

FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**AREAS:**

FIRST FLOOR =	1799 SF
BONUS =	338 SF
GARAGE =	564 SF
FRONT PORCH =	206 SF
LANAI =	254 SF
<b>TOTAL COVERED AREA =</b>	<b>3161 SF</b>

**WALL TYPES**

	2x4'S @ 16" O.C.
	2x4'S @ 16" O.C. W/ 3 1/2" BATT INSUL.
	2x6'S @ 16" O.C. W/ 5 1/2" BATT INSUL.
	2x4'S @ 16" O.C. W/ 5/8" GYP. BD. EACH SIDE
	2x6'S @ 16" O.C. - BALLOON FRAME
	2x6'S @ 16" O.C. W/ BRICK VENEER

**\*\*NOTE\*\***  
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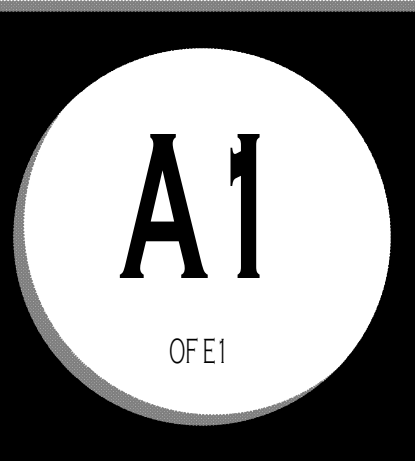
