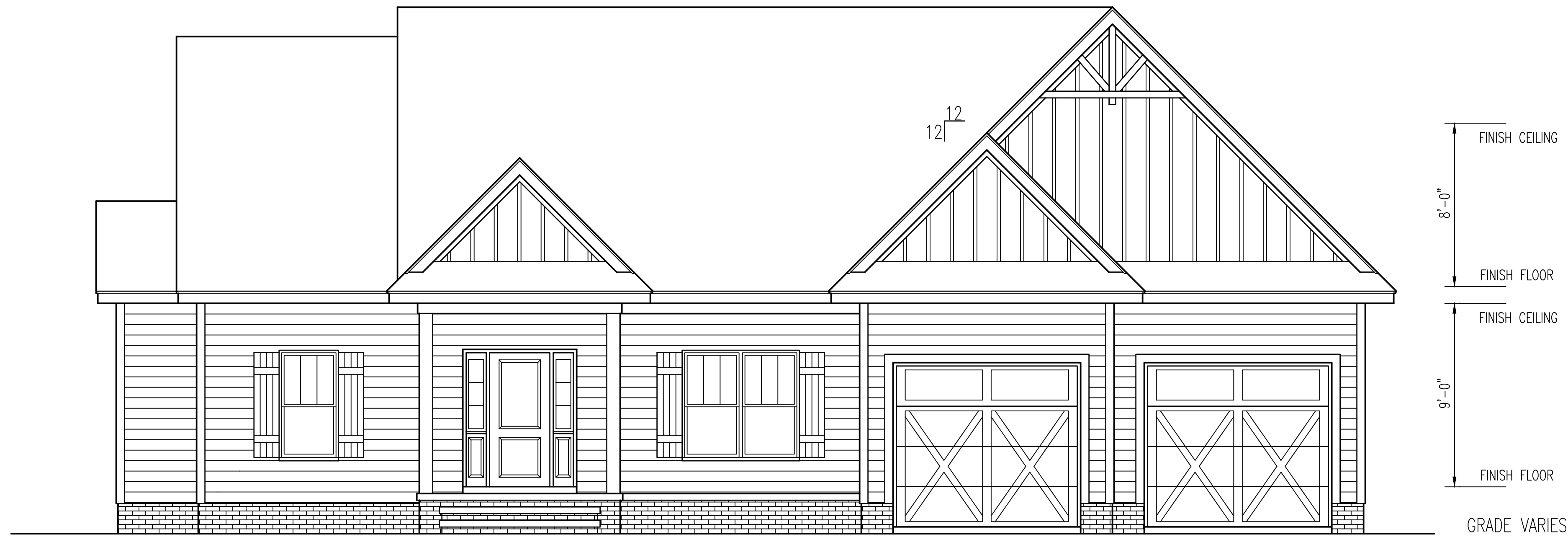
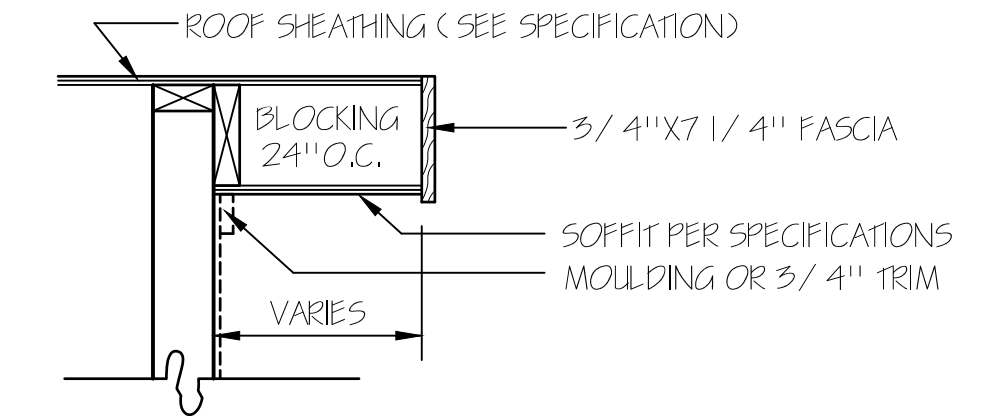


