



Application # _____

Harnett County Central Permitting
PO Box 65 Lillington, NC 27546
910-893-7525 Fax 910-893-2793 www.harnett.org/permits

Each section below to be filled out
by whomever performing work.
Must be owner or licensed
contractor. Address, company
name & phone must match
information on license!

Application for Residential Building and Trades Permit

Owner's Name: Brian & Kristy Boisvert Date: 1-29-24
Site Address: 7481 Old US 421 Phone: 919 906 4069
Subdivision: NA Lot: _____
Description of Proposed Work: Site built House

General Contractor Information

Steve Thomas Telephone: 919 906 4069
Building Contractor's Company Name
PO 875 Broadway NC 27505 Email Address: Southernconcrete@
Address 59452 WindStream.net
License # _____

Electrical Contractor Information

Description of Work: New Const. Service Size: 200 Amps T-Pole: Yes No
Wester & Pace Telephone: 919 499 3946
Electrical Contractor's Company Name
465 Leslie Rd Sanford NC 27330 Email Address: _____
Address 12007-U
License # _____

Mechanical/HVAC Contractor Information

Description of Work: New Const.
Affordable Heating & Air Telephone: 919 498 2791
Mechanical Contractor's Company Name
PO 326 Lemon Springs NC 28355 Email Address: _____
Address 20046
License # _____

Plumbing Contractor Information

Description of Work: New Const. # Baths: _____
Double J Plumbing Telephone: 910 814 7705
Plumbing Contractor's Company Name
614 Byrd Rd. Bunnlevel NC 28323 Email Address: _____
Address 21649
License # _____

Insulation Contractor Information

Tatum's Insulation Telephone: 919 661 0999
Insulation Contractor's Company Name & Address
519 Old Drug Store Rd. Garner NC 27529

NOTE: General Contractor / owner must fill out and sign the second page of this application!

I hereby certify that I have the authority to make necessary application, that the application is correct and that the construction will conform to the regulations in the Building, Electrical, Plumbing and Mechanical codes, and the Harnett County Zoning Ordinance. I state the information on the above contractors is correct as known to me and that by signing below I have obtained all subcontractors permission to obtain these permits and if any changes occur including listed contractors, site plan, number of bedrooms, building and trade plans, Environmental Health permit changes or proposed use changes, I certify it is my responsibility to notify the Harnett County Central Permitting Department of any and all changes.

EXPIRED PERMIT FEES - 6 Months to 2 years permit re-issue fee is \$150.00. After 2 years re-issue fee is as per current fee schedule.

Steve Thomas
Signature of Owner/Contractor/Officer(s) of Corporation

1-29-24
Date

Affidavit for Worker's Compensation N.C.G.S. 87-14

The undersigned applicant being the:

General Contractor Owner Officer/Agent of the Contractor or Owner

Do hereby confirm under penalties of perjury that the person(s), firm(s) or corporation(s) performing the work set forth in the permit:

Has three (3) or more employees and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) and has obtained workers' compensation insurance to cover them.

Has one (1) or more subcontractors(s) who has their own policy of workers' compensation insurance covering themselves.

Has no more than two (2) employees and no subcontractors.

While working on the project for which this permit is sought it is understood that the Central Permitting Department issuing the permit may require certificates of coverage of worker's compensation insurance prior to issuance of the permit and at any time during the permitted work from any person, firm or corporation carrying out the work.

Sign w/Title: Steve Thomas / Builder Date: 1-29-24

DO NOT REMOVE!

Details: Appointment of Lien Agent

Entry #: 2079516

Filed on: 01/29/2024

Initially filed by: St.Thomas

Designated Lien Agent

Fidelity National Title Company, LLC

Online: www.liensnc.com

(<http://www.liensnc.com>)

Address: 223 S. West Street, Suite 900 /
Raleigh, NC 27603

Phone: 888-690-7384

Fax: 913-489-5231

Email: support@liensnc.com

(<mailto:support@liensnc.com>)

Project Property

7481 old us 421
Lillington, NC 27416
Harnett County

Property Type

1-2 Family Dwelling

Date of First Furnishing

02/09/2024

Owner Information

Steve Thomas
3560 McArthur Road
Broadway, NC 27505
United States
Email: southernconcrete@windstream.net
Phone: 919-906-4069

