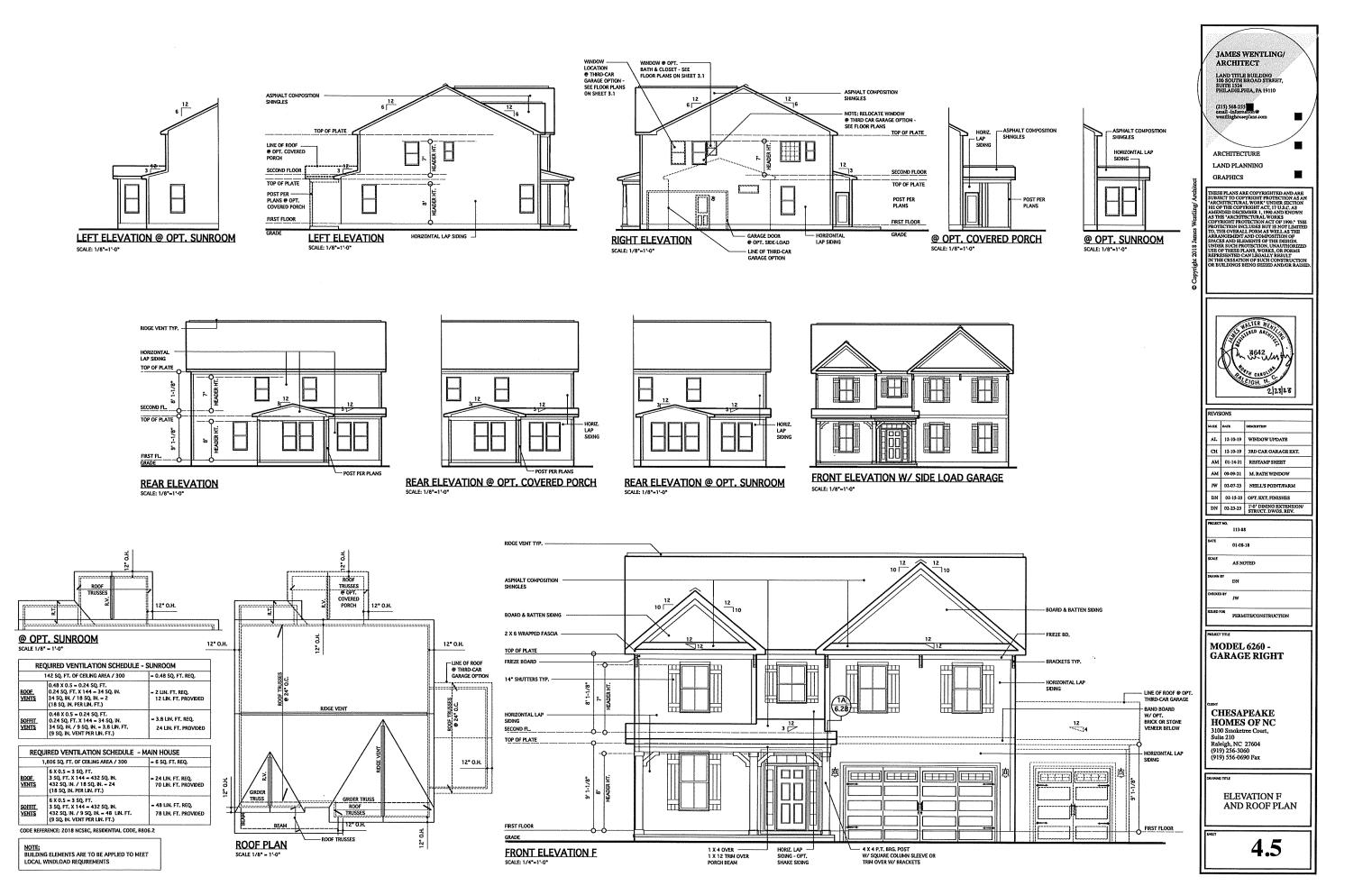
PROJECT NO.	
1	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	PERMITSACONSTRUCTION

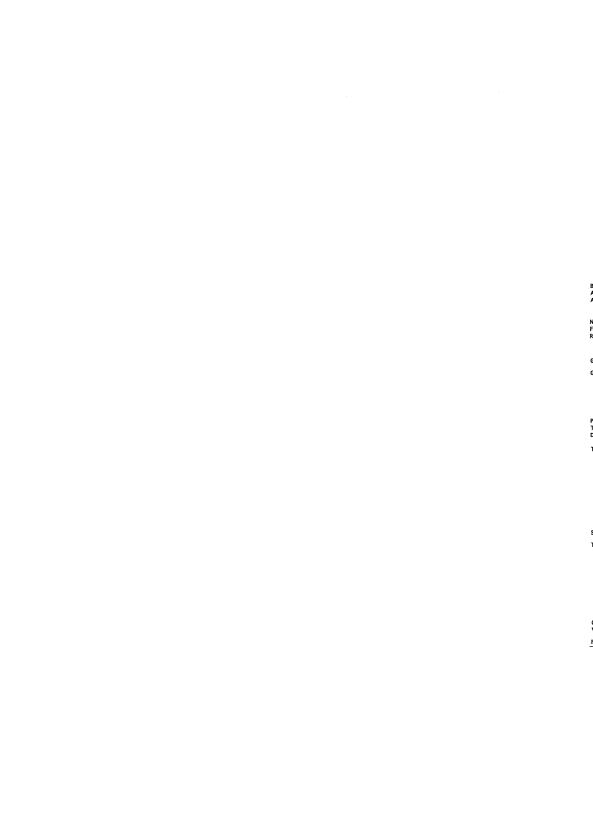
MODEL 6260 -GARAGE RIGHT

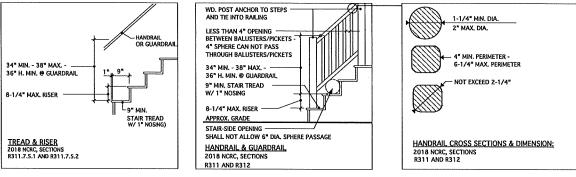
CHESAPEAKE HOMES OF NC

3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

ELEVATION D AND ROOF PLAN





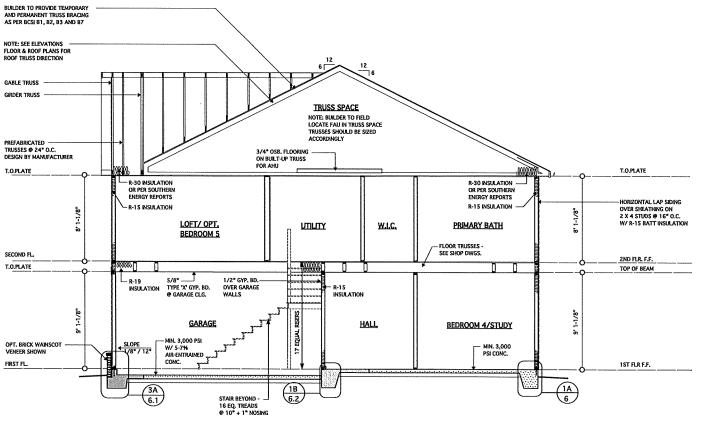


### TYP. STAIR SECTION

NO SCALE ALL STAIR AND GUARD REQUIREMENTS TO COMPLY WITH R-311 AND R312 NCRC 2018

### TYPICAL RAILING @ PORCH/DECK SCALE: 1/2" = 1'-0"

(PROVIDE GUARDRAIL BOTH SIDES WHEN HEIGHT ABOVE GRADE EXCEEDS 30"/ PROVIDE HANDRAIL ONE SIDE OF STEPS WHERE 4 OR MORE RISERS)



### TYPICAL BUILDING SECTION

SCALE: 1/4" = 1'-0"

JAMES WENTLING/ ARCHITECT

LAND TITLE BUILDING 100 SOUTH BROAD STREET, SUITE 1524 PHILADELPHIA, PA 19110

ARCHITECTURE

LAND PLANNING GRAPHICS



REVIS	SIONS	
MARE	DATE	DESCRIPTION
DN	01-14-19	MINOR UPDATE
DN	03-30-20	BLDG. HTACTTY COMMENTS
DN	05-11-20	ADJUSTMENTS/NOTATIONS.
AM	01-14-21	RESTAMP SHEET
AM	09-09-21	RESTAMP SHEET
<i>I</i> W	02-07-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0' DINING EXTENSION/ STRUCT, DWGS, REV.

