

**ABBREVIATIONS**

- ACC. = ACCESS WALL LINE
- BLK. = BRICK WALL PANEL
- BR. = BRICK
- C.O. = CEILING OPENING
- C.J.O. = CEILING JOIST
- CLOS. = CLOSET
- COL. = COLUMN
- COMP. = COMPOSITION
- CONC. = CONCRETE
- CONT. = CONTINUOUS
- C.M.A. = CARBON MONOXIDE ALARM
- C.M.U. = CONCRETE MASONRY UNIT
- D.H. = DIAMETER
- DIA. = DIAMETER
- D.J. = DOUBLE JOIST
- DN. = DOWN
- EXH. = EXHAUST
- EXT. = EXTERIOR
- FL. = FLOOR JOIST
- FTG. = FOOTING
- G.F.I. = GROUND FAULT INTERRUPTER
- H.B. = HOSE BIB
- H.L. = LAMINATED VENEER LUMBER
- L.V. = MASONRY OPENING
- M.O. = MASONRY
- M.S. = MASONRY
- MAX. = MAXIMUM
- M.C. = MEDICINE CABINET
- M.T. = METAL
- MIN. = MINIMUM
- N.M. = NOT MARKED
- O.C. = ON CENTER
- OSB = ORIENTED STRAND BOARD
- PERF. = PERFORATED
- REC. = RECESSED
- REIN- = REINFORCED
- SCR. = SCREENED
- S.D. = SMOKE DETECTOR
- SEC. = SECOND
- SH.M. = SHOWER
- S.Y.P. = SOUTHERN YELLOW PINE
- S.P.F. = SPRUCE/PINE/FIR
- SUP. = SUPERSEDED
- TRP. = TYPICAL
- U.O.N. = UNLESS OTHERWISE NOTED
- WASH. = WASHER
- W.H. = WATER HEATER
- W.P. = WEATHER PROOF
- W.W.M. = WELDED WIRE MESH
- WD. = WINDOW HEIGHT
- WD. = WINDOW

**SYMBOLS**

- = HOSE BIB
- s = SWITCH
- s<sub>3</sub> = 3-WAY SWITCH
- ⊙ = LIGHT FIXTURE
- ⊠ = EXHAUST FAN & LIGHT
- ⊠ = SMOKE DETECTOR
- ⊠ = SHOWER HEAD
- ⊠ = TELEPHONE JACK
- ⊠ = CONVENIENCE OUTLET
- ⊠ = 220 VOLT OUTLET
- ⊠ = GROUND FAULT INTERRUPTER
- ⊠ = CEILING FAN
- ⊠ = CARBON MONOXIDE ALARM

**GENERAL NOTES AND SPECIFICATIONS**

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**ORIGINAL PURCHASE AGREEMENT**

SEE ATTACHED CONSTRUCTION LICENSE FOR INVOICE NUMBER 13056.

**BUILDING CODE INFORMATION**

THIS PLAN HAS BEEN DRAWN TO CONFORM TO THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION, (2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS, CURRENT EDITION) WITH AMENDMENTS UNLESS OTHERWISE NOTED. (SEE ATTACHMENTS)

**PRIOR TO CONSTRUCTION**

THE CONTRACTOR SHALL REVIEW THE PLAN(S) FOR THIS PARTICULAR BUILDING PROJECT TO ENSURE COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL CODES, CLAIMING RESPONSIBILITY FOR ANY DISCREPANCIES TO STANDARD HOMES PLAN SERVICE, INC. FOR JUSTIFICATION OR CORRECTION BEFORE PROCEEDING WITH WORK ON HOUSE.

THE CONTRACTOR SHALL VERIFY PLAN DIMENSIONS, STRUCTURAL REQUIREMENTS, MATERIAL SPECIFICATIONS, AND THE SET OF PLANS AND REPORT ANY DISCREPANCIES TO STANDARD HOMES PLAN SERVICE, INC. FOR JUSTIFICATION OR CORRECTION BEFORE PROCEEDING WITH WORK ON HOUSE.

THE CONTRACTOR SHALL DETERMINE ROUGH OPENING SIZES FOR ALL BUILT-IN EQUIPMENT AND/OR FACILITIES AND ADJUST PLAN DIMENSIONS AS REQUIRED.

DO NOT SCALE FROM BLUEPRINTS. REFER TO THE LABELED DIMENSIONS FOR ACTUAL MEASUREMENTS.

IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO PROVIDE FOR THE SERVICES OF A PROFESSIONAL ENGINEER IF REQUIRED BY THE BUILDING CODE OFFICIAL.

**SHIPPING DATE : \_\_\_\_\_**

STAMP MUST APPEAR IN RED. PLANS FOR WHICH A BUILDING PERMIT HAS NOT BEEN OBTAINED ONE YEAR FROM THE ABOVE DATE IS SUBJECT TO REVIEW BY STANDARD HOMES PLAN SERVICE, INC. A FEE MAY BE CHARGED FOR THIS SERVICE.

**EXCAVATION**

EXCAVATE TO UNDISTURBED SOIL. BOTTOM OF FOOTING SHALL BE AT LEAST 4" BELOW FINISHED GRADE. (PRESUMED 2000 PSF SOIL BEARING CAPACITY).

EXPANSIVE, COMPRESSIVE OR SHITTING SOILS SHALL BE REMOVED TO A DEPTH AND WIDTH SUFFICIENT TO ASSUME A STABLE MOISTURE CONTENT IN EACH ACTIVE ZONE.

**FOUNDATION**

PROVIDE 1/2" DIA. STEEL ANCHOR BOLTS 6"-0" O.C. 1'-6" MAX. FROM ENDS OF EACH F-16 SECTION, WITH 7" MIN. EMBEDMENT.

PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.

SLOPE GRADE AWAY FROM FOUNDATION WALLS 6" MINIMUM WITHIN THE FIRST 10 FEET.

PROVIDE PRESSURE TREATED LUMBER FOR SILLS, PLATES, BANDS AND ANY LUMBER IN CONTACT WITH MASONRY.

PROVIDE APPROVED AND BONDED CHEMICAL SOIL TREATMENT AGAINST CRIML SPACE.

ALL JOIST JOINTS AND ENDS OF GIRDERS SHALL REST ON SOLID CONCRETE. FILL TOP COURSE CORES OF EXTERIOR FOUNDATION WALL WITH CONCRETE.

FOOTINGS SHALL EXTEND 6" AND SHALL BE 12" THICK UNDER GROUND FIBERS.

CHIMNEY FOOTING SHALL EXTEND 12" MINIMUM BEYOND EACH SIDE AND SHALL BE AT LEAST 12" THICK.

**FRAMING**

ALL FLOOR JOISTS, CEILING JOISTS, PARTERS, GIRDERS, HEADERS, SILLS AND BEAMS SHALL BE NO. 2 SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

ALL LOAD BEARING WALLS SHALL BE STUD GRADE SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

DESIGN SPECIFICATIONS FOR LAMINATED VENEER LUMBER (LVL) BEAMS AND HEADERS :

- GRADE : 2B509B-20E
- MOE : 1,200,000
- MOD E : 1.0 E
- MOD E 2 : 1.0 E
- SHEAR Fv : 290

SUPPORT FOR HEADERS:

HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS IN ACCORDANCE TO EACH END OF THE HEADER SHALL BE END NAILLED TO EACH END OF THE HEADER WITH FOUR-16D NAILS. SEE TABLE BELOW.

MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS:

HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES)
3 FEET OR LESS	1
4 FT.	2
8 FT.	3
12 FT.	5
16 FT.	6

**CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA**

ROOF U-FE LOAD (POUNDS PER SQUARE FOOT) : 20 PSF

ULTIMATE DESIGN WIND SPEED (MILES PER HOUR) : 120 MPH

NOMINAL DESIGN WIND SPEED : 93 MPH

EXPOSURE CATEGORY "B" UNLESS OTHERWISE NOTED

WINDOWN DESIGN PRESSURE RATING : DP 25

COMPONENT AND CLADDING LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET OR LESS:

PRESSURE ZONE	115	120	130	140
ZONE 1	13.1, -14.0	14.2, -15.0	16.7, -18.0	19.4, -21.0
ZONE 2	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 3	14.3, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 4	14.3, -15.0	15.5, -16.0	18.2, -19.0	21.2, -22.0
ZONE 5	14.3, -19.0	15.5, -20.0	18.2, -24.0	21.2, -28.0

ASSUMED MEAN ROOF HEIGHT: 16'-3"

SEISMIC CONITION BY ZONE : ZONES A AND B

SUBJECT TO DAMAGE FROM WEATHERING : MODERATE

CLIMATE ZONES (UNLESS OTHERWISE NOTED): ZONES 3 AND 4

CEILING R-38; EXTERIOR WALLS R-15; FLOORS R-19

WINDOW U-FACTOR ≤ 0.35; RECOMMENDED SHGC ≤ 0.30

**MISCELLANEOUS**

LOCATE ALL CONVENIENCE OUTLETS ABOVE KITCHEN BASE CABINETS 42" ABOVE FINISHED FLOOR.

**EMERGENCY EGRESS REQUIREMENTS**

IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO VERIFY ALL EGRESS REQUIREMENTS ARE MET AND PROVIDED BY WINDOW MANUFACTURER.

2018 NORTH CAROLINA RESIDENTIAL CODE

THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. THE NET CLEAR OPENING SHALL NOT BE LESS THAN 40 SQUARE FEET WHERE THE CLEAR OPENING SHALL BE LESS THAN 40 SQUARE FEET WHERE THE CLEAR OPENING SHALL BE AT LEAST 20 INCHES. IN ADDITION THE MINIMUM TOTAL GLASS AREA SHALL NOT BE LESS THAN 5.0 SQUARE FEET IN THE CASE OF A SECOND STORY WINDOW.

2015 INTERNATIONAL RESIDENTIAL CODE

IF THE HEIGHT OF ANY WINDOW FROM FINISHED FLOOR SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. ALL EGRESS OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET EXCEPT GROUND FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.

EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET EXCEPT GROUND FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.

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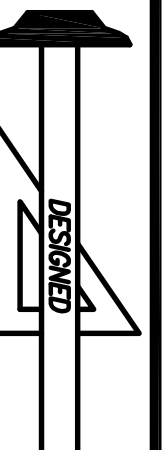
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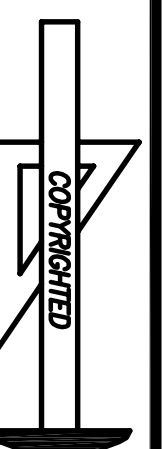
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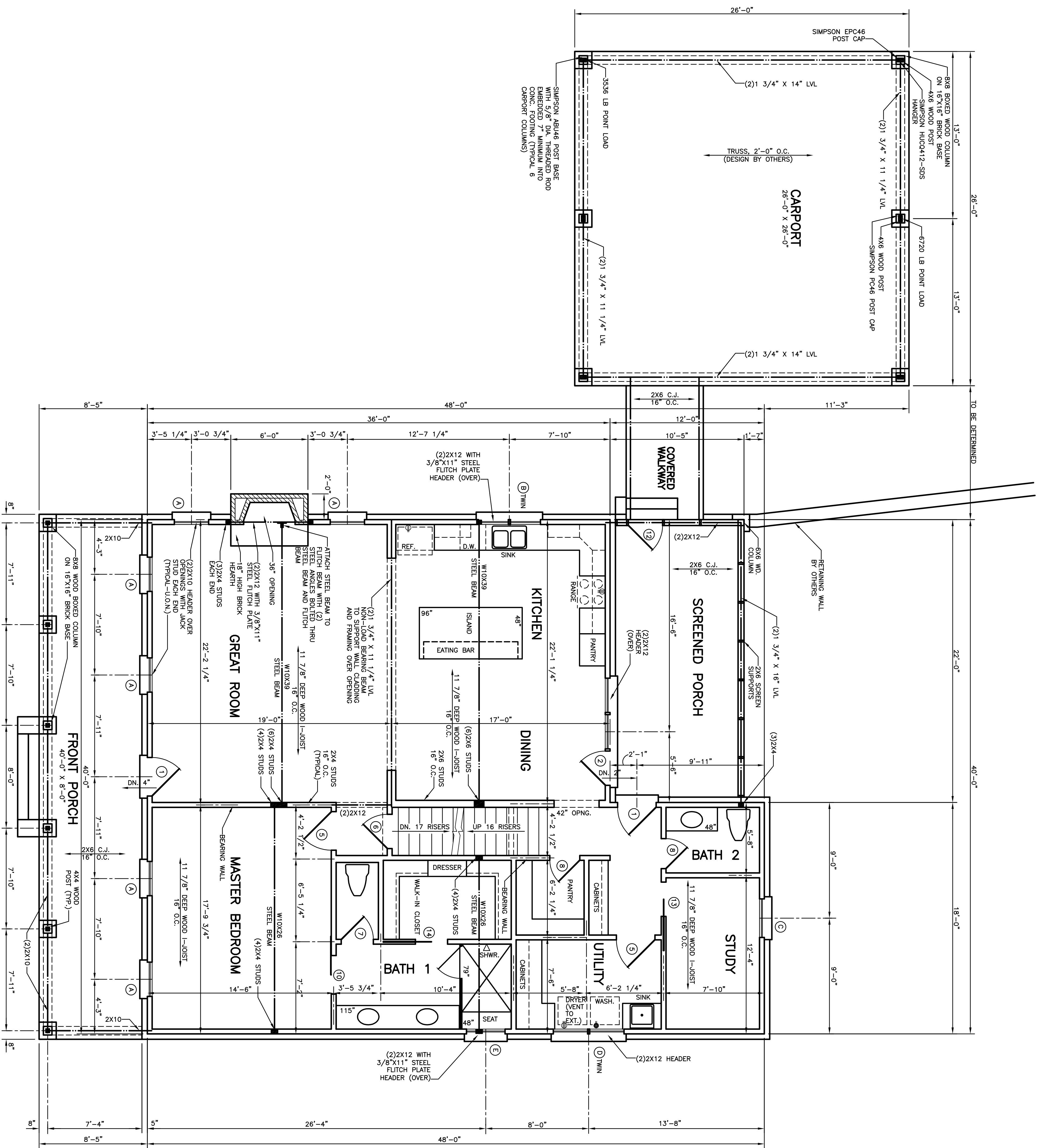
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ROBERT & MELINDA BENNETT	CUSTOM	2601	B.V.	—	1 OF 9