Print & Post

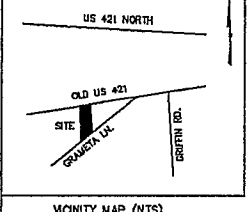
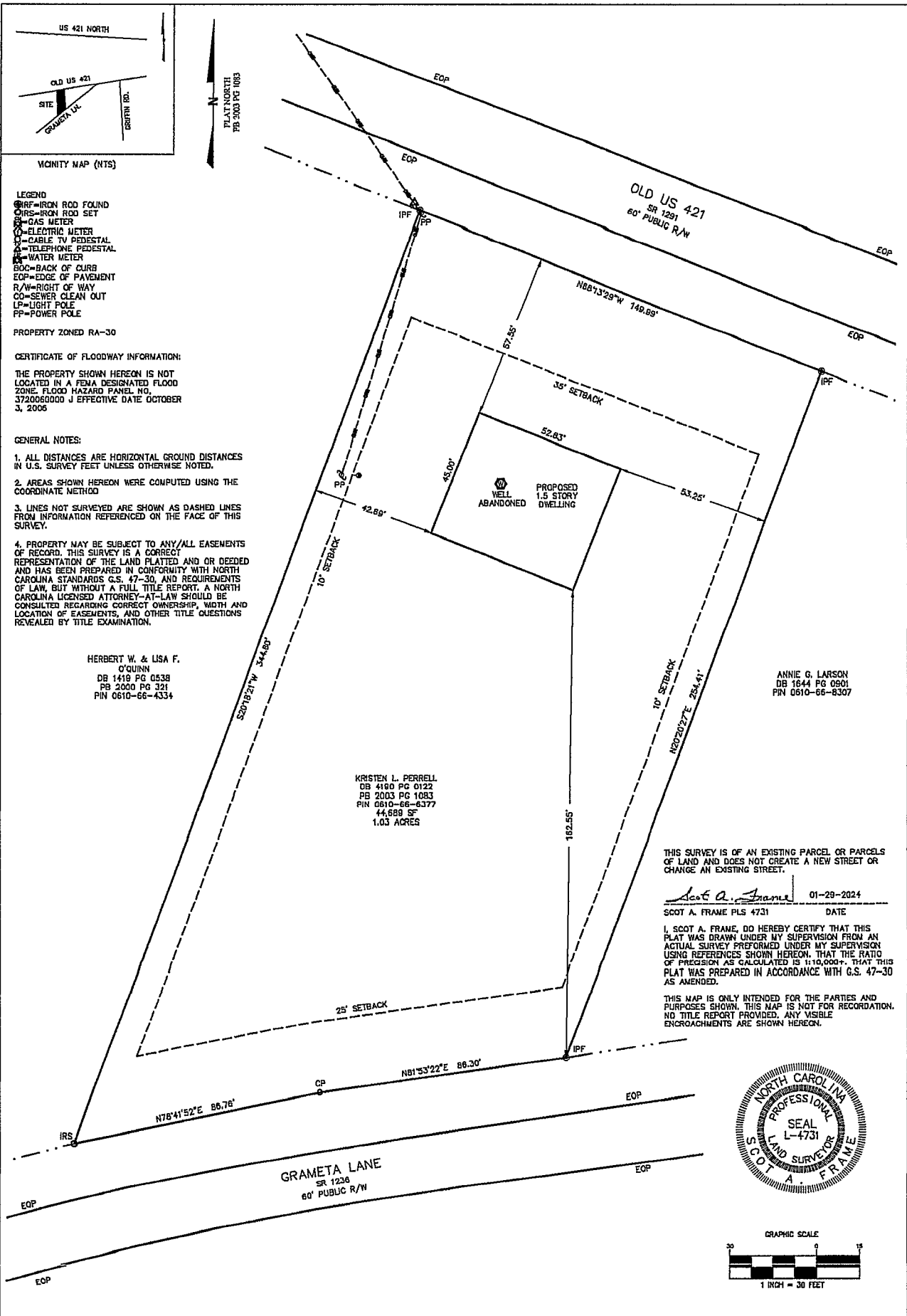


Contractors:
Please post this notice on the Job Site.

Suppliers and Subcontractors:
Scan this image with your smart phone to view this filing. You can then file a Notice to Lien Agent for this project.

