



The Williams Residence

Lillington, NC 27546

House Plan License Agreement:
This license grants the purchaser a non-exclusive, non-transferable license to construct one home from the plan purchased at the address shown on the plans ONLY. This license to construct a home from these plans is granted to the original purchaser only and may not be transferred, assigned, or sub-licensed to any other party. Any reproduction in whole or in part is prohibited.

Structure

- ☒ Post-frame construction with 6x6 wood posts, metal trusses 8'-12' on center
- ☐ Standard all wood, stick frame with 2x6 exterior walls
- ☐ Standard all wood, stick frame with 2x6 exterior walls over basement

Roof Pitch

- ☒ Gable style, 6/12 standard
- ☒ Gable style, 4/12, 3/12 - (non-standard)
- ☐ Single slope / butterfly roof (non-standard)

Veneer

- ☒ Metal R-panel (standard)
- ☐ Masonry wainscot - (non-standard)
- ☐ Specialty metal panel - (non-standard)

Design Specifications – Single Story

- ☒ Standard: 10'-6" Eave height, vaulted ceiling living/dining/kitchen with exposed steel trusses, 9'-0" ceilings all other spaces, 8'-0" doors, 5'-0" tall windows
- ☐ Optional: 12'-0" Eave height, vaulted ceiling living/dining/kitchen with exposed steel trusses, 10'-0" ceilings all other spaces, 8'-0" doors, 6'-0" tall windows

Client approved upgrades: CLIENT APPROVED REAR UNCOVERED PATIO

Design Specifications – Two Story

- ☒ Not applicable - One Story structure
- ☐ Standard: 20'-6" High eave height, 10'-6" Low eave height, vaulted ceiling living/dining/kitchen with exposed steel trusses, 9'-0" ceilings all downstairs spaces, 8'-0" ceiling all upstairs spaces, 6'-8" doors, 5'-0" tall windows
- ☐ Optional: 20'-0" High eave height, 12'-0" Eave height, vaulted ceiling living/dining/kitchen with exposed steel trusses, 10'-0" ceilings all downstairs spaces w/ 8'-0" doors, 6'-0" tall windows, 8'-0" ceilings all upstairs spaces w/ 6'-8" doors, 5'-0" tall windows.

Client approved upgrades:

Kitchen Standards

☒ 30" standard range, with over the range microwave, trimmed refrigerator cabinet, 33" sink with ½ HP disposer, dishwasher, 4" x 9" (max.) island

☒ Client approved upgrades: 4" X 7" ISLAND

Master Bathroom Standards

☒ 4" x 8" (max) curved tile shower with one fixture inside glass walls w/glass door, 32" x 60" tub, two vanities, toilet, head-knocker, linen space

☒ Client approved upgrades: 3'-6" X 6'-0" CURBLESS SHOWER WITH OPTIONAL SEAT, POCKET DOOR

Master W/C Standards

☒ Single and Double Rod & Shelf systems w/one built-in shoe rack as allowed by plan

☐ Client approved upgrades: _____

Secondary Bathroom Standards

☒ 30" x 60" tub / shower combo, single vanity, toilet, head-knocker

☐ Client approved upgrades: _____

Secondary Closet Standards

☒ Single and Double Rod & Shelf systems as allowed by plan

☐ Client approved upgrades: _____

Laundry/Mud Room Standards

☒ Hook-up for washer and dryer, coat closet

☐ Client approved upgrades: _____

Pantry Standards

☒ Five (5) fixed, 16"D shelves

☐ Client approved upgrades: _____

Garage/Shop Standards

☐ Not Applicable - project has no garage or shop building

☒ Post-frame construction with 6x6 wood posts, metal trusses 8'-12' on center, gable style roof with 6/12 pitch, 10'-6" Eave height exposed steel trusses. Door size options: 8x8, 9x8, 16x8. Walls and ceilings are unfinished, non-insulated.

☒ Client approved upgrades: **SAFE ROOM**

Utility Service Standards

- ☒ 50 gallon tank gas or electric water heater installed inside garage, in provided mechanical room, or in attic space. (Standard)
- ☒ (Optional) Electric or Gas-fired tankless water heater mounted on exterior of house, inside garage or inside provided mechanical room. (Optional)
- ☒ 200A service w/ electrical panel in laundry room or garage space
- ☒ Split-system HVAC with outdoor condenser and indoor air handling unit installed in attic space (most common) or in provided mechanical room if plan allows (Standard)
- ☒ Two (2) hose bibbs
- ☐ Client approved upgrades:

Electrical Standards
Front Porch
X Two (2) wall mounted light fixtures flanking front door, One (1) ceiling mounted light fixture, one (1) water-proof GFCI 110V outlet
Client approved upgrades:

Rear Patio
☒ One (1) wall mounted light fixture flanking back door, One (1) pre-wired ceiling fan box with ceiling mounted light fixture, one (1) water-proof GFCI 110V outlet
 ___ Client approved upgrades: _____

Living Room
X One (1) pre-wired ceiling fan box centered in space with ceiling mounted light fixture with 4 to 6 recessed LED can lights, 110V outlets dispersed per code, one (1) CAT 6 TV outlet
25' x 25' covered open porch

☒ One (1) pendant light fixture centered in space, 110V outlets dispersed per code

Kitchen Room
X Three (3) pendant light fixture centered over island, two (2) 110V outlets on opposing ends of island, 220V for range, 110V for microwave, 110V for garbage disposer, 110V outlets dispersed per code over cabinets, recessed LED can lights as plan allows, 110V for refrigerator

Client approved upgrades: _____

Laundry Room

☒ One (1) 220V outlet for dryer, One (1) 110V outlet for washer, additional 110V outlets as per code, recessed LED can lighting as plan allows

☒ (X) One (1) pre-wired ceiling fan box centered in space with ceiling mounted light fixture with 4 to 6 recessed LED can lights, 110V outlets dispersed per code, one (1) CATV TV outlet.

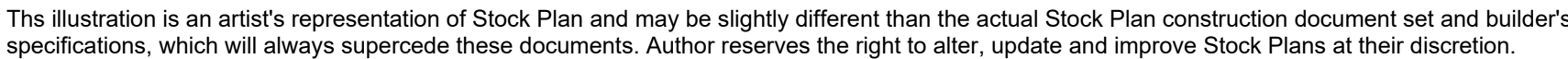
X One (1) GFCI 110V per vanity, one (1) wall mounted light fixture per vanity (over mirror), vent or vent light, waterproof LED can light in shower and over tub.

Client approved upgrades: _____
Secondary Bedrooms/Office _____

X One (1) pre-wired ceiling fan box centered in space with ceiling mounted light fixture, 110V outlets dispersed per code, one (1) CAT 6 TV outlet

Garage/Shop Spaces

— Client approved upgrades: _____



KEY	TYPE	DESCRIPTION	WINDOW SIZE		HEAD HEIGHT	COUNT	COMMENTS
			WIDTH	HEIGHT			
W1	3050 SH	SINGLE HUNG	3' - 0"	5' - 0"	7' - 0"	8	
W2	3030 SH	SINGLE HUNG	3' - 0"	3' - 0"	7' - 0"	2	
W3	2-3030 FX	FIXED	6' - 0"	3' - 0"	7' - 0"	1	

NOTE: IN GEOGRAPHICAL AREAS THAT REQUIRE IT, BUILDER SHALL INSTALL WINDOWS AND EXTERIOR DOORS WITH A STRUCTURAL RATING OF DP 50 OR GREATER INDICATING THAT THE DOOR/WINDOW HAS PASSED A STRUCTURAL PRESSURE TEST OF 75 PSF WHICH IS EQUAL TO 200 MPH WIND SPEED.

KEY	TYPE	WIDTH	HEIGHT	COMMENTS
Exterior				
D1	2-3068	6' - 0"	6' - 8"	PAIR SWING DOOR
D2	3068	3' - 0"	6' - 8"	SWING DOOR
D3	16/0 X 8/0 OH	16' - 0"	8' - 0"	OVERHEAD GARAGE DOOR
Interior				
D4	2-1668	3' - 0"	6' - 8"	PAIR SWING DOOR
D5	2668	2' - 6"	6' - 8"	SWING DOOR
D6	2-2668 BIFOLD	5' - 0"	6' - 8"	BI-FOLDING DOOR
D7	2668 PD	2' - 6"	6' - 8"	POCKET DOOR
D8	2868 BD	2' - 8"	6' - 8"	BARN DOOR
D9	3068	3' - 0"	6' - 8"	PAIR SWING DOOR
D10	3070 SRO	3' - 0"	7' - 0"	SHEET ROCK OPENING
D11	2670 SRO	2' - 6"	7' - 0"	SHEET ROCK OPENING

DESCRIPTION	AREA
1ST FLOOR LIVING	1,614 SF
COVERED PORCH	138 SF
GARAGE (UNFINISHED)	546 SF
UNCOVERED PATIO	220 SF
TOTAL UNDER ROOF	2,518 SF

AREA CALCULATIONS VERIFIED BY: APL DATE: 11.8.2024

DESCRIPTION	AREA
METAL ROOFING	2,959 SF

DESCRIPTION	AREA
EXTERIOR METAL SIDING	1,995 SF

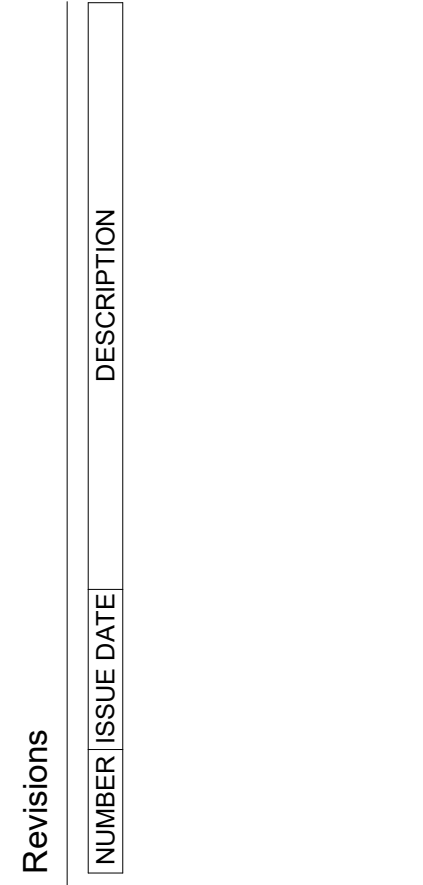
DATE: 11.8.2024

CODE COMPLIANCE NOTE:
BUILDER SHALL ENSURE THAT ALL CONSTRUCTION MEETS OR EXCEEDS THE ADOPTED BUILDING CODES AND REGULATIONS OF THE JURISDICTION OF THE BUILT RESIDENCE – NO EXCEPTIONS. ALL WORK SHALL BE PERFORMED IN A GOOD WORKMANSHIP-LIKE MANNER IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS BY EXPERIENCED AND LICENSED CRAFTSMEN SKILLED IN THEIR RESPECTIVE TRADES.