**Standard Homes Plan Service, Inc.**  
7200 SUNSET LAKE ROAD FLOUAY-VARINA, NC 27526 (919)552-5677  
SEE HOW WE DESIGN AND BUILD YOUR HOME AT WWW.STANDARDHOMES.COM







**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 1729 SQ. FT. 1ST FLOOR HEATED AREA  
 781 SQ. FT. 2ND FLOOR HEATED AREA  
 886 SQ. FT. BSMT. FLOOR HEATED AREA  
 3366 SQ. FT. TOTAL HEATED AREA  
 832 SQ. FT. GARAGE UNHEATED AREA  
 220 SQ. FT. SCREENED PORCH  
 676 SQ. FT. CARPORT

**WINDOW SCHEDULE**

A	2'-8" X 6'-0" WD. D.H.	D	2'-8" X 3'-0" WD. D.H.	G		P	
B	2'-4" X 3'-0" WD. D.H.	E	3'-0" X 1'-0" WD. FIXED	H		Q	
C	3'-0" X 5'-0" WD. D.H.	F	3'-0" X 3'-10" WD. D.H.	K		R	
						S	
						T	
						U	
						V	
						W	
						X	
						Y	
						Z	

**DOOR SCHEDULE**

1	4-LITE 3'-0" X 6'-6" X 1 3/4"	4	OVERHEAD GARAGE 12'-0" X 7'-0"	7	2'-6" X 6'-8" X 1 3/8"	10	SLIDING BARN DOOR 3'-0" X 6'-8" X 1-3/8"	13	PROJECT 2'-8" X 6'-8" X 1 3/8"	16	
2	8'-4" X 6'-8" X 1 3/4"	5	3'-0" X 6'-8" X 1 3/8"	8	2'-4" X 6'-8" X 1 3/8"	11	DOUBLE DOOR 4'-0" X 6'-8" X 1-3/8"	14	PROJECT 2'-6" X 6'-8" X 1 3/8"	17	
3	3'-0" X 6'-8" X 1 3/4"	6	2'-8" X 6'-8" X 1 3/8"	9	2'-0" X 6'-8" X 1 3/8"	12	SCREEN 2'-8" X 6'-8" X 1-1/8"	15		18	

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 SEE FINAL DESIGN DRAWINGS ONLINE AT WWW.STANDARDHOMES.COM

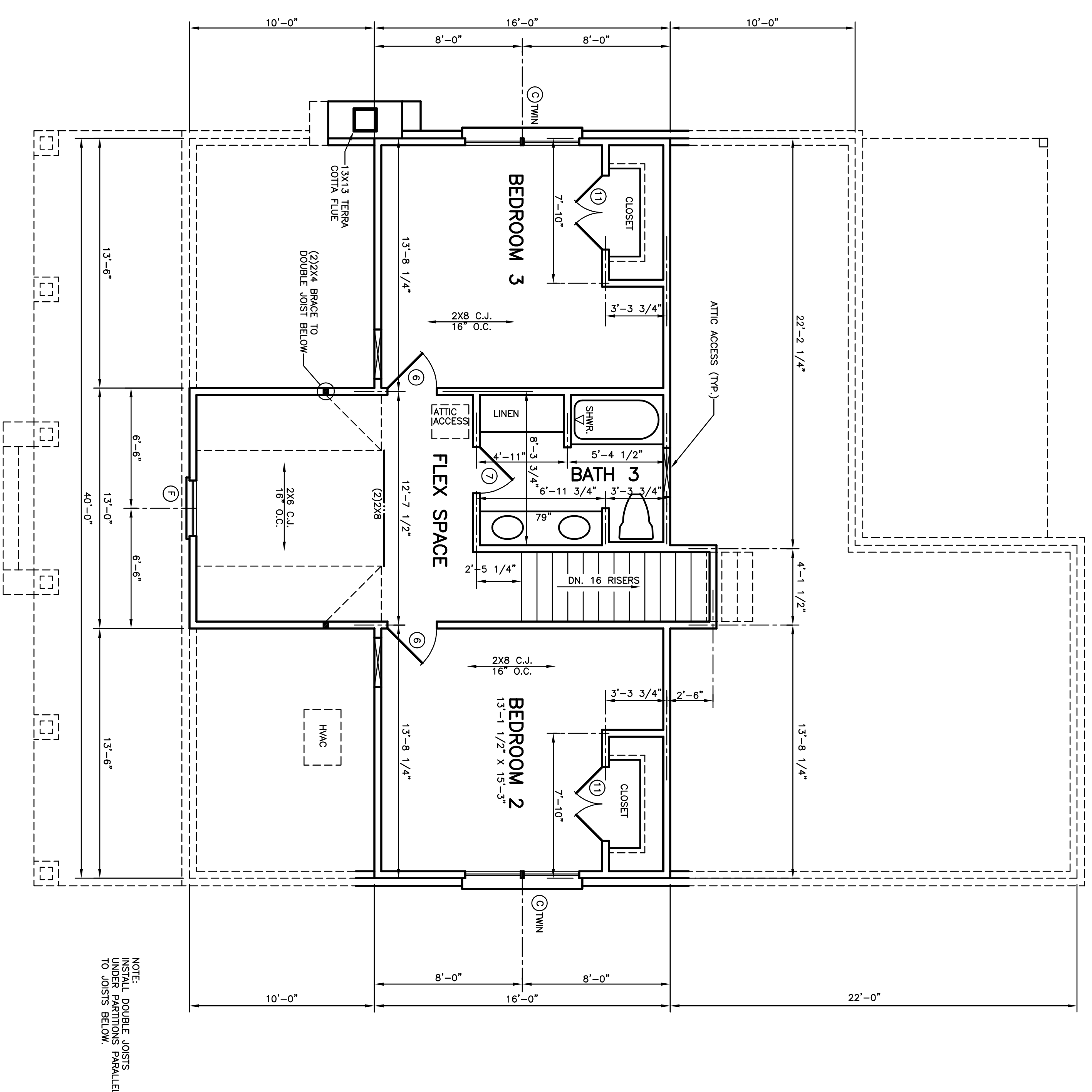
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PLAN NO. 2601 MATERIAL B.V.

SHEET 3 OF 9

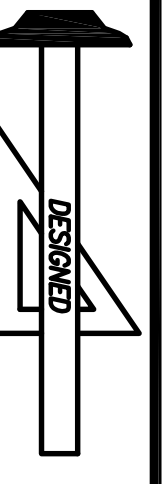
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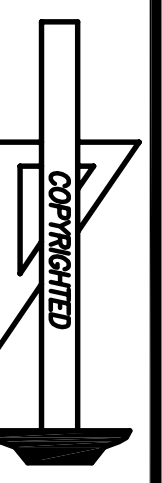


NOTE:  
INSTALL DOUBLE JOISTS  
UNDER PARTITIONS PARALLEL  
TO JOISTS BELOW.

SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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PLAN  
CUSTOM