View Comments (0)

Technical Support Hotline: (888) 690-7384



- LEGEND**
- ⊙ IRP=IRON ROD FOUND
 - ⊙ IRS=IRON ROD SET
 - ⊙ G=METER
 - ⊙ E=ELECTRIC METER
 - ⊙ C=CABLE TV PEDESTAL
 - ⊙ T=TELEPHONE PEDESTAL
 - ⊙ W=WATER METER
 - ⊙ BOC=BACK OF CURB
 - ⊙ EOP=EDGE OF PAVEMENT
 - R/W=RIGHT OF WAY
 - CO=SEWER CLEAN OUT
 - LP=LIGHT POLE
 - FP=POWER POLE

PROPERTY ZONED RA-30

CERTIFICATE OF FLOODWAY INFORMATION:
 THE PROPERTY SHOWN HEREON IS NOT LOCATED IN A FEMA DESIGNATED FLOOD ZONE, FLOOD HAZARD PANEL NO. 3720060000 J EFFECTIVE DATE OCTOBER 3, 2006

- GENERAL NOTES:**
1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
 2. AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD
 3. LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION REFERENCED ON THE FACE OF THIS SURVEY.
 4. PROPERTY MAY BE SUBJECT TO ANY/ALL EASEMENTS OF RECORD. THIS SURVEY IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND OR DEEDED AND HAS BEEN PREPARED IN CONFORMITY WITH NORTH CAROLINA STANDARDS G.S. 47-30, AND REQUIREMENTS OF LAW, BUT WITHOUT A FULL TITLE REPORT. A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND LOCATION OF EASEMENTS, AND OTHER TITLE QUESTIONS REVEALED BY TITLE EXAMINATION.

HERBERT W. & LISA F. O'QUINN
 DB 1419 PG 0538
 PB 2000 PG 321
 PIN 0610-66-4334

KRISTEN L. PERRELL
 DB 4190 PG 0122
 PB 2003 PG 1083
 PIN 0610-66-6377
 44,689 SF
 1.03 ACRES

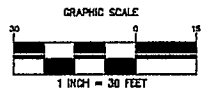
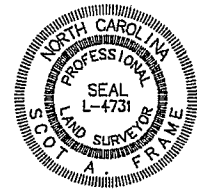
ANNIE G. LARSON
 DB 1644 PG 0901
 PIN 0610-66-8307

THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

Scot A. Frame 01-29-2024
 SCOT A. FRAME PLS 4731 DATE

I, SCOT A. FRAME, DO HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION USING REFERENCES SHOWN HEREON, THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000*, THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION. NO TITLE REPORT PROVIDED, ANY VISIBLE ENCROACHMENTS ARE SHOWN HEREON.



Project: 7481 Old US 421
 Drawn By: S. Frame
 Scale: 1" = 30'
 Date: 01-29-2024

Plot Plan Survey for:
 Kristen L. Perrell
 7481 Old US 421
 Broadway, N.C. 27505
 Upper Little River Township, Harnett County, N.C.
 D.B. 4190 P.C. 0122
 P.B. 2003, PG. 1083

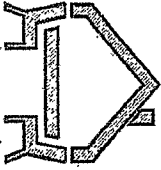
Scot A. Frame P.L.S.
 1350 Young Rd.
 Angier, N.C. 27501
 919-639-6284 Office
 919-586-2251 Mobile