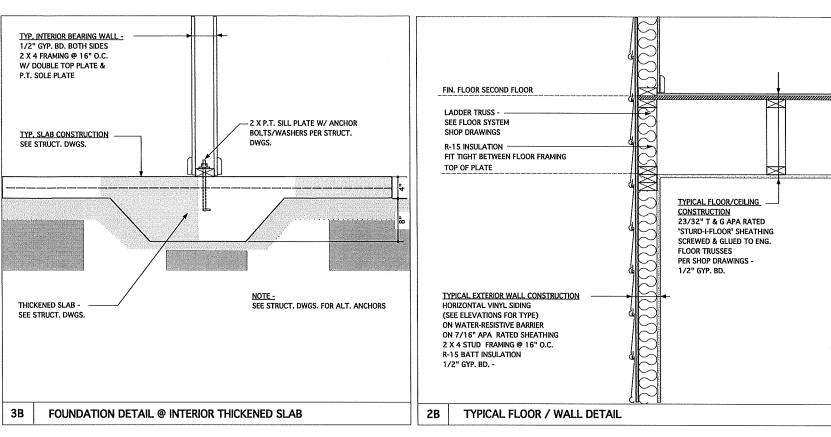
	STRUCT, DWGS, REV.
PROJECT NO.	
	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	ж
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

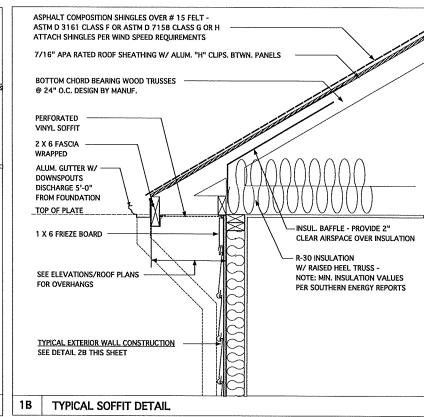
MODEL 6260 -GARAGE RIGHT

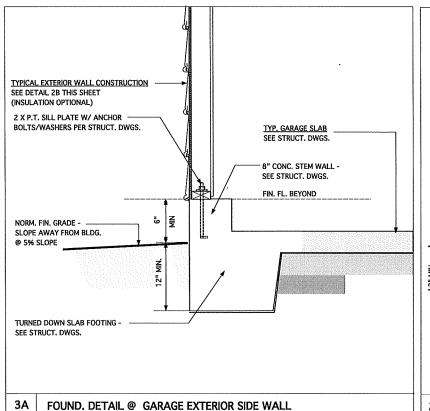
CHESAPEAKE HOMES OF NC

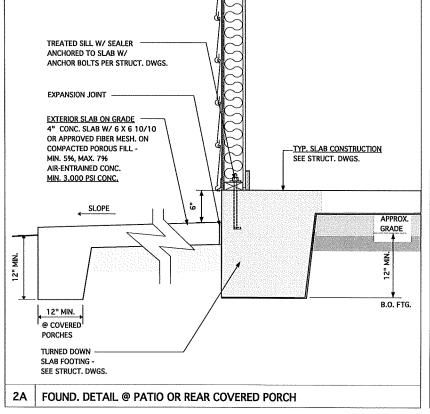
3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

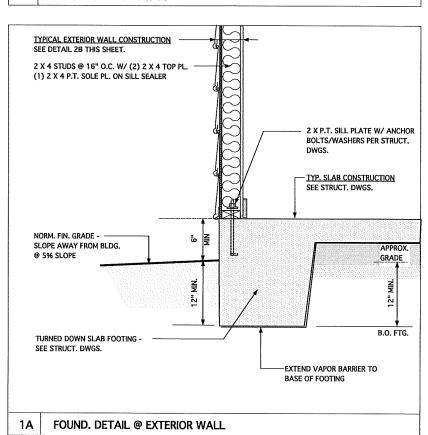
BUILDING SECTION











JAMES WENTLING/ ARCHITECT

SUITE 1524 PHILADELPHIA, PA 19110

ARCHITECTURE

LAND PLANNING

GRAPHICS

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN 'ARCHITECTURAL WORK 'UNDER SECTION 100 OF THE COPYRIGHT ACT, IT U.S.C. AS 100 OF THE COPYRIGHT ACT, IT U.S.C. AS 100 OF THE COPYRIGHT PROTECTION ACT OF 1900," THE PROTECTION INCLUDES BUT IS NOT LIMITED TO, THE OYERALL FORMAS WELL AS THE ARRANGEMENT AND COMPOSITION OF SECULO STRUCK AND COMPOSITION OF THE ARRANGEMENT AND COMPOSITION OF SECULO STRUCK AND COMPOSITION OF THE SECULO SEC



MARK	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
DN	01-14-19	MINOR UPDATE
AM	01-14-21	RESTAMP SHEET
DN	02-09-21	OPT. PORCH POOTINGS
АМ	09-09-21	RESTAMP SHEET
JW	02-07-23	NEILL'S POINT/PARM

ь	
PROJECT NO.	······································
	113-88
DATE	10-16-17
SCALE	1-1/2" = 1'-0"
DRAWN BY	DN
CHECKED BY	<b>™</b>
ISSUED FOR	PERMITS/CONSTRUCTION

PROJECT TITL

MODEL 6260 -GARAGE RIGHT

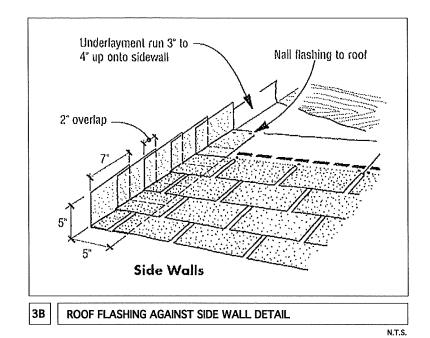
CHESAPEAKE
HOMES OF NC

3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

DEAWNG TITLE

MONOLITHIC SLAB FOUNDATION, WALL AND SOFFIT DETAILS





Step flashing
Self-adhering
membrane
Self-adhering
eaves membrane
Kickout flashing
Drip-edge

KICK-OUT FLASHING DETAIL AT ROOF FASCIA/WALL INTERSECTION

Siding Adhere shingles trimmed to cover flashing strip

Nail flashing strip over cutouts in course below

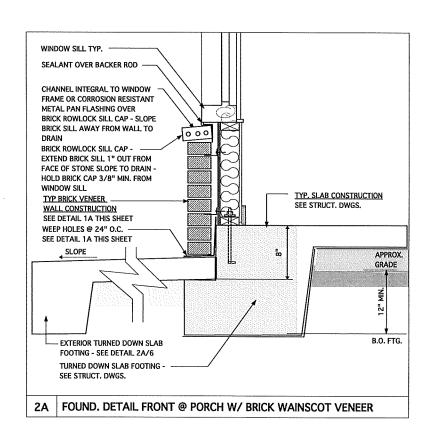
Top course at least 8' wide

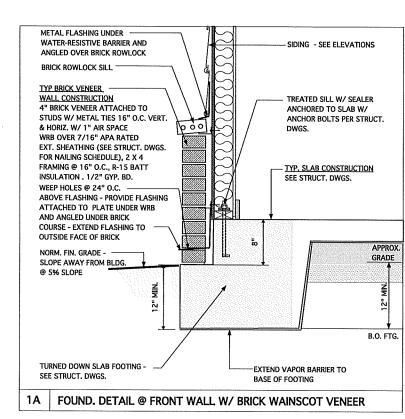
Front Walf Asphalt plastic cement

1B | ROOF FLASHING AGAINST FRONT WALL DETAIL

N.T.S.