NO.  
2601

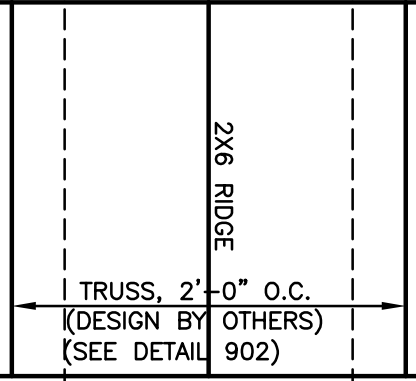
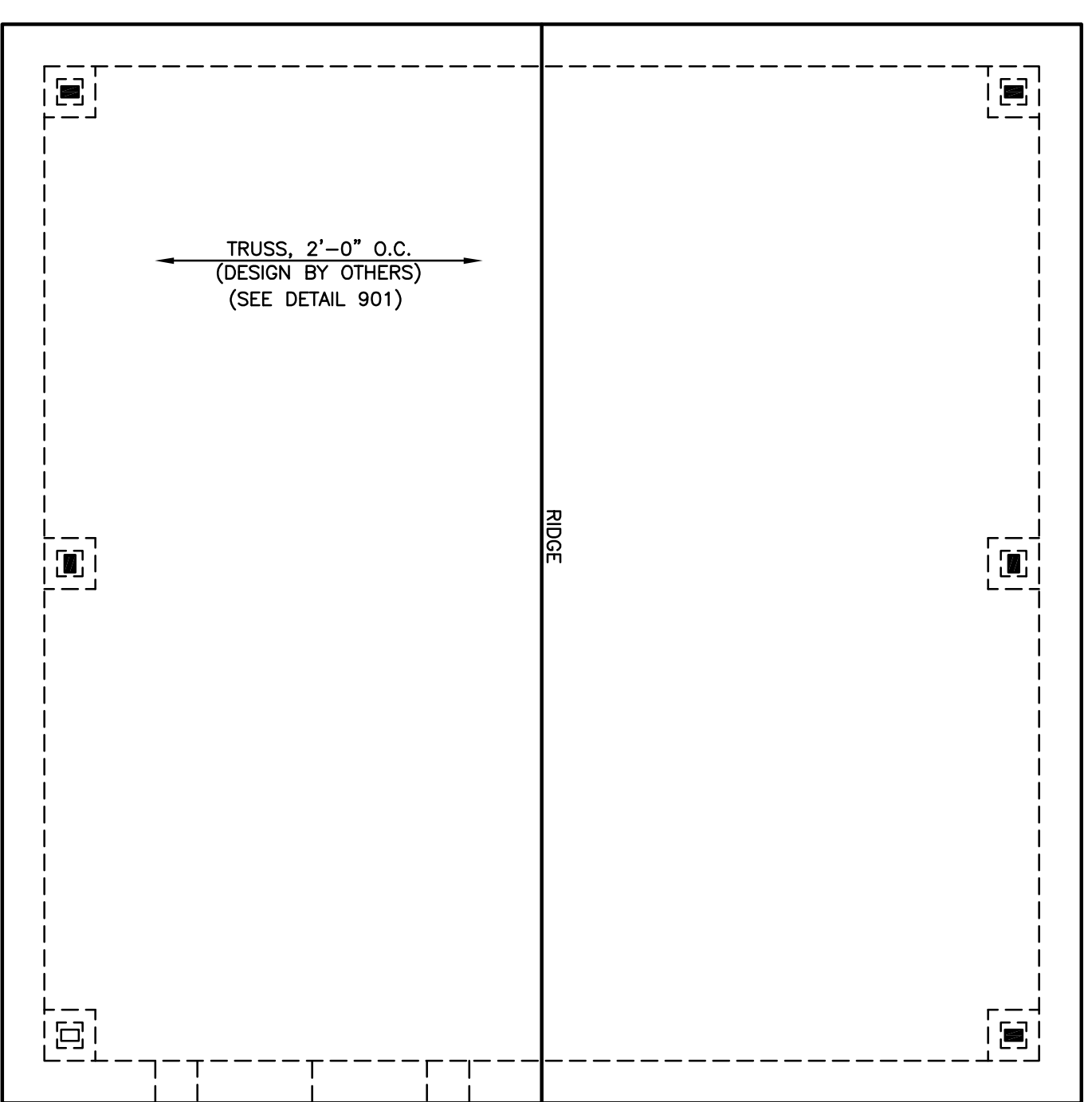
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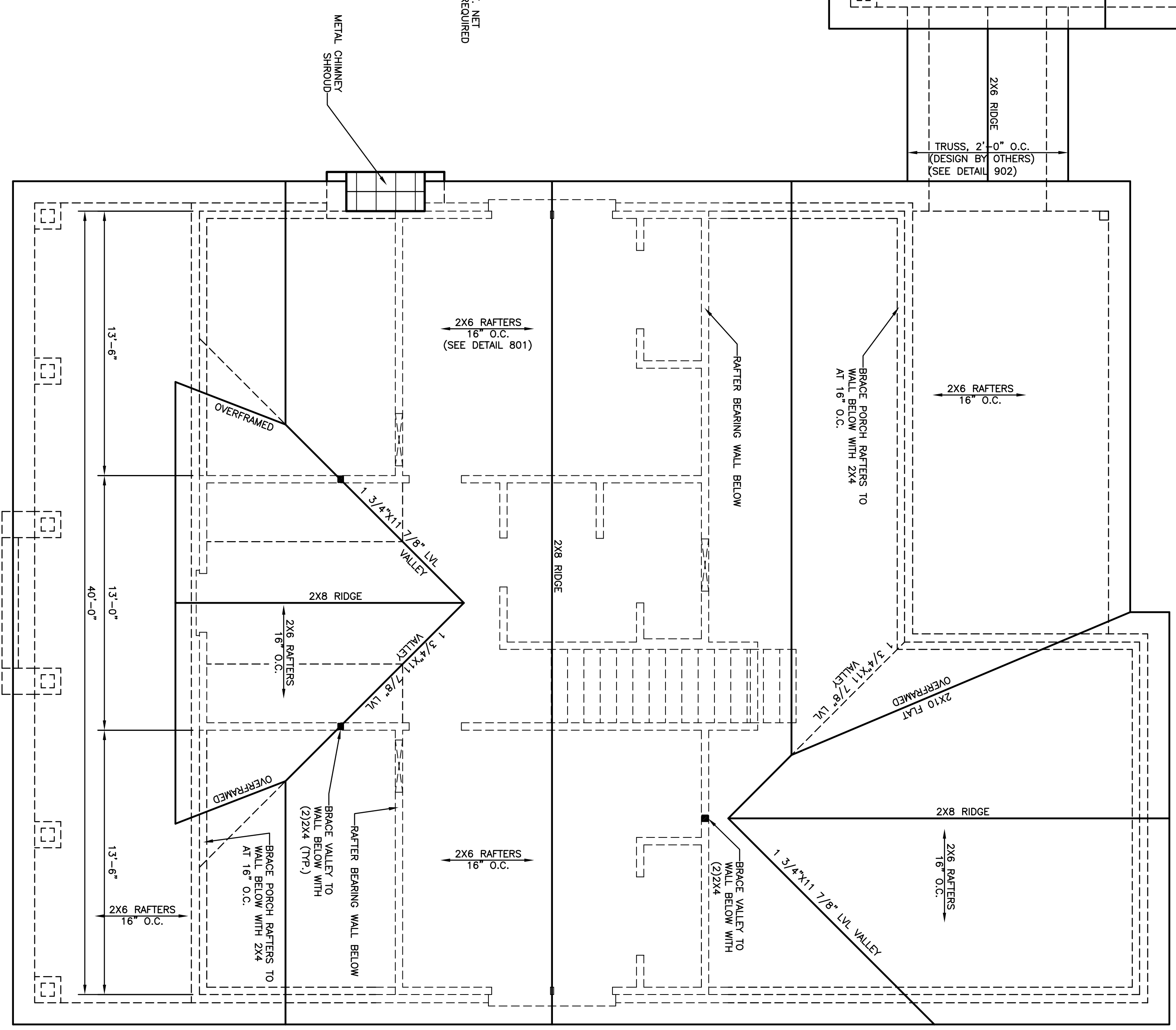
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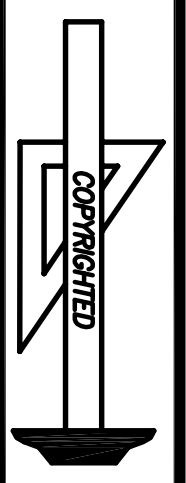
ATTIC VENTILATION REQUIREMENTS :  
 2992 SQ. FT. + 150 = 19,698 SQ. FT. NET  
 FINE AREA REQUIRED



ROOF PLAN  
 SCALE: 1/4" = 1'-0"



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DESIGNED FOR  
 ROBERT & MELINDA BENNETT

PLAN  
 CUSTOM

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 2601

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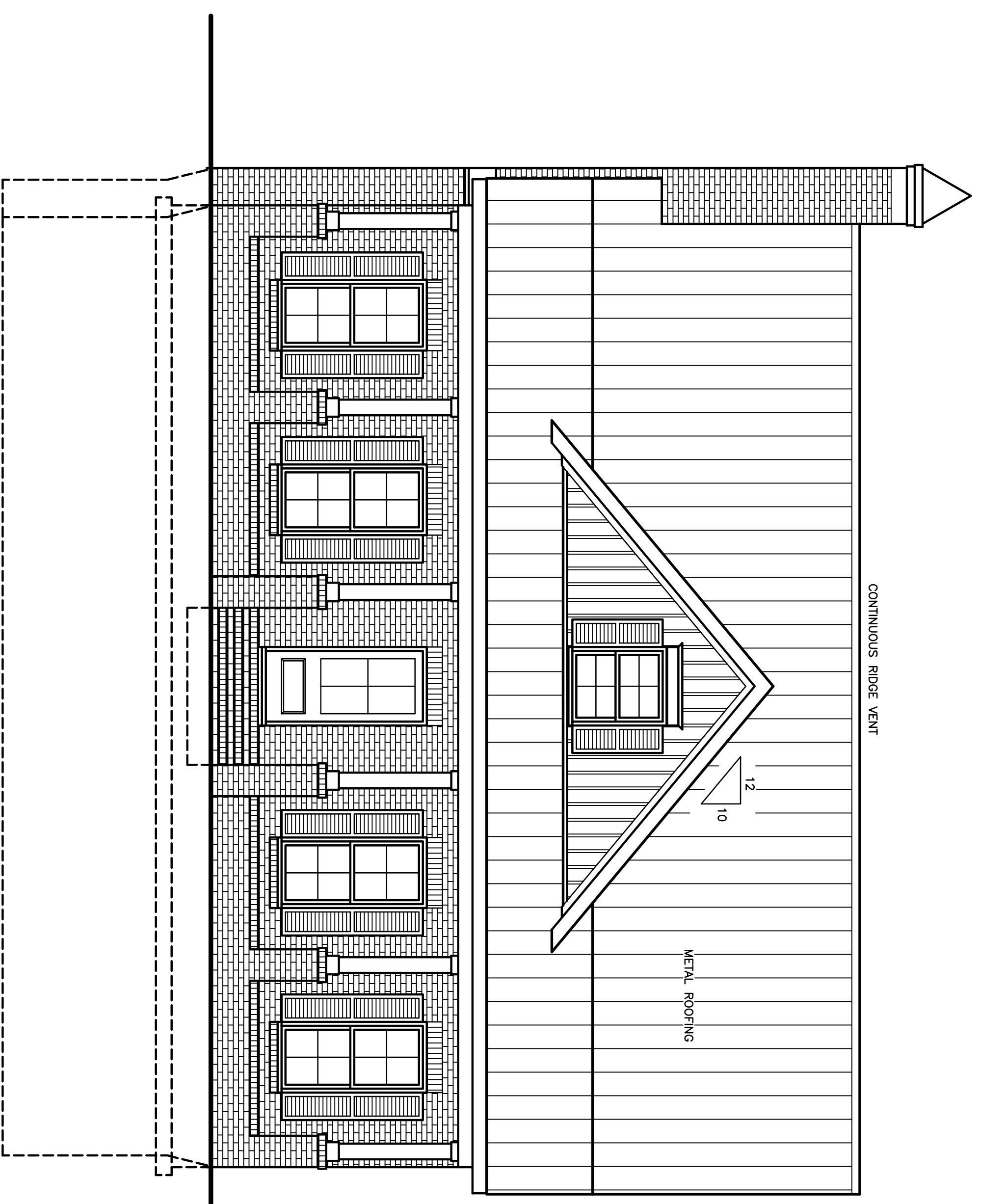
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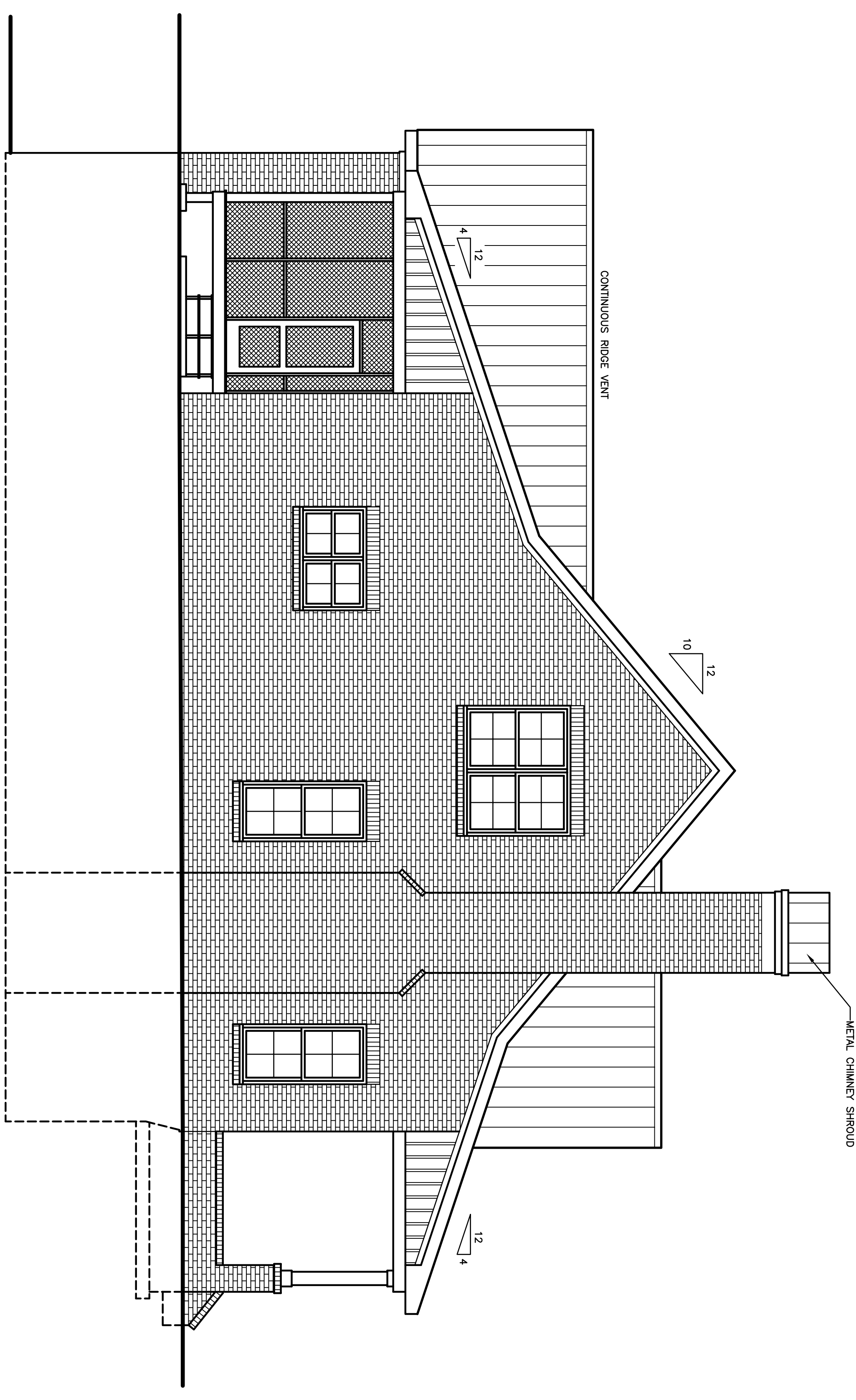
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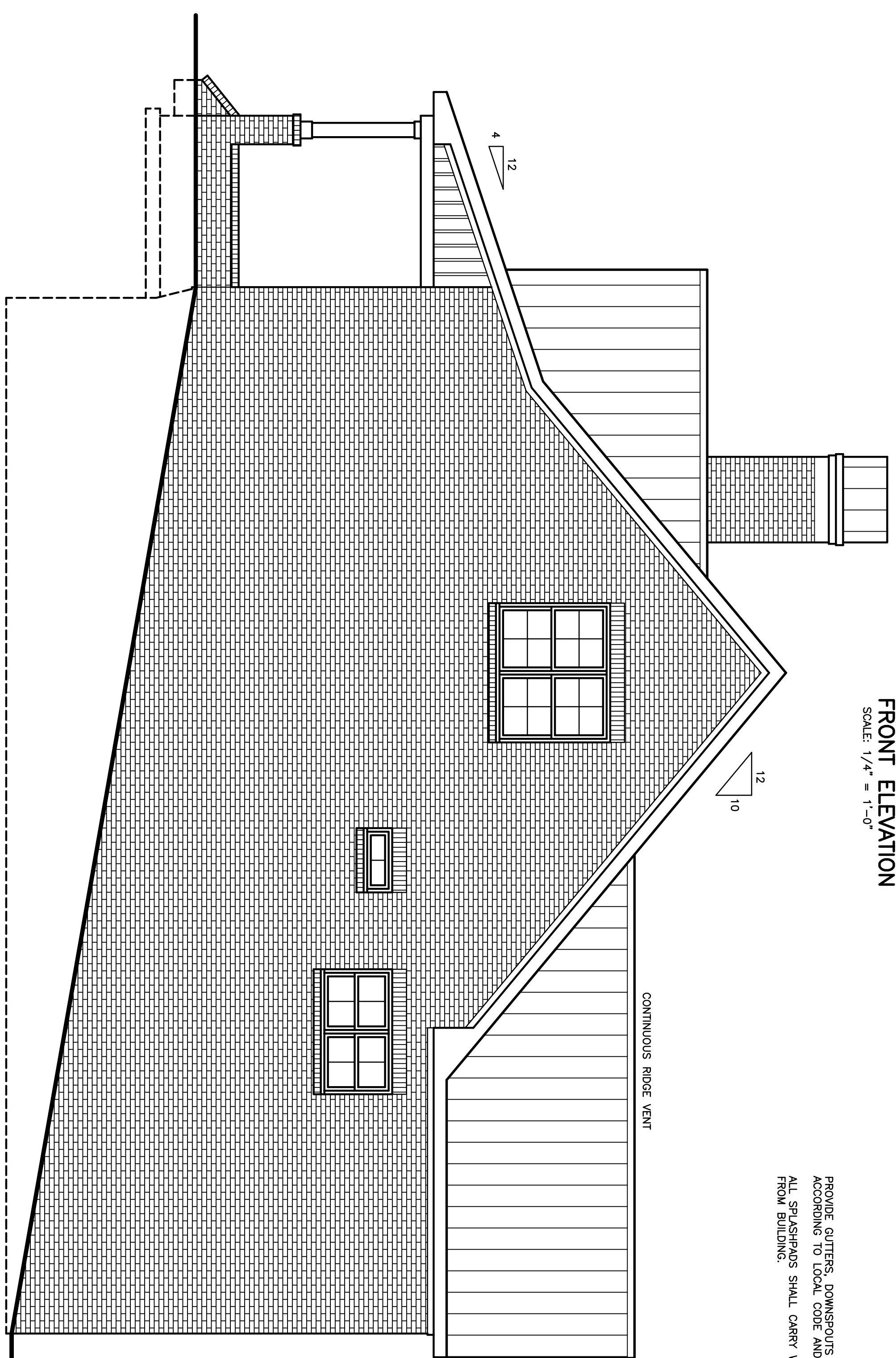