PROJECT: PERRELL - 230524590030

ISSUED FOR
SINGLE BUILD ONLY

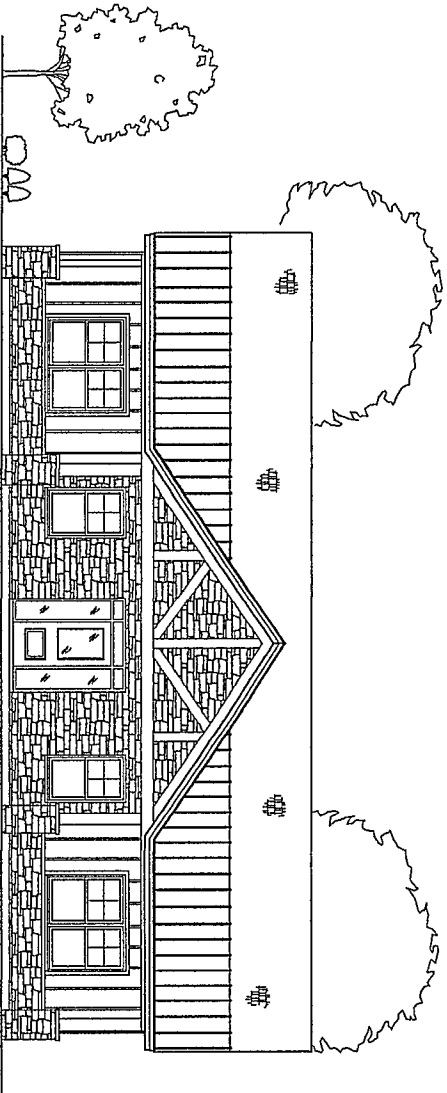
DESIGNER:

Divine homestead
D E S I G N



AUSTIN HAGGARD, OWNER
E: DIVINEHOMESTEADDESIGN@GMAIL.COM
W: DIVINEHOMESTEADDESIGN.COM

| SHEET LIST: | |
|-------------|--------------------------|
| T1.1 | COVER SHEET |
| S1.1 | FOUNDATION PLAN |
| A1.1 | 1ST FLOOR PLAN |
| A1.2 | 2ND FLOOR PLAN |
| A1.3 | SCHEDULES |
| A2.1 | EXTERIOR ELEVATIONS |
| A2.2 | EXTERIOR ELEVATIONS |
| A3.1 | BUILDING SECTIONS |
| A3.2 | WALL SECTIONS |
| A3.3 | ROOF PLAN |
| E1.1 | 1ST FLR. ELECTRICAL PLAN |
| E1.2 | 2ND FLR. ELECTRICAL PLAN |



- AREA NOTES:**
- * FIRST FLOOR = 1,497 HEATED SQ.FT
 - * OPTIONAL LOFT = 334 HEATED SQ.FT
 - * FRONT COVERED PORCH = 335 SQ.FT
 - * SCREENED PORCH = 174 SQ.FT
 - * REAR COVERED PORCH = 372 SQ.FT

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ETC., AND NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO START WORK. ALL DISCREPANCIES SHOULD BE CORRECTED AND APPROVED BY THE CONTRACTOR.
2. ALL STRUCTURAL COMPONENTS TO BE DETERMINED BY OTHERS AND NOTED ON DRAWINGS. ALL FOUNDATION AND FOOTING SHALL BE CONFORMED TO ALL LOCAL AND STATE REQUIREMENTS. FOUNDATION SHALL BE CONFORMED TO ALL LOCAL AND STATE REQUIREMENTS. FOUNDATION SHALL BE CONFORMED TO ALL LOCAL AND STATE REQUIREMENTS.
3. ALL FOUNDATION AND FOOTING SHALL BE CONFORMED TO ALL LOCAL AND STATE REQUIREMENTS. FOUNDATION SHALL BE CONFORMED TO ALL LOCAL AND STATE REQUIREMENTS.
4. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ETC., AND NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO START WORK. ALL DISCREPANCIES SHOULD BE CORRECTED AND APPROVED BY THE CONTRACTOR.
5. ALL FOUNDATION AND FOOTING SHALL BE CONFORMED TO ALL LOCAL AND STATE REQUIREMENTS. FOUNDATION SHALL BE CONFORMED TO ALL LOCAL AND STATE REQUIREMENTS.
6. ALL FOUNDATION AND FOOTING SHALL BE CONFORMED TO ALL LOCAL AND STATE REQUIREMENTS. FOUNDATION SHALL BE CONFORMED TO ALL LOCAL AND STATE REQUIREMENTS.
7. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED.
8. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED.
9. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED.
10. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED.
11. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED.
12. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED.
13. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED.
14. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED.
15. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED. VERIFY FLOOR ELEVATIONS ON BOTH SIDES OF PARTITION BEING REMOVED AND/OR RELOCATED.