SIDING - SEE ELEVATIONS METAL ELASHING LINDER 2 X P.T. SILL PLATE W/ ANCHOR WATER-RESISTIVE BARRIER AND BOLTS/WASHERS PER STRUCT. ANGLED OVER BRICK ROWLOCK DWGS. BRICK ROWLOCK SILL TYP BRICK WAINSCOT VENEER WALL CONSTRUCTION SEE DETAIL 1A THIS SHEET WEEP HOLES @ 24" O.C. ABOVE FLASHING TYP. GARAGE SLAB PROVIDE FLASHING ATTACHED SEE STRUCT, DWGS. TO PLATE UNDER BUILDING PAPER AND ANGLED UNDER BRICK COURSE 8" CONC, STEM WALL -EXTEND FLASHING TO OUTSIDE SEE STRUCT. DWGS. FACE OF BRICK FIN, FL, BEYOND NORM. FIN. GRADE - SLOPE AWAY FROM BLDG. @ 5% SLOPE TURNED DOWN SLAB FOOTING -SEE STRUCT. DWGS. 3A EXT. GARAGE FRONT WALL W/ BRICK WAINSCOT VENEER





JAMES WENTLING/
ARCHITECT

LAND TITLE BUILDING
100 SOUTH BROAD STREET,
SUITE 132-PHA. PA 19110

(219) 568-2251
email-information@
wentlingbouseplans.com

ARCHITECTURE
LAND PLANNING
GRAPHICS

GRAPHICS

BUBEST PLANS ARE COPYRIGHTED AND ARE
SUBJECT TO COPYRIGHT PROTECTION AS AN

THESE PLANS ARE COPYRIGHTED AND AR SUBJECT TO COPYRIGHT PROTECTION AS SUBJECT TO COPYRIGHT PROTECTION AS CO. OF THE COPYRIGHT ACT, IT AS C. AS AMENDED DECEMBER I, 1990 AND KNOWL AS THE "ARCHITECTURAL WORLD FOR THE COPYRIGHT PROTECTION ACT OF 1902". TO COPYRIGHT PROTECTION ACT OF 1902 IT TO THE OFFICE AND ACT OF THE SEGON. USE OF THESE PLANS, WORKS, OR FORMS REPRESENTED CAN LEGALLY RESULT. IN THE CESSATION OF SUCH CONSTRUCTION BUILDINGS BEING SECRED ANDOR RAIL



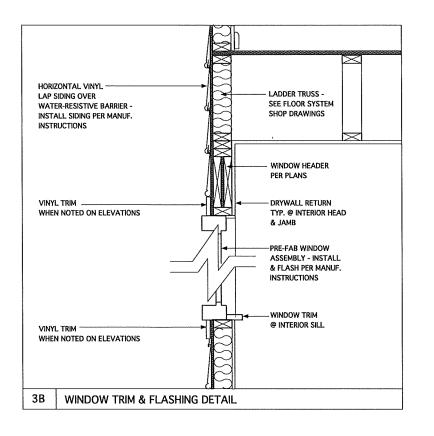
MARK	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
АМ	01-14-21	RESTAMP SHEET
АМ	09-09-21	RESTAMP SHEET
3W	02-07-23	NEILL'S POINT/PARM
PROJEC		
	113-8	5
DATE	10-16	-17
SCALE	1-1/2*	= 1'-0* U.N.O.
DRAWN	EY DN	

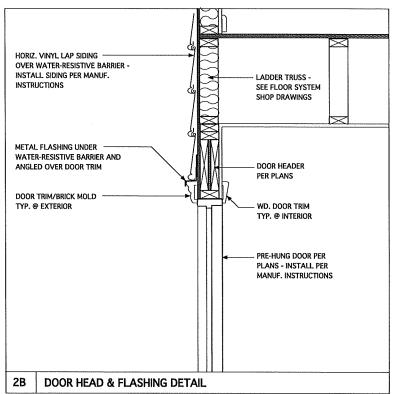
MODEL 6260 -GARAGE RIGHT

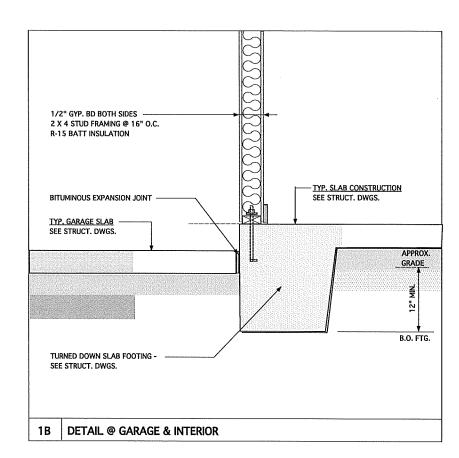
CHESAPEAKE HOMES OF NC 3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

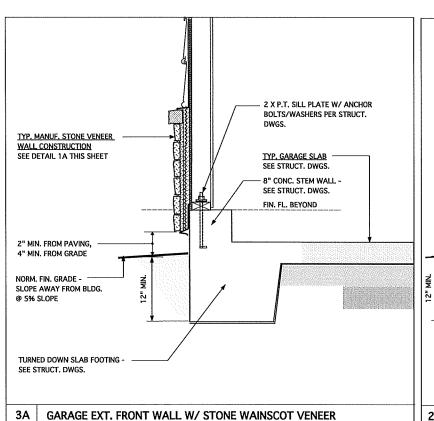
ORAWNG TITLE

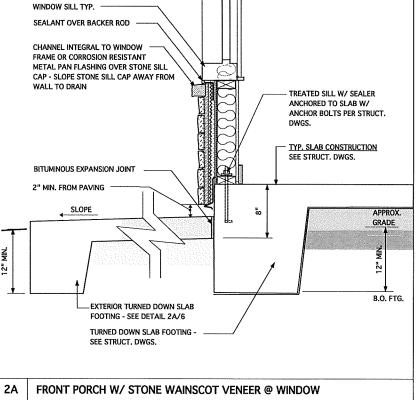
MONOLITHIC SLAB FOUNDATION AND WALL DETAILS

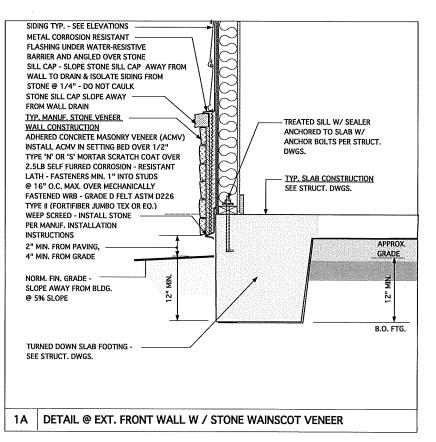














REVIS	IONS	
WAR	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGAT
AM	01-14-21	RESTAMP SHEET
АМ	09-09-21	RESTAMP SHEET
JW	02-15-23	NEILL'S POINT/FARI
PIOÆCT	ю.	
	113-8	8
DATE	10-16	-17
SCALE	1.101.	

PROJECT NO.	
PRICECT NO.	113-88
DATE	10-16-17
SCALE	1-1/2* = 1'-0*
DRAWN BY	DN
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ISSUED FOR	PERMITS/CONSTRUCTION