**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

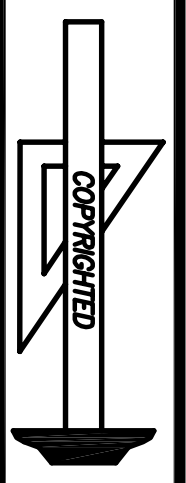


**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

PROVIDE GUTTERS, DOWNSPOUTS AND SPASHBOARDS  
ACCORDING TO LOCAL CODE AND RAINFALL CONDITIONS.  
ALL SPASHBOARDS SHALL CARRY WATER 60"



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DESIGNED FOR  
ROBERT & MELINDA BENNETT

PLAN  
CUSTOM

NO. 2601

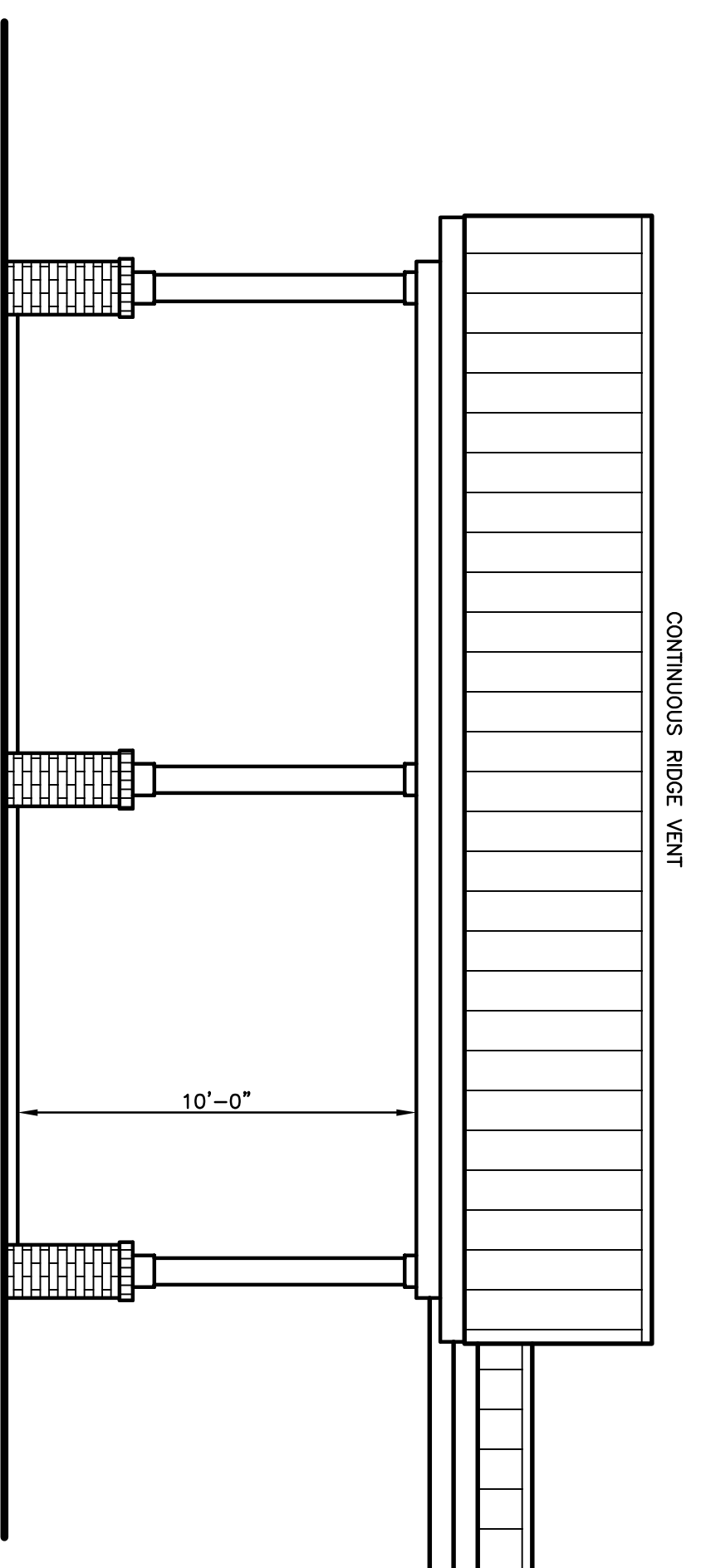
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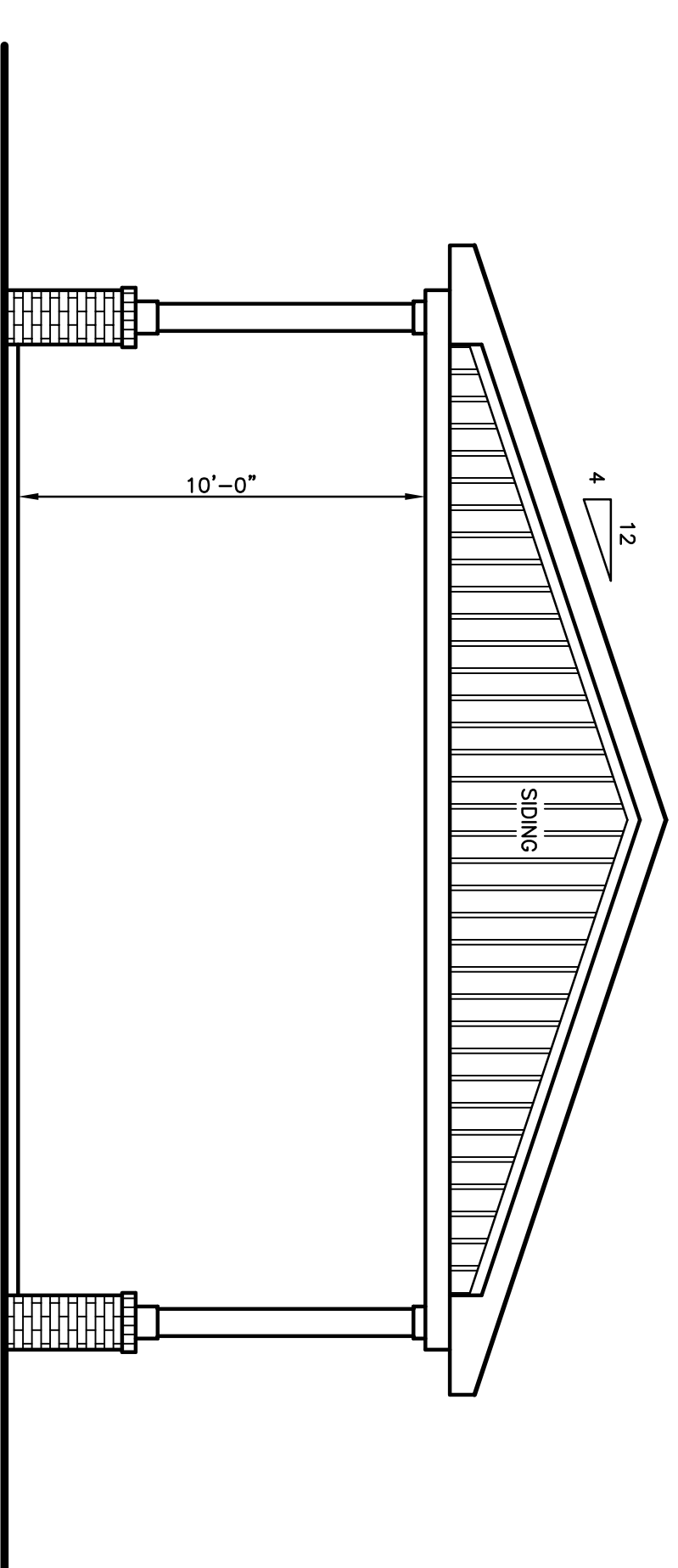
SHEET 6 OF 9