ATTIC VENTILATION CALCULATIONS

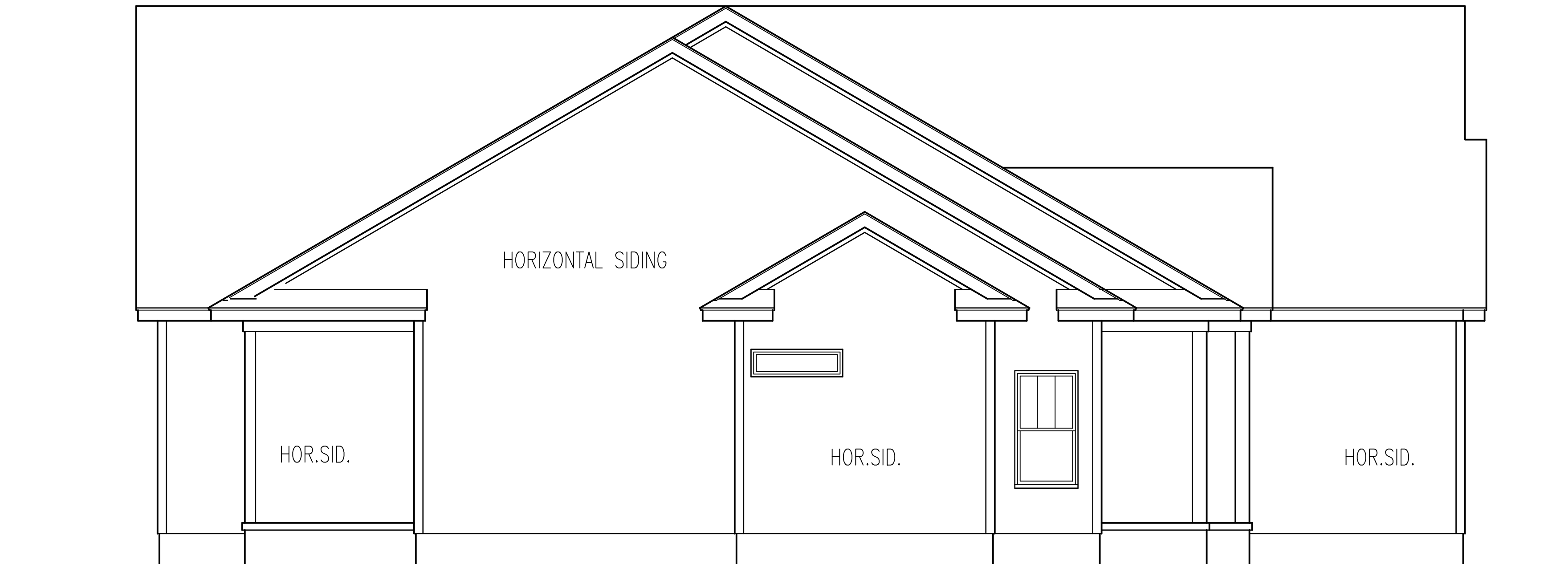
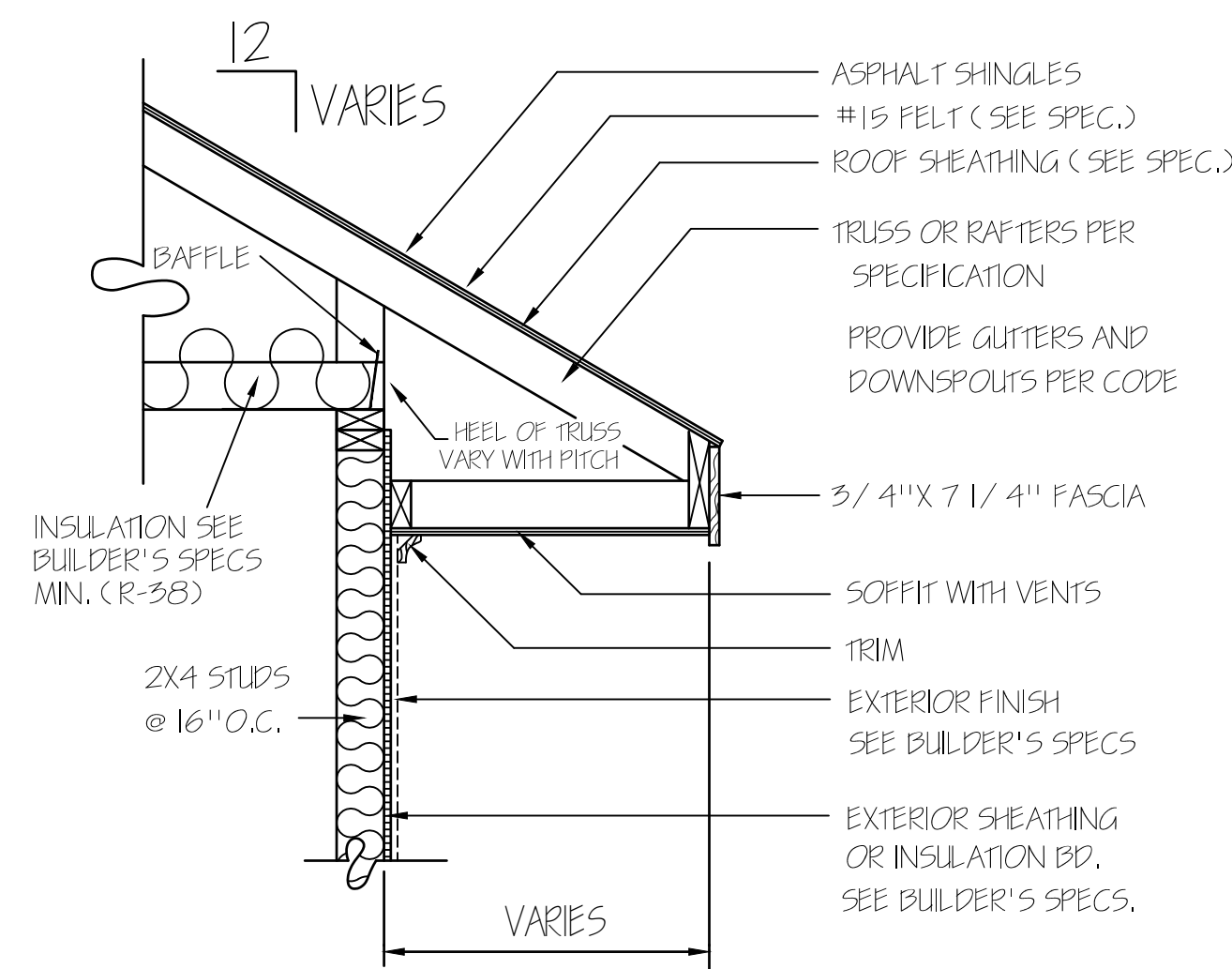
ATTIC AREA	2999 SQ.FT.	(AREA VENTILATION REQUIRED 20.9 SQ.FT.)
EACH FT. BASE GABLE LOUVER @		SQ.FT. NET FREE AREA
EACH FT. BASE GABLE LOUVER @		SQ.FT. NET FREE AREA
EACH FT. LOUVER @		SQ.FT. NET FREE AREA
38 LIN.FT. EAVE VENT @ 11 SQ.IN./FT. =	7.5	SQ.FT. NET FREE AREA
110 LIN.FT. RIDGE VENT @ 18 SQ.IN./FT. =	13.7	SQ.FT. NET FREE AREA



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RAKE DETAIL FOR GABLE ENDS



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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(910) 354-4736 TMDDESIGNS2016@GMAIL.COM

WATERMARK HOMES
EXCLUSIVE RESIDENCE DESIGN FOR:
LOT: 100 SOUTH CREEK
NAME: JASMINE

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I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2018 INTERNATIONAL BUILDING CODES

THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED

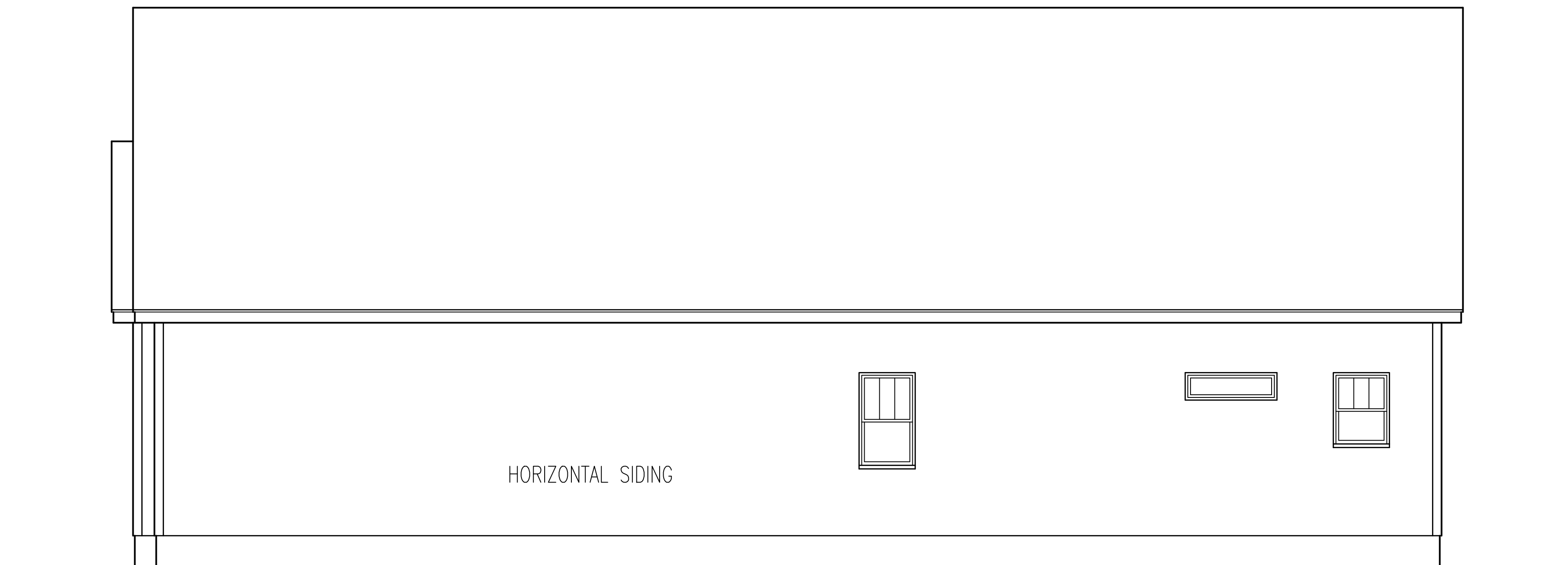
PLAN NUMBER
RG22-A05F

OPTION #1

1 A	GARAGE	F	R
	DATE:	3/20/23	



REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"

T M DESIGNS

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EXCLUSIVE RESIDENCE DESIGN FOR:
WATERMARK HOMES

LOT: 100 SOUTH CREEK

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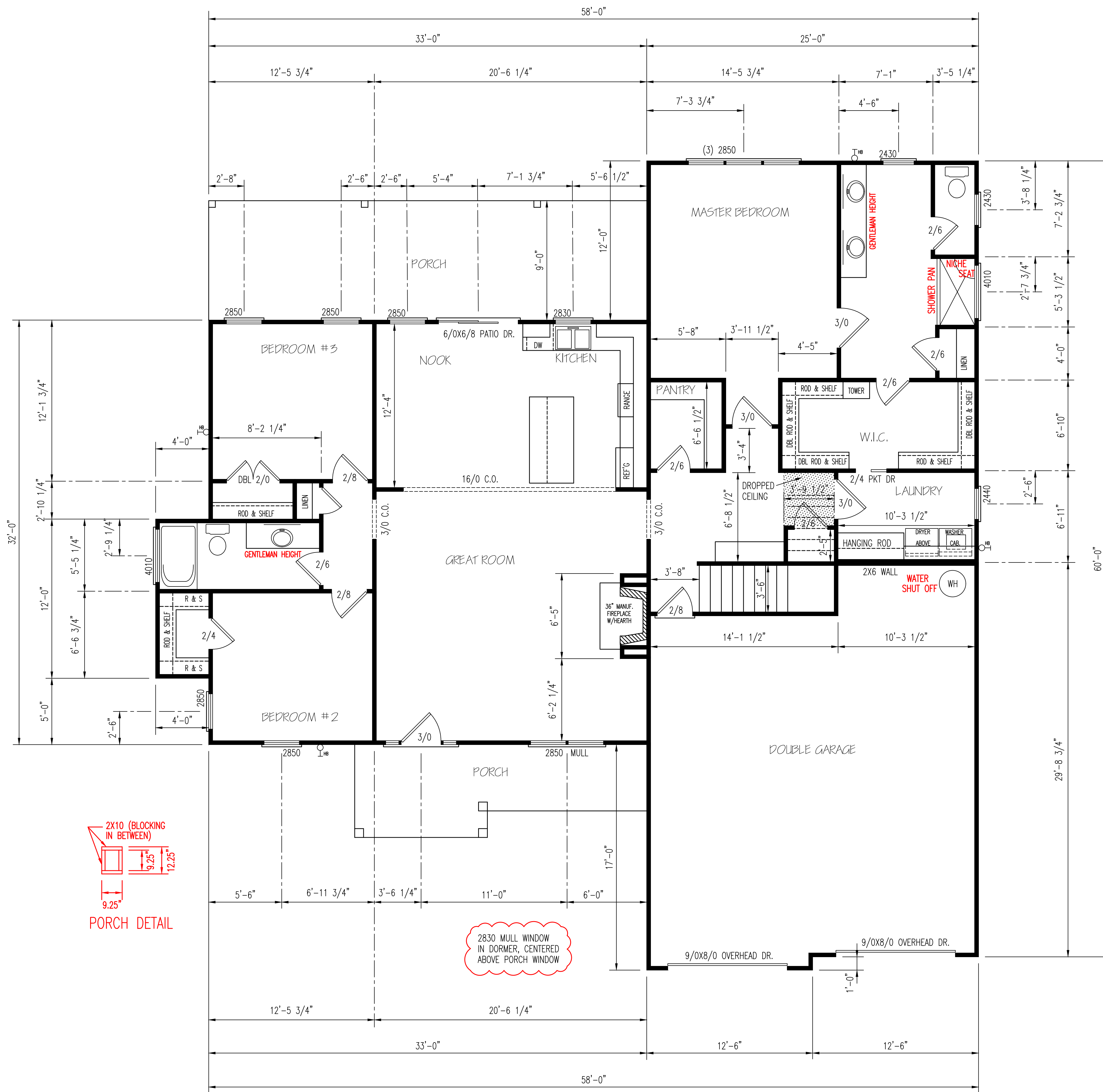
I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2018 INTERNATIONAL BUILDING CODES