1. THESE PLANS WERE DESIGNED TO MEET IRC 2021 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF THE WESTERN SOUTH CAROLINA AREA. IT IS HIGHLY RECOMMENDED THAT THESE PLANS BE REVIEWED BY A LOCAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
2. BEAMS AND FLOOR JOISTS ARE NOT SIZED DUE TO THE MANY GEOGRAPHIC LOCATIONS THESE PLANS ARE SOLD. THESE ITEMS SHALL BE SIZED BY A LOCAL ENGINEER OR MANUFACTURER.
3. ALL CEILING & FLOOR JOISTS (IF CONVENTIONAL FRAMING) SHOULD BE SIZED USING THE LATEST VERSION OF THE IRC OR APPLICABLE CODES AT SITE TO MEET THE LOCAL REQUIREMENTS SUCH AS SNOW LOADS AND OTHER FACTORS. THE CEILING JOIST SIZES LABELED (IF PRESENT) WERE SIZED USING THE 2021 IRC AT THE TIME OF THEIR CREATION. THEY MUST BE VERIFIED AND MODIFIED AS REQUIRED TO MEET THE LATEST EDITION OF THE (IRC) INTERNATIONAL RESIDENTIAL CODE.
4. ALL FOUNDATION AND FOOTING DETAILS SHALL BE REVIEWED AND APPROVED BY A LOCAL ENGINEER.
5. CONTRACTOR SHALL PROVIDE ALL HIGH WIND STRAPPING AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL CODE REQUIREMENTS AND THE LATEST VERSION OF THE IRC.
6. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THIS STRUCTURE IS BUILT IN FULL COMPLIANCE WITH THE CURRENT INTERNATIONAL BUILDING CODE WITH ALL LOCAL AMENDMENTS.

1. BUILDER IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS RECEIVE A FULL SET OF CONSTRUCTION DRAWINGS, PRINTED FULL SIZE AND TO SCALE, TO REVIEW, COORDINATE AND FULLY COMPREHEND THE ENTIRE PROJECT SCOPE WELL IN ADVANCE OF CONSTRUCTION.
2. BUILDER SHALL REVIEW ALL DOCUMENTS, VERIFY DIMENSIONS AND COORDINATE FULLY WITH FIELD CONDITIONS; CONFIRMING THAT WORK IS BUILDABLE AS SHOWN HEREIN. COMMENCEMENT OF CONSTRUCTION WITHOUT DOING SO IMPARTS FULL RESPONSIBILITY TO BUILDER. REPORT ANY CONFLICTS OR OMISSIONS TO DESIGNER FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
3. DO NOT SCALE DRAWINGS UNDER ANY CIRCUMSTANCES. IN CASE OF CONFLICT, DISCREPANCY OR OMISSION OF DIMENSIONAL INFORMATION, CONTACT DESIGNER FOR CLARIFICATION.
4. WALLS ARE DIMENSIONED FROM EXTERIOR FACE OF STUD TO CENTER OF STUD UNLESS NOTED OTHERWISE.
5. THESE CONSTRUCTION DRAWINGS AND ANY ASSOCIATED SPECIFICATIONS, CUT SHEETS, EQUIPMENT SPECIFICATIONS, ETC. ARE COMPLEMENTARY. WHAT IS SHOWN OR REFERRED TO ON ANY SHALL BE PROVIDED AS THOUGH SHOWN ON ALL. BUILDER AND SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL CONTRACT DOCUMENTS FULLY. ANY DISCREPANCY REASONABLY DISCOVERABLE WITH DUE DILIGENCE SHALL BE NOTED AS A QUALIFICATION TO THE BUILDER'S BID SUBMISSION. ANY REASONABLY DISCOVERABLE DISCREPANCY NOT INDICATED AS A QUALIFICATION SHALL BE CONSTRUED IN FAVOR OF THE OWNER AT NO ADDITIONAL COST.
6. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE BUILDER SHALL NOTIFY DESIGNER BEFORE PROCEEDING.
7. BUILDER AND SUBCONTRACTORS SHALL MAINTAIN A CLEAN AND ORDERLY CONSTRUCTION SITE AT ALL TIMES. ALL REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM CONSTRUCTION OPERATIONS AND WORKERS THEREIN SHALL DISPOSE OF DEBRIS IN ON-SITE TRASH CONTAINERS PROVIDED BY BUILDER, OR REMOVED FROM SITE DAILY. BUILDER SHALL PROVIDE ON-SITE TOILET FACILITIES AND MAINTAIN THROUGHOUT CONSTRUCTION.
8. REMOVE TOOLS AND EQUIPMENT FROM CONSTRUCTION SITE UPON COMPLETION OF WORK. EACH SUBCONTRACTOR IS RESPONSIBLE TO LEAVE SITE AND BUILDING AREA IN A CONDITION ACCEPTABLE FOR THE NEXT TRADE TO COMMENCE WORK.
9. SUBCONTRACTORS ARE RESPONSIBLE TO REVIEW JOB SITE CONDITIONS PRIOR TO COMMENCEMENT OF THEIR SCOPE OF WORK AND ALERT BUILDER TO ANY CONDITIONS THAT WILL HINDER OR INHIBIT THE FULL AND ACCEPTABLE DELIVERY OF THEIR WORK. FAILURE TO REPORT SUCH UNACCEPTABLE CONDITIONS PUTS THE RESPONSIBILITY OF THE SUBCONTRACTOR TO CORRECT THE CONDITIONS TO THE SATISFACTION OF THE OWNER.
10. COMMENCEMENT OF WORK SHALL BE DEEMED AS THE BUILDER'S ACKNOWLEDGEMENT OF ALL WORK TO COMPLETE THE PROJECT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS AND SCHEDULE. IT IS THE RESPONSIBILITY OF THE BUILDER TO COORDINATE ORDERS, SUBMITTALS AND IMPLEMENTATION OF LONG LEAD ITEMS. SUBSTITUTIONS SHALL NOT BE CONSIDERED RESULTING FROM BUILDER'S FAILURE TO MAKE LONG LEAD TIME ORDERS IN A TIMELY FASHION.
11. SMOKING ON THE JOB SITE IS PROHIBITED EXCEPT IN DESIGNATED AREA AS DIRECTED BY OWNER AND/OR BUILDER.
12. IF A CONTRADICTION OCCURS WITHIN THE CONTRACT DOCUMENTS, THE FOLLOWING ORDER OF THE DOCUMENTS WILL BE USED; ITEM 1 HAS PRECEDENCE OVER ALL DOCUMENTS:

1. SIGNED CONTRACTUAL SPECIFICATIONS
2. DETAILS
3. ENLARGED PLANS
4. SMALL SCALE PLANS
5. ELEVATIONS



A New Custom Home for

The Williams Residence

171 Old Coats Road
Lillington, NC 27546

The Eucalyptus Plan #22043-01

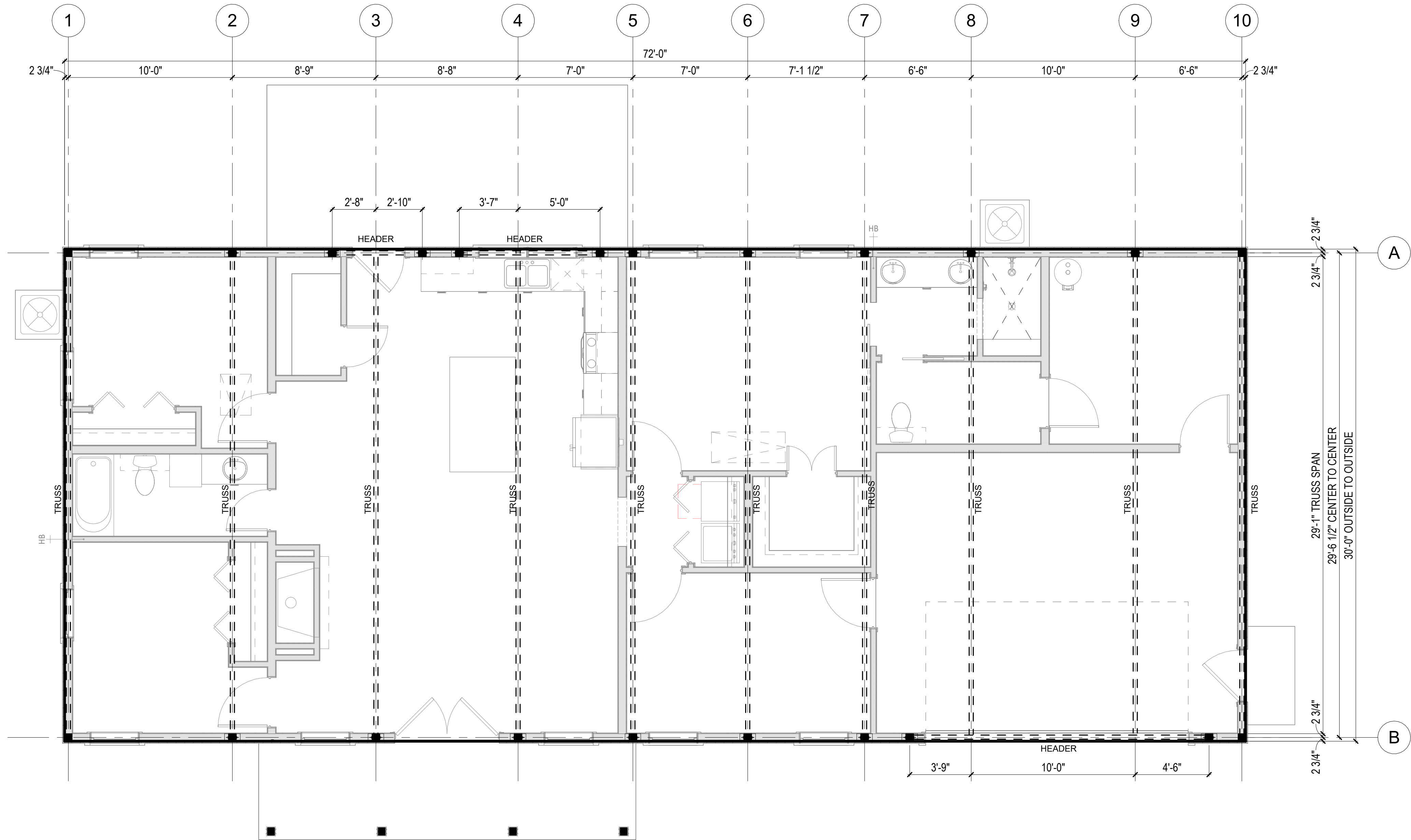
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COVER SHEET



SHEET NO

A000



01 COLUMN GRID PLAN
SCALE: 1/4" = 1'-0"

Revisions	
NUMBER	ISSUE DATE DESCRIPTION

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The Williams Residence

1171 Old Coats Road,
Lillington, NC 27546

The Eucalyptus Plan #22043-01

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COULMN GRID PLAN

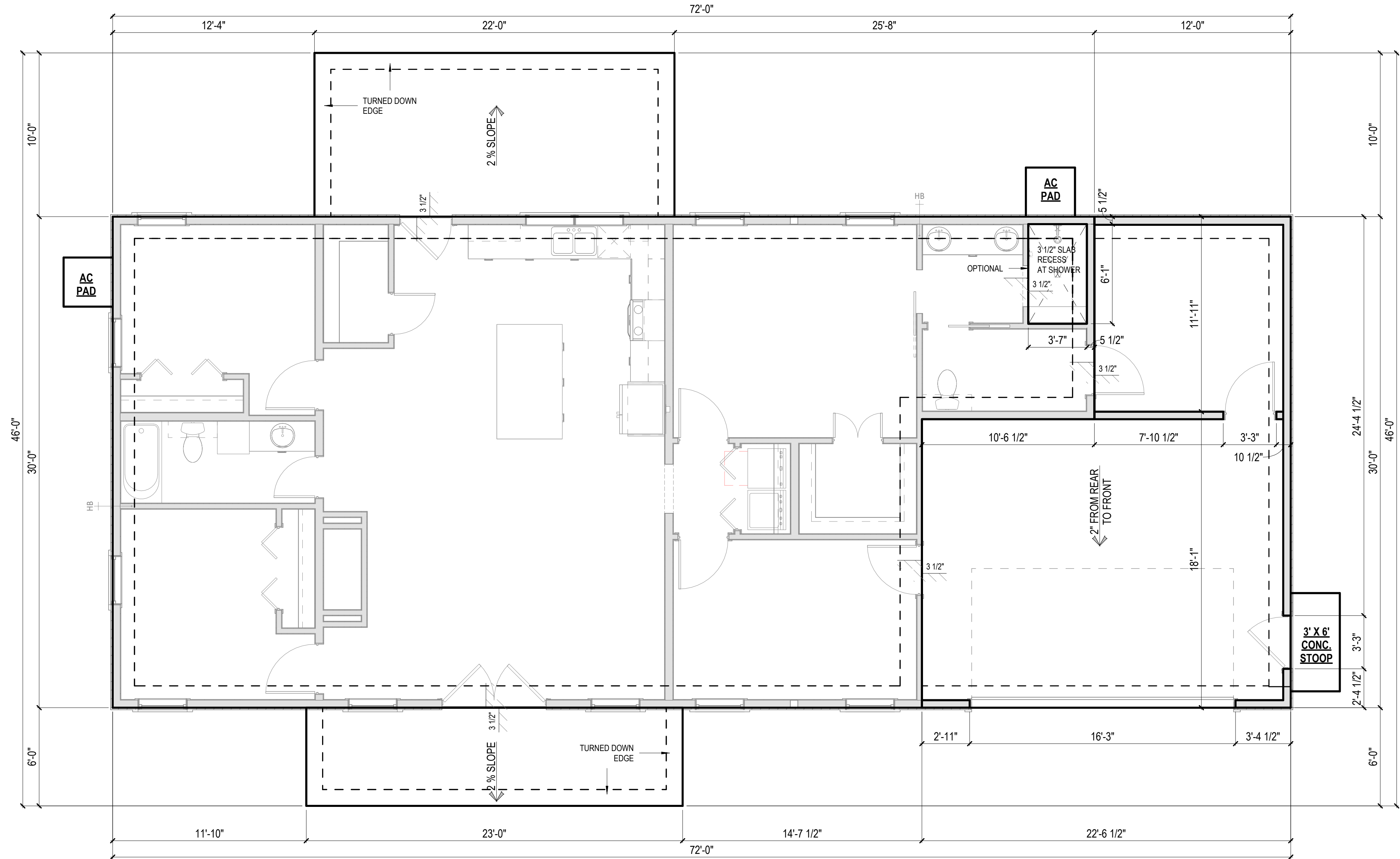
PROJECT NO. 24256



SHEET NO.

A100

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01 FOUNDATION LAYOUT PLAN
SCALE: 1/4" = 1'-0"

FOUNDATION NOTES

1. FOUNDATION LAYOUT SHOWN IS BASED ON NON-EXPANSIVE SOIL CONDITIONS WITH AN ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF IN UNDISTURBED NATIVE SOIL. CONTRACTOR/BUILDER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THIS DESIGN WITH EXISTING SOIL CONDITIONS AND SHALL BE RESPONSIBLE FOR SAME.
2. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEPPED AS REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINAL GRADE.
3. BOTTOM OF FOOTINGS SHALL EXTEND A MINIMUM OF 18" BELOW FINISH GRADE OR BELOW FROST LINE.
4. THIS FOUNDATION PLAN IS FOR GENERAL LAYOUT PURPOSES ONLY AND COORDINATION WITH ARCHITECTURAL FEATURES OF THE PROJECT. THIS PLAN IS NOT AN ENGINEERED FOUNDATION PLAN.
5. DESIGNER STRONGLY RECOMMENDS THAT BUILDER / OWNER ENGAGE A REGISTERED STRUCTURAL ENGINEER TO DESIGN A FOUNDATION FOR THIS HOME.

FOUNDATION PLAN

A New Custom Home for
The Williams Residence
1171 Old Coats Road,
Lillington, NC 27546

PROJECT NO. 24256



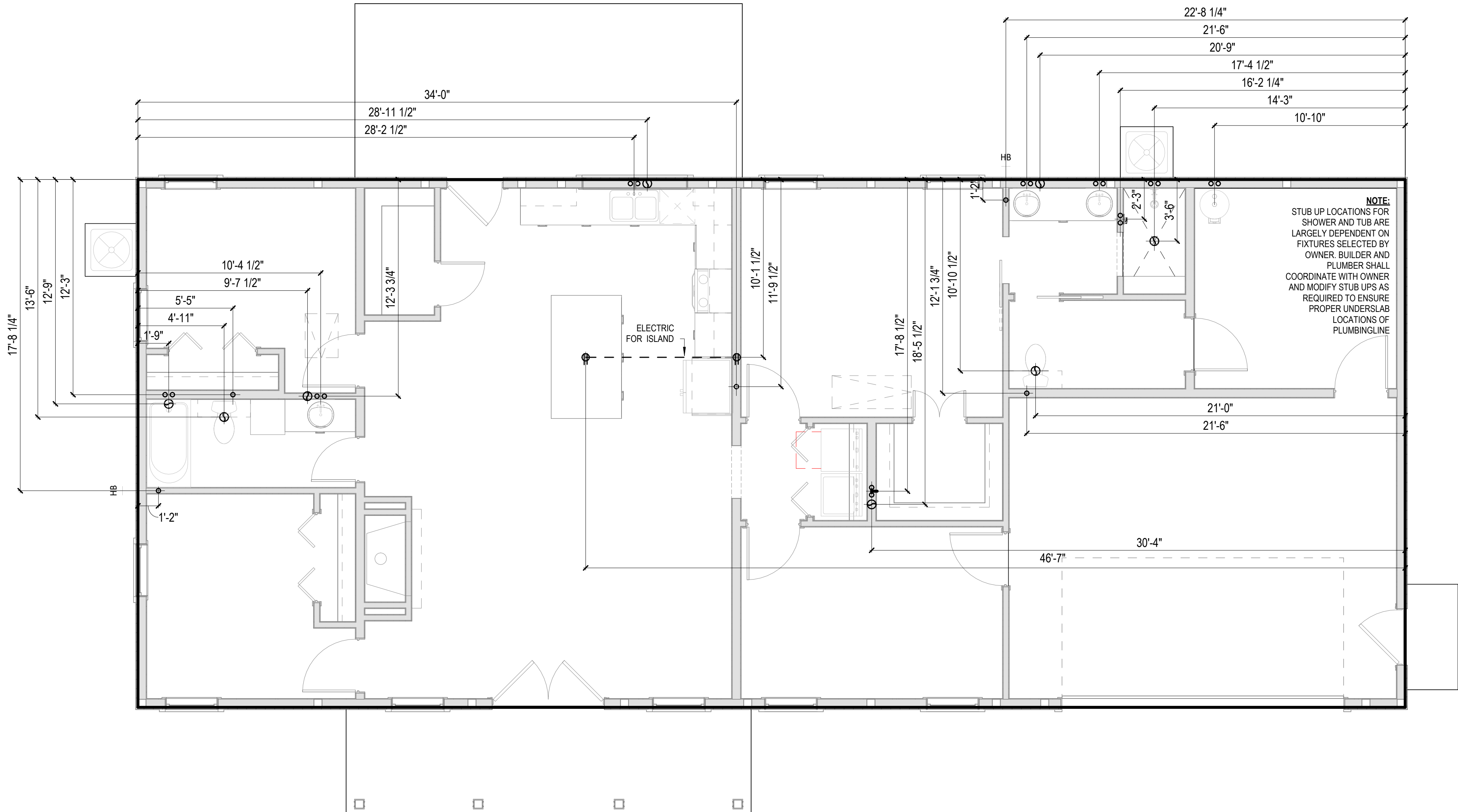
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A105