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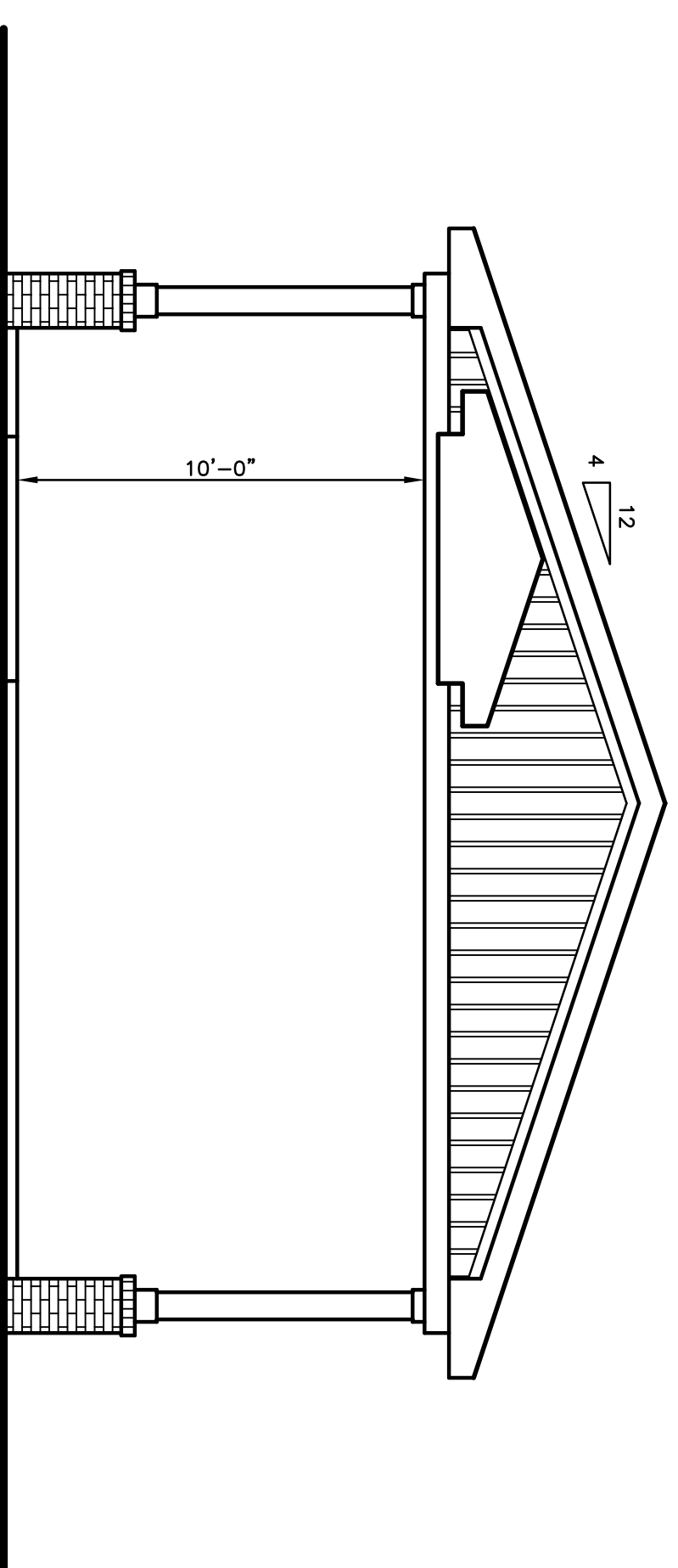
07-30-22



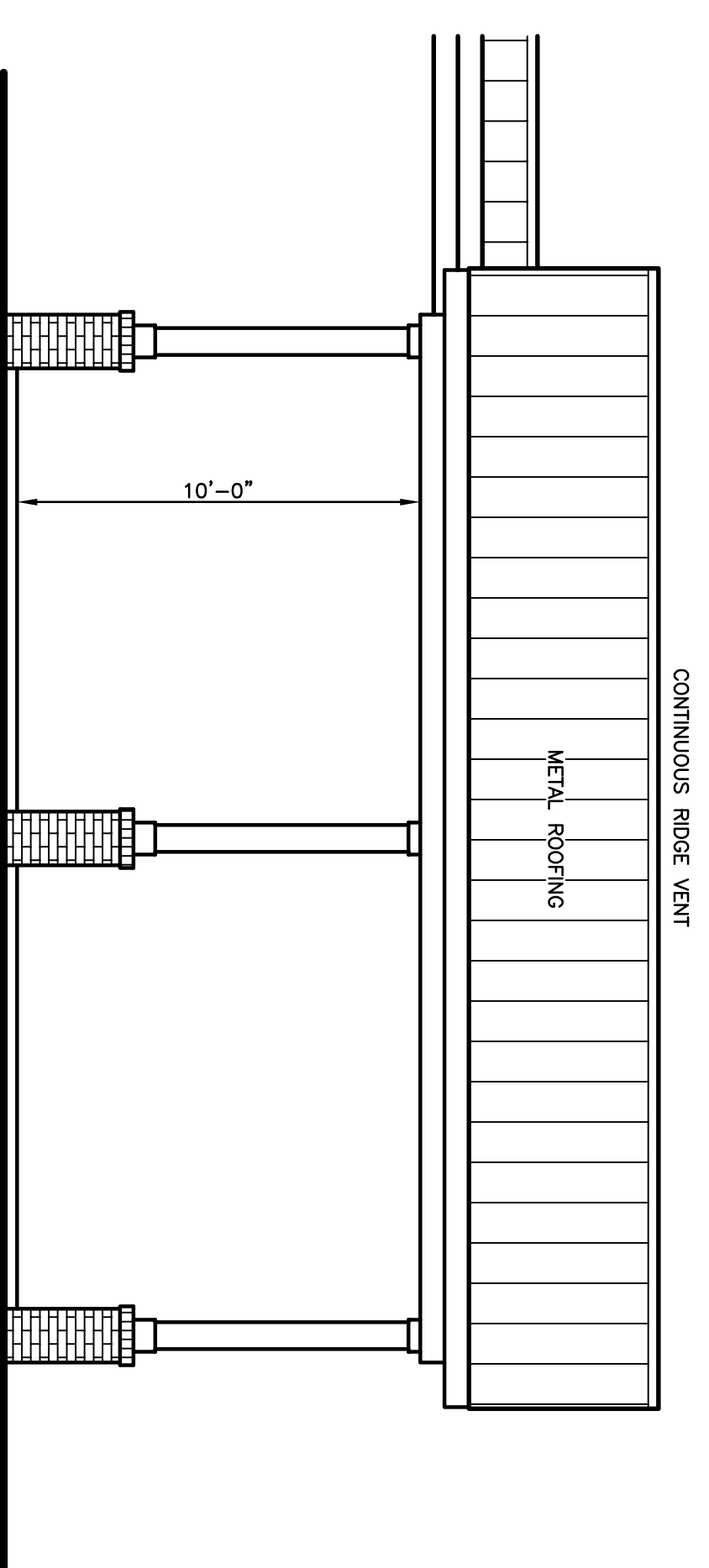
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



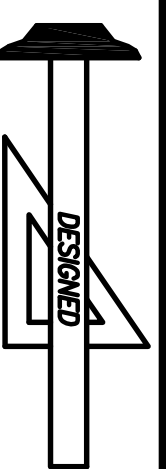
**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



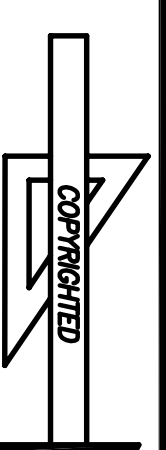
**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



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2601

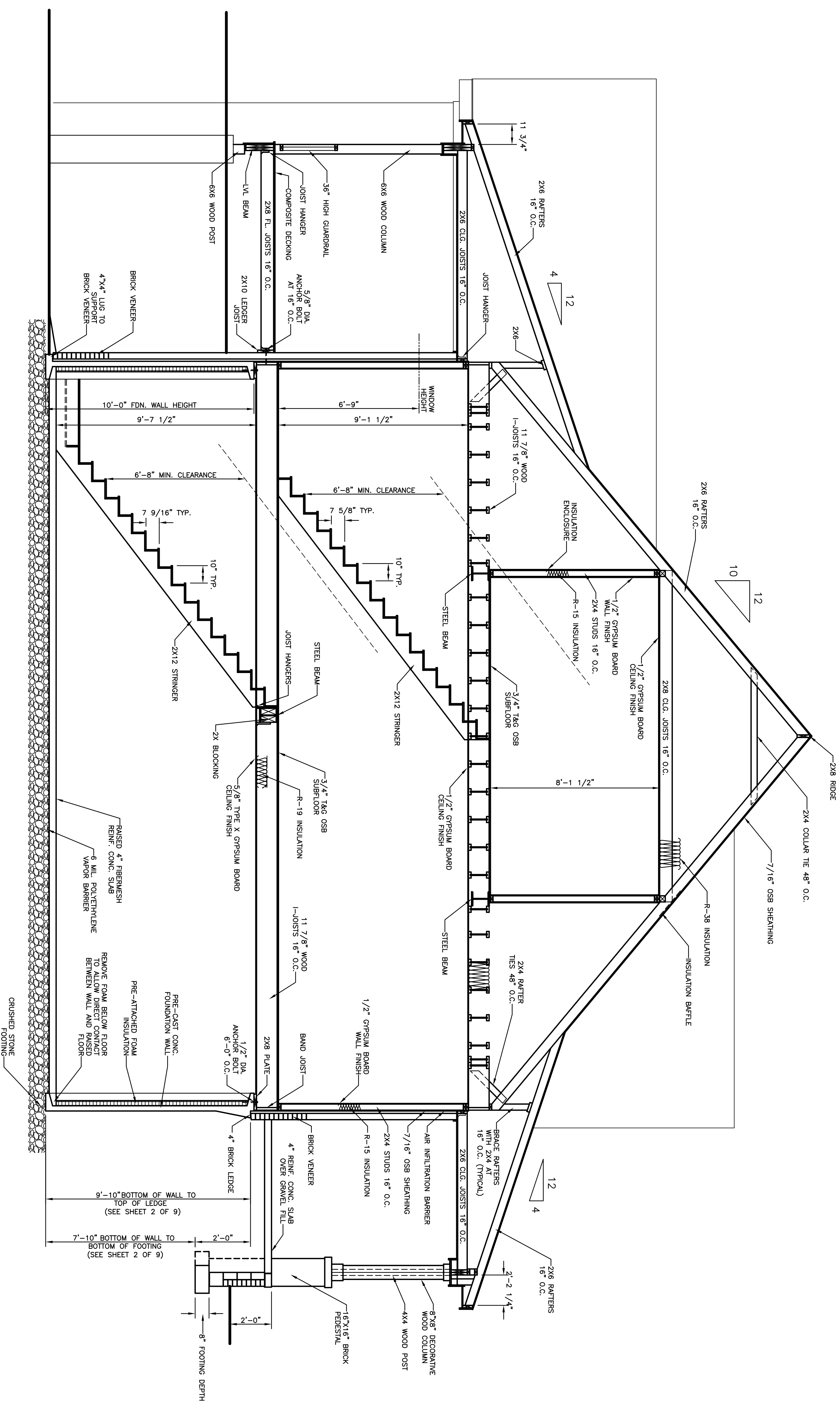
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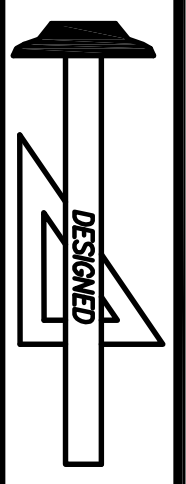
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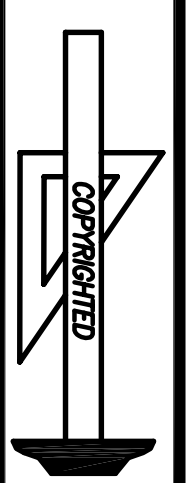
07-30-22