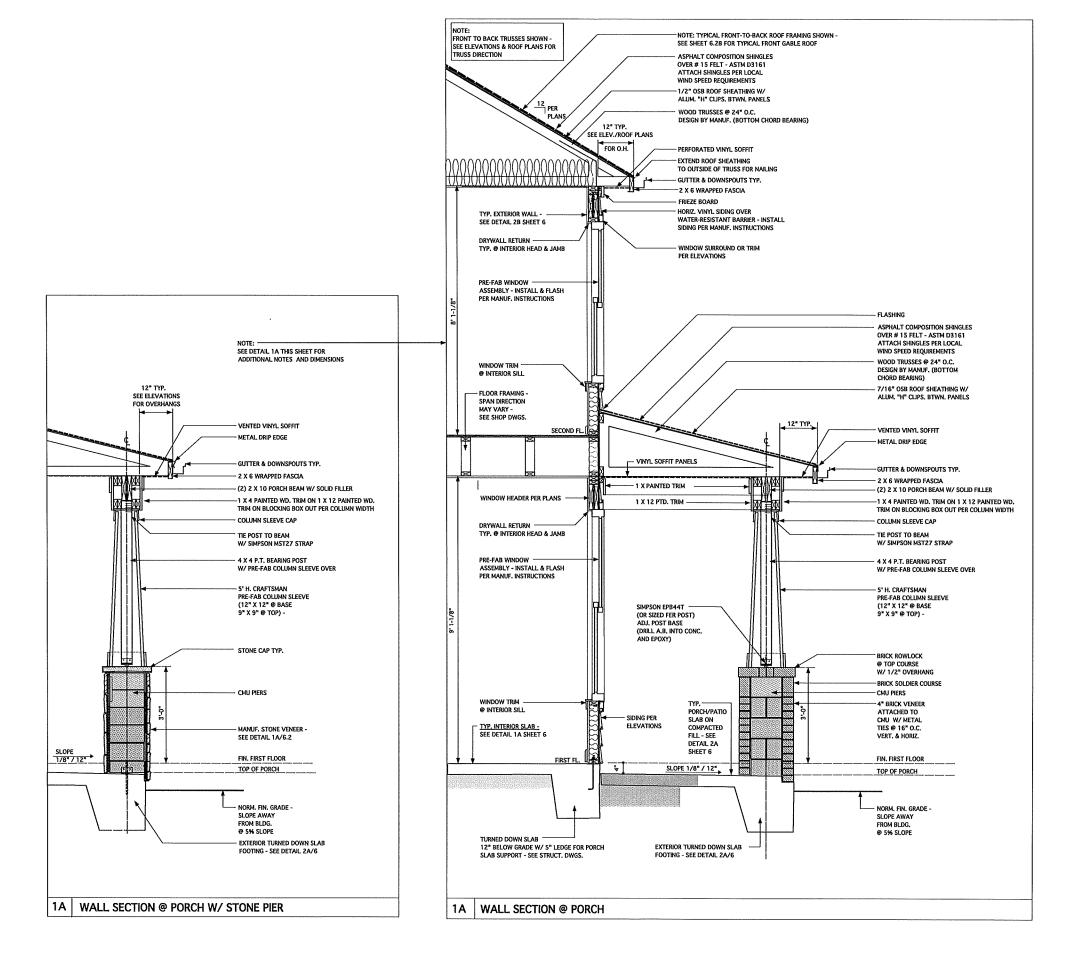
MODEL 6260 -GARAGE RIGHT

CHESAPEAKE
HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

MONOLITHIC SLAB FOUNDATION

6.2

AND WALL DETAILS



JAMES WENTLING/ ARCHITECT

ARCHITECTURE LAND PLANNING

GRAPHICS

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK. UNDER SECTION 10 MENDED COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK. UNDER SECTION 10 MENDED COPYRIGHT SECTION ACT OF 1902. THE PROTECTION ACT OF 1902. THE PROTECTION ACCUDES BUT IN OFT LIMITED ARKANISEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE BESION. UNDER SICCI PROTECTION, UNAUTHORIZED UNDER SICCI PROTECTION, UNAUTHORIZED UNDER SICCI PROTECTION, UNAUTHORIZED UNDER SICCI PROTECTION, UNAUTHORIZED IN THIS CESSATION OF SUCH CONSTRUCTION IN THIS CESSATION OF SUCH CONSTRUCTION OR BUILDINGS BEING SEZED ANDROR RAISED



MAK	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
АМ	01-14-21	RESTAMP SHEET
AM	09-09-21	RESTAMP SHEET
184	02-15-23	NEILL'S POINT/FARM

113-88 01-08-18 3/4" = 1'-0" PERMITS/CONSTRUCTION

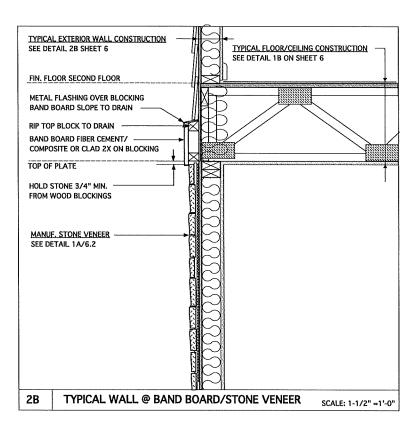
MODEL 6260 -GARAGE RIGHT

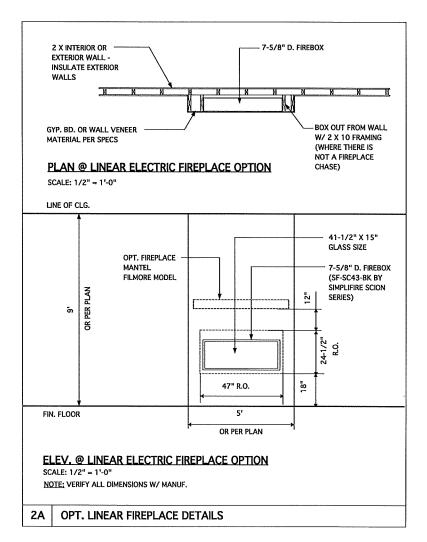
CHESAPEAKE HOMES OF NC

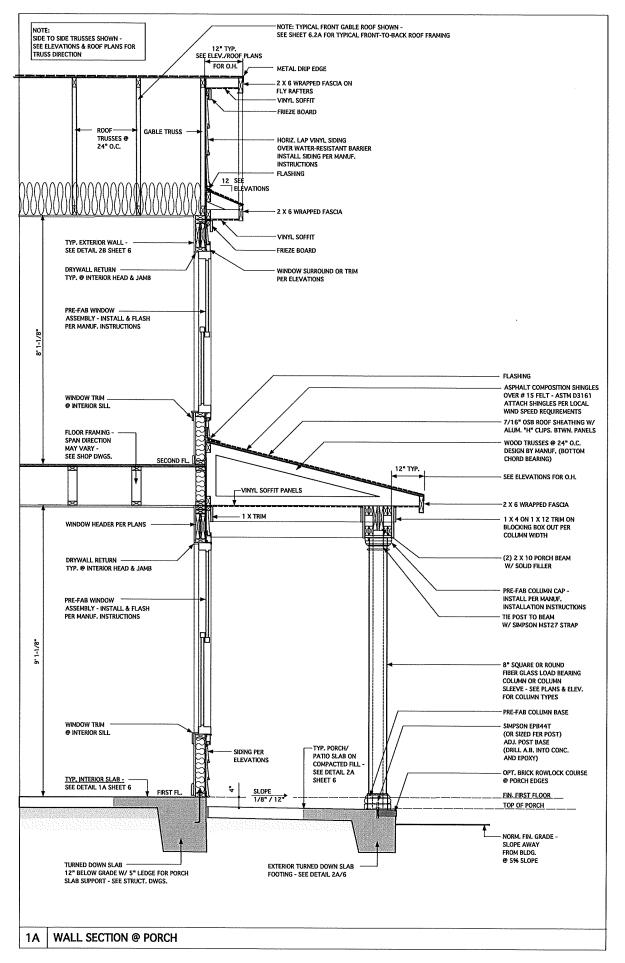
3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

ELEVATION A -DETAILS

**6.2A** 









ARCHITECTURE LAND PLANNING

GRAPHICS

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK 19 MDER SECTION 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DED EDEMBER 1, 1905 AND KNOWN AS THE PARCHITECTURAL WORKS 992. THE PROTECTION INCLUDES BUT 15 NOT LIMITED TO, THE OVERALL FLORM AS WELL AS THE TO, THE OVERALL FLORM AS WELL AS THE TO, THE OVERALL FLORM AS WELL AS THE UNDER SULF PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORKS, OR FORMS USED THESE PLANS, WORKS, OR FORMS USED THESE PLANS AND EXCEPTION OF SULT CONSTRUCTION OR BUILDINGS BEING SEZZED ANDOOR RAISS



REVIS	IONS	
MAKE	IMTE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
АМ	01-14-21	RESTAMP SHEET
AM	09-09-21	RESTAMP SHEET
JW.	02-15-23	NEILL'S POINT/FARM
	<b>—</b>	
	<u> </u>	

	1
PROJECT NO	
	113-88
DATE	01-03-18
SCALE	3/4" = 1'-0" U.N.O.
DRAWN BY	DN
O-ECKED BY	rw .
ISSUED FOR	PERMITS/CONSTRUCTION