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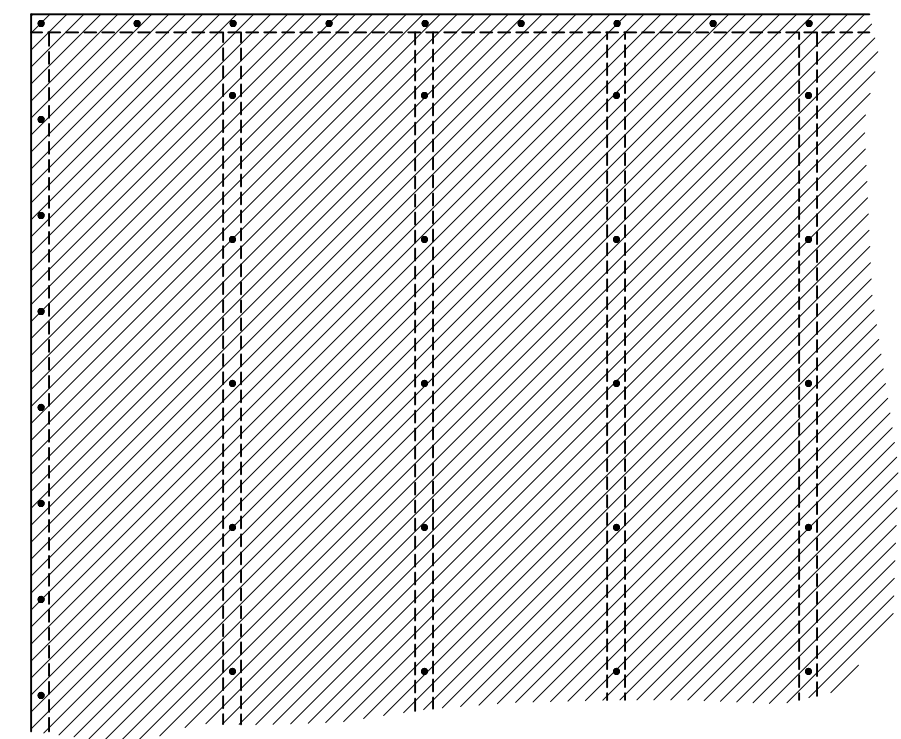
PLAN NUMBER
BG22-A05F

OPTION #1

1	GARAGE	F	R
	DATE:	3/20/23	

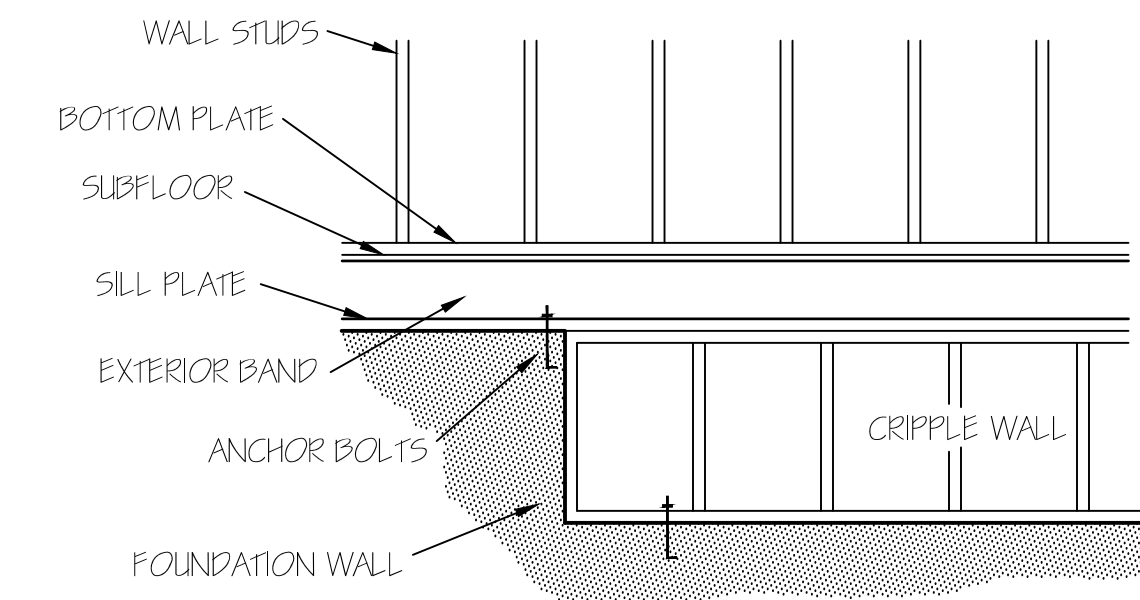


BRACING METHOD



EXTERIOR WALL TO BE FULLY SHEATHED WITH 7/16" OSB. NAILING PATTERN TO BE 8" ON ALL EDGES AND 12" IN FIELD, WITH 8d NAILS.

ENERGY TABLE
 UFACTOR OF WINDOWS .30
 CLIMATE ZONE 3
 INSULATION: WALLS 15
 CEILING 38
 FLOORS 19



FOUNDATION CRIPPLE WALLS SHALL BE FRAMED OF STUDS NOT SMALLER THAN THE STUDGING ABOVE. WHEN EXCEEDING 4 FT. IN HEIGHT, SUCH WALLS SHALL BE FRAMED OF STUDS HAVING THE SIZE REQUIRED FOR AN ADDITIONAL STORY. CRIPPLE WALLS WITH A STUD HEIGHT LESS THAN 14 INCHES SHALL BE CONTINUOUSLY SHEATHED ON ONE SIDE WITH WOOD STRUCTURAL PANELS FASTENED TO BOTH THE TOP AND BOTTOM PLATES IN ACCORDANCE WITH TABLE R602.5(1), OR CRIPPLE WALLS SHALL BE CONSTRUCTED OF SOLID BLOCKING.

NOTE:
 CEILINGS ARE 9'-0"
 UNLESS NOTED.

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

HEATED AREA	
1ST FL	1910 SQ FT
2ND FL	369 SQ FT
TOTAL	2279 SQ FT

OTHER AREAS

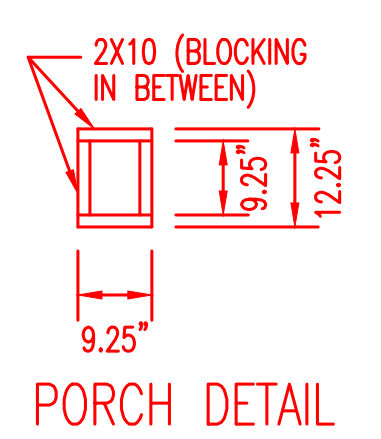
GARAGE	707 SQ FT
F.PORCH	130 SQ FT
R.PORCH	264 SQ FT
STORAGE	340 SQ FT

GARAGE PANEL WALL

GARAGE PANEL WALLS UNDER 24" WIDE SHOULD BE EITHER PORTAL FRAMED OR 7/16" OSB ON BOTH SIDES WITH A NAILING PATTERN OF 3" ON ALL PANEL EDGES AND 6" IN THE FIELD.