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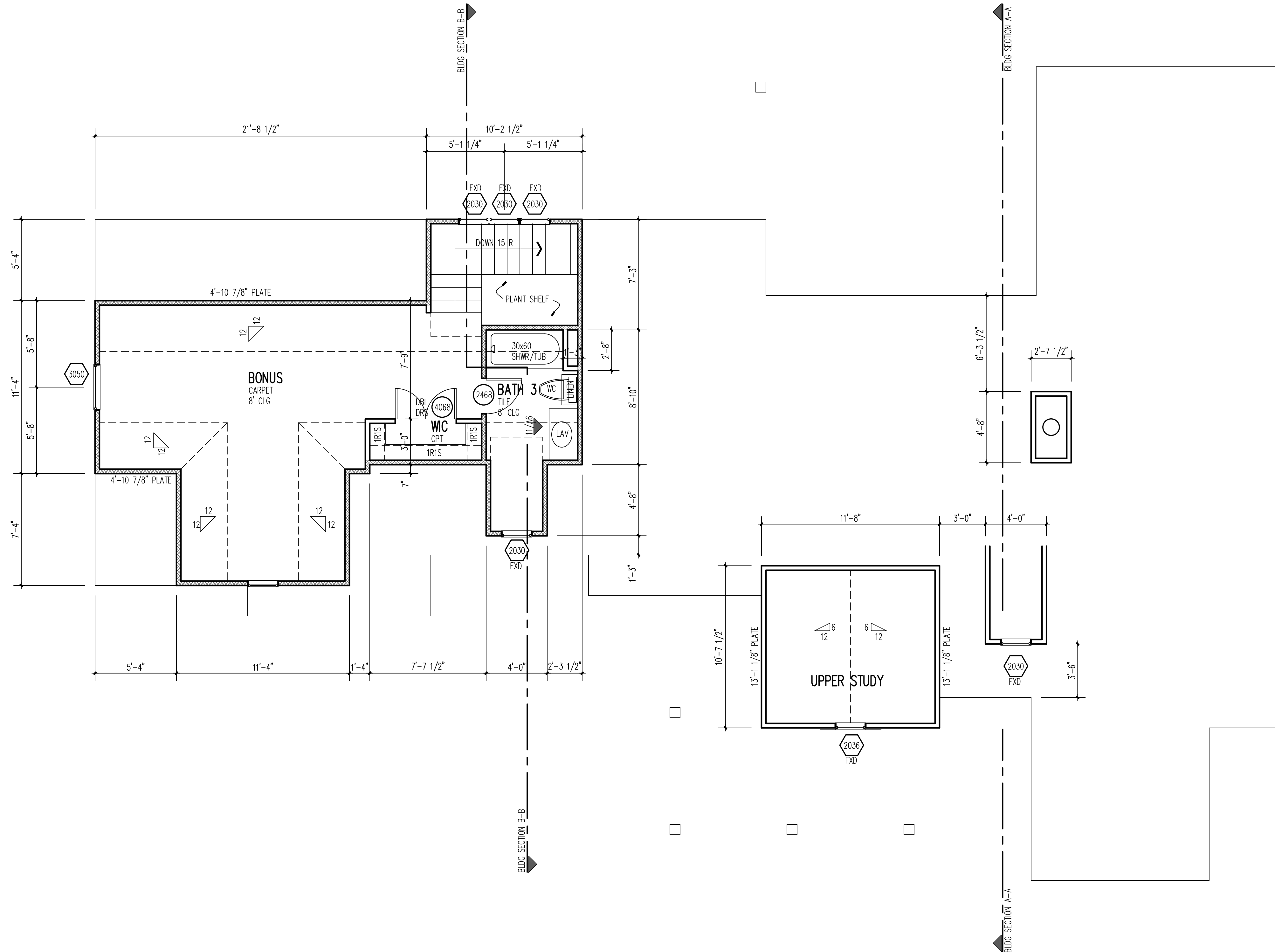
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**SECOND FLOOR PLAN**  
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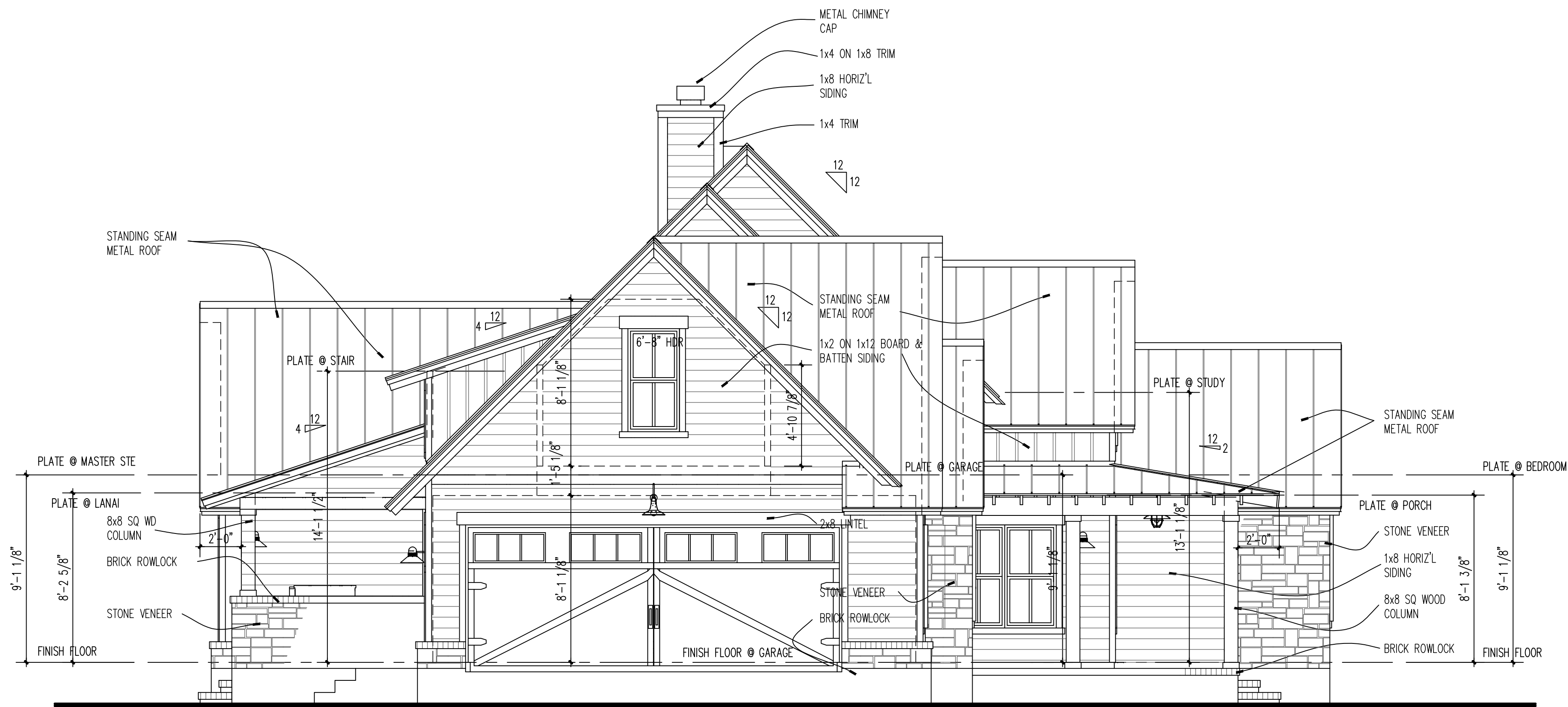
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LEFT ELEVATION