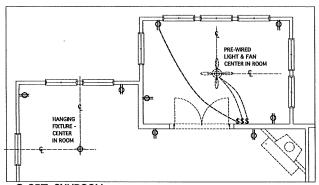
MODEL 6260 -GARAGE RIGHT

CHESAPEAKE HOMES OF NC 3100 Smoketree Court,

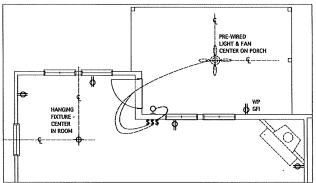
3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

ELEVATION B/C/D/F -DETAILS

**6.2B** 

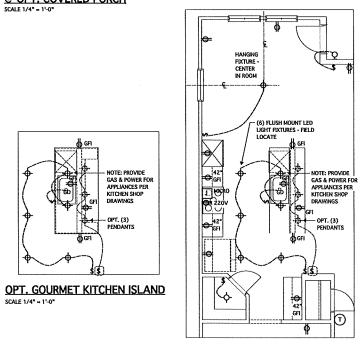


@ OPT. SUNROOM SCALE 1/4" = 1'-0"

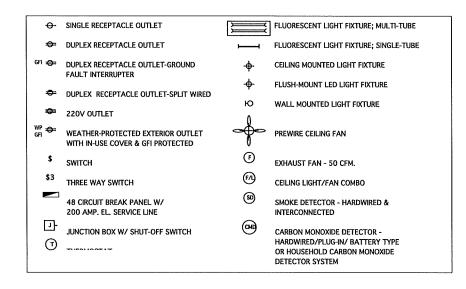


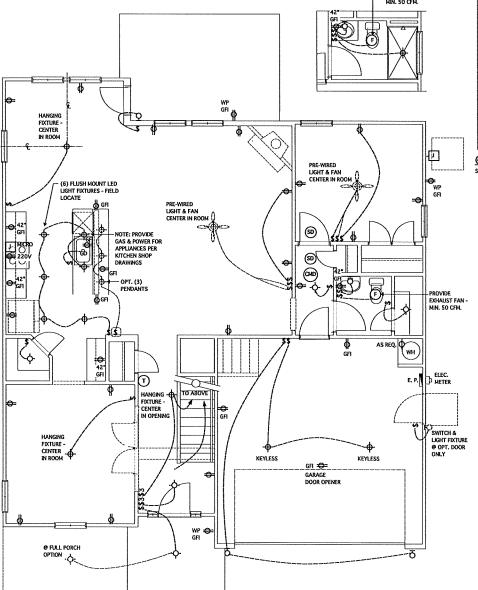
@ OPT. COVERED PORCH

SCALE 1/4" = 1'-0"

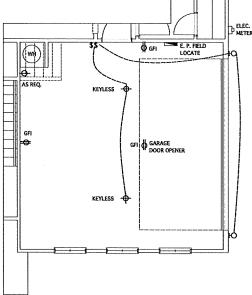


**OPT. GOURMET KITCHEN** SCALE 1/4" = 1'-0"

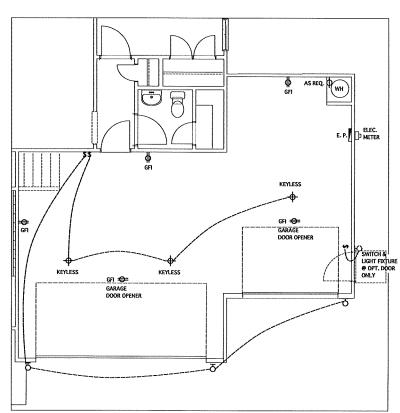


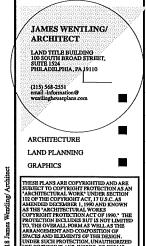


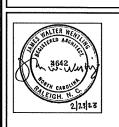
FIRST FLOOR ELECTRICAL PLAN



@ OPT. SIDE-LOAD GARAGE @ ELEV. A







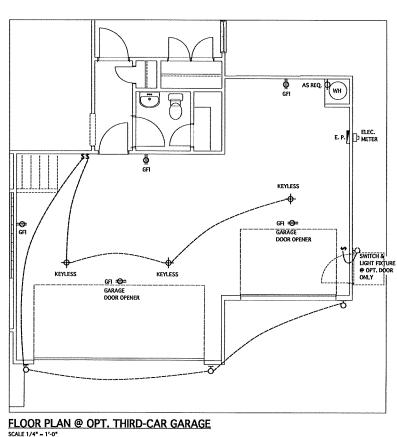
HOX	DATE	DESCRIPTION
DN	01-14-19	STRUCT, DWGS, REV.
СН	05-28-19	ELEVATIONS
СН	12-10-19	3RD CAR GARAGE EXT.
АМ	01-14-21	RESTAMP SHEET
АМ	09-09-21	RESTAMP SHEET
JW.	02-15-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT, DWGS, REV.

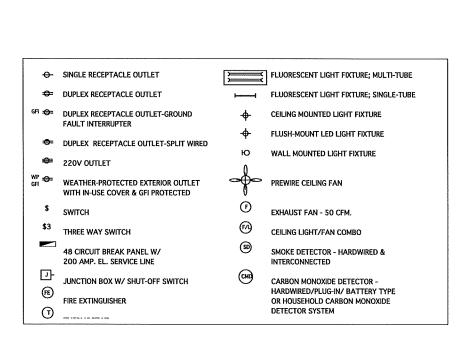
113-88 01-08-18 AS NOTED
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PERMITS/CONSTRUCTION

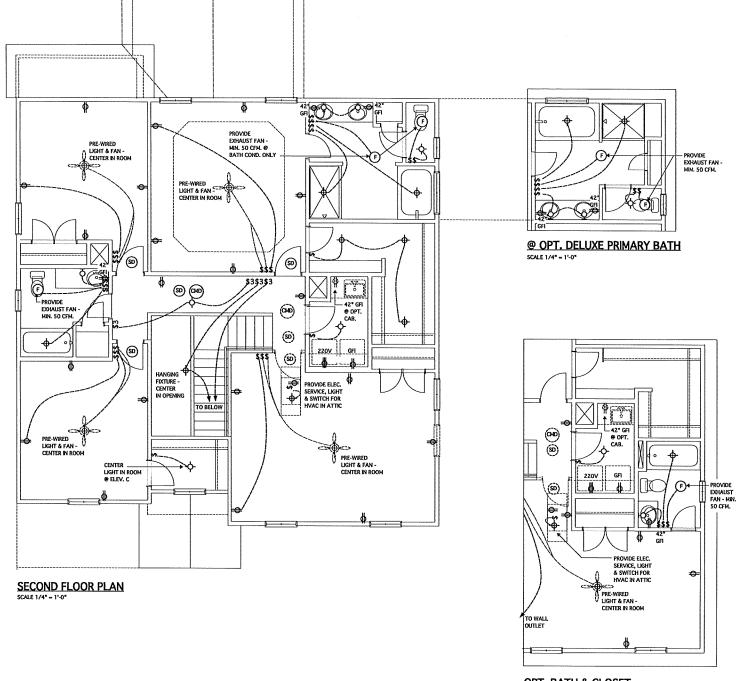
### MODEL 6260 -GARAGE RIGHT

CHESAPEAKE HOMES OF NC 3100 Smoketree Cour Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

FIRST FLOOR **ELECTRICAL PLANS** 







OPT. BATH & CLOSET
SCALE 1/4" = 1'-0"

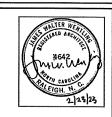
JAMES WENTLING/ ARCHITECT

LAND TITLE BUILDING 100 SOUTH BROAD STREET, SUITE 1524 PHILADELPHIA, PA 19110

ARCHITECTURE

LAND PLANNING

GRAPHICS



REVISIONS		
DATE	DESCRIPTION	
01-14-19	STRUCT, DWGS, REV.	
05-28-19	FULL PORCH OPT.	
01-14-21	RESTAMP SHEET	
09-09-21	M. BATH WINDOW REV.	
02-15-23	NEILL'S POINT/FARM	
02-23-23	1'-0' DINING EXTENSION/ STRUCT, DWGS, REV.	
	01-14-19 05-28-19 01-14-21 09-09-21 02-15-23	