COPYRIGHTED DOCUMENTS



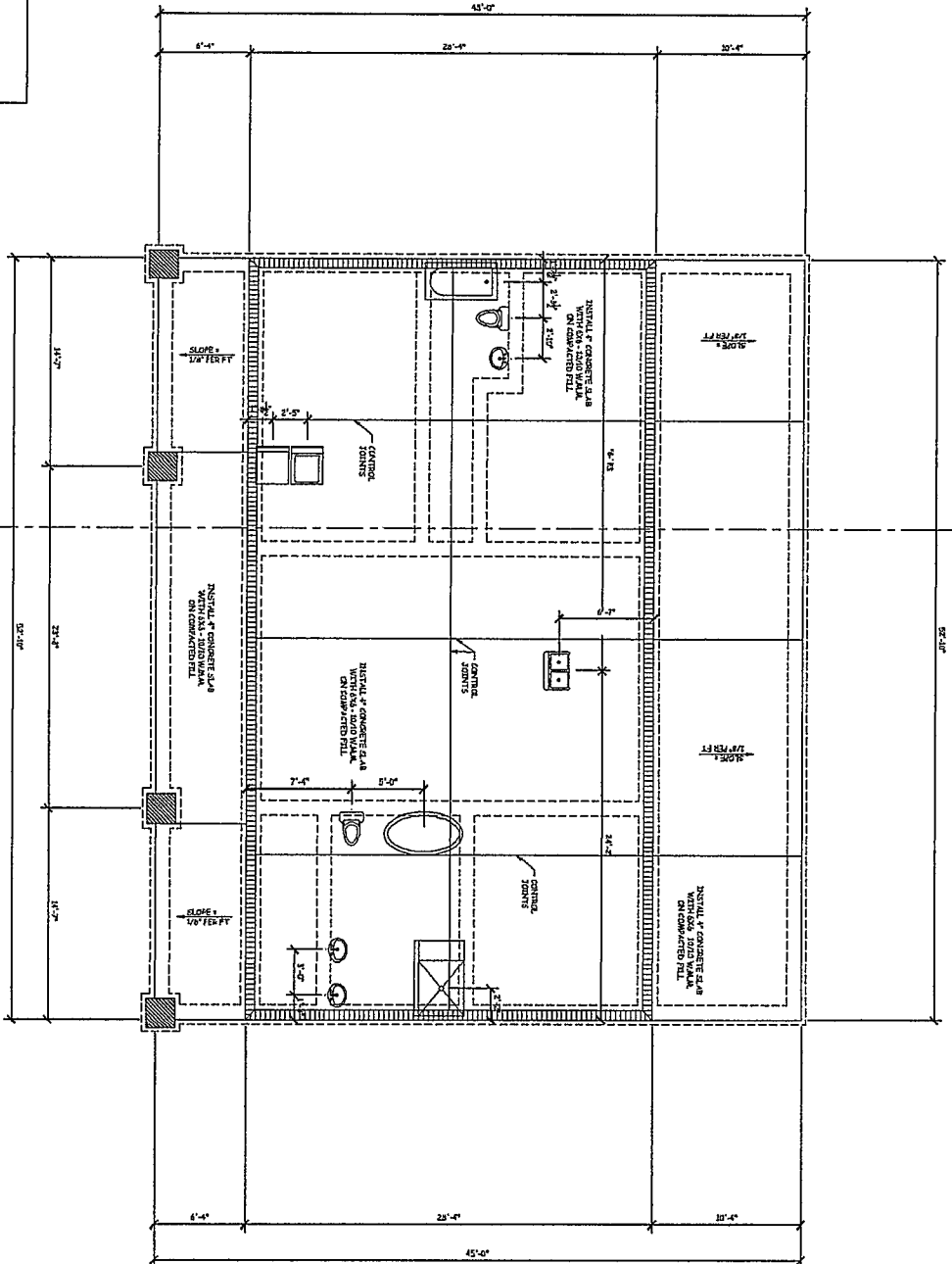
DIVINE HOMESTEAD DESIGN
E: DIVINEHOMESTEADDESIGN@GMAIL.COM

PERRELL
230524590030

Revisions:

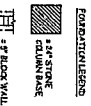
Date: _____
Description: _____
Drawn By: DWH
Checked By: DWH
Date: 05/25/2023
Sheet: 24 of 34
Sheet Title: COVER SHEET
Sheet Number: T1.1