SCALE: 1/4" = 1'-0"

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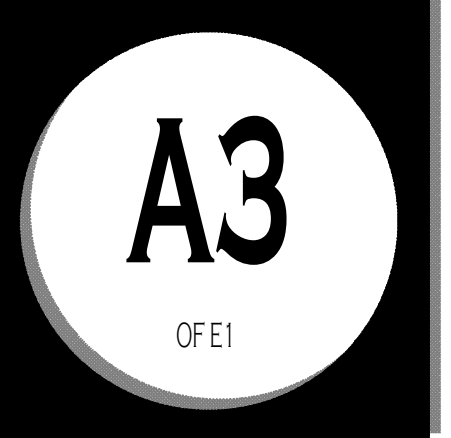
FRONT ELEVATION

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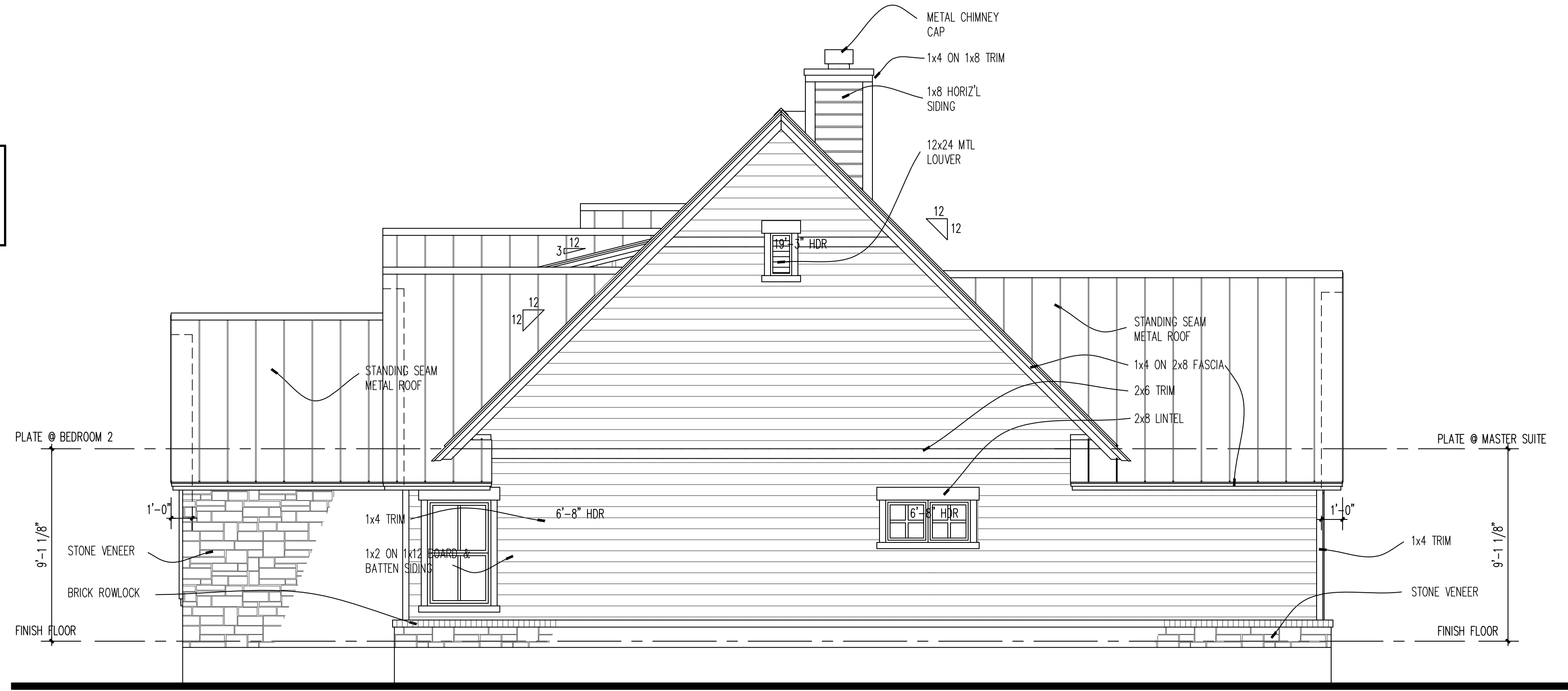