OXCT NO.	·
	113-88
ATE .	01-08-18
ALE	AS NOTED
LAWN BY	<b>лк</b>
€CXED BY	JW WI
SUED FOR	PERMITS/CONSTRUCTION

MODEL 6260 -GARAGE RIGHT

CHESAPEAKE

HOMES OF NC 3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

SECOND FLOOR ELECTRICAL PLANS

- BESEERS SEAL APPLES ONLY TO STRUCTURAL COMPONENTS INCLIDIOS ROOF RAFTERS, I VALLETS, RIOCES, FLOORS, MALLS, BEANS AND HEADERS, COLLINS, CANTILLYRIS, OFFSET LOAD BEARIN FULLS, PIER I SEGNER SISTEM, FOOTHS, AND FLIES SISTEM, BESINESS SEAL DOES NOT CERTIFY DIFFESCAL ACCURACY OR ARCHITECTRAL LAYOUT RALIDING ROOF SISTEM, AL REGULARDERS FOR PROPESSONAL CERTIFICATION SHALL BE PROVIDED THE APPROPRIATE PROFESSONAL, SOUTHERS HESPESS, PA. CERTIFIES ONLY THE STRUCTUR COMPONENTS SEPECHALLY STATED.
- ALL CONTINUITION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE 2000 NC RESIDENTIAL CODE, FULS ALL LOCAL CODES AND RESULATIONS, THE STRUCTURAL BIGHER FOR REPORT AND THE STRUCTURAL HEAVE, HETHOUS FOR PROCESSED AND THE STRUCTURAL HEAVE, HETHOUS FOR PROCESSED AND THE CONSTRUCTION HEAVE, HE WAS THE RESERVABLE FOR CONTROL TO COURSE TO LOCATION HEAVE, HE WAS THE RESERVABLE HE THE CONTROL TO COURSE TO LOCATE HIS TO CONTROL FOR HEAVE STRUCTURAL HE WAS THE STRUCTURAL HEAVE AND THE STRUCTURAL HEAVE STRUCTURES, THE DIRECTOR HEAVE STRUCTURES, THE DIRECTOR HEAVE STRUCTURES AND THE CONTROL CONTROL HEAVE STRUCTURES, THE DIRECTOR HEAVES AND THE DIRECTOR HEAVES HEAVES AND THE DIRECTOR HEAVES AND THE DIRECTOR HEAVES HEA
- CONTROLAR PACIFIC AND ITE AND IDAD, DEFLECTION ROADS (ILSTED AS LIVE LOAD, DEAD LOAD, DEFLECTION) ROADS (THE THAN BLEPPING ROADS. (40 PEY, IO PSY, L7560) SLEEPING ROADS. (60 PEY, IO PSY, L7560) ATTIC RITHUT PERMANENT STARS. (40 PEY, IO PSY, L7560) ATTIC RITHUT PERMANENT STARS. (20 PEY, IO PSY, L7560) ATTIC RITHUT STORAGE, (30 PEY, IO PSY, L7560) EXTEROR RALCORES. (60 PEY, IO PSY, L7560) EXTEROR RALCORES. (60 PEY, IO PSY, L7560) PSY, L7560 RALCORES. AND INVESTIGATE, OCCUPIENT STARS. (40 PSY, IO PSY, IO PSY, L7560) PASSERBERT VERICLE GARRAGES. (50 PSY, IO PSY, L7560) PSY, L7560 PSY, L7560

- NALLS SHALL BE BRACED BY SHEATHENS HALLS ON ALL STORIES HITH MOOD STRUCTURAL PARELS, SEE FRANKS NOTES FOR TRICKNESS AND HAILING REGULARMENTS.
- SEE APPENDIX H (DCA6) FOR EXTERIOR DECK REQUIREMENTS INCLIDING ATTACHMENTS FOR LATERAL LOADS.
- CONCRETE SHALL HAVE A HIRMAM 2D DAY STRENGTH OF 3000 PSI AND A HAVAMM SLIPP OF 5 NOTES INLESS HOTEO OTHERWEE (MO), AND ENTRAINED PER TABLE 4002.2, ALL CONCRETE SHALL BE PROPERTIONED, HAVED, HAVED, AND PROPERTIONED HAVED HAVED AND PROPERTIES HAVED AND PROPERTIES HAVED HA
- ALLOWBLE SOL BEARING PRESSURE ASSURED TO BE 2000 PSF, THE CONTRACTOR MIST CONTACT A GEOTECHICAL BISHRER AND THE STRUCTURAL BISHRER F WEATHSFACTORY SEBERFACE CONTINGS ARE BECOMISSED. THE SURFACE AREA ADJUGANT TO THE FOUND AND MIST AND ADJUGANT TO PRESSURE AND SHALL BE PROVIDED WITH ADEQUATE DRAWLING, AND SHALL BE GRADED S AS TO DRAW SHAPE, AND SHALL BE GRADED S
- ALL FRANCIS LINDER SHALL DE SET \*2 (To = 815 PSI) UNLESS NOTED OTHERWISE (INC), ALL
  TREATED LINDER SHALL BE SITP \* 2. PLATE MATERIAL MAY BE SET \* 3 OR SITP \*3 (Folparp)
- 4. LVL. SHALL BE LAMINATED VENEER LIMBER. Ph-2600 PSI, FY-265 PSI, E-1,940 PSI.

  41. PSI... SHALL BE PARALLE, STRAND LIMBER. Ph-2900 PSI, FY-200 PSI, E-2,040 PSI.

  42. LSI... SHALL BE LAMINATED STRAND LIMBER. Ph-2250 PSI, FY-400 PSI, E-1,5540 PSI.

  INSTALL ALL CONCENTIONS PER HAMPACTIREPS INSTRUCTIONS.
- IO. ALL ROOF TRIES AND I-LOIST LAYOUTS SHALL BE PREPARED IN ACCORDANCE MITH THE SEALED STRUCTURAL TRANSHES, TRISSESS AND I-LOISTS SHALL BE INSTALLED ACCORDING TO THE HAMPACTRIES SPECIFICATIONS, ANY CHANGE IN TRISS OR I-LOIST LAYOUT SHALL BE CORDINATION THIS SUMERY BISHEESS.
- ALL STEATURE STEEL SHALL BE ASSILLABLE STEEL BEING SHALL BE SETWATED AT EACH BED HITH A RESIST EXCENSION FOR STEEL SHAPE AND FLILL THE ASSILLABLE SHAPE AND FLICK SCALD BEARNER FROM EACH SEPYCRT TO FORDINATION. BEING SHALL BE ATTACKED TO EACH SEPACRT HITH THO LAS SCREEN OLD FOUNDED TO THE SCALE FLATE, AND SCALE FLATE IN ANGELOR RECYCLING HE LAST ARE TOR INJURY TO THE SCALE FLATE, AND SCALE FLATE IN WALED OR ROLLDED TO THE BEAM FLAKES 4 89°CO. ALL STEEL FLASE SHAPE HE ASTEM ASSO.
- 12. REBAR SHALL BE DEFORMED STEEL, ASTINGUS, GRADE 60. LAP ALL REBAR SPLICES 30 BAR DIAMETERS.
- B. FLITCH BEAMS SHALL BE BOLTED TOSETHER USING (2) RONG OF 1/2" DIAMETER BOLTS (ASTM ASZ) HITH HAMERS PLACED MORR HE THERADED END OF BOLT, BOLTS SHALL BE SPACED AT 24" OG. (MAY, AND STAGEDED AT THE TOP AND BOTTION OF BEAM (2" EDGE DISTANCE), MIN 2 BOLTS LOCATED AT 6" PROM EXAL BED.
- BRICK LINTELS (MEN REGIRED) SHALL BE 3 1/21/3 1/21/41 STEEL ANGLE FOR UP TO 6'-0' SPAN AND 6'14'53'6' STEEL ANGLE NITH 6' LEG VERTICAL FOR SPANG UP TO 9'-0', SEE PLANG FOR SPANG OVER 9'-0', SEE ALSO SECTION RIOSADS LINTELS.

