

**PLANS DESIGNED TO THE
2018 NORTH CAROLINA STATE
RESIDENTIAL BUILDING CODE**

MEAN ROOF HEIGHT: 19'-1" HEIGHT TO RIDGE: 26'-9"

CLIMATE ZONE	ZONE 3A	ZONE 4A	ZONE 5A
WIND RESISTANCE FACTOR	0.35	0.35	0.35
WIND SPEED (MPH)	110	110	110
WIND PRESSURE COEFFICIENT	0.35	0.35	0.35
CEILING RAU VALUE	38 OR 30G1	38 OR 30G1	38 OR 30G1
WALL RAU VALUE	15	15	19
FLOOR RAU VALUE	19	19	30
** STAIR RAU VALUE	0	0	0
** CRAWL SPACE WALL RAU VALUE	5/13	10/15	10/19
** FLOOR SPACE WALL RAU VALUE	5/13	10/15	10/19

** 10/12" MEANS 10 SHEETING INSULATION OR R4.0 CAVITY INSULATION
** INSULATION DEPTH WITH MINIMUM 1/8" GAP TO BOTTOM OF FOUNDATION WALL
** INSULATION DEPTH WITH MINIMUM 1/8" GAP TO BOTTOM OF FOUNDATION WALL

ROOF VENTILATION

SECTION R806
R806.1 Ventilation required. Eave, gable, attic and other spaces shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilating openings shall have a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Ventilating openings having a least dimension larger than 1/4 inch (6.4 mm) shall be screened with screening having a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Openings in roof framing members shall conform to the maximum openings of Section R802.1.

SECTION R806.2
R806.2.1 Net free ventilating area shall not be less than 1/150 of the area of the space ventilated, except that reduction of the total area to 1/300 is permitted provided that, at least 50 percent and not more than 80 percent of the required ventilating area is provided by ventilation located in the upper portion of the space to be ventilated at least 18 inches (457 mm) above the finished floor level. The required ventilating area may be reduced to 1/200 when a Class I or II vapor retarder is installed on the warm-in-winter side of the ceiling.

Exceptions:
1. Attic/ceiling spaces requiring less than 1 square foot (0.0929 m²) of ventilation may be vented with continuous soffit ventilation only.
2. Enclosed attic/ceiling spaces over unconditioned space may be vented with continuous soffit vent only.

SQUARE FOOTAGE OF ROOF TO BE VENTED = 2393
NET FREE CROSS VENTILATION NEEDED:
WITHOUT 50% TO 80% OF VENTING 3'-0" ABOVE EAVE = 15.95 SQ. FT.
WITH 50% TO 80% OF VENTING 3'-0" ABOVE EAVE, WITH CLASS I OR II VAPOR RETARDER ON WARM/INTERIOR SIDE OF CEILING = 7.58 SQ. FT.

GUARD RAIL NOTES

SECTION R312
R312.1 Where required. Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Inset guards shall be used on stairs, porches, balconies or landings, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) high measured vertically above the adjacent walking surface, adjacent to the leading edge of the treads.

1. Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.
2. Where the top of the guard also serves as a handrail on the open sides of stairs, the height of the guard shall be not less than 38 inches (965 mm) measured vertically from the leading edges of the treads.
3. Opening limitations. Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.

1. The triangular opening at the open side of a stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter.
2. Guards on the open sides of stairs shall not have openings which allow passage of a sphere 4 3/8 inches (111 mm) in diameter.

AIR LEAKAGE

SECTION M1102.4
M1102.4.1 Building thermal envelopes. The building thermal envelopes shall be durably sealed with an air barrier system to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. For all homes, where present, the following shall be called, gasketed, weatherstripped, sealed, or sealed with a material consistent with Appendix E2.4 of this code:

1. Blocking and sealing floor/ceiling systems and under floor walls open to unconditioned or exterior space.
2. Capping and sealing shafts or chases, including flue shafts.
3. Capping and sealing joints or dropped ceiling areas.