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**L'ATTESA DIVITA**  
 PLANNO. 2091

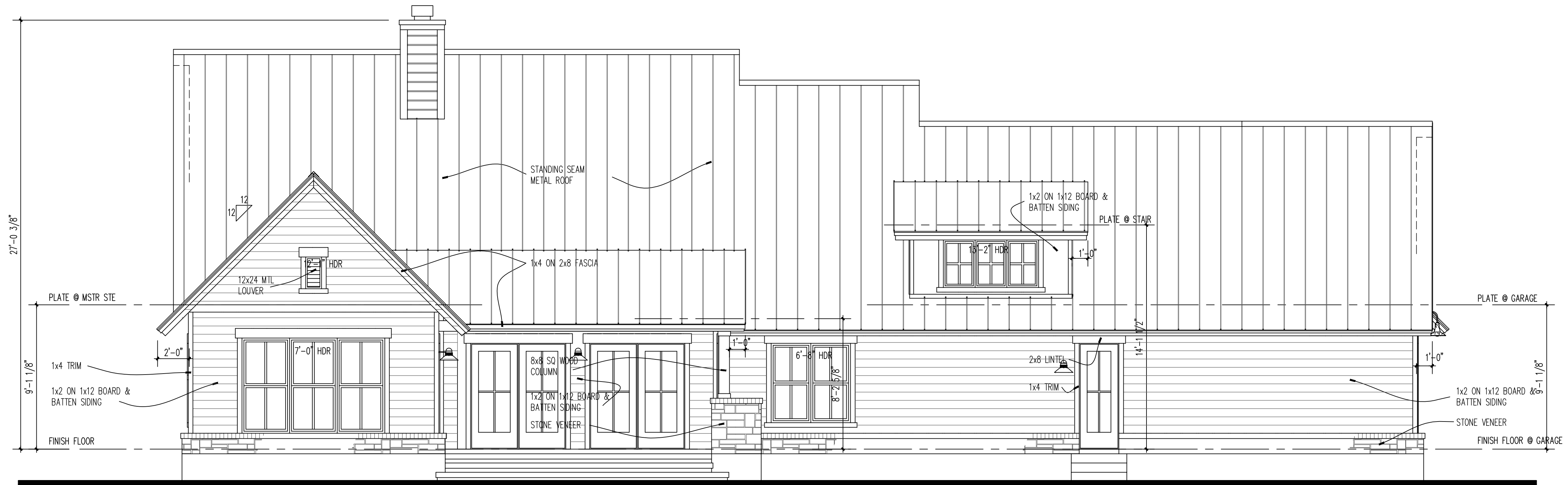
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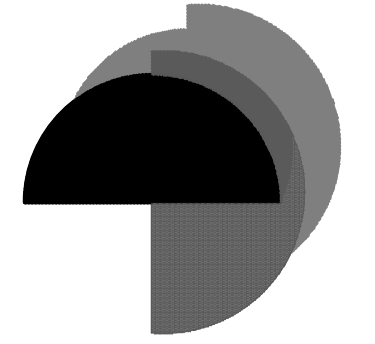
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**RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