### FRAMING NOTES NG (2018 NGRC), Winds 115-120 mph

- BEACES FETICO AND TITE CONTINUEST SEATIND TEP. CO-FEP. UNITE THAT THE PALL DEALES SEATER TRANSPORT HE PLANS DOETHLE AND SEATER THAT THE ANGLE OF THE CARE OF WILL BRACES REQUIRED THE SEATON BOOLD OF THE CORE. SEE WITE BELOW FOR DETALS AND SPECIFICATIONS FOR INVIL. BRACES AND MALL FRANKS.
- 2. DOTERIOR HALL SHEATING HALLS SHALL BE BRACED BY SHEATING HALLS OR ALL STORRES HITH HOOD STRICTBRAL PARE, SHEATING (SHE) (EXPOSURE B. 14/6) FOROURE G. 15/37; SHEATINGS HALL BE ATTRICKED HITH BIS MULE AT A 6/4/2 HALLES PATTERN (6/ °CC AT PARE, 10/6/2 AND 12/6 CAT A 16/3/2 HALLES SHEATING HALL S
- . HE'S HEATING SHALL EXTEND TO THE LIPTERFLOST DAUBLE BEARING FLATE, BLOCK AT ROOF FER SECTION REOZIO/45 AND ATTACH BRACED HALLS FER CODE, HE'S HEATING HE MEETER HOORS SHALL BE SPLICED ALONG CONTINUOUS BAND OR THE HE'S SHEATING HAY BE SPLICED ACROSS STUDIC CONTINUOUS ACROSS FLOOR STIFTED ATH BLOCKING AT PAILL, EDGES, (MBRIM IZ) SET/OND FLOOR BREAK) OR OTHER APPROVED HERIOD.
- 107 HOLDSMI, HOLD-DOWN DRACE (NOTED AS 107 ON PLANS) SHULL BE AN BOO POUD CAPACITY ASSEMBLY AS NOTED ON PLANS, SEE DETAILS FOR HO ASSEMBLY.
   108 CONTROL OF THE MORE OF THE

- INTERIOR BRACED HALL, (NOTED AS "IBM" ON PLAYE) ATTACH 1/2" SYPSIM BOARD (66) ON EACH SIDE OF KALL MITH A MN, OF 54 COCLEY (NALS OR 16 SCREES & 1" O.C. ALONS THE EDSES AND AT MIGREPHATE SUPPORTS.
- RITERIOR BRACED HALL-HOOD STRUCTURAL PANEL (MOTED AS "IBSH-NES" ON PLANS), ATTACH ORE SIDE HITH 1/2" NEW SECATIBNES HITH ACT MALE, STORE HITH 1/2" NEW BEPORTS), BRITLAL BLOCKING AT ALL PANEL, BOSES, ATTACH 60 OVER 16°P AS REGIMED, ATTACH OPPOSITES SIDE HITH 1/2" 68 HITH A HIRL OF SI COOLER WALLS OR 46 SCRENG 6 "1" CG. ALONG THE BOSES, AND AT INTERPEDIATE SUPPORTS.

### HEADER/BEAM & COLUMN NOTES

- ALL EXTERIOR AND LOAD BEARING NEADERS SHALL BE MRI (2)2x6 (4" MALL) OR (8)2x6 (6" MALL) MITH (1) SUPPORT STUD, UNLESS NOTED OTHERMISE.
- THE IMPERT SHOPN AT REAM AND HELDER SUPPORTS INDICATES THE MHERE OF SUPPORTS TO SHOOLIES THE MHERE OF SUPPORTS SHOOLIES THE MHERE OF SHOOLIES THE MHERE OF SHOOLIES THE MHERE OF SHOOLIES OF SHOOLIES

### TRUSS SYSTEM REQUIREMENTS NC (2018 NCRC), Wind, 115-120 mph

- TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE MITH SEALED STRUCTURAL FLANS, MY NEED TO CHANSE TRUSSES SHALL BE COORDINATED WITH SOUTHERN
- TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS HANFACTURER.
- ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SPF #2 OR #3 PLATES OR LEDGERS (MO).
- ALL REGURED AICHORS FOR TRUSCES DIE TO IPLIET OR BEARING SHALL MEET THE REGUREDIENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

- PORCH POST NOTES:

  4 M4 (6/6) TRIP POST (OR BAIAL).

  4 ATIACH RUBSES (RATERS) AT PORCH HITH HARRICANE CONECTIONS.

  1 BOST LOS SPESON AC+HAX (AC6-HAX)

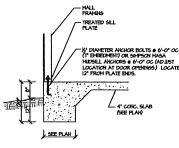
  2 DOST LOS AT CORRES (0) SPESON LOS HATER HALLOR AT CORRES (1) SPESON LOS HATER HALLOR AT CORRES (1) MEN HIND, ADO (1)
- OMTER HEADER AT CORNER!, HIGH MIND, ADD (I)
  SPIESCH HE.

  9. POST BAGE SUPPOIN ABUM (ABUSO).

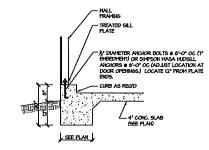
  31. MEMO SP "ANCHOR (RESERD T)"

  52. CALL SE" ANCHOR (EXTED TO FOOTING-HEH HO OIL!)

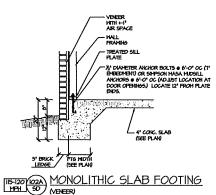
  4. POST BAGE, MOD FOUNDATION (2) SUPPOIN CISE STRONG AT POSTS. BATTON DE CHORD CONSIDERATION (2) SUPPOIN CISE STRONG AT POSTS. BATTON DE CHORD OF CHIND EACH POST (REPER AND LOWER) OR TO GROCER
- HOTE, EQUIVALENT POST CAP AND BASE ACCEPTARE F

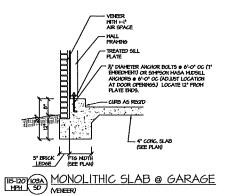


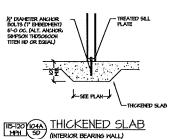
MONOLITHIC SLAB FOOTING (SIDING OR EQUAL)

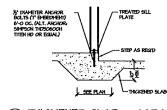


| MONOLITHIC SLAB @ GARAGE

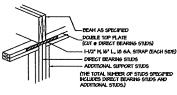


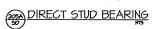


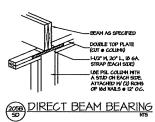


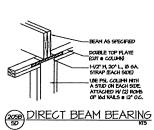


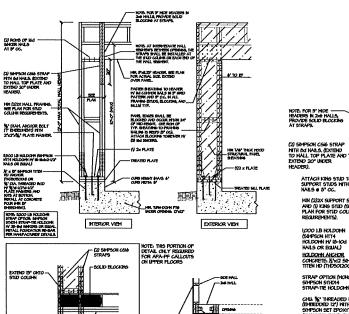
THICKENED SLAB @ GARAGE (INTERIOR GARAGE WALL)













FLAN VEH

EXTEND BY ONTO

STOOLS HOLDON HTT4 HOLDON HV -B-MAG-V7 HALS

CO PORTS OF MA

BASE OF APA ON UPPER PLOOR

/~# 2× N.XXE MEASURE FLATS

GIVE MEASUR \$4V.S. &\*

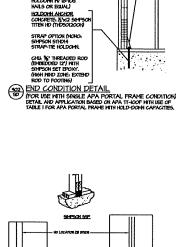
GIVE PROTES HOST AN MEMORY

STAN OF PRICE HOST OF CARRA

ESCRION (\$20)

APA PORTAL FRAME W HOLD-DOWNS
DETAL NO APPLICATION BASED ON APA THOOP WITH USE
OF TABLE I FOR APA PORTAL FRAME WITH HOLD-DOWN
CAPACITIES.