ISSUED FOR SINGLE BUILD ONLY



- FOUNDATION NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK.
 1. PROVIDE FOUNDATION TO SUPPORT ALL LOADS INCLUDING FLOOR, WALL, AND CEILING LOADS.
 1. PROVIDE FOUNDATION TO SUPPORT ALL LOADS INCLUDING FLOOR, WALL, AND CEILING LOADS.
 1. PROVIDE FOUNDATION TO SUPPORT ALL LOADS INCLUDING FLOOR, WALL, AND CEILING LOADS.
 1. PROVIDE FOUNDATION TO SUPPORT ALL LOADS INCLUDING FLOOR, WALL, AND CEILING LOADS.
 1. PROVIDE FOUNDATION TO SUPPORT ALL LOADS INCLUDING FLOOR, WALL, AND CEILING LOADS.
 1. PROVIDE FOUNDATION TO SUPPORT ALL LOADS INCLUDING FLOOR, WALL, AND CEILING LOADS.
 1. PROVIDE FOUNDATION TO SUPPORT ALL LOADS INCLUDING FLOOR, WALL, AND CEILING LOADS.
- FOUNDATION NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK.
 1. PROVIDE FOUNDATION TO SUPPORT ALL LOADS INCLUDING FLOOR, WALL, AND CEILING LOADS.
 1. PROVIDE FOUNDATION TO SUPPORT ALL LOADS INCLUDING FLOOR, WALL, AND CEILING LOADS.
 1. PROVIDE FOUNDATION TO SUPPORT ALL LOADS INCLUDING FLOOR, WALL, AND CEILING LOADS.
 1. PROVIDE FOUNDATION TO SUPPORT ALL LOADS INCLUDING FLOOR, WALL, AND CEILING LOADS.
 1. PROVIDE FOUNDATION TO SUPPORT ALL LOADS INCLUDING FLOOR, WALL, AND CEILING LOADS.
 1. PROVIDE FOUNDATION TO SUPPORT ALL LOADS INCLUDING FLOOR, WALL, AND CEILING LOADS.
 1. PROVIDE FOUNDATION TO SUPPORT ALL LOADS INCLUDING FLOOR, WALL, AND CEILING LOADS.

FOUNDATION PLAN



THE DRAWING SHALL BE CONSIDERED AS A CONTRACT DOCUMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION.