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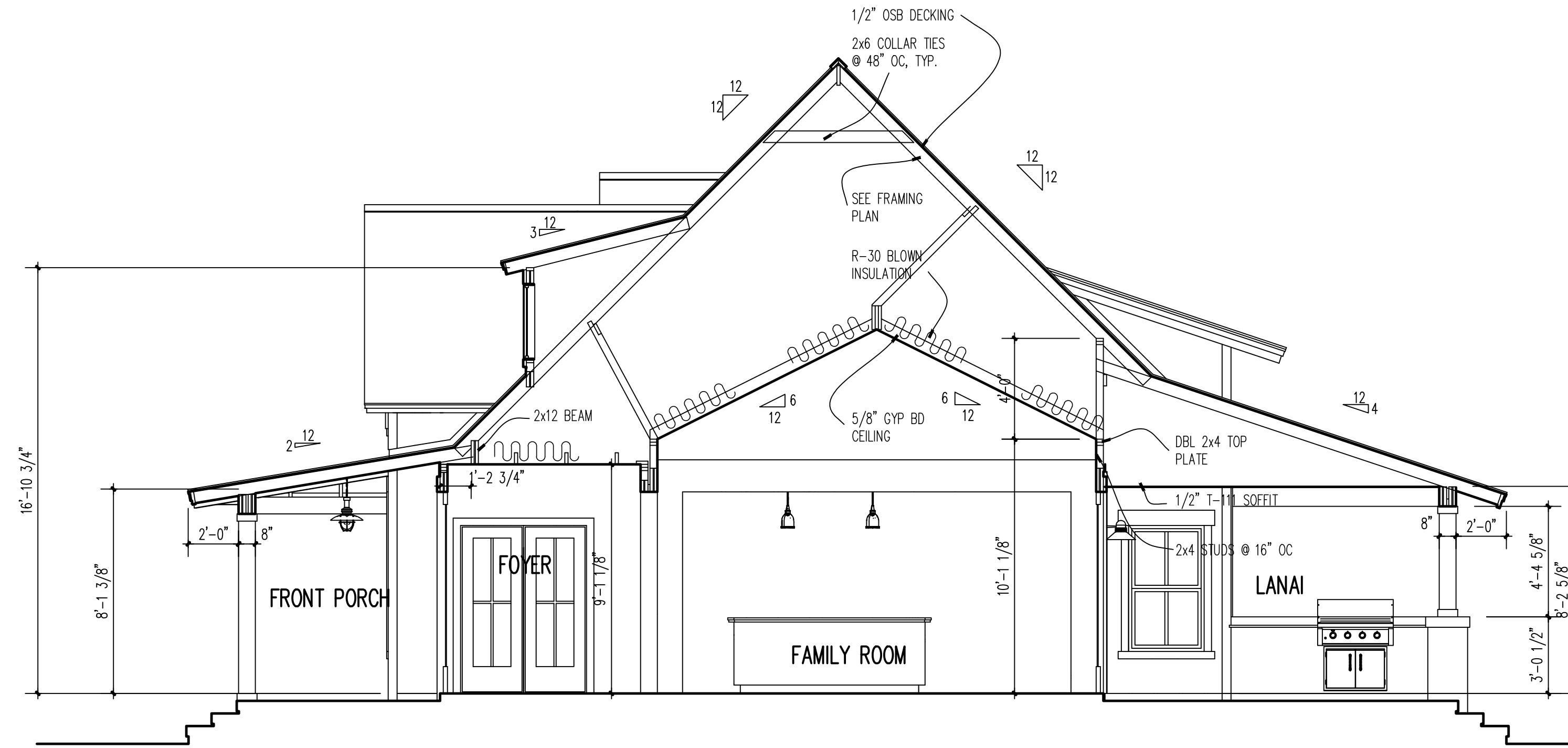
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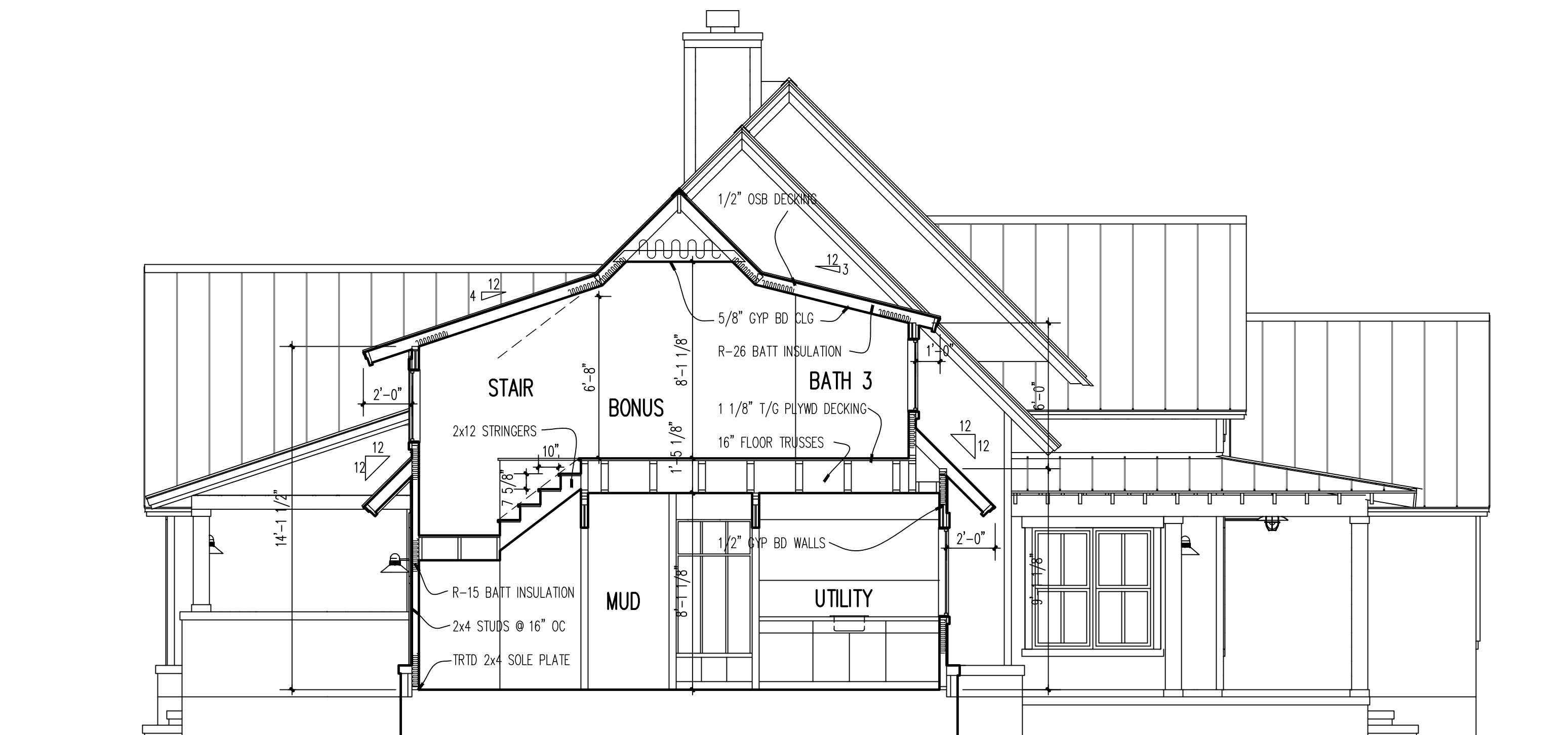
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**BUILDING SECTION A-A**  