Revisions

NUMBER	ISSUE DATE	DESCRIPTION
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The Barndo Co.
1531 E. Main Street
Duncan, SC 29334
864.571.4433



01 UNDERSLAB MEP PLAN

SCALE: 1/4" = 1'-0"

Revisions	
NUMBER	ISSUE DATE DESCRIPTION

A New Custom Home for

The Williams Residence

1171 Old Coats Road,
Lillington, NC 27546

The Eucalyptus Plan #22043-01

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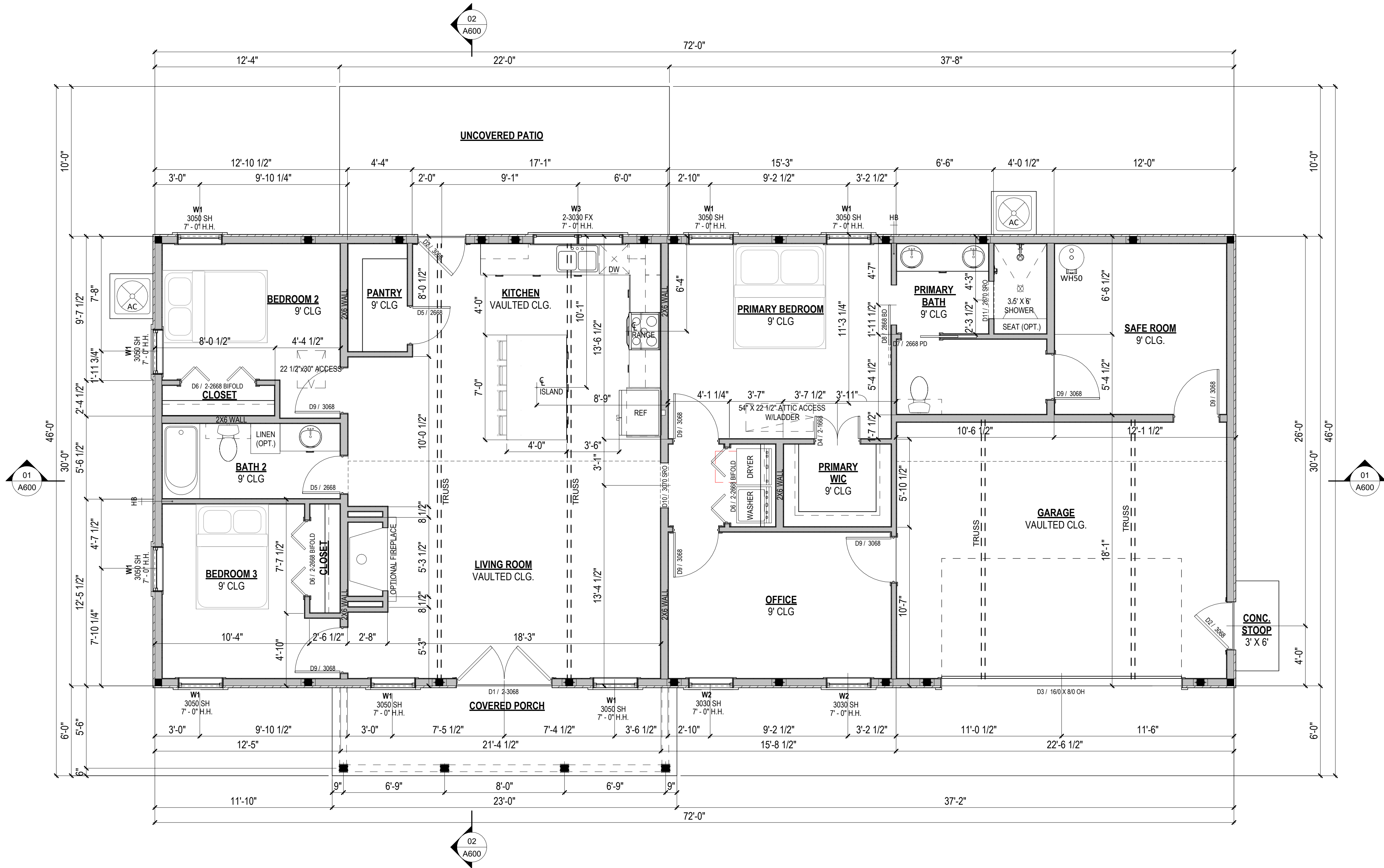
UNDERSLAB MEP PLAN

PROJECT NO. 24256



SHEET NO.

A110



01 FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS AND ALL EXISTING ON-SITE CONDITIONS. THE CONTRACTOR SHALL REPORT TO FRY DESIGN CO. ANY ERRORS, INCONSISTENCIES OR OMISSIONS PRIOR TO THE COMMENCEMENT OF ANY WORK IN QUESTION.
- REPORT ALL DISCREPANCIES, ERRORS, OR OMISSIONS IN THE DOCUMENTS TO FRY DESIGN COMPANY OR BUILDER PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR COMMENCEMENT OF CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED AND COMPLETED IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND/OR REGULATIONS HAVING JURISDICTION OVER THE WORK AND SHALL BE PERFORMED IN A GOOD WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS BY EXPERIENCED CRAFTSMEN SKILLED IN THEIR RESPECTIVE TRADES.
- DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS NOTED OTHERWISE. INSTALL DOORS AND WINDOWS PER MANUFACTURER'S INSTRUCTIONS.
- WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH WINDOW MANUFACTURER.
- PROVIDE ATTIC VENTING AS REQUIRED BY LOCAL CODES.
- TEMPERED GLASS SHALL BE USED AT WINDOWS ABOVE BATHS, SHOWERS, ANY WINDOWS IN DOORS, ANY WINDOWS WITHIN 24" OF DOORS, AND AT ALL WINDOWS GREATER THAN 9 SQUARE FEET THAT ARE WITHIN 18" OF THE FLOOR.
- ALL ANGLED WALLS 45° UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. PLEASE REPORT ERRORS OR QUESTIONS TO FRY DESIGN COMPANY FOR CLARIFICATION.
- MECHANICAL, ELECTRICAL AND PLUMBING SHOWN ON THE PLAN ARE SCHEMATIC AND INDICATE INTENT AND SCOPE OF WORK ONLY. EACH SUBCONTRACTOR IS RESPONSIBLE FOR INSTALLING EQUIPMENT WHICH MEETS ALL APPLICABLE CODES.
- ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF FRAME ON EXTERIOR WALLS TO EDGE OF FRAME OF INTERIOR WALLS UNLESS NOTED OTHERWISE.
- ALL EXTERIOR STUD WALLS SHALL BE OF 2X6 CONSTRUCTION UNLESS OTHERWISE NOTED.
- ALL UNBRACED STUD WALLS IN EXCESS OF 11'-0" TALL WILL BE MIN. OF 2X6 CONSTRUCTION UNLESS OTHERWISE NOTED. ALL OTHER WOOD STUD WALLS WILL BE 2X4 CONSTRUCTION UNLESS NOTED OTHERWISE.
- SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF STRUCTURE. HOWEVER, THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
- VERIFY AND COORDINATE ALL HVAC AND PLUMBING VENTS, DUCTS AND REGISTERS WITH STRUCTURAL DRAWINGS AND NOTES PRIOR TO CONSTRUCTION.
- ALL ELEVATION PLATE HEIGHTS INDICATED ARE NOMINAL DIMENSIONS.
- DOOR LOCATIONS - UNLESS NOTED OTHERWISE, PLACE DOORS 4" FROM ADJACENT WALL OR IN CENTER OF TWO ADJACENT WALLS SUCH AS IN A HALLWAY.
- VERIFY FINAL SLAB DROPS WITH FINAL FLOOR MATERIAL SELECTIONS BY OWNER.
- FINAL WINDOW SIZES MAY VARY WITH MANUFACTURER CHOSEN. IF WINDOW SIZE CHANGES MORE THAN 4", PLEASE NOTIFY FRY DESIGN FOR CONFIRMATION OF SIZE FOR DESIGN INTENT.
- ROOF VENT- PLACE ALL VERTICAL PIPES TO REAR OF BUILDING WHERE POSSIBLE.
- DOORS FROM THE GARAGE INTO THE RESIDENCE SHALL BE EITHER 1 3/8" SOLID WOOD, 1 3/8" SOLID STEEL, 1 3/8" HONEYCOMB STEEL, OR 20 MINUTE FIRE RATED WITH SELF CLOSING HINGE.
- GARAGES WITH HABITABLE ROOMS ABOVE MUST USE 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT TO SEPARATE ALL HABITABLE SPACES.
- WINDOW SIZES SHOWN AT EGRESS AREAS MEET GENERAL EGRESS REQUIREMENTS. HOWEVER BUILDER TO VERIFY WITH INDIVIDUAL MANUFACTURER.
- ATTIC ACCESS- PROVIDE MINIMUM 22" X 30" ACCESS AS NOTED AND WHERE REQUIRED BY CODE.
- THESE PLANS ASSUME AIR HANDLING UNITS ARE INSTALLED IN THE ATTIC SPACE UNLESS SHOWN OTHERWISE ON PLANS. HVAC CONTRACTOR SHALL VERIFY AND COORDINATE WITH BUILDER.
- THESE PLANS ASSUME, UNLESS SHOWN OTHERWISE, THAT HOT WATER IS PROVIDED BY A GAS-FIRED, TANKLESS WATER HEATER UNIT INSTALLED ON THE REAR EXTERIOR WALL AS AGREED UPON BY BUILDER AND PLUMBER. IF OWNER REQUIRES AN ELECTRIC TANKLESS WATER HEATER, BY DEFAULT THAT UNIT WILL BE INSTALLED IN THE ATTIC SPACE UNLESS SHOWN OTHERWISE OR THE OWNER PROVIDES SPACE INSIDE THE HOUSE.