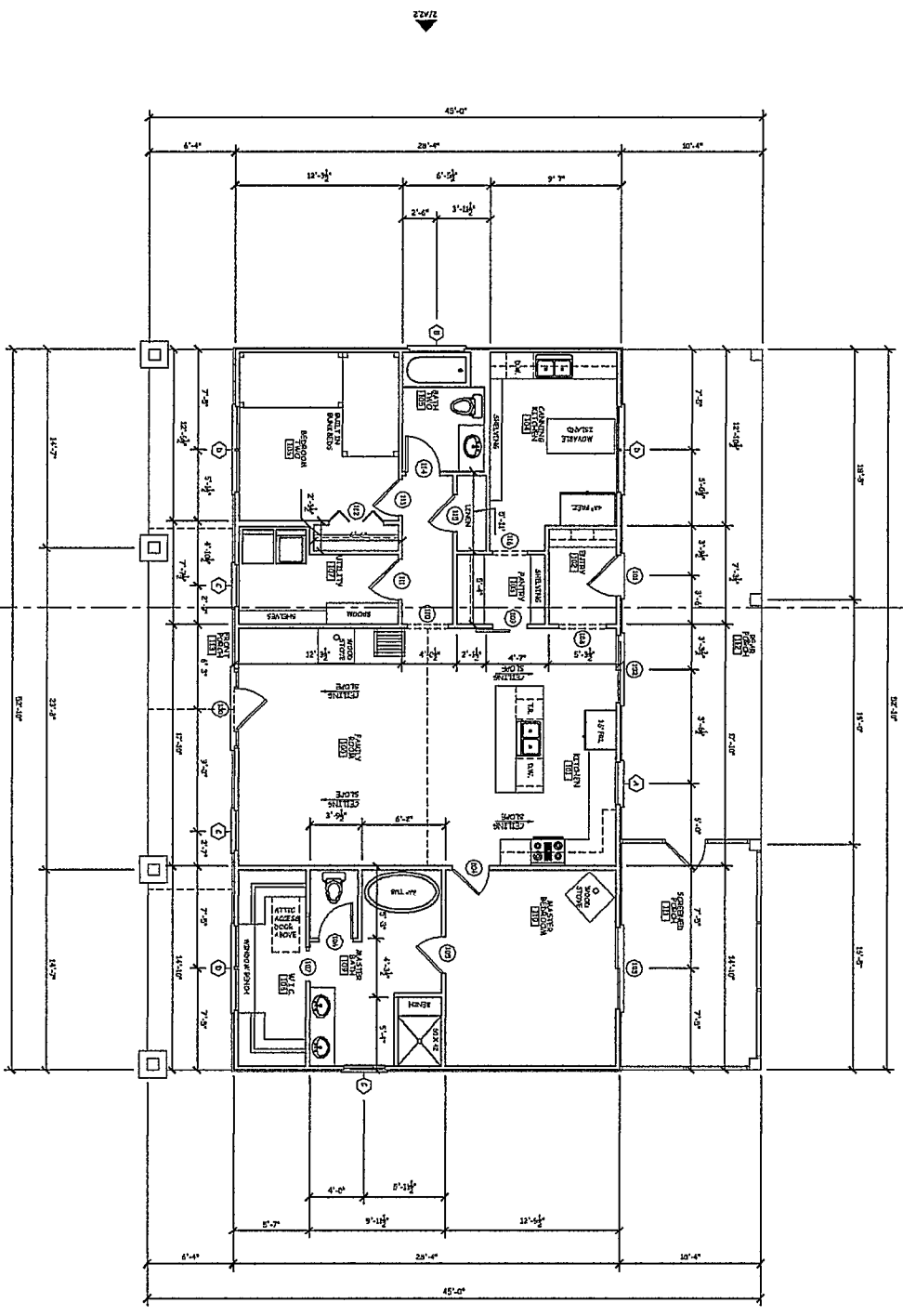
Perrell
 Date:
 Description:
 Title:
 Old No.: 20024590030
 Drawn By: OAH
 Checked By: OAH
 Date: 05/25/2023
 She: 24' x 36'
 FOUNDATION PLAN
 Sheet Number: S1.1

Copyrighted Documents
 DIVINE HOMESTEAD DESIGN
 EMAIL: DIVINEHOMESTEADDDESIGN@GMAIL.COM



DIVINE HOMESTEAD DESIGN

ISSUED FOR SINGLE BUILD ONLY



1ST - FLOOR PLAN

- DIMENSION NOTES**
1. ALL DIMENSIONS ARE TO CENTER OF FINISH UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS ARE ROUNDED TO THE NEAREST 1/2" UNLESS OTHERWISE NOTED.
 3. VERIFY ALL DIMENSIONS IN THE FIELD WITH THE ARCHITECT AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

- LEGEND**
- 2x4 WALL
 - 2x6 WALL
 - DOOR T&G
 - WINDOW T&G

Project: PERRELL
 Date: 05/29/2023
 Description: 1ST FLOOR PLAN
 Checked By: DJH
 Drawn By: DJH
 Date: 05/29/2023
 Sheet: 24' x 36'
 Scale: 1/8" = 1'-0"
 Sheet Title: 1ST FLOOR PLAN
 Sheet Number: A11