 SCALE: 1/4" = 1'-0"



**BUILDING SECTION B-B**  
 SCALE: 1/4" = 1'-0"

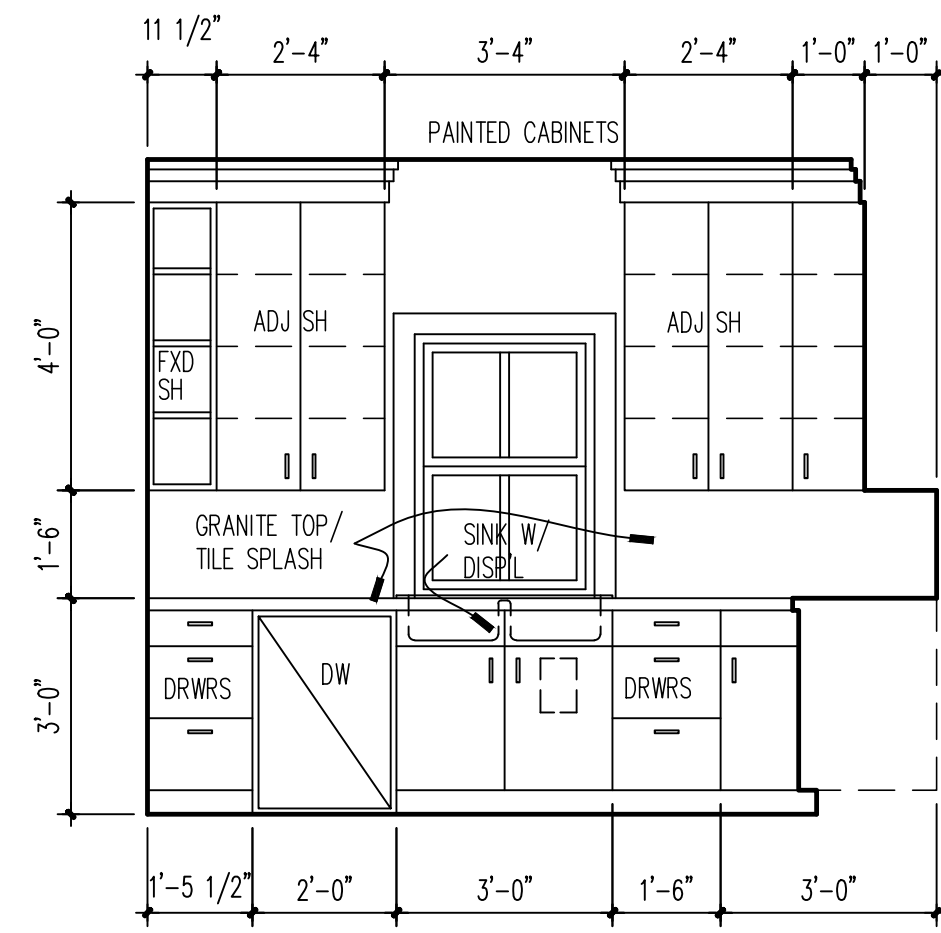
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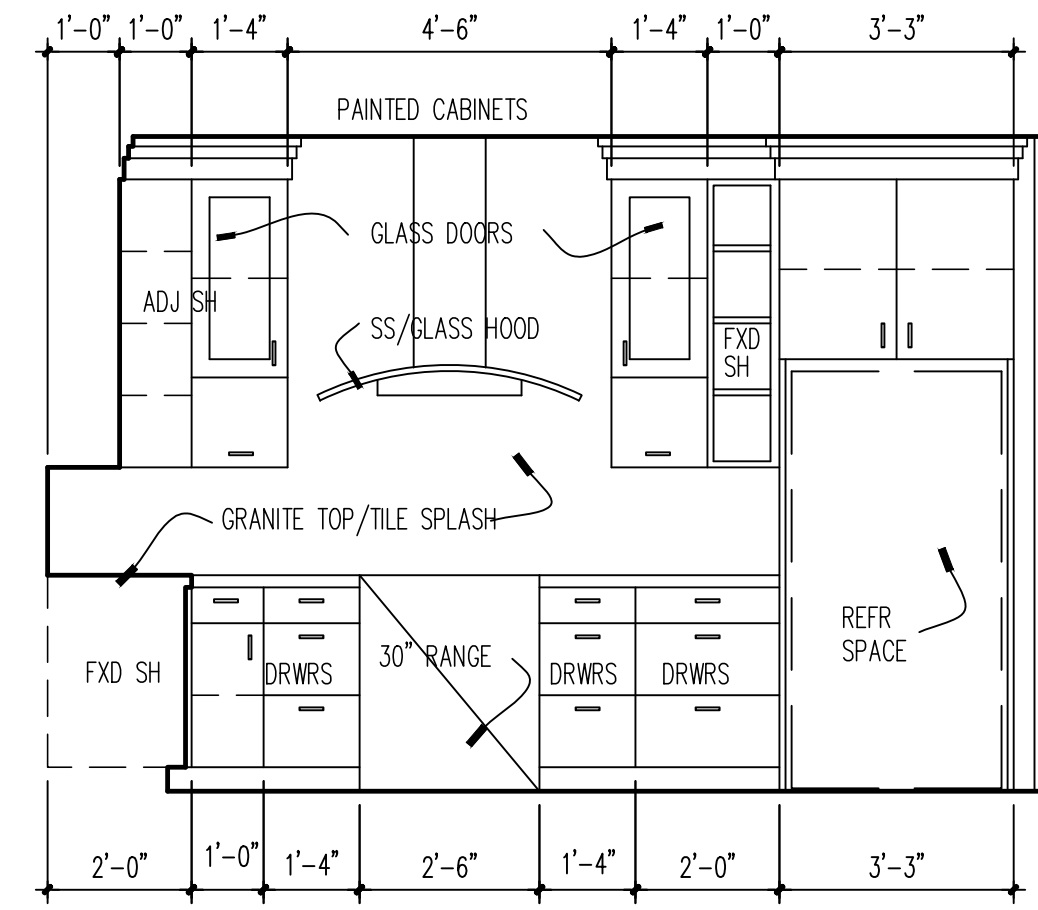
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