EXTERIOR WALLS (2) 2X10 HEADERS		
CLEAR SPAN FOR HEADER	NUMBER OF STUDS	
	JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	

UNLESS NOTED OTHER WISE



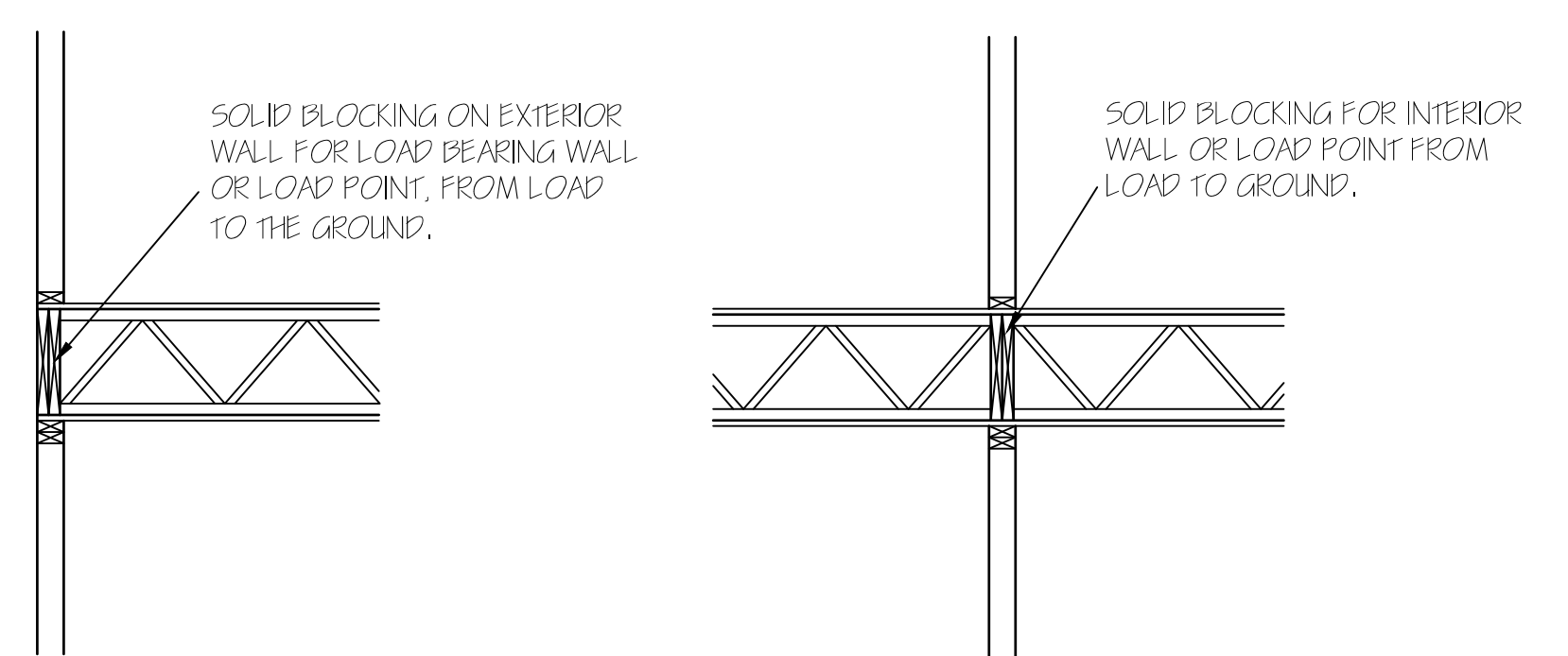
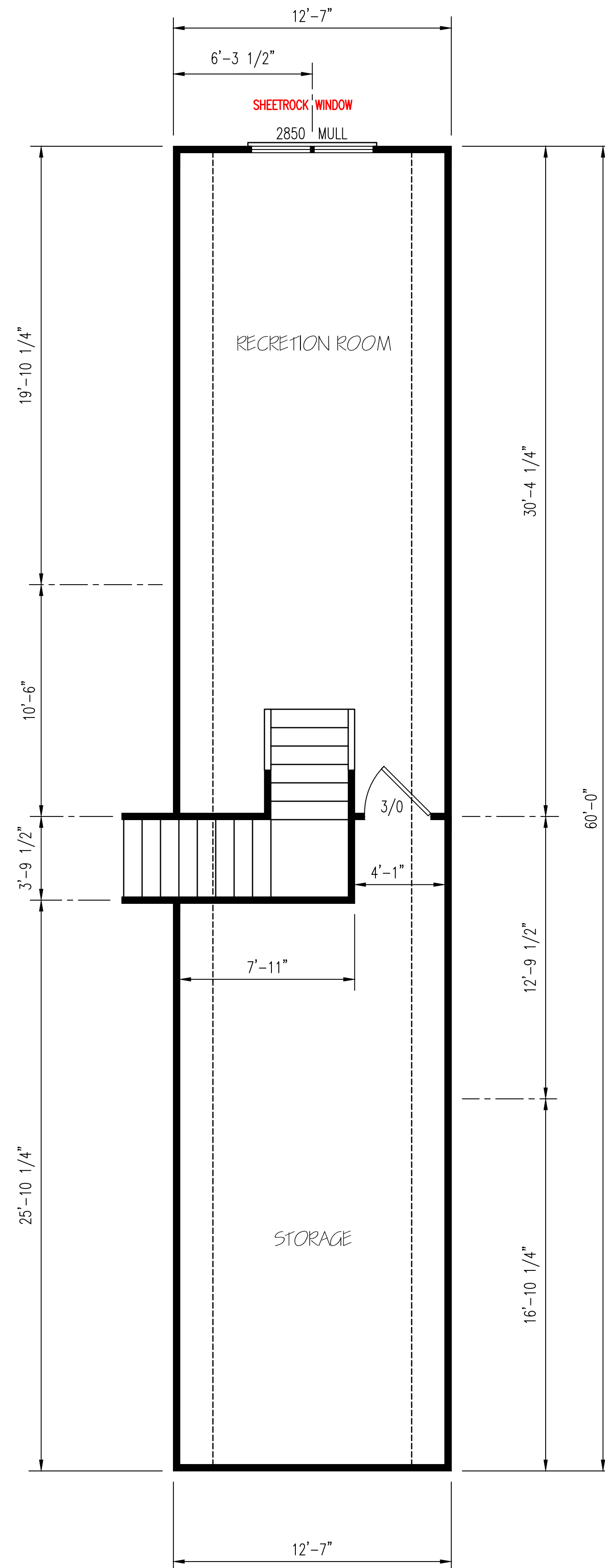
2830 MULL WINDOW IN DORMER, CENTERED ABOVE PORCH WINDOW