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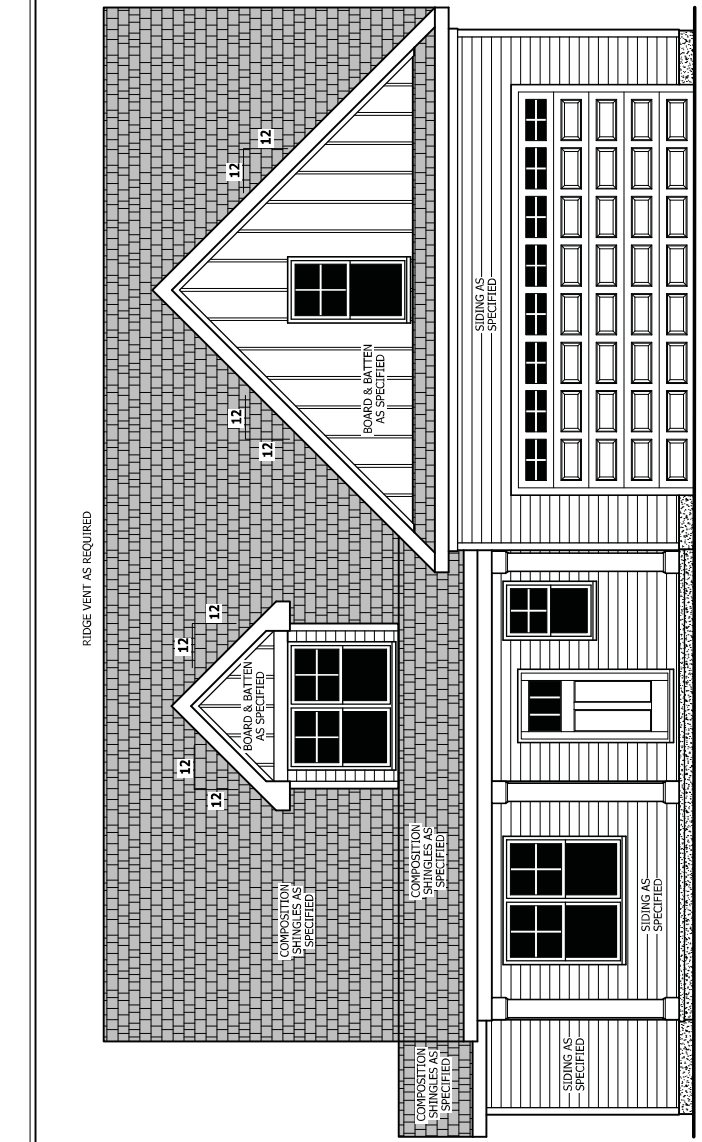
FRONT & REAR ELEVATIONS
Royal

JW SEALEY Construction Associates

HAYNES HOME PLANS, INC.
P.O. BOX 702, WAKE FOREST, NC 27788 919-496-6160 FAX 919-496-4100

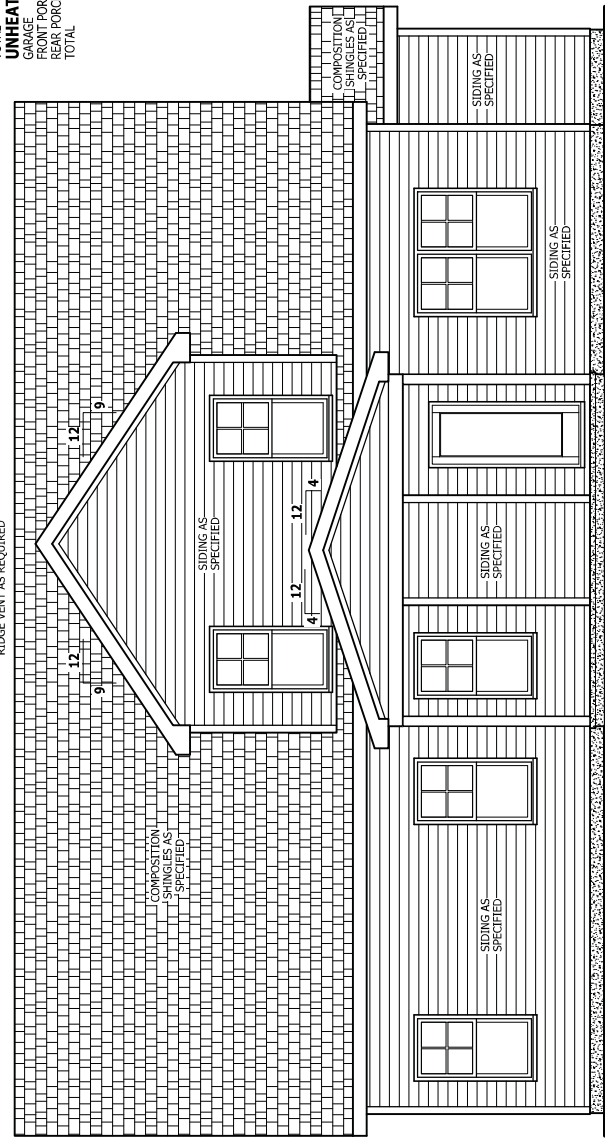
SQUARE FOOTAGE	HEATED	OPTIONAL	UNHEATED	TOTAL
FIRST FLOOR	1474 SQ. FT.	877 SQ. FT.	345 SQ. FT.	2696 SQ. FT.
SECOND FLOOR	1574 SQ. FT.	315 SQ. FT.	345 SQ. FT.	3234 SQ. FT.
TOTAL	3048 SQ. FT.	1192 SQ. FT.	690 SQ. FT.	4930 SQ. FT.