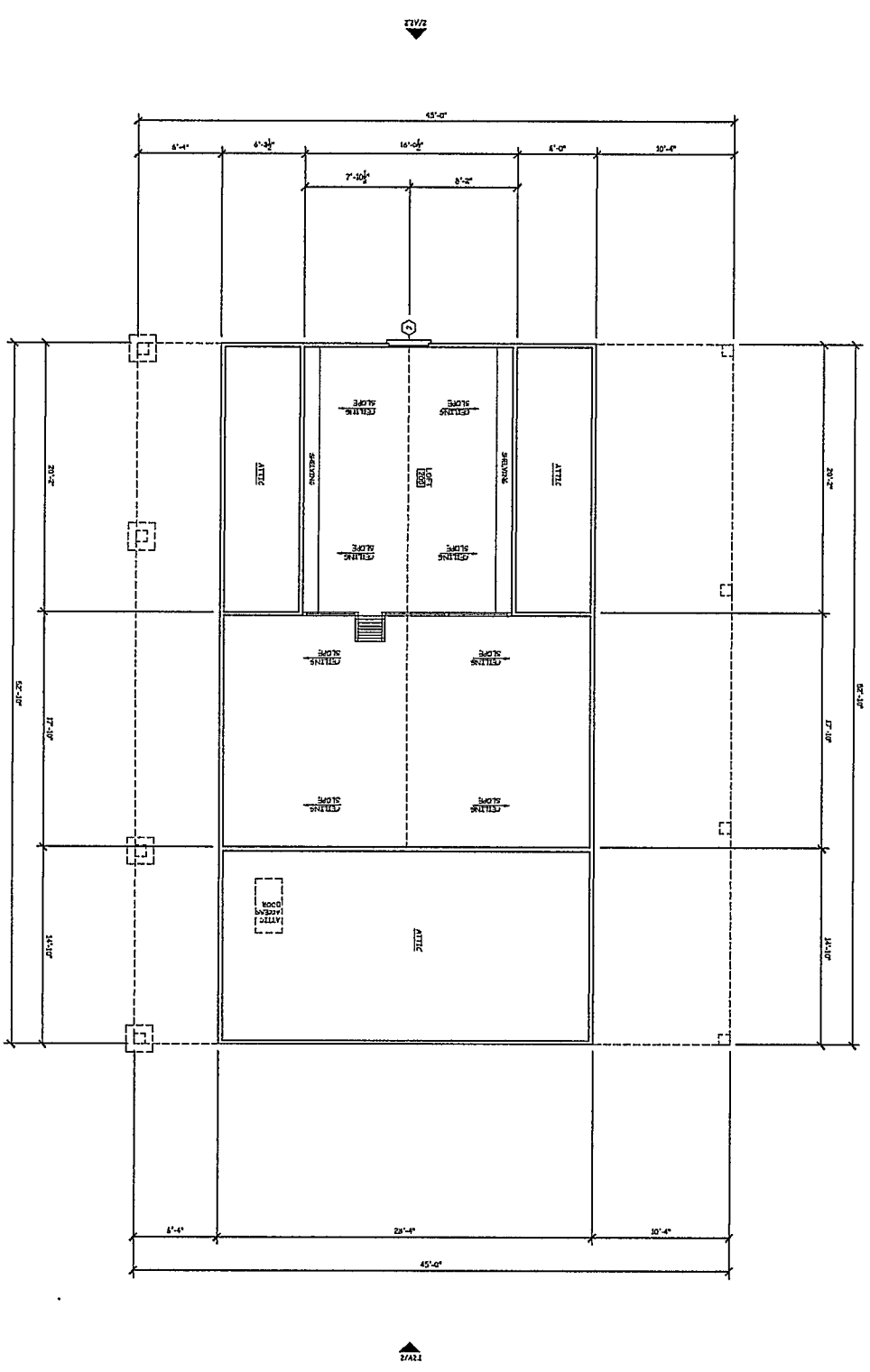
PERRELL
 230524590030



DIVINE HOMESTEAD
DESIGN
 EMAIL: DIVINEHOMESTEADDESIGN@GMAIL.COM

COPYRIGHTED DOCUMENTS
 THIS DOCUMENT IS THE PROPERTY OF DIVINE HOMESTEAD DESIGN AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DIVINE HOMESTEAD DESIGN.

ISSUED FOR SINGLE BUILD ONLY



2ND - FLOOR PLAN

- DIMENSION NOTES:**
1. ALL DIMENSIONS ARE TO OUTLINE OF FINISH UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS ARE ROUNDED TO THE NEAREST 1/8" FOR CONCRETE AND TO THE NEAREST 1/4" FOR FRAMING.
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

- FLOOR MARKINGS:**
- 2X4 WALL
 - 2X6 WALL
 - DOOR
 - WINDOW

Order No.: 230524590030
 Drawn By: DAH
 Checked By: DAH
 Date: 05/29/2023
 Size: 24" x 36"

Revision:
 Date:
 Description:

Sheet Title:
 2ND FLOOR PLAN

Sheet Number:
 A12



DIVINE HOMESTEAD DESIGN

COPYRIGHTED DOCUMENTS
 ALL RIGHTS RESERVED
 NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM DIVINE HOMESTEAD DESIGN