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WATERMARK HOMES
 EXCLUSIVE RESIDENCE DESIGN FOR:
 LOT: 100 SOUTH CREEK
 NAME: JASMINE

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PLAN NUMBER	RG22-A05
OPTION #1	
2	GARAGE R F
DATE:	3/20/23



EXTERIOR WALLS (2) 2X10 HEADERS		
CLEAR SPAN FOR HEADER	NUMBER OF STUDS	
	JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	
UNLESS NOTED OTHER WISE		

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXCLUSIVE RESIDENCE DESIGN FOR:
WATERMARK HOMES

TM DESIGNS
RESIDENTIAL PLANS BY TINA MCFADDEN
(910) 354-4736 TMDESIGNS2016@GMAIL.COM

NAME: JASMINE

LOT: 100 SOUTH CREEK

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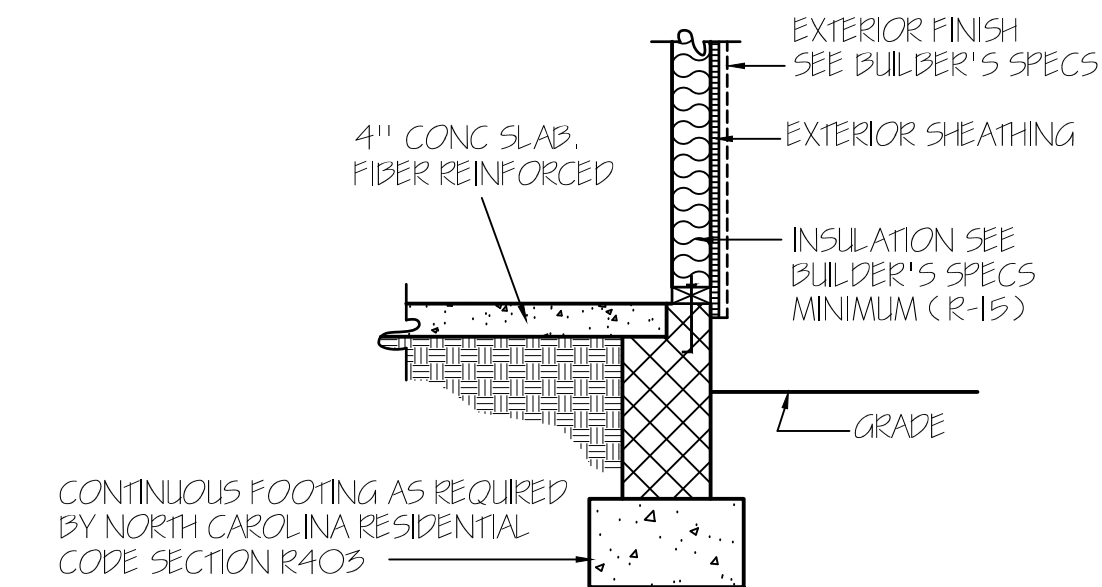
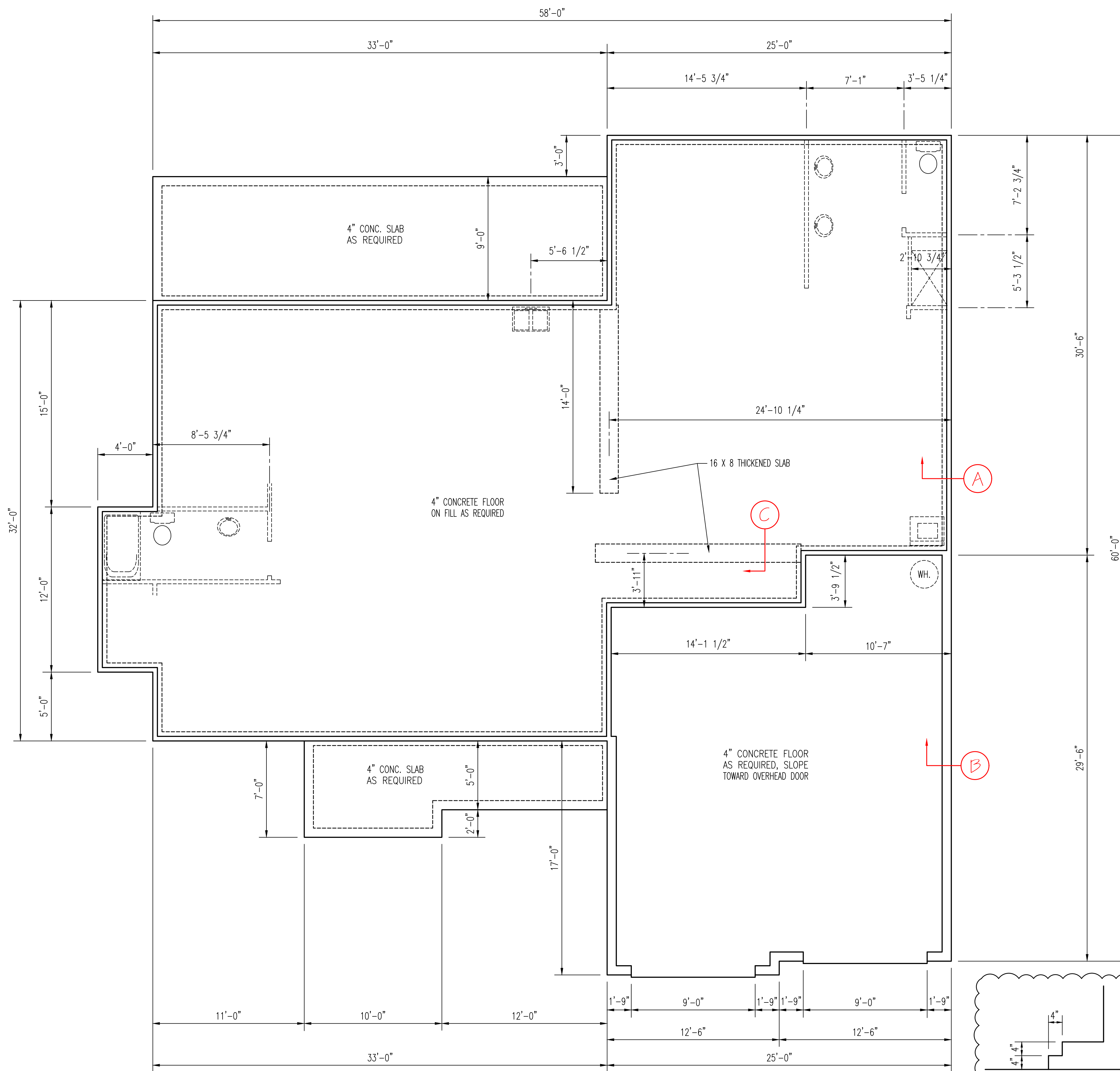
PLAN NUMBER
RG22-A05