**801 SECTION**  
SCALE: 3/8" = 1'-0"



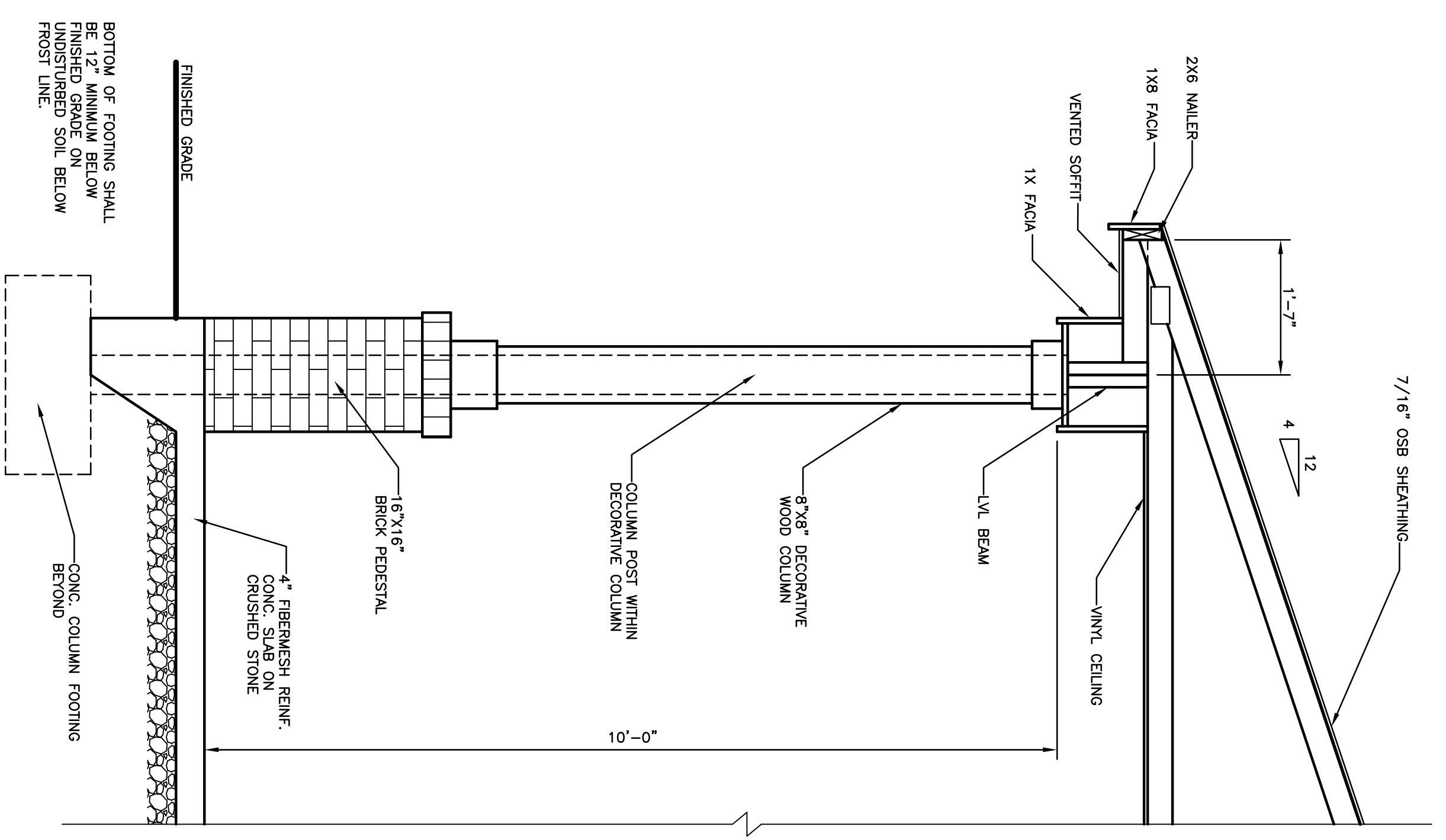
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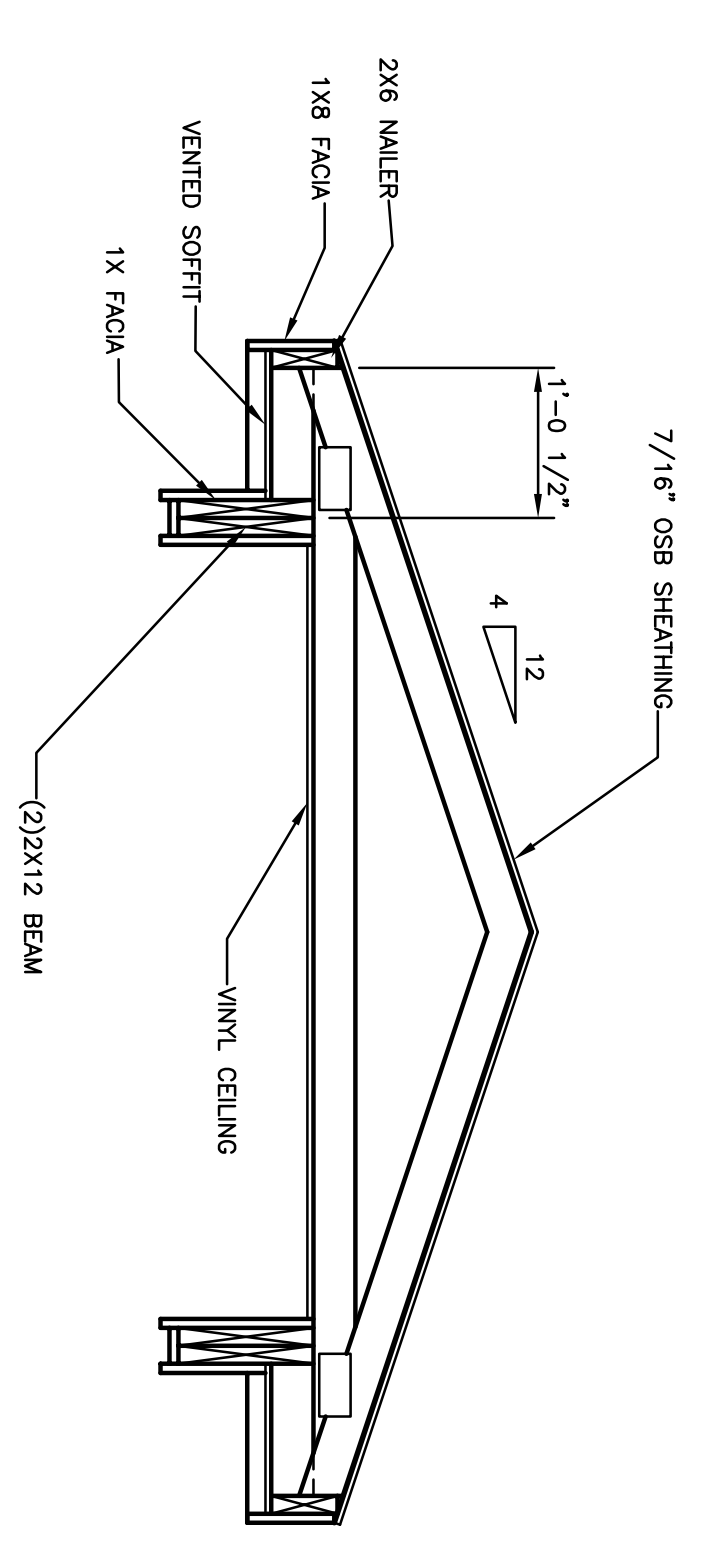
DESIGNED FOR	PLAN	NO.	MATL.	SHOW	SHEET
ROBERT & MELINDA BENNETT	CUSTOM	2601	B.V.	—	8 OF 9

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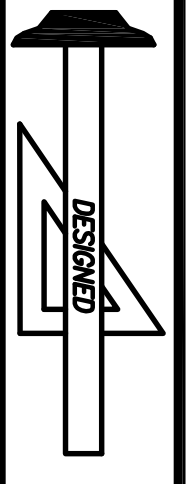




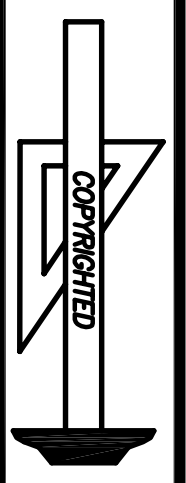
**901 SECTION**  
SCALE: 3/4" = 1'-0"



**902 SECTION**  
SCALE: 3/4" = 1'-0"



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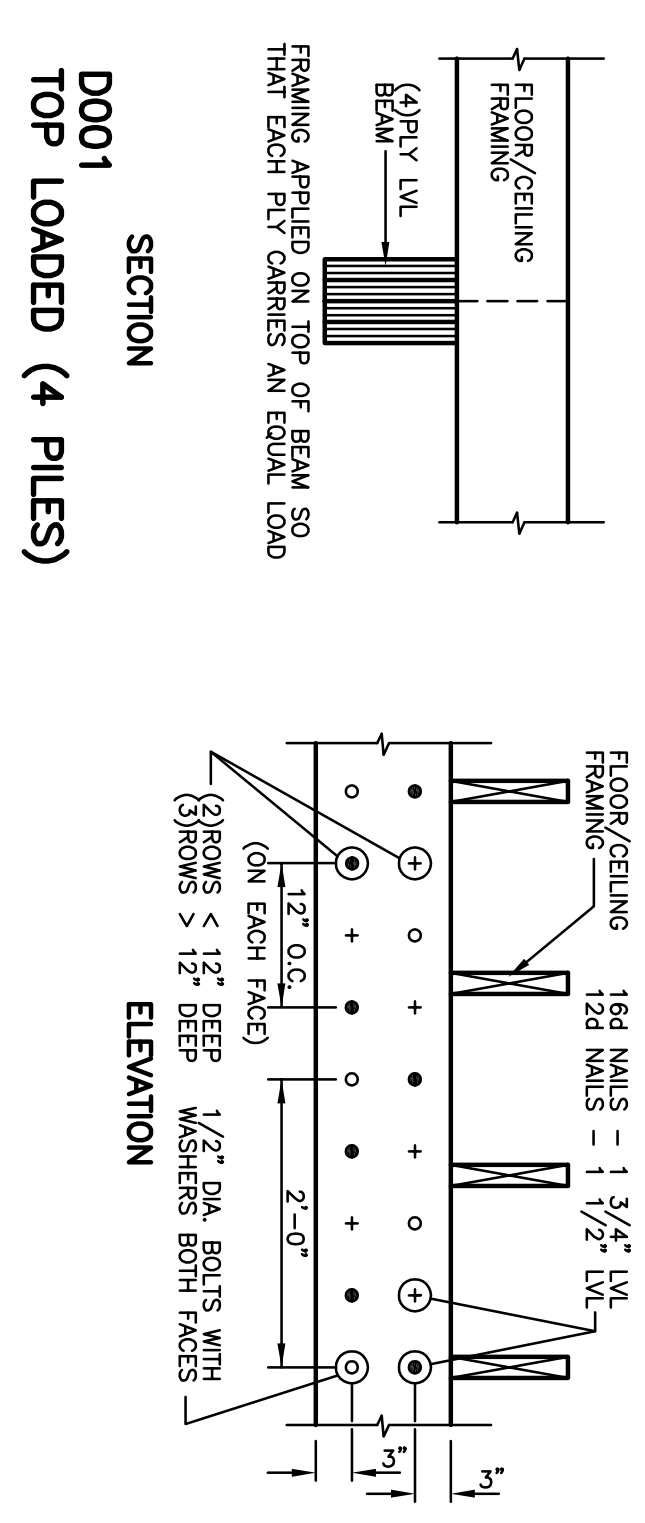
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9 OF 9

