

Matthew S. Willis Register of Deeds
Harnett County, NC
Electronically Recorded
07/18/2022 02:17:10 PM
Book: 4159 Page: 714 - 715 (2)
Instrument Number: 2022105268

NC Rev Stamp: \$60.00
Fee: \$26.00

HARNETT COUNTY TAX ID #
050613 0195

07-18-2022 BY: TC

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax: \$60.00 NO TITLE SEARCH NOR TAX ADVICE GIVEN

Parcel Identifier No. 0506130195 Verified by _____ County on the ____ day of _____, 20____
By: _____

Mail/Box to: GRANTEE

This instrument was prepared by: Currie Tee Howell, Adams, Howell, Sizemore & Adams, P.A.

Brief description for the Index: Lot 28, Block 1 of Captain's Landing Subdivision

THIS DEED made this 16 day of June, 2022, by and between

GRANTOR

GRANTEE

Gnarly Oak, LLC dba The Land
Offer, a North Carolina limited
liability company
1441 E. Broad Street, #267
Fuquay-Varina, NC 27526

Family Building Company II, LLC

1016 Mockingbird Drive
Raleigh, NC 27615

Enter in appropriate block for each Grantor and Grantee: name, mailing address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot, parcel of land or condominium unit situated in Buckhorn Township, Harnett County, North Carolina and more particularly described as follows:

BEING all of Lot 28, Block 1 of Captain's Landing Subdivision, according to a map recorded in Book of Maps 21, Page 52, Harnett County Registry.

Property Address: 0 Natchez Trace, Fuquay-Varina, NC 27526

All or a portion of the property herein conveyed ___ includes or does not include the primary residence of a Grantor.

NC Bar Association Form No. 3 © Revised 7/2013
Printed by Agreement with the NC Bar Association
North Carolina Bar Association – NC Bar Form No. 3
North Carolina Association of Realtors, Inc. – Standard Form 3

Submitted electronically by "Jackson Law, P.C."
in compliance with North Carolina statutes governing recordable documents
and the terms of the submitter agreement with the Harnett County Register of Deeds.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

This conveyance is expressly made subject to the lien created by all the Grantors' real 2022 Harnett County ad valorem taxes on said tract of land which the Grantee(s) agree to assume and pay in full when due.

Subject to all easements, rights-of-way, covenants and other restrictions as shown on the public record or as would be disclosed by an accurate survey and inspection of the land.

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

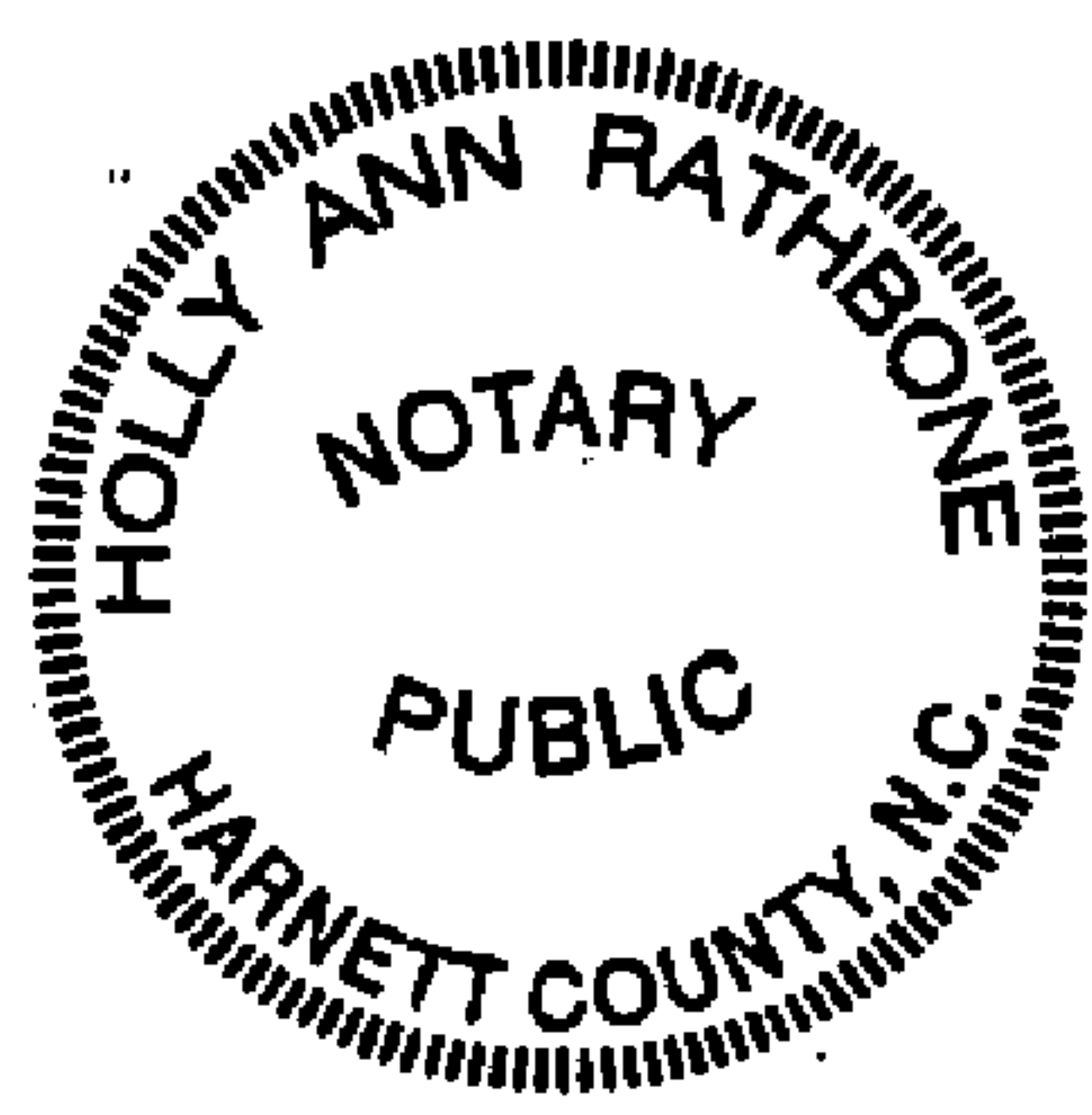
GRANTOR(S):

Gnarly Oak, LLC dba The Land Offer,
a North Carolina limited liability company

By: Brian Formosa (SEAL)
Brian Formosa, Member/Manager

State of NC - County or City of Harnett
I, the undersigned Notary Public of the County or City of Harnett and State aforesaid, certify that Brian Formosa personally came before me this day and acknowledged that he is the Member/Manager of Gnarly Oak, LLC dba The Land Offer, a North Carolina limited liability company, and that by authority duly given and as the act of such entity, he signed the foregoing instrument in its name on its behalf as its act and deed. Witness my hand and Notarial stamp or seal, this 16 day of June, 2022.

Holly Ann Rathbone
Holly Ann Rathbone
Notary's Printed or Typed Name
My Commission Expires: 8/27/23



(Affix Seal)