TEORE | PET |



BRACED WALL END CONDITION "HD"

BRACED WALL END CONDITION "HD"

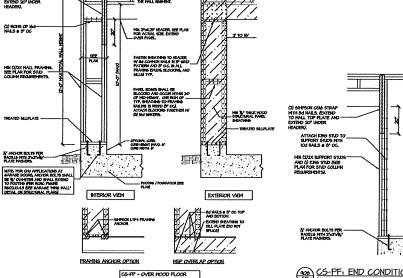
HOLD-DOWN DETAIL

NOTE SEPSON DITLE IS ACCEPTABLE ALTERNATE

NOTE ALTERNATE HO HOLD-DOWN DEVACES OR SYSTEMS HAY

BE USED TO HEET THE CADE REQUIRED SOO LIB CAPACITY IN

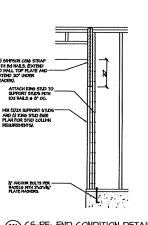
LEU OF THE ABOVE DETAIL.



SR4PSON HTT4 SR4PSON STHOIA

CS-PF: CONTINUOUS PORTAL FRAME CONSTRUCTION

90 DETAL NO APPLICATION BASED ON NEAR FISURE
REGIZOJ - PORTAL FRAME CONSTRUCTION



(95) CS-PF: END CONDITION DETAIL FOR USE NITH SHIBLE CS-PF CONDITION DETAIL AND APPLICATION BASED ON INCRC FIGURE R602101 - PORTAL PRANE CONSTRUCTION

seal applies only to structural components or include construction means. methode Engineers se document.
Seal does not sequences, pr
Any deviation immediate a void Souther.
Seal is valid f Use of these defined in the

to be b Failure P.A. 27609

PROJECT #

Multiple

brought to the to do so will

on this

date of seal. & conditions

SEAL 27845

Southern Engineers, I 3716 Benson Drive, Raleigh, NC 2 Phone: (919) 878-1617 License: C-4772 Š

> 'entling, Architect ames

Detail of Notes Homes tandard

Chesapeake and

SD-1 **MONO** 

S



Initial Application Date:	n Date:			Application #
=		,		DRB#CU#
Central Permitting (P	C( (Physical) 420 McKinney Pkwy, Lillington, NC 27546	COUNTY OF HA COUNTY OF HA C27546 (Mailing) PO Box	COMMERCIAL  COUNTY OF HARNETT LAND USE APPLICATION  46 (Mailing) PO Box 65 Lillington NC 27546 Phone: (910) 893-7525 opt # 1	<b>\TION</b> ) 893-7525 opt #1 Fax: (910) 893-2793 www.harnett.org/permits
LANDOWNER:			Mailing Address:	
City:	State:	Zip:	Contact #	Email:
APPLICANT*:			Mailing Address:	
City:	City:State:State:	Zip:	Contact #	Email:
CONTACT NAME	CONTACT NAME APPLYING IN OFFICE:			Phone #
Address:			PIN:	
Zoning:	Watershed:Flood:		Deed Book Page:/	l.
Setbacks – Fr	Front:Back:	Side:	Corner:	
PROPOSED USE:  ☐ Multi-Family Dwelling	<b>E:</b> / Dwelling No. Units:	No. Bedrooms/Unit:	ms/Unit:	
□ Business	Sq. Ft. Retail Space:	Type:	# Employees:	yees: Hours of Operation:
□ Daycare	# Preschoolers:	# Afterschoolers:	# Employees:	Hours of Operation:
□ Industry	Sq. Ft:Type:		# Employees:.	Hours of Operation:
Church	Seating Capacity:	#	#Bathrooms:	_ Kitchen:
☐ Accessory/Ac	Accessory/Addition/Other (Sizex	) Use:		
Water Supply: Sewage Supply: ( <mark>C</mark>	County Existing Well New Well (# of dwellings using well New Septic Tank Expansion Relocation Existing Septic New Well (# of dwellings using well	Well New Well (# o;  (Need to Companies)  Expansion Relocation  th Checklist on other side of	Zation Tank	) *Must have operable water before final at the same time as New Tank) County Sewer
Comments:				
f permits are gran	If permits are granted I agree to conform to all ordinances and laws of the State of North Carolina reg	nances and laws of t	he State of North Carolina reg	ulating such work and the specifications of plans submitted. it subject to revocation if false information is provided.
	Signature of Ow	Signature of Owner or Owner's Agent	nt	 Date

\*\*This application expires 6 months from the initial date if permits have not been issued\*\*
RECORDED DEED (OR OFFER TO PURCHASE) AND PLAT ARE REQUIRED WHEN APPLYING FOR LAND USE APPLICATION

\*\*\*It is the owner/applicants responsibility to provide the county with any applicable information about the subject property, including but not limited to: boundary information, house location, underground or overhead easements, etc. The county or its employees are not responsible for any incorrect or missing information that is contained within these applications.\*\*\*



## \*This application expires 6 months from the initial date if permits have not been issued\* APPLICATION CONTINUES ON BACK

\*\*This application expires 6 months from the initial date if permits have not been issued\*\*

## \*This application to be filled out when applying fo

County Health Department Application for Improvement Permit and/or Authorization to Construct IF THE INFORMATION IN THIS APPLICATION IS FALSIFIED, CHANGED, OR THE SITE IS ALTERED, THEN THE IMPROVEMENT PERMIT OR AUTHORIZATION TO CONSTRUCT SHALL BECOME INVALID. The permit is valid for either 60 months or without expiration depending upon documentation submitted. (Complete site plan = 60 months; Complete plat = without expiration

### 

- All property irons must be made visible. Place "pink property flags" on each corner iron of lot. All property lines must be clearly flagged approximately every 50 feet between corners.

  Place "orange house corner flags" at each corner of the proposed structure. Also flag driveways, garages, decks, out buildings, swimming pools, etc. Place flags per site plan developed at/for Central Permitting.
- Place orange Environmental Health card in location that is easily viewed from road to assist in locating property. If property is thickly wooded, Environmental Health requires that you clean out the <u>undergrowth</u> to allow evaluation to be performed. Inspectors should be able to walk freely around site. *Do not grade property.*All lots to be addressed within 10 business days after confirmation. \$25.00 return trip fee may be incufailure to uncover outlet lid, mark house corners and property lines, etc. once lot confirmed ready. to allow the soil

### Environmental Health Existing Tank Inspections

- Follow above instructions for placing flags and card on property.

  Prepare for inspection by removing soil over **outlet end** of tank as diagram indicates, and lift and then **put lid back in place**. (Unless inspection is for a septic tank in a mobile home park) **DO NOT LEAVE LIDS OFF OF SEPTIC TANK** and lift lid straight up (if possible)

# "MORE INFORMATION MAY BE REQUIRED TO COMPLETE ANY INSPECTION"

SEPTIC If applying for authorizat	SEPTIC If applying for authorization to construct please indicate desired system type(s): can be ranked in order of preference, must choose one.	
{} Accepted	{} Innovative {} Conventional {} Any	
{}} Alternative	{}} Other	
The applicant shall notif question. If the answer i	The applicant shall notify the local health department upon submittal of this application if any of the following apply to the property in question. If the answer is "yes", applicant MUST ATTACH SUPPORTING DOCUMENTATION:	y in
{_}}YES {_}NO	Does the site contain any Jurisdictional Wetlands?	
{_}}YES {_} NO	Do you plan to have an <u>irrigation system</u> now or in the future?	
{_}}YES {_} NO	Does or will the building contain any <u>drains</u> ? Please explain.	I
{}}YES	Are there any existing wells, springs, waterlines or Wastewater Systems on this property?	
{_}}YES {_} NO	Is any wastewater going to be generated on the site other than domestic sewage?	
{_}}YES {_} NO	Is the site subject to approval by any other Public Agency?	
{_}}YES {_} NO	Are there any Easements or Right of Ways on this property?	
{_}}YES {_}NO	Does the site contain any existing water, cable, phone or underground electric lines?	
	If yes please call No Cuts at 800-632-4949 to locate the lines. This is a free service.	

Accessible So That A Complete Site Evaluation Can Be Performed. Understand That I Am Solely Responsible For The Proper Identification And Labeling Of All Property Lines And Corners And Making The Site Officials Are Granted Right Of Entry To Conduct Necessary Inspections To Determine Compliance With Applicable Laws And Rules. I I Have Read This Application And Certify That The Information Provided Herein Is True, Complete And Correct. Authorized County And State