BUILDER NOTES:

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AREA CALCULATIONS

DESCRIPTION	AREA
1ST FLOOR LIVING	1,614 SF
COVERED PORCH	138 SF
GARAGE (UNFINISHED)	546 SF
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Revisions	NUMBER	ISSUE DATE	DESCRIPTION
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HOMEOWNER ELECTRICAL & LIGHTING NOTE

THIS ELECTRICAL AND LIGHTING PLAN PROVIDED TO HOMEOWNER BY DESIGNER IS INTENDED TO BE USED FOR EARLY BUDGET ANALYSIS AND TO ENGAGE THE HOMEOWNER WITH BUILDER AND ELECTRICIAN TO PERSONALIZE THE ELECTRICAL AND LIGHTING COMPONENTS OF THE HOUSE TO THEIR OWN PERSONAL DESIRES. THE DESIGNER'S LAYOUT OF ELECTRICAL AND LIGHTING COMPONENTS IS DONE "AS IF IT WERE THEIR OWN HOME," HOWEVER, THESE COMPONENTS ARE HIGHLY PERSONAL AND UNIQUE TO EACH INDIVIDUAL'S TASTE. AS SUCH, HOMEOWNER SHALL REVIEW THOROUGHLY AND COORDINATE CLOSELY WITH BUILDER AND ELECTRICIAN PRIOR TO COMMENCEMENT OF CONSTRUCTION. MANY OF THE DECISIONS IN REGARDS TO ELECTRICAL NEED TO BE FINALIZED PRIOR TO THE POURING OF THE FOUNDATION. FAILURE TO DO SO MAY HAVE A HIGH IMPACT ON COST AND SCHEDULE.

MOST IMPORTANTLY, TAKE NOTE OF LOCATIONS OF HVAC EQUIPMENT AND EACH ITEM'S ELECTRICAL REQUIREMENTS AND ENSURE THOSE ELEMENTS MEET OR EXCEED BUILDING CODE. ADDITIONALLY, LOCATE ELECTRICAL SERVICE ENTRY (METER AND PANEL) AND ENSURE LOCATION IS SUITABLE TO YOU.

THIS PLAN IS NOT INTENDED TO BE A FINAL ELECTRICAL PLAN, NOR SHALL THE HOMEOWNER NOR ELECTRICIAN ASSUME THAT THIS ELECTRICAL LAYOUT MEETS THE ELECTRICAL CODE. ELECTRICIAN IS RESPONSIBLE TO ENSURE THAT THE ENTIRETY OF THE PROJECT MEETS OR EXCEEDS ELECTRICAL CODE AND THAT ALL FIXTURES AND EQUIPMENT ITEMS MEET WITH HOMEOWNER'S APPROVAL.

ELECTRICAL LEGEND

\$	SINGLE POLE SWITCH	TV	TELEVISION OUTLET	IRC	IRRIGATION CONTROL UNIT
\$3	3-WAY SWITCH	PANEL	ELECTRICAL PANEL	LVP	LOW VOLTAGE PANEL
\$4	4-WAY SWITCH	M	ELECTRIC METER	X	SUPPLY AIR GRILLE
DB	DOOR BELL BUTTON	V	BATH FAN (V)		RETURN AIR GRILLE
CHIME	DOOR BELL CHIMES	VL	BATH FAN & LIGHT COMBO (VL)		
GB	GARAGE DOOR BUTTON	HV	BATH FAN & HEATER COMBO (HV)		
GDO	GARAGE DOOR OPENER	HVL	BATH FAN, HEATER & LIGHT COMBO (HVL)		48" LED STRIP LIGHT FIXTURE
DUPLX	DUPLEX OUTLET	FLD	FLOOD LIGHT		
GFI	GFI OUTLET	EWL	EXTERIOR WALL FIXTURE		
WP GFI	WATERPROOF GFI OUTLET	EAL	EXTERIOR ACCENT LIGHT	LCFP	LIGHTED CEILING FAN PACKAGE
220V	220 HIGH VOLTAGE OUTLET	CKL	CEILING FIXTURE - KEYLESS		
FLR	FLOOR OUTLET	CFM	CEILING FIXTURE - FLUSH MOUNT		
UC	UNDER CABINET LIGHT	CHG	CEILING FIXTURE - HANGING		
GD	GARBAGE DISPOSAL	REC	RECESSED EYEBALL CAN FIXTURE		
CD	SMOKE / CARBON DIOXIDE DETECTOR	RCF	RECESSED CAN FIXTURE		
M	MOTION DETECTOR	MR	MINIATURE RECESSED CAN FIXTURE		
TEL	TELEPHONE OUTLET	BSL	BATH STRIP LIGHT		
USB	USB DATA OUTLET	CLC	CLOSET CASTER LIGHT		

ELECTRICAL PLAN NOTES

- BUILDER AND ELECTRICIAN SHALL INVOLVE HOMEOWNER EARLY IN THE BUILD PROCESS TO ENSURE HOMEOWNER'S INPUT AND APPROVAL OF ELECTRICAL AND LIGHTING COMPONENTS IS FINAL.
- BUILDER SHALL ENSURE THAT ALL ELECTRICAL COMPONENTS MEET OR EXCEED CURRENT RESIDENTIAL ELECTRICAL CODES FOR THE JURISDICTION IN WHICH THIS HOUSE IS BEING BUILT - NO EXCEPTIONS. ELECTRICIAN SHALL VERIFY THAT EQUIPMENT QUANTITIES AND LOCATIONS SHOWN CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND SHALL BE RESPONSIBLE FOR INSTALLATION OF ELECTRICAL SYSTEM ACCORDING TO CODE AND ACCORDING TO EQUIPMENT MANUFACTURER'S REQUIREMENTS.
- BUILDER SHALL DISCUSS AND MAKE KNOWN DECISIONS ON ELECTRICAL, SUCH AS TOTAL HOUSE ELECTRICAL SERVICE, FLOOR RECEPTACLES, UNDER COUNTER LIGHTING, DOOR ACTUATED LIGHT SWITCHES, MOTION ACTUATED LIGHT SENSORS, USB RECEPTACLES, ETC. SO THAT HOMEOWNER HAS THE OPPORTUNITY TO MAKE INFORMED DECISIONS ON THESE OFTEN-MISSED ITEMS.
- PROVIDE SMOKE DETECTORS IN EACH SLEEPING ROOM AND ADJOINING AREAS. ALL SMOKE DETECTORS SHALL BE HARD-WIRED WITH BATTERY BACKUP AND MUST BE INTERCONNECTED THROUGHOUT THE ENTIRE HOUSE.
- BUILDER TO ENSURE ADEQUATE ELECTRICAL SERVICE FOR ALL MECHANICAL UNITS.
- PLANS MAY NOT SHOW POWER AND LIGHTING REQUIREMENTS FOR ALL CONDITIONS SUCH AS NEED FOR SEPTIC, WATER SOFTENERS, ADDITIONAL HVAC UNITS, OUTDOOR SECURITY LIGHTING, ETC. BUILDER SHALL ENSURE TOTAL ELECTRICAL SERVICE MEETS ALL SITE SPECIFIC AND HOMEOWNER SPECIFIC REQUIREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE-PHASE 15 AND 20 AMP OUTLETS INSTALLED IN DWELLING UNITS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER PER CURRENT RESIDENTIAL ELECTRICAL CODE.
- ALL RECEPTACLES WITHIN SIX FEET (6'-0") OF A WET BAR OR SINK TO SERVE COUNTERTOP SURFACES MUST BE GFCI. KITCHEN COUNTERS 12" OR WIDER, SHALL HAVE A RECEPTACLE EVERY TWO FEET (2'-0") ALONG A WALL.
- AT LEAST ONE GFCI RECEPTACLE SHALL BE INSTALLED IN EACH BATHROOM ADJACENT TO EACH BASIN.
- PROVIDE MECHANICAL VENTILATION IN LAUNDRY ROOM WITHOUT THE NATURAL VENTILATION FROM THE OUTSIDE.
- IF NO DIMENSIONS ARE SHOWN FOR PLACEMENT OF LIGHT FIXTURES, OUTLETS OR SWITCHES, ELECTRICIAN SHALL IMPART EVERY EFFORT TO LOCATE AS CLOSELY AS POSSIBLE TO LOCATIONS SHOWN EVEN TO THE EXTENT OF HAVING FRAMING MEMBERS RELOCATED ESPECIALLY CEILING MOUNTED LIGHT FIXTURES. UNLESS NOTED OTHERWISE, SET THE BOTTOM OF WALL BOXES AT THE FOLLOWING HEIGHTS ABOVE SUBFLOOR:

DUPLEX RECEPTACLES AND PHONE JACKS: 14"

DUPLEX RECEPTACLES OVER COUNTERTOPS: 42"

DUPLEX RECEPTACLES BEHIND REFRIGERATORS: 48"

DUPLEX RECEPTACLES FOR RANGE: 10"

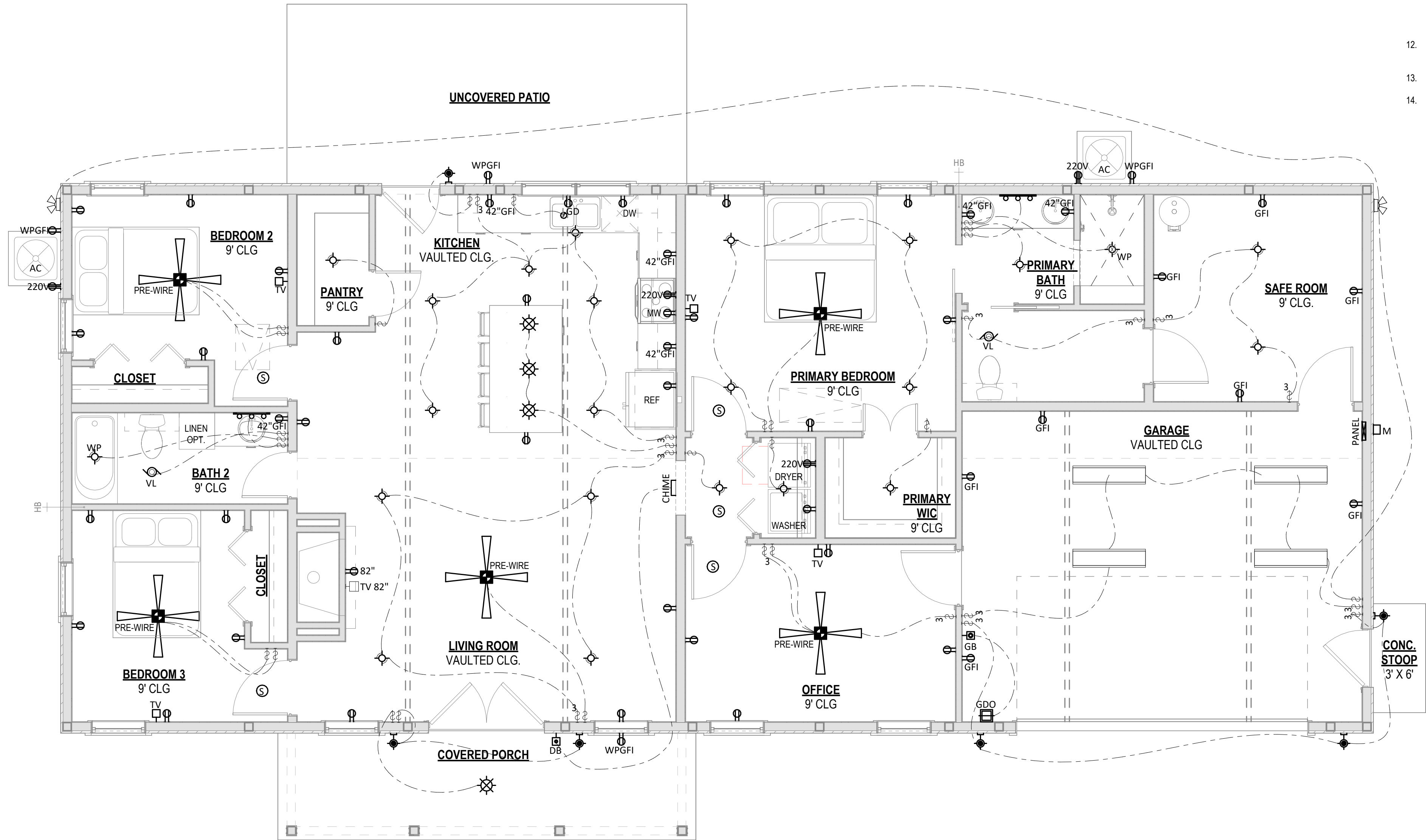
DUPLEX RECEPTACLES FOR MICROWAVE: 60"

DUPLEX RECEPTACLES IN POWDER ROOMS OR OVER VANITIES: 38"

SWITCHES AND OTHER WALL MOUNTED CONTROLS: 48"

THERMOSTAT: 60"

FIXTURES OVER VANITIES & WALL MOUNTED TV 80"
- ALL EXTERIOR OUTLETS SHALL BE WATERPROOF, NEMA 3R FOAM LINERS PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR AT ALL EXTERIOR WALL SWITCHES AND RECEPTACLES.
- VERIFY CEILING FAN SWITCHING AND REMOTE CONTROLS WITH OWNER PRIOR TO INSTALLATION.
- BUILDER AND ELECTRICIAN SHALL COORDINATE WITH UTILITY COMPANIES TO LOCATE ELECTRICAL SERVICE, TELEPHONE, CATV, ETC. AS REQUIRED AND CONFIRM SERVICE ENTRANCES WITH OWNER PRIOR TO CONSTRUCTION.



01 ELECTRICAL POWER & LIGHTING PLAN
SCALE: 1/4" = 1'-0"

The Barndo Co.
1531 E. Main Street
Duncan, SC 29334
864.571.4453

Revisions	NUMBER/ISSUE DATE	DESCRIPTION
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A New Custom Home for
The Williams Residence
1171 Old Coats Road,
Lillington, NC 27546

The Eucalyptus Plan #22043-01

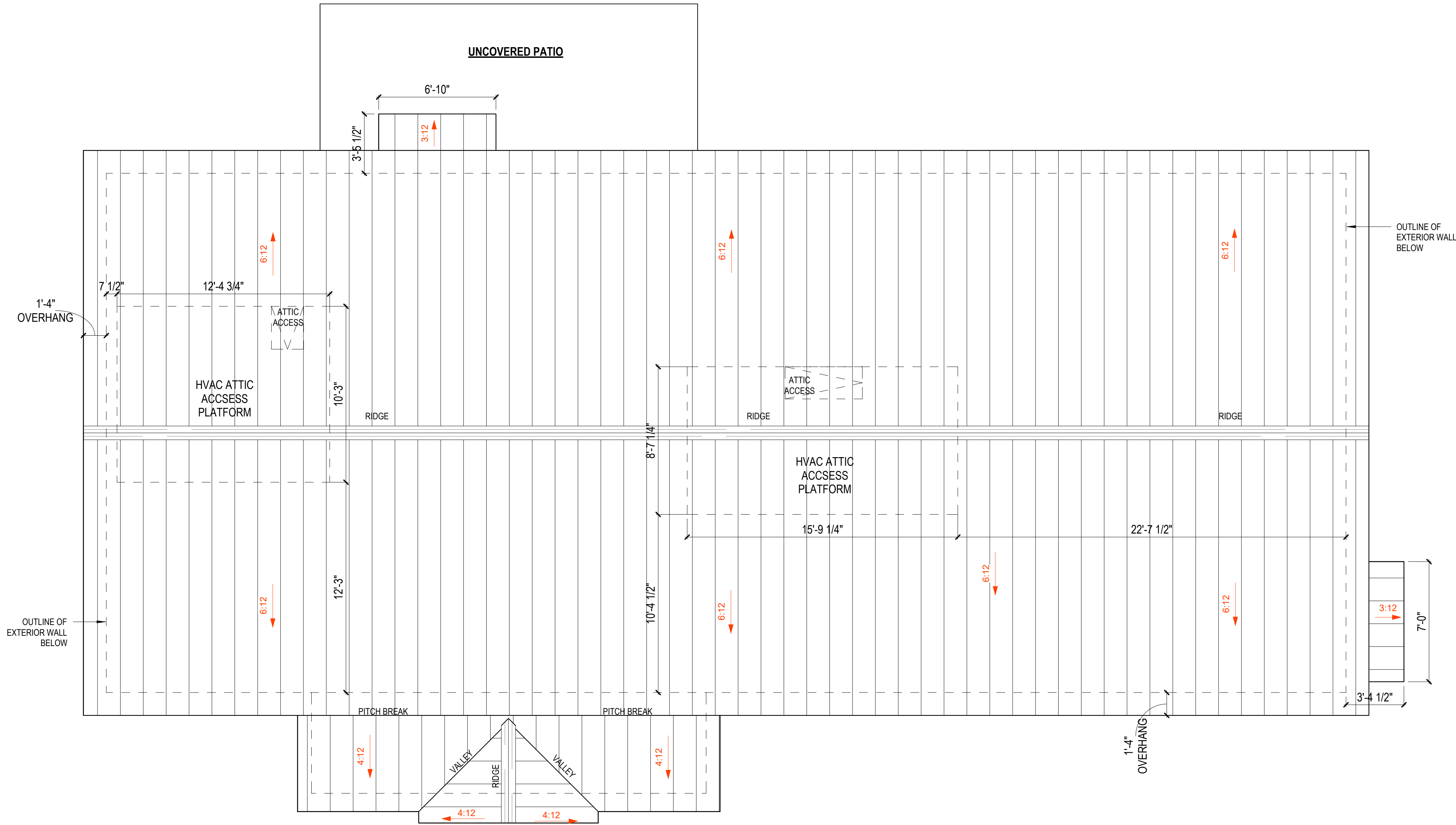
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ELECTRICAL POWER AND LIGHTING PLAN