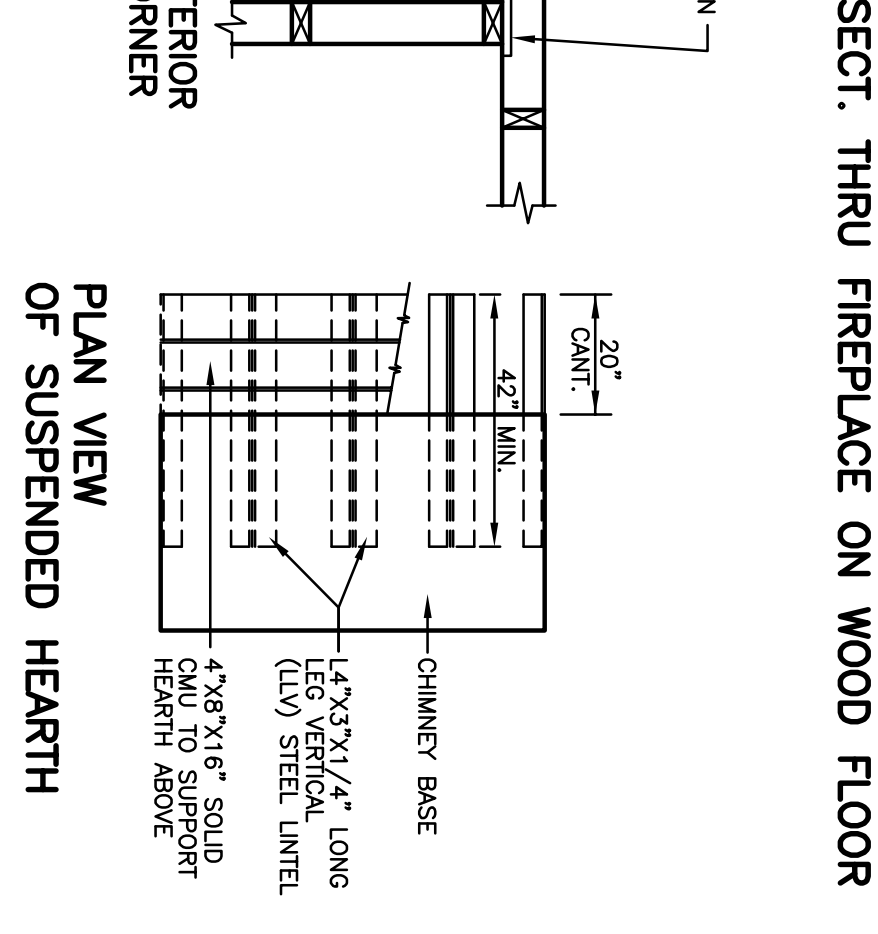
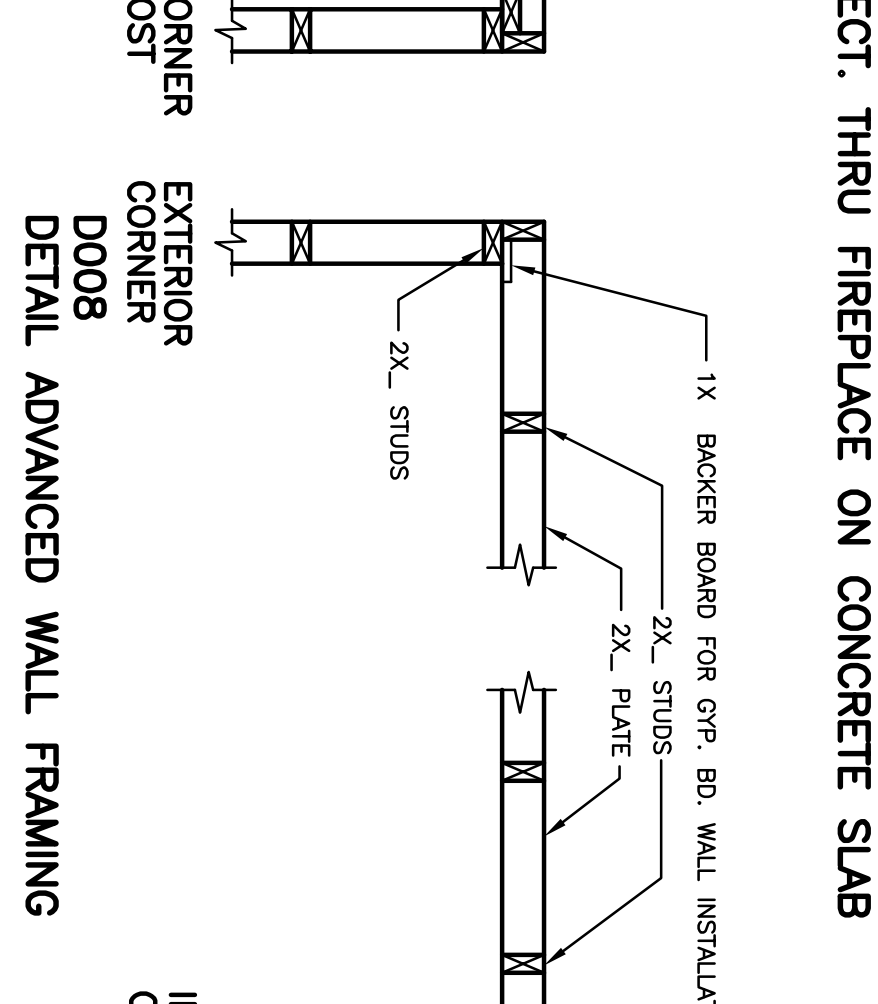
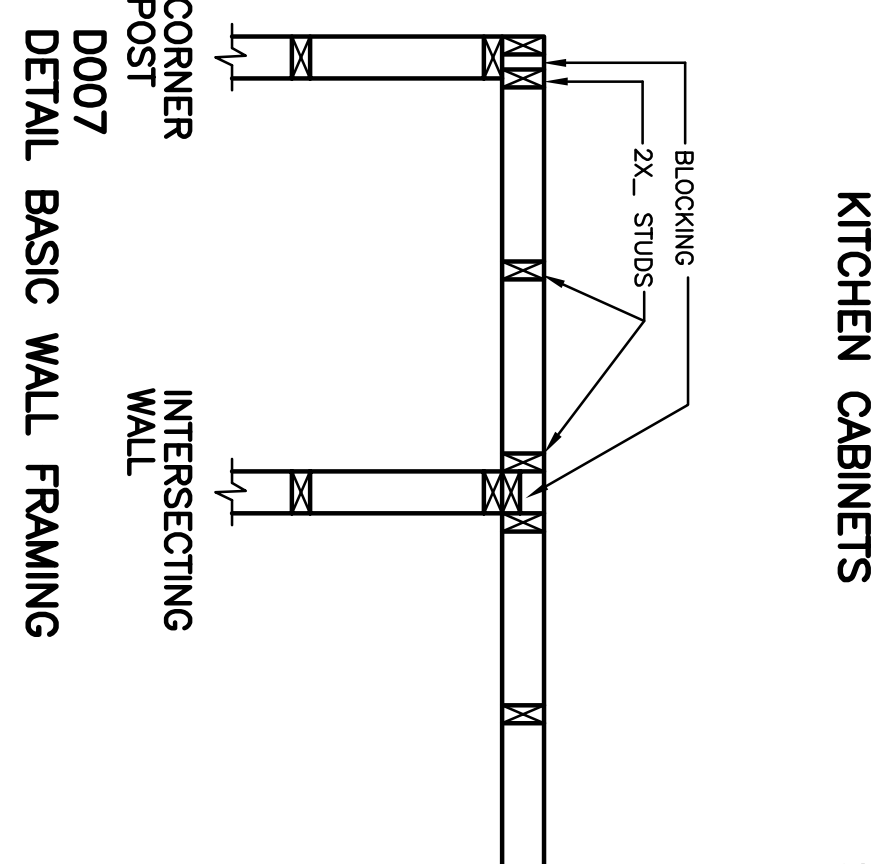
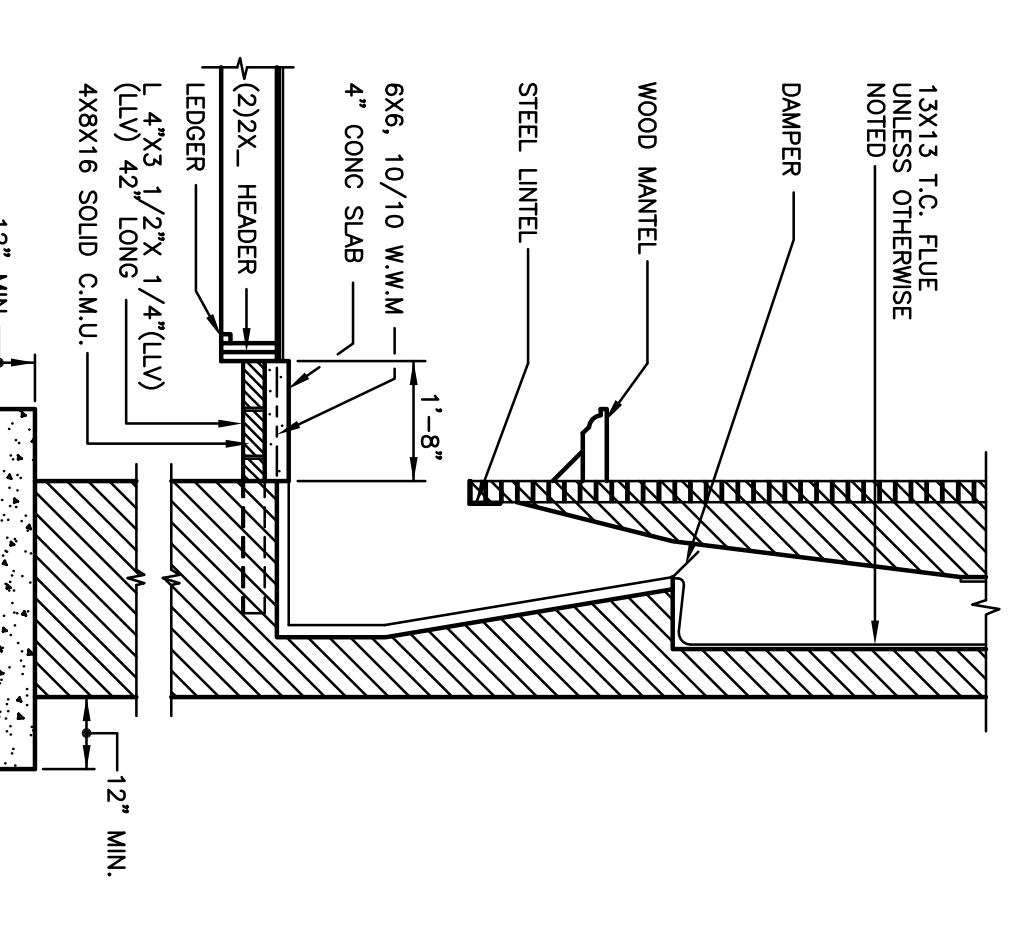
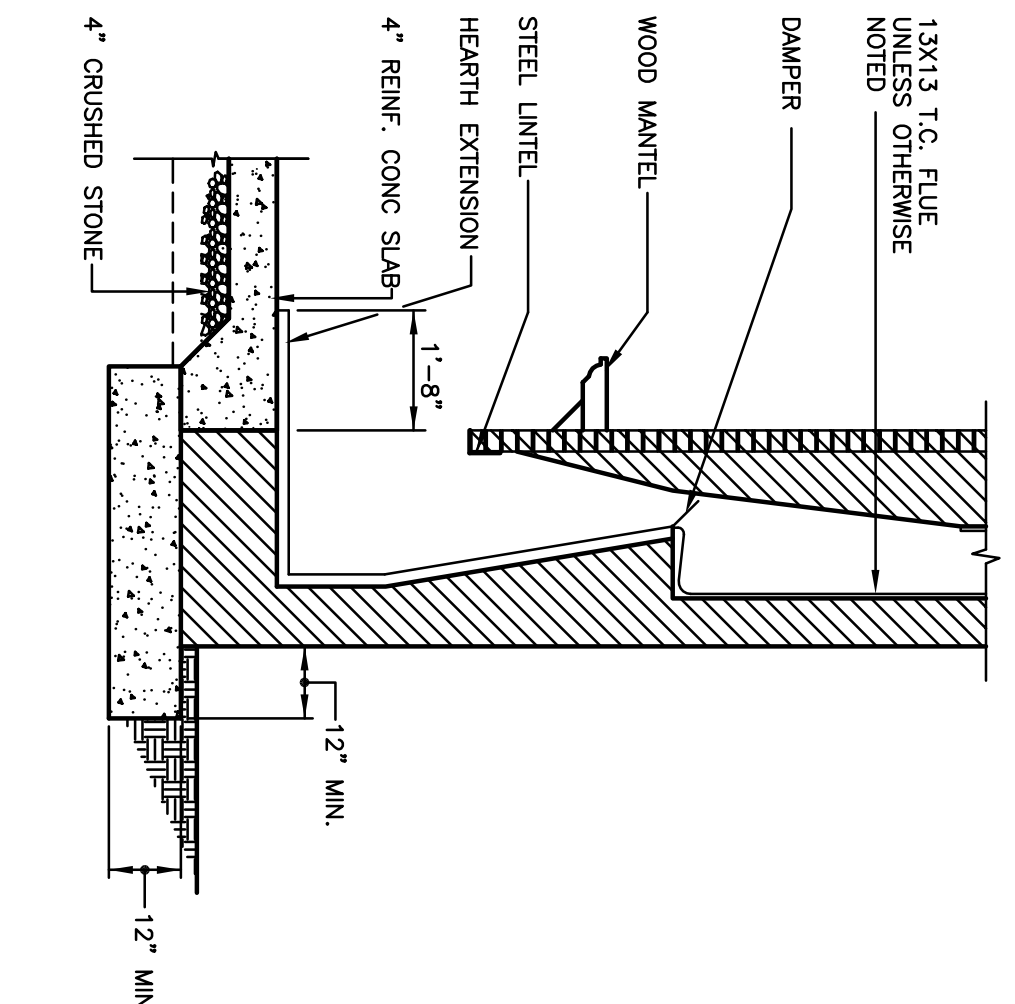
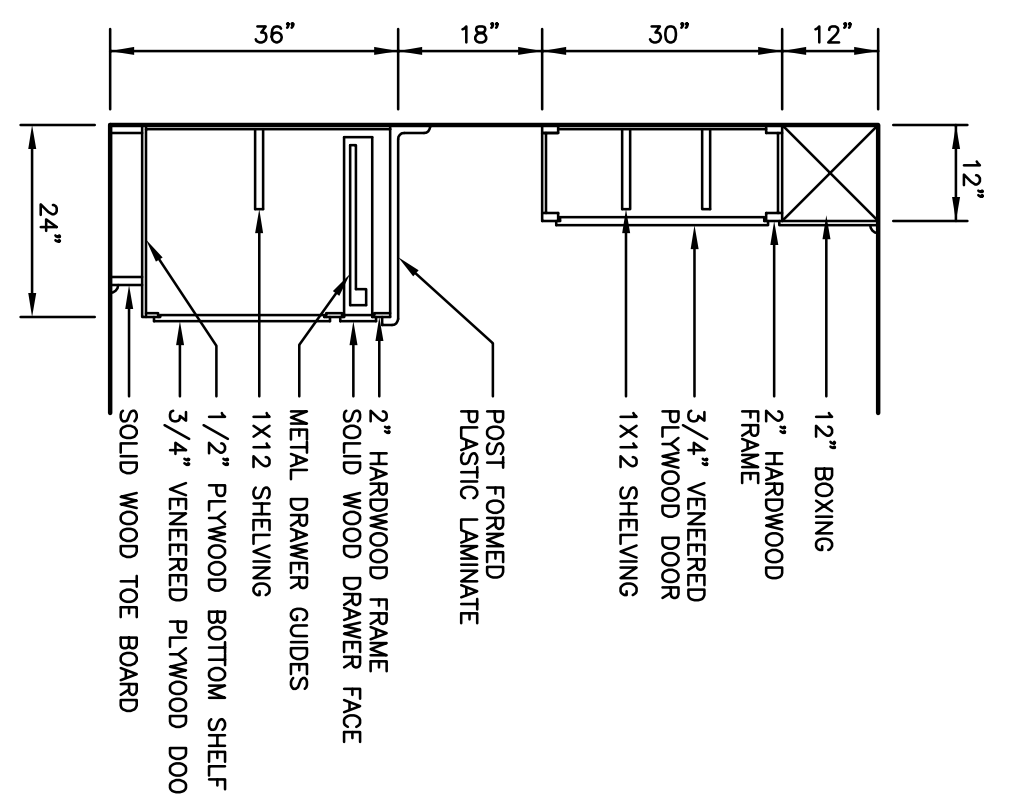
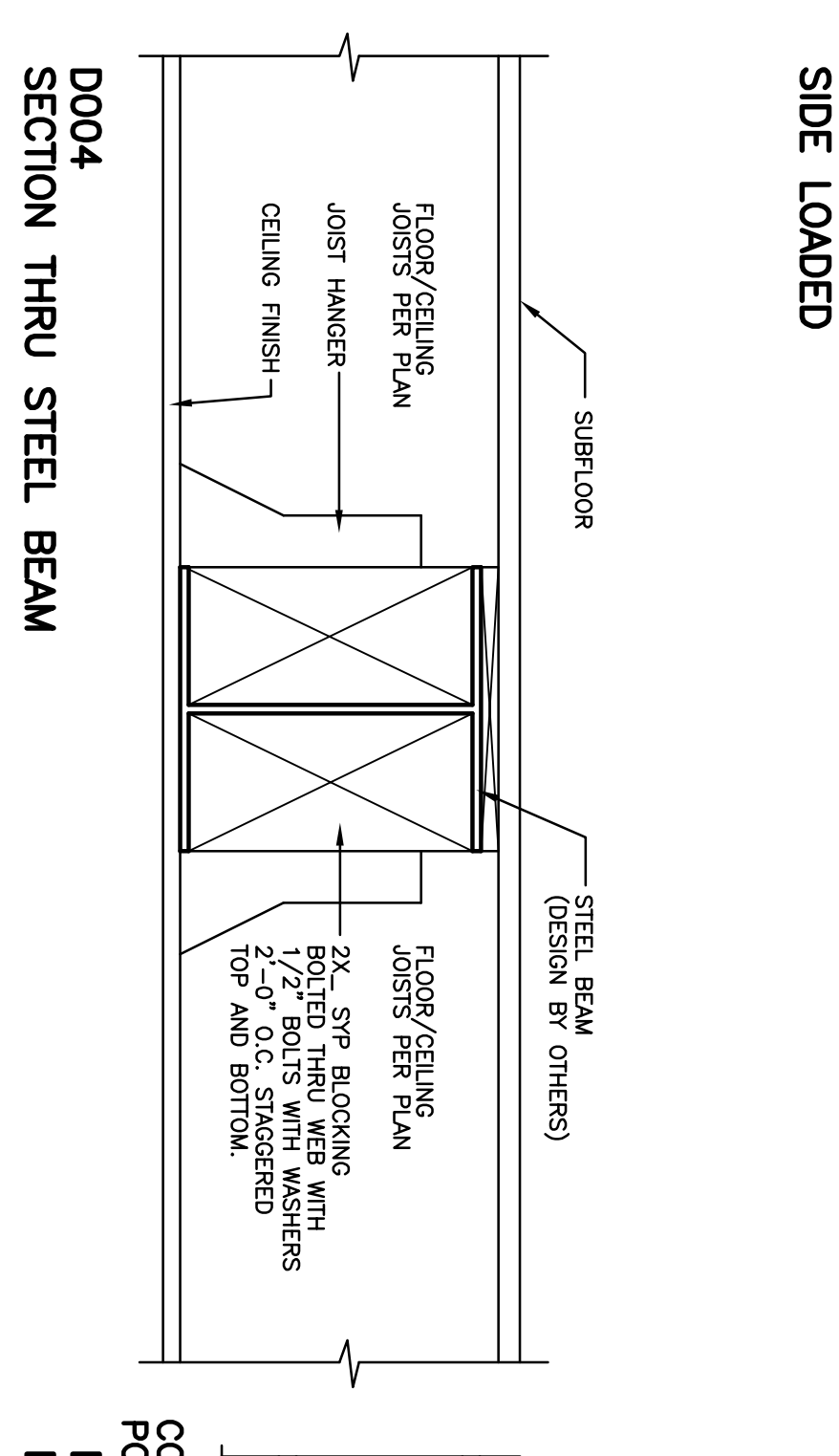
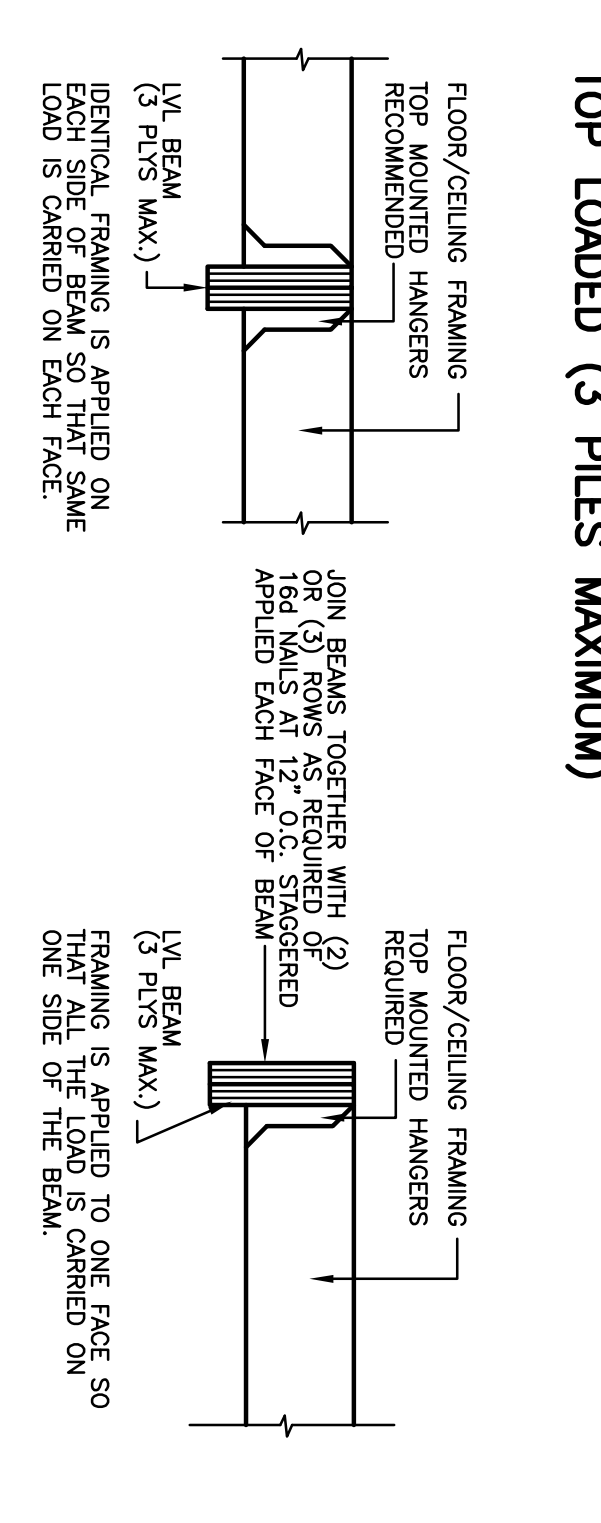
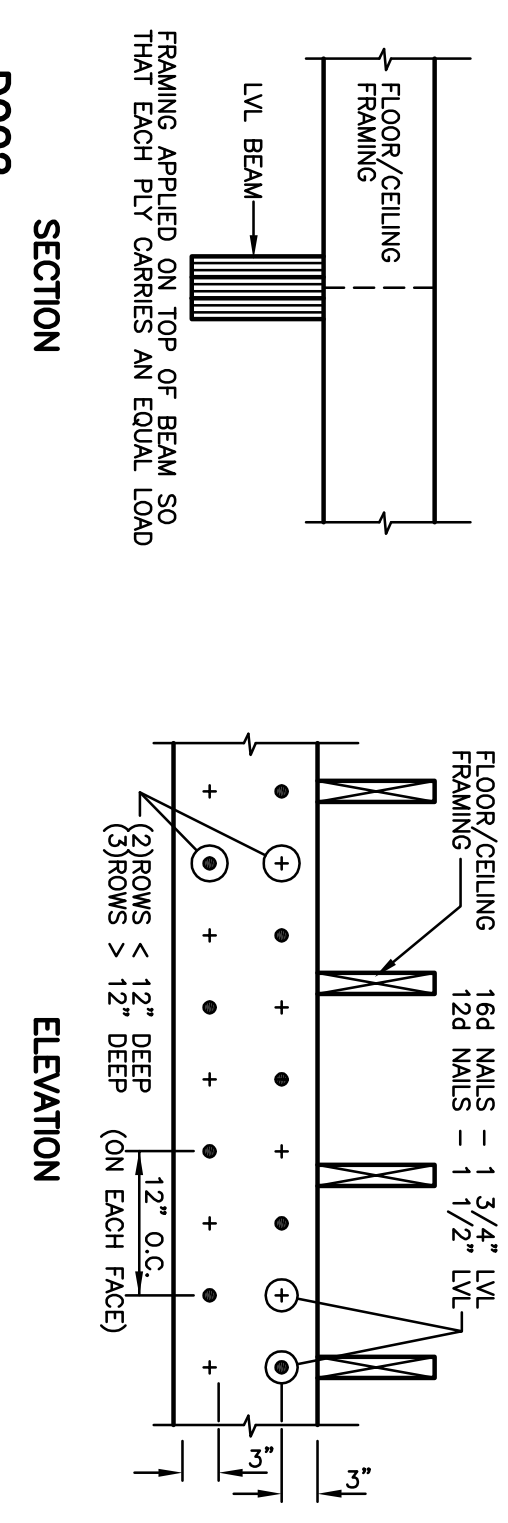
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**CONNECTION OF MULTIPLE PLY BEAMS**  
(INSTALLATION & CONNECTION OF BEAMS SHALL BE ACCORDING TO MANUFACTURERS SPECIFICATIONS)



MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (PSF)	USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE		10
UNINHABITABLE ATTICS WITH LIMITED STORAGE		20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS		30
BALCONIES AND DECKS		40
ROOMS OTHER THAN SLEEPING ROOMS		40
SLEEPING ROOMS		30
STAIRS		40
FIRE ESCAPES		40
GUARDS AND HANDRAILS		200
GUARD IN-FILL COMPONENTS		50
PASSENGER VEHICLE GARAGES		50

ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS	STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
(NOTE : L = SPAN LENGTH ; H = SPAN HEIGHT)	BATTENS HAVING SLOPES GREATER THAN 3:12 WITH FINISHED CEILING NOT ATTACHED TO BATTENS	L/180
	FLOORS	L/360
	CEILINGS WITH BRITTLE FINISHES (INCLUDING PLASTER BOARDS)	L/360
	CEILINGS WITH FLEXIBLE FINISHES (INCLUDING GYP/SUM BOARD)	L/240
	ALL OTHER STRUCTURAL MEMBERS	L/240
	UNITS SUPPORTING MASONRY VENEER WALLS	L/600
	INTERIOR WALLS AND PARTITIONS	H/180
	INTERIOR WALLS - WIND LOADS WITH PLASTER OR STUCCO FINISH	H/360
	EXTERIOR WALLS - WIND LOADS WITH OTHER FINISHES	H/240
	EXTERIOR WALLS - WIND LOADS WITH FLEXIBLE FINISHES	H/120



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STANDARD CONSTRUCTION DETAILS

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