OPTION #1

2	GARAGE	R	F
	DATE:	3/20/23	

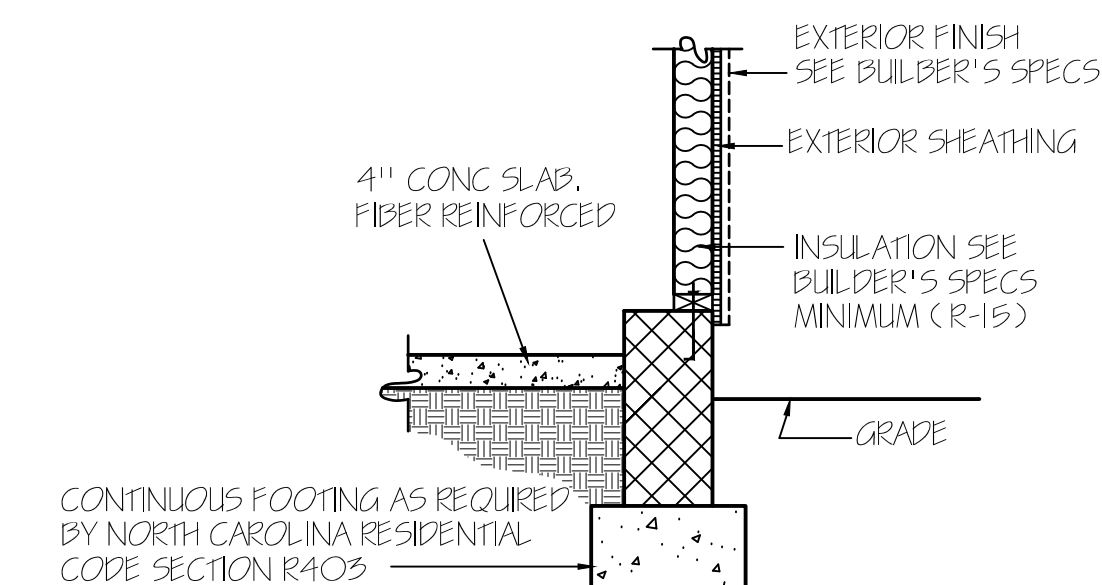
WALL ANCHOR OPTIONS
 USE ANCHOR BOLTS
 ANCHOR BOLTS: 1/2" DIA. BOLTS AT 6'-0" O.C.
 AND NOT MORE THAN 12" FROM CORNERS, EMBEDDED
 MIN. 7" INTO FOUNDATION. USE A MIN. OF 2 BOLTS
 PER EACH STUD WALL

ALL FOUNDATION WALLS HAVE
 A 16" X 8" FOOTING UNLESS
 NOTED OTHERWISE.



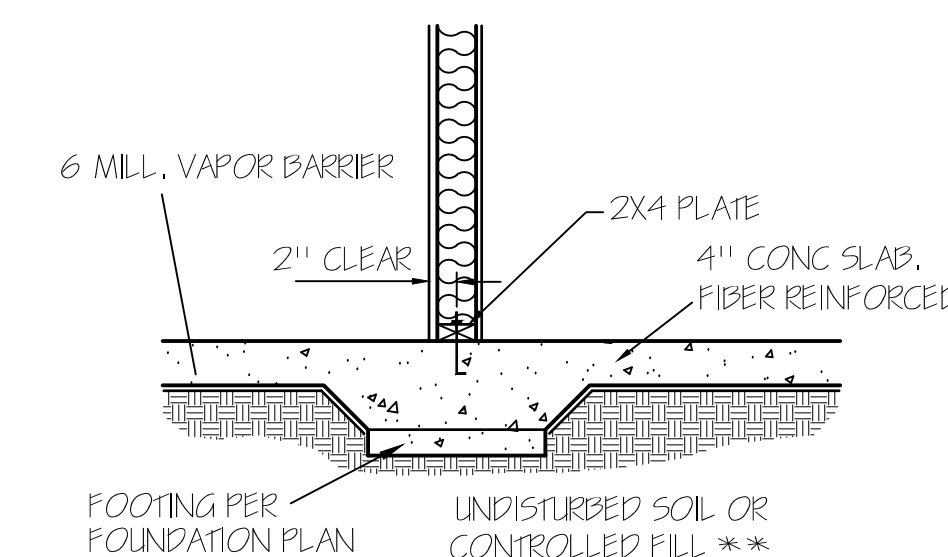
NOTE:
 PERIMETER INSL. MAY EXTEND HORIZ. UNDER SLAB
 24" OR VERTICAL 24" BELOW SLAB FLOOR

CONCRETE SLAB FLOOR — (A)



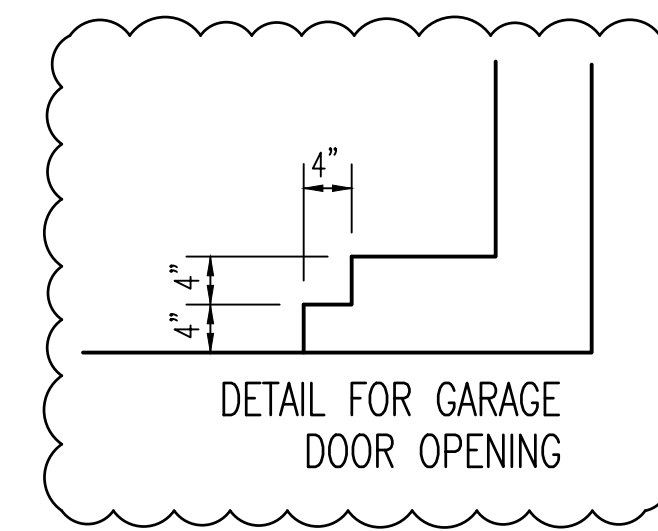
NOTE:
 PERIMETER INSL. MAY EXTEND HORIZ. UNDER SLAB
 24" OR VERTICAL 24" BELOW SLAB FLOOR

GARAGE WALL — (B)



LOAD BEARING WALL THICKENED SLAB — (C)

FOUNDATION PLAN
 SCALE: 1/4"=1'-0"