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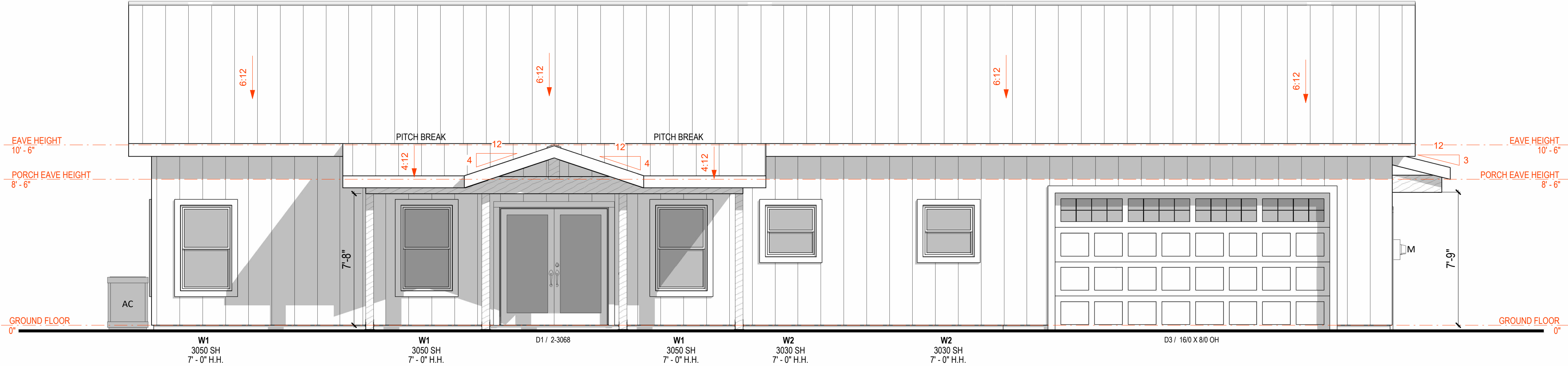
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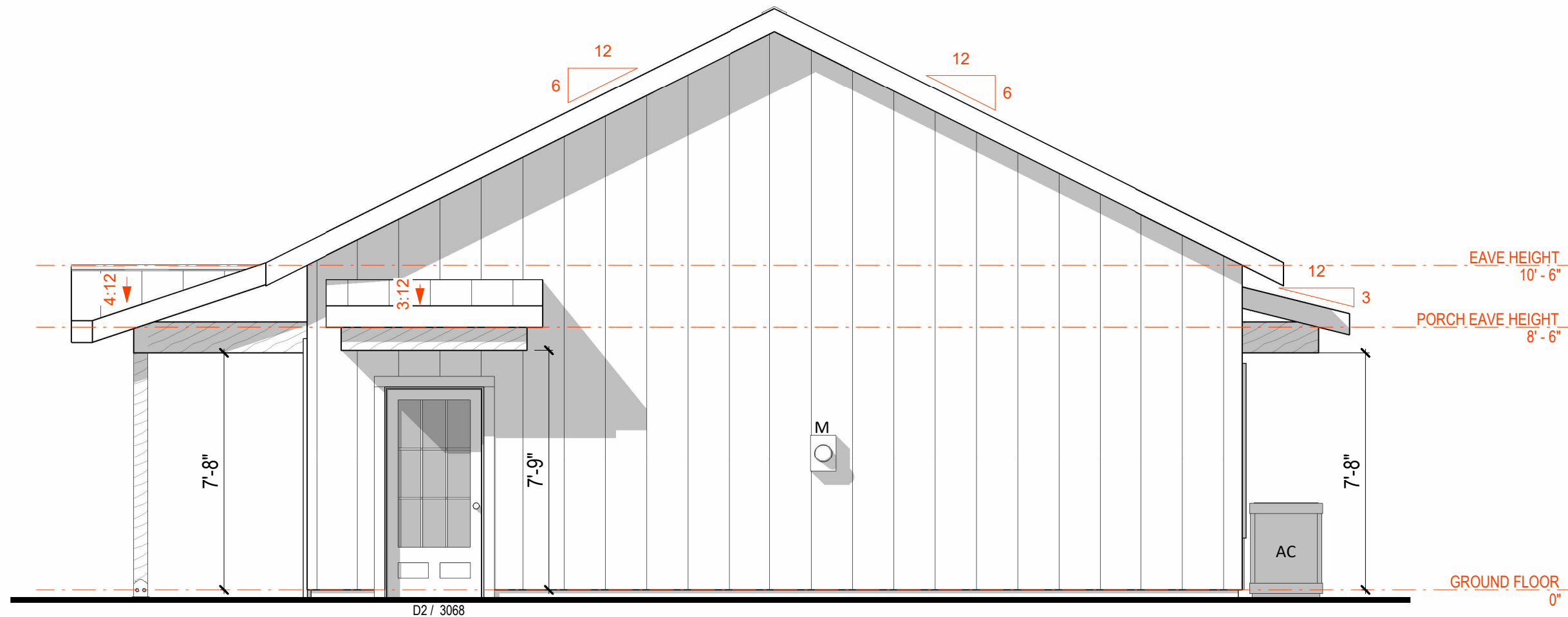
01 ROOF PLAN
SCALE: 1/4" = 1'-0"



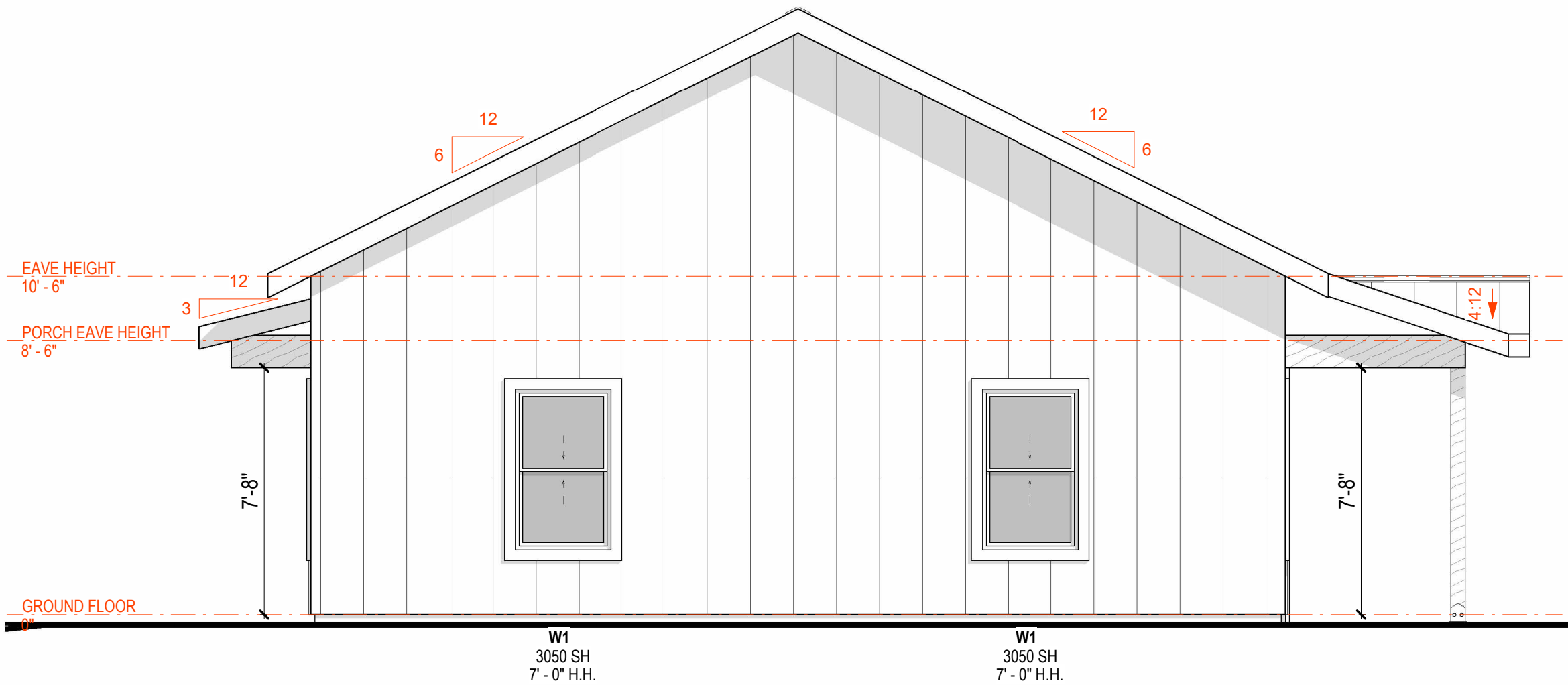
11/9/2024 12:57:58 AM G:\Shared drives\PROJECTS\2024\24256 Williams Residence (Eucalyptus Plan)\24256- Williams Residence- Eucalyptus #22043-01.rvt