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PAGE 1 OF 8



FRONT ELEVATION
SCALE 1/4" = 1'-0"

SQUARE FOOTAGE
HEATED 1474 SQ. FT.
FIRST FLOOR 877 SQ. FT.
SECOND FLOOR 2357 SQ. FT.
TOTAL 345 SQ. FT.
OPTIONAL 345 SQ. FT.
UNHEATED 573 SQ. FT.
GARAGE 154 SQ. FT.
FRONT PORCH 183 SQ. FT.
REAR PORCH 910 SQ. FT.
TOTAL



REAR ELEVATION
SCALE 1/4" = 1'-0"

SQUARE FOOTAGE
HEATED 1474 SQ. FT.
FIRST FLOOR 877 SQ. FT.
SECOND FLOOR 2357 SQ. FT.
TOTAL 345 SQ. FT.
OPTIONAL 345 SQ. FT.
UNHEATED 573 SQ. FT.
GARAGE 154 SQ. FT.
FRONT PORCH 183 SQ. FT.
REAR PORCH 910 SQ. FT.
TOTAL

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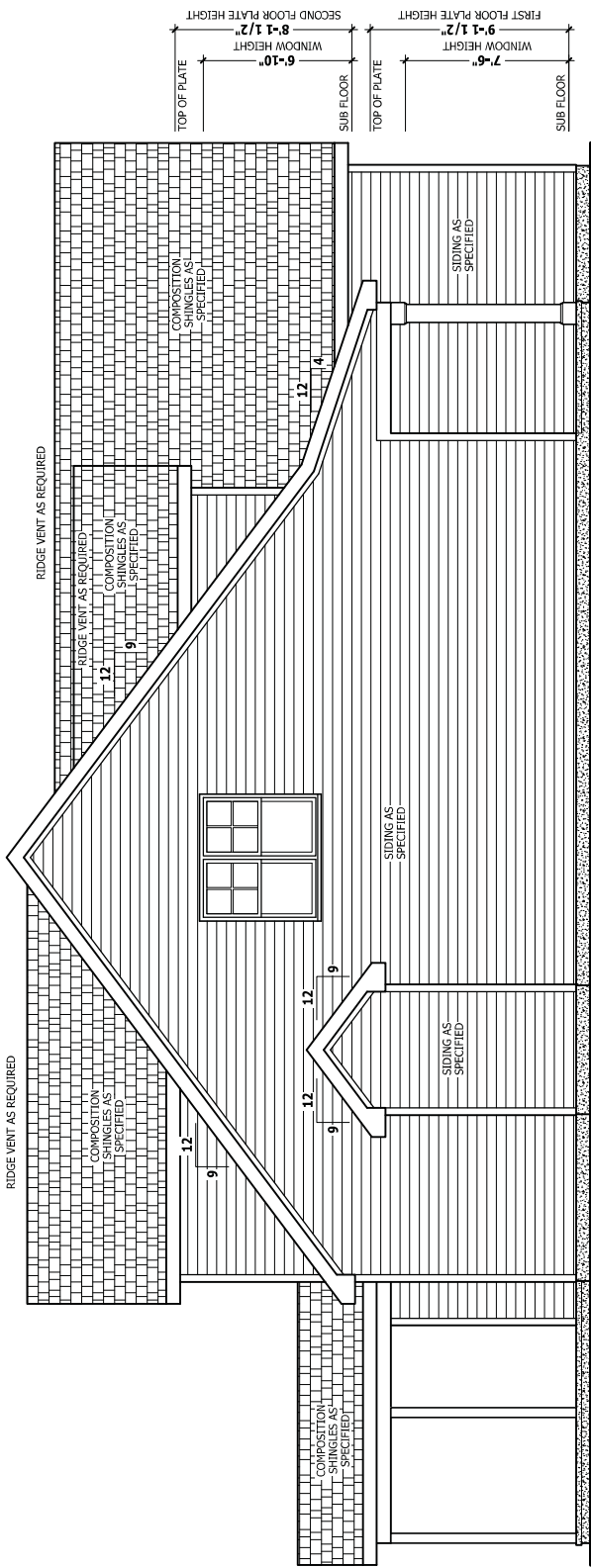
LEFT & RIGHT ELEVATIONS
Royal

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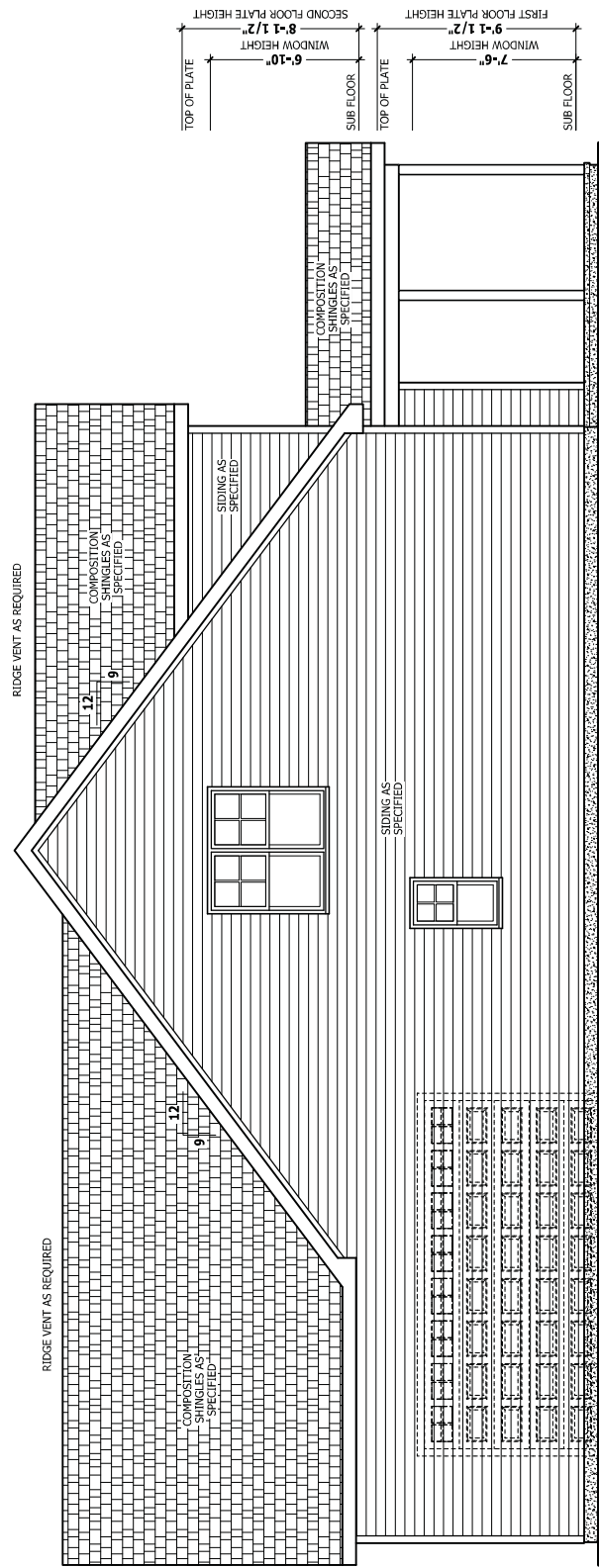
HAYNES HOME PLANS, INC.
P.O. Box 702, Wake Forest, NC 27788 919-436-6180 FAX 919-436-6181

SQUARE FOOTAGE	
BASED ON	141.50 SQ. FT.
SECOND FLOOR	431.50 SQ. FT.
TOTAL	573.00 SQ. FT.
OPTIONAL	348.50 SQ. FT.
TOTAL	921.50 SQ. FT.
UNFINISHED	93.50 SQ. FT.
FINISHED	155.00 SQ. FT.
BASED ON	155.00 SQ. FT.
TOTAL	310.00 SQ. FT.

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PAGE 2 OF 8



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"

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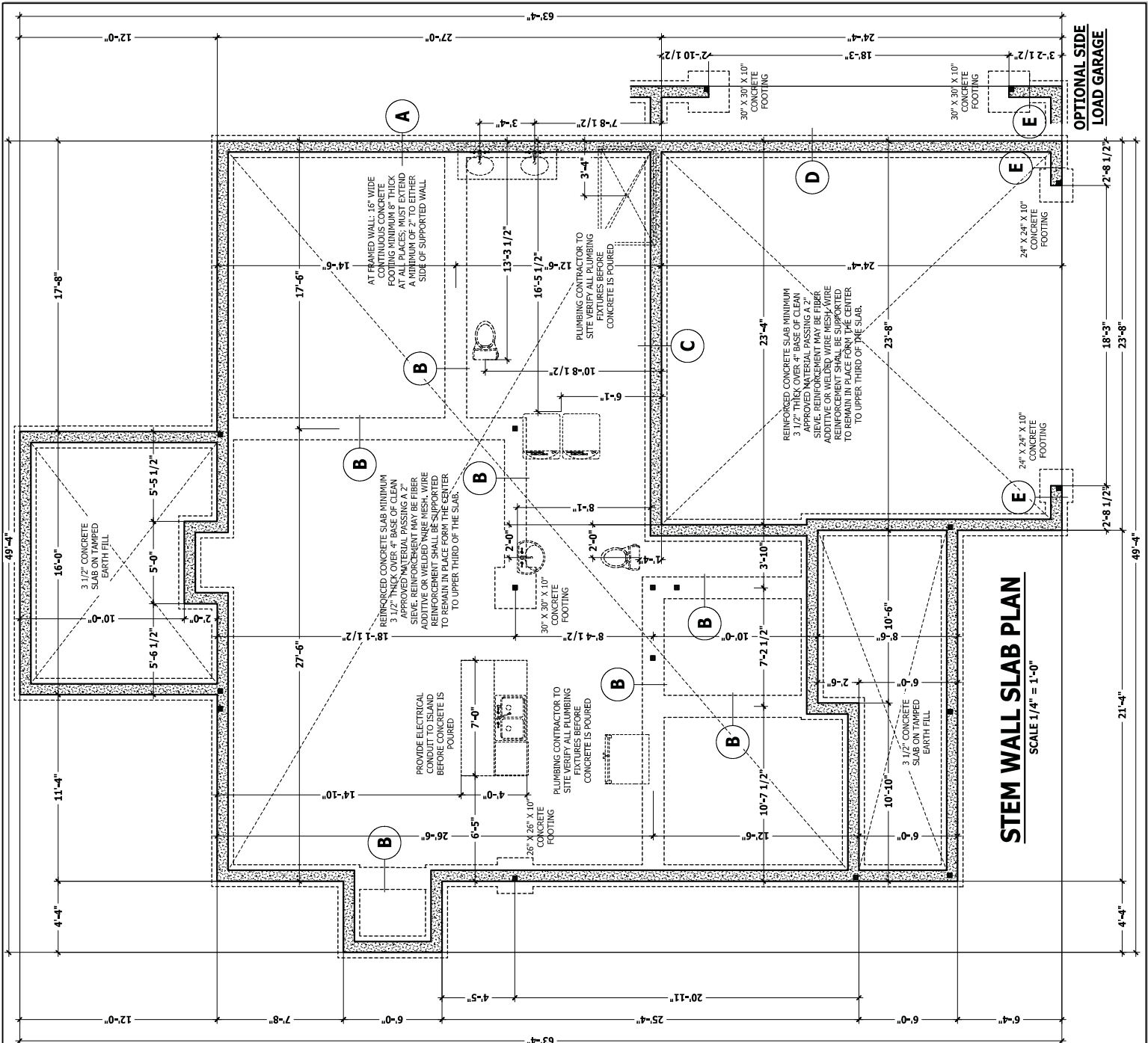
FOUNDATION PLAN
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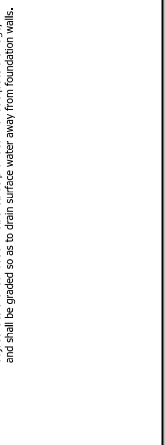
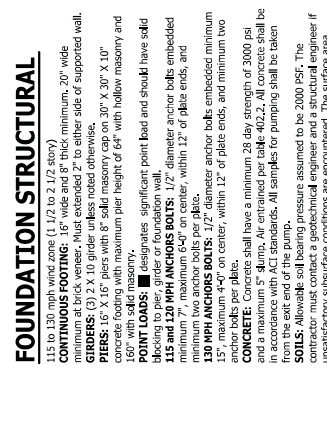
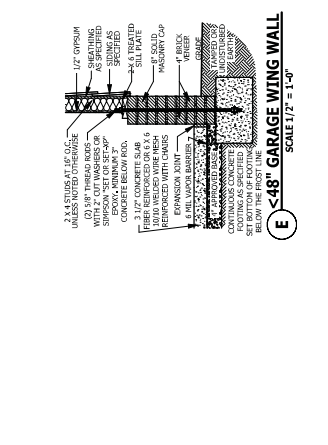
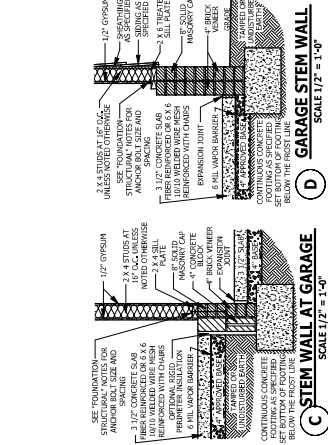
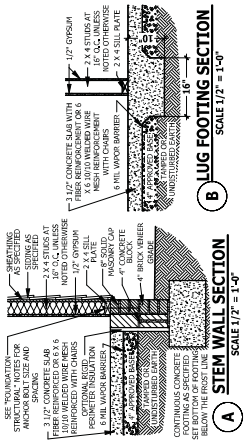
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SQUARE FOOTAGE	
FINISHED	143.50 SF
UNFINISHED	331.50 SF
TOTAL	475.00 SF
OPTIONAL	
CONCRETE	36.50 SF
TOTAL	511.50 SF
UNGRADED	
GRAVEL PAD	133.50 SF
GRAVEL PAD	133.50 SF
TOTAL	267.00 SF

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PAGE 3 OF 8



STEM WALL SLAB PLAN
SCALE 1/4" = 1'-0"



FOUNDATION STRUCTURAL

115 to 130 mph wind zone (1 1/2 to 2 1/2 story)

CONTINUOUS FOOTING: 16" wide and 8" thick minimum, 20" wide

PIERS: 16" X 16" piers with 8" solid masonry cap on 30" X 30" X 10" concrete footing with maximum pier height of 64" with hollow masonry and 160" with solid masonry.

POINT LOADS: ■ designates significant point load and should have solid masonry.

130 MPH ANCHORS BOLTS: 1/2" diameter anchor bolts embedded minimum two anchor bolts per plate.

115 and 120 MPH ANCHORS BOLTS: 1/2" diameter anchor bolts embedded minimum 7", maximum 6-5/8" on center, within 12" of plate ends, and in accordance with ACI standards. All samples for pumping shall be taken in accordance with ACI standards. All samples for pumping shall be taken in accordance with ACI standards.

SOILS: ■ designates soil assumed to be 2000 psc. The contractor must contact a geotechnical engineer and a structural engineer if unsatisfactory subsurface conditions are encountered. The surface area adjacent to the foundation wall shall be provided with adequate drainage, and shall be graded so as to drain surface water away from foundation walls.

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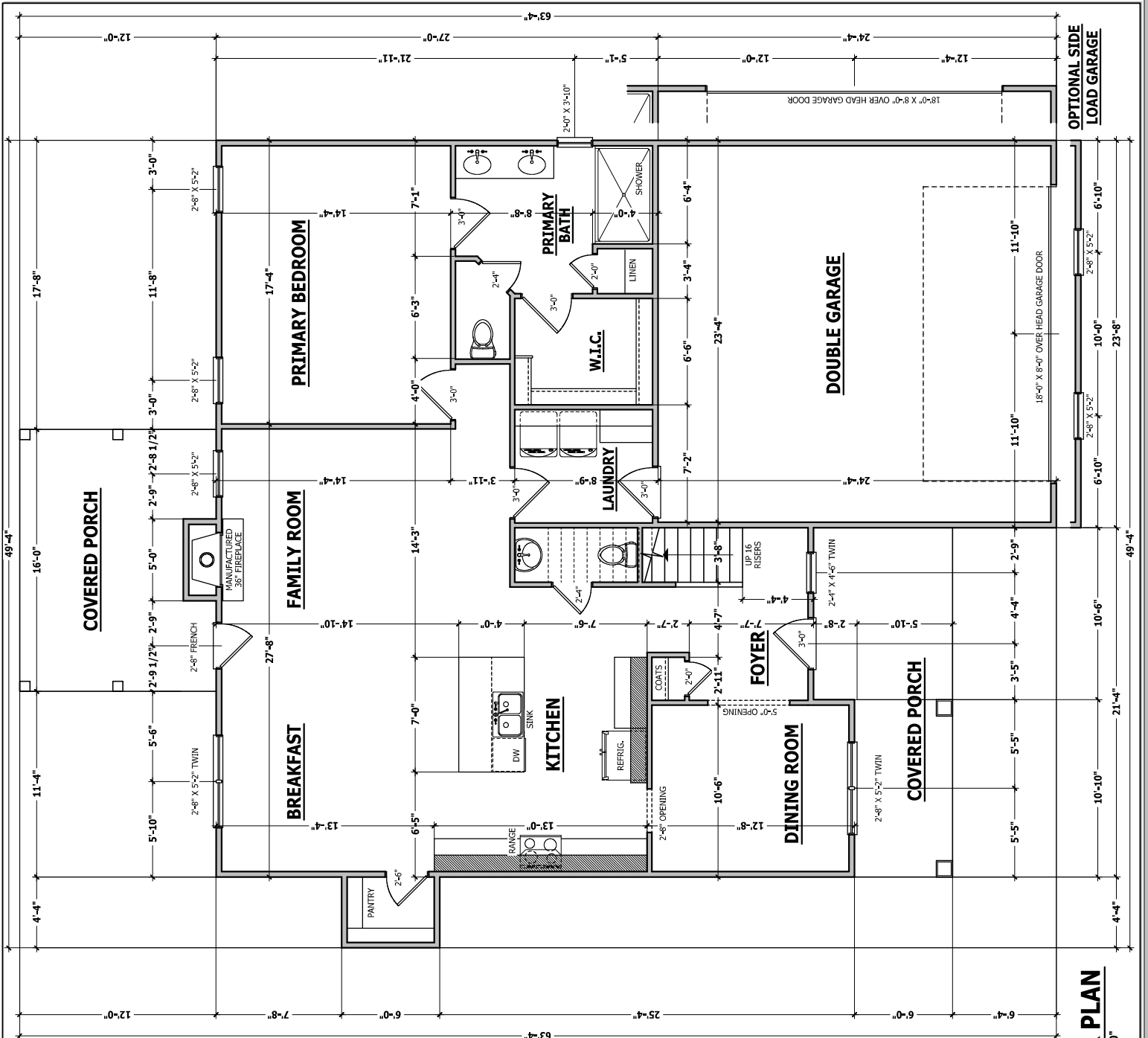
FIRST FLOOR PLAN
Royal

JW SEALEY & ASSOCIATES Construction

HAYNES HOME PLANS, INC.
 P.O. Box 702, Wake Forest, NC 27788 919-436-6160 Fax: 919-436-6169

SQUARE FOOTAGE	1474 SQ.FT.
HEATED	877 SQ.FT.
UNHEATED	597 SQ.FT.
OPTIONAL	345 SQ.FT.
PLAYROOM	345 SQ.FT.
FRONT PORCH	573 SQ.FT.
REAR PORCH	154 SQ.FT.
TOTAL	1627 SQ.FT.

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PAGE 4 OF 8



WALL THICKNESSES
 Exterior walls and walls adjacent to a garage area are drawn as 4" or as noted. 2 X 6 are drawn as 6" to include 1/2" sheathing or gypsum. Subtract 1/2" for interior walls are drawn as 3 1/2" or as noted. 2 X 6 are drawn as 5 1/2", and do not include gypsum.

DWELLING / GARAGE SEPARATION
 REFER TO SECTIONS R302.5, R302.6, AND R302.7. All exterior walls shall be constructed on all walls supporting floor/ceiling assemblies used for separation required by this section. STAIRS: A minimum of 1/2" gypsum board must be installed on the underside and exposed sides of all stairways. CEILING: A minimum of 1/2" gypsum must be installed on the garage ceiling if there are no habitable rooms above the garage. If there are habitable rooms above the garage, the ceiling shall be constructed of 5/8" gypsum board. OPENING PENETRATIONS: Openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches (35 mm) thick, or 20-minute fire-rated doors. DUCTS: In the garage and ducts penetrating the walls or ceiling separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel or other approved material and shall have no openings into the garage. OTHER PENETRATIONS: Penetrations through the separation required in Section R302.6 shall be protected as required by Section R302.11, Item 4.

SQUARE FOOTAGE	1474 SQ.FT.
HEATED	877 SQ.FT.
UNHEATED	597 SQ.FT.
OPTIONAL	345 SQ.FT.
PLAYROOM	345 SQ.FT.
FRONT PORCH	573 SQ.FT.
REAR PORCH	154 SQ.FT.
TOTAL	1627 SQ.FT.

FIRST FLOOR PLAN
 SCALE 1/4" = 1'-0"

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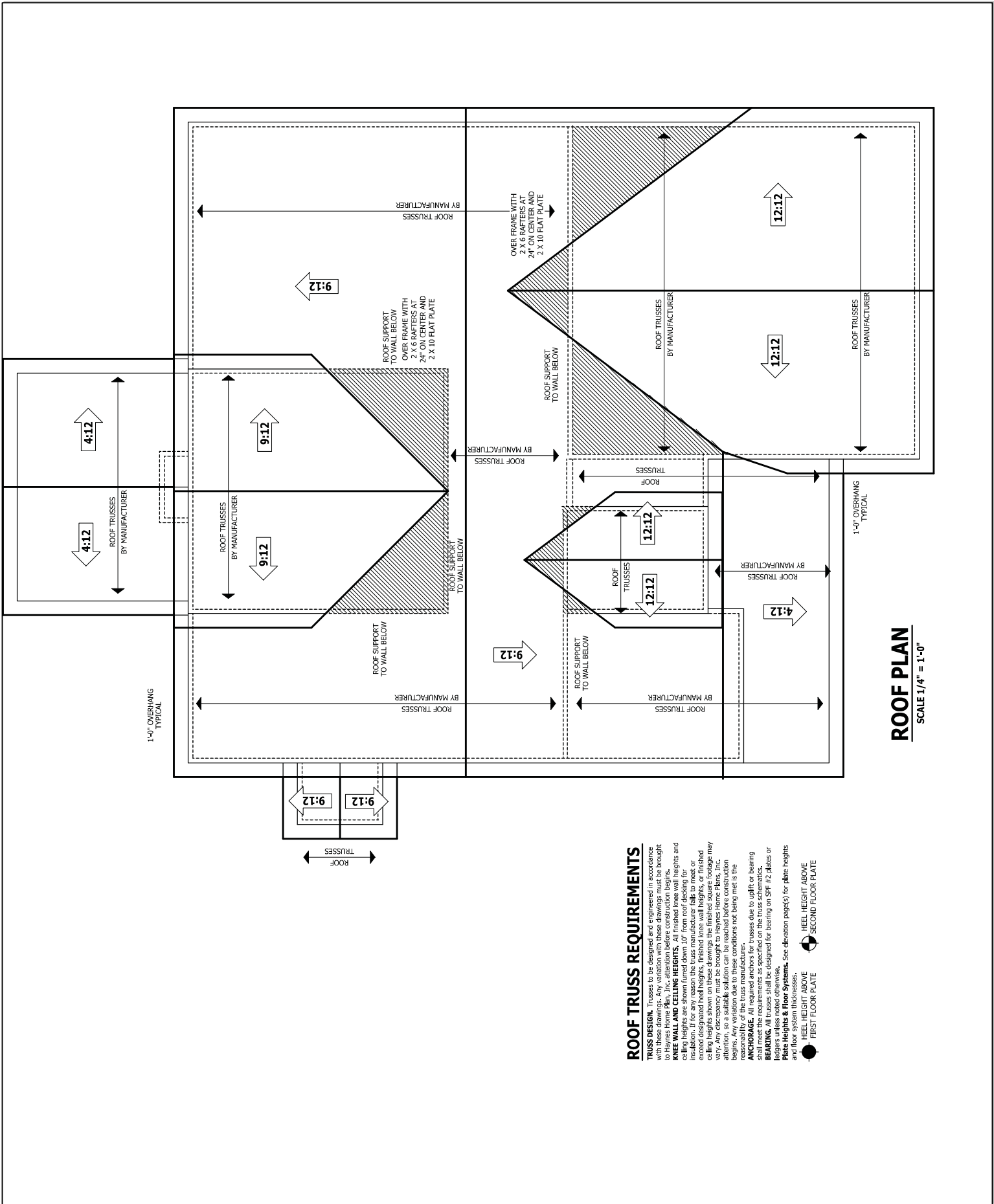
ROYAL
ROOF PLAN

JW SEALEY & ASSOCIATES
Construction

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SQUARE FOOTAGE	
HEEL FLOOR	1443 SQ.FT.
SECOND FLOOR	2571 SQ.FT.
TOTAL	4014 SQ.FT.
OPTIONAL	
HEEL FLOOR	348 SQ.FT.
TOTAL	3862 SQ.FT.
UNFINISHED	
HEEL FLOOR	933 SQ.FT.
SECOND FLOOR	1833 SQ.FT.
TOTAL	2766 SQ.FT.
TOTAL	
HEEL FLOOR	910 SQ.FT.
SECOND FLOOR	3104 SQ.FT.
TOTAL	4014 SQ.FT.

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PAGE 7 OF 8



ROOF PLAN
SCALE 1/4" = 1'-0"

ROOF TRUSS REQUIREMENTS

TRUSS DESIGN. Trusses to be designed and engineered in accordance with these drawings. Any variation with these drawings must be brought to Haynes Home Plans, Inc. attention before construction begins.
KNEE WALL AND CEILING HEIGHTS. All finished knee wall heights and ceiling heights shown on these drawings are for informational purposes only. If for any reason the truss manufacturer fails to meet or exceed designated head heights, finished knee wall heights, or finished ceiling heights shown on these drawings the finished square footage may vary. Any discrepancy must be brought to Haynes Home Plans, Inc. attention before construction begins. Any variation due to these conditions not being met is the responsibility of the truss manufacturer.

ANCHORAGE. All required anchors for trusses due to uplift or bearing shall meet the requirements as specified on the truss schematics.
BEARING. All trusses shall be designed for bearing on SIF #2 Jakes or Plate Heights & Floor Systems. See elevation page(s) for plate heights and floor system thicknesses.

- HEEL HEIGHT ABOVE FIRST FLOOR PLATE
- HEEL HEIGHT ABOVE SECOND FLOOR PLATE