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WATERMARK HOMES
 TM DESIGNS
 RESIDENTIAL PLANS BY TINA MCFADDEN
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 NAME: JASMINE
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 PLAN NUMBER
 RG22-A05
 OPTION #1
 3 GARAGE R F
 DATE:
 3/20/23



ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park
 Fayetteville, N.C. 28309
 Phone: (910) 864-8787
 Fax: (910) 864-4444

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature
Anthony Williams

LOAD CHART FOR JACK STUDS

(BASED ON TABLES R502.5(1) & (b))
 NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADER/GIRDER

END REACTION (UP TO)	REQ. STUDS FOR (1) 1/2" HEADER	END REACTION (UP TO)	REQ. STUDS FOR (1) 1/2" HEADER	END REACTION (UP TO)	REQ. STUDS FOR (1) 1/2" HEADER
1700	1	2550	1	3400	1
3400	2	5100	2	6800	2
5100	3	7650	3	10200	3
6800	4	10200	4	13600	4
8500	5	12750	5	17000	5
10200	6	15300	6		
11900	7				
13600	8				
15300	9				

- Dimension Notes**
- All exterior wall to wall dimensions are to face of sheathing unless noted otherwise
 - All interior wall dimensions are to face of frame wall unless noted otherwise
 - All exterior wall to truss dimensions are to face of frame wall unless noted otherwise

Roof Area = 4267.28 sq.ft.
 Ridge Line = 127.18 ft.
 Hip Line = 0 ft.
 Horiz. OH = 143.5 ft.
 Raked OH = 256.36 ft.
 Decking = 147 sheets

All Walls Shown Are Considered Load Bearing

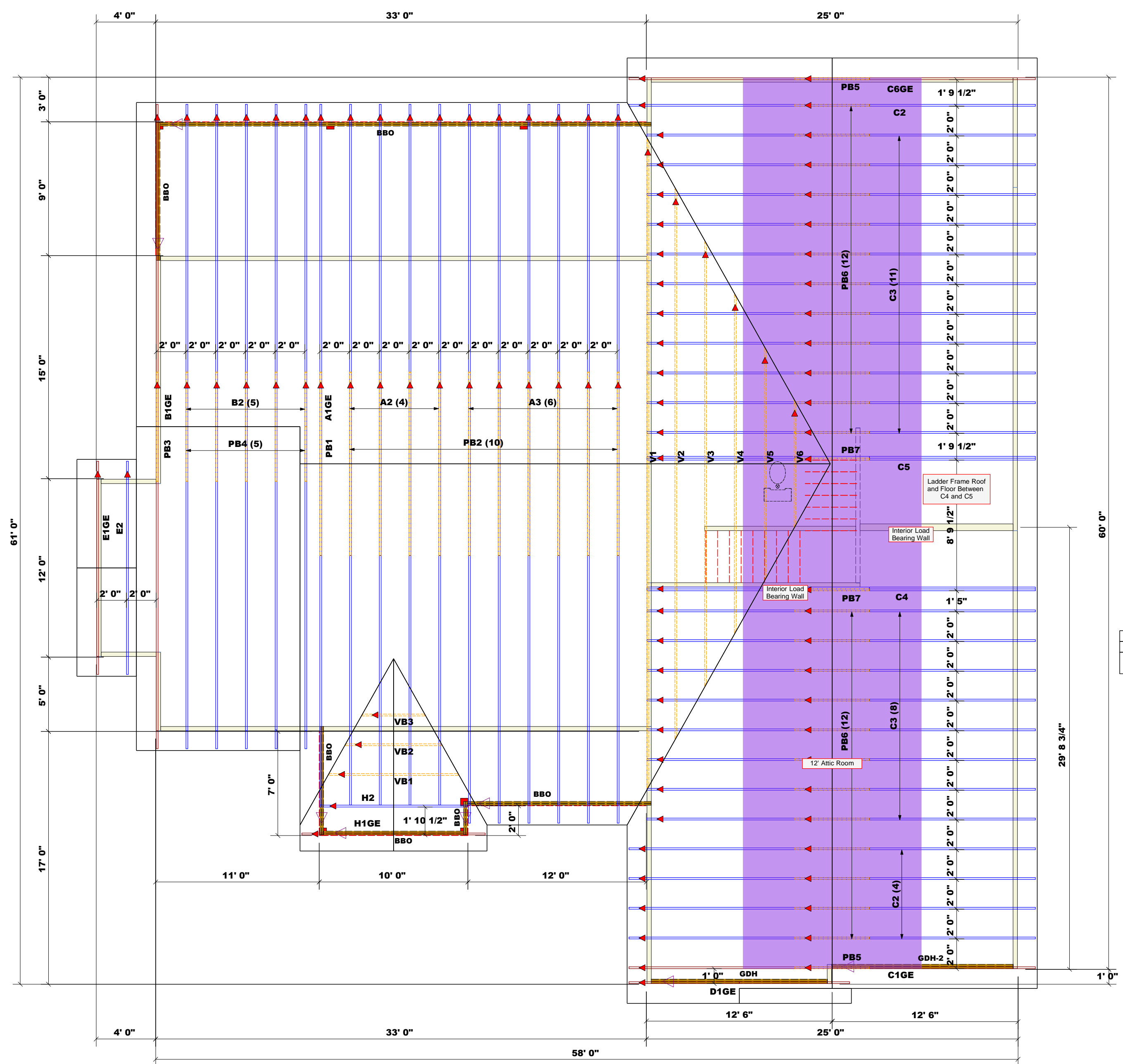
▲ = Indicates Left End of Truss (Reference Engineered Truss Drawing)
 Do Not Erect Trusses Backwards

WALL SCHEDULE

1st Floor Brg. Wall

Products

PlotID	Length	Product	Piles	Net Qty
GDH-2	13' 0"	1-3/4"x 11-7/8" LVL Kerto-S	2	2
GDH	12' 0"	1-3/4"x 11-7/8" LVL Kerto-S	2	2



Truss Placement Plan
 SCALE: 3/16" = 1' 0"

BUILDER	COUNTY	ADDRESS	MODEL	DATE REV.	DRAWN BY	SALESMAN
Watermark Homes	Harnett	Lot 100 South Creek	Roof	04/6/23	Johnnie Baggett	Anthony Williams
JOB NAME	PLAN	SEAL DATE	QUOTE #	JOB #		
Lot 100 South Creek	RG22-A05F	3/20/23	Quote #	JO423-1580		

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY.
 These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSI-B1 and BCSI-B3 provided with the truss delivery package or online @ sbciindustry.com