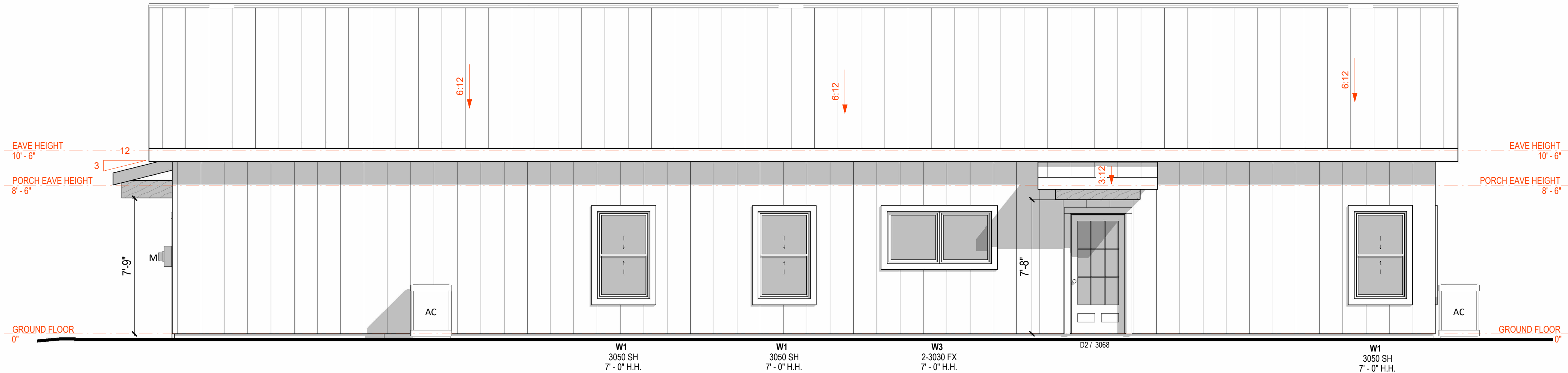
01 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



02 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



03 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



04 REAR ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES

- DOORS AND WINDOWS SHOWN ON THESE EXTERIOR ELEVATIONS ARE REPRESENTATIVE ONLY AND NOT INTENDED TO DEPICT THE ACTUAL STYLE OF DOOR OR WINDOW SELECTED BY OWNER. SPECIFICATIONS ALWAYS OVERRULE WHAT IS SHOWN ON THE PLANS, SO OWNER SHALL MAKE THESE SELECTIONS WITH THE BUILDER AND USE THESE PLANS ONLY FOR REFERENCE OF SIZE AND LOCATIONS OF DOORS AND WINDOWS.
- EXTERIOR FINISHES SHOWN ON THESE EXTERIOR ELEVATIONS ARE REPRESENTATIVE ONLY AND NOT INTENDED TO DEPICT THE ACTUAL FINISHES SELECTED BY OWNER TO INCLUDE EXTERIOR WALL MATERIAL, ROOFING MATERIAL, PAINT/STAIN, POSTS, ETC. SPECIFICATIONS ALWAYS OVERRULE WHAT IS SHOWN ON THESE PLANS, SO OWNER SHALL MAKE THESE SELECTION WITH THE BUILDER AND USE THESE PLANS ONLY FOR REFERENCE OF THE EXTENTS OF THESE FINISHES.
- EXTERIOR FEATURES SUCH AS SHUTTERS, GABLE ACCENTS, CUPOLAS, KNEE BRACKETS AND OTHER ORNAMENTAL FEATURES, IF SHOWN, ARE OPTIONAL ITEMS TO BE SELECTED BY OWNER AND WOULD BE AN ADDITIONAL CHARGE OVER AND ABOVE THE BASE BUILDER COSTS.

Revisions

NUMBER	ISSUE DATE	DESCRIPTION
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A New Custom Home for

The Williams Residence

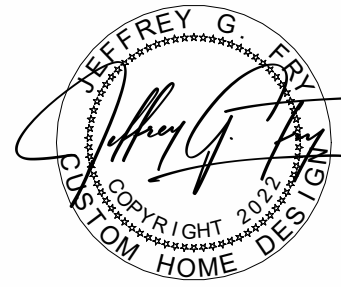
1171 Old Coats Road,
Lillington, NC 27546

The Eucalyptus Plan #22043-01

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EXTERIOR ELEVATIONS

PROJECT NO. 24256

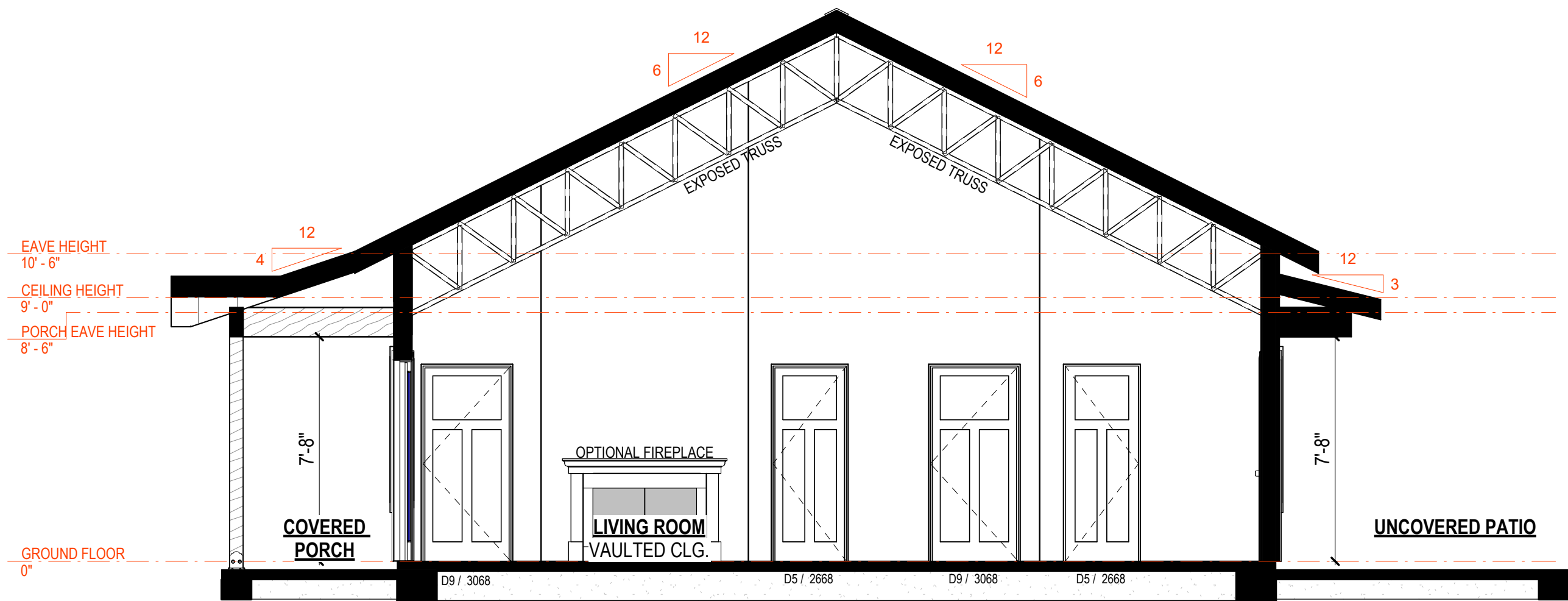
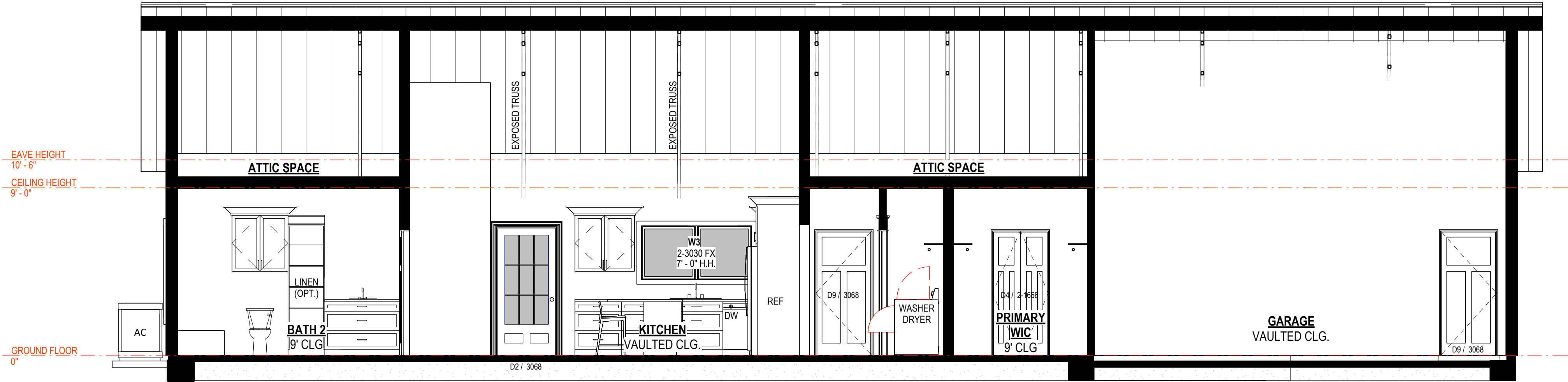


SHEET NO.

A500

BUILDING SECTION NOTES

1. INTERIOR ELEVATIONS MAY NOT REPRESENT BUILDER'S STANDARD FEATURES. DEPICTION OF DOOR STYLES, CABINETS, APPLIANCES AND FURNITURE ARE FOR CONTEXT AND REFERENCE ONLY AND ARE NOT INTENDED TO BE LITERAL ILLUSTRATIONS OF BUILDER SUPPLIED FEATURES NOR ARE THEY INTENDED TO REFLECT OWNER SELECTIONS.



Revisions	DESCRIPTION	
	NUMBER	ISSUE DATE

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SECTIONS

PROJECT NO. 24256



SHEET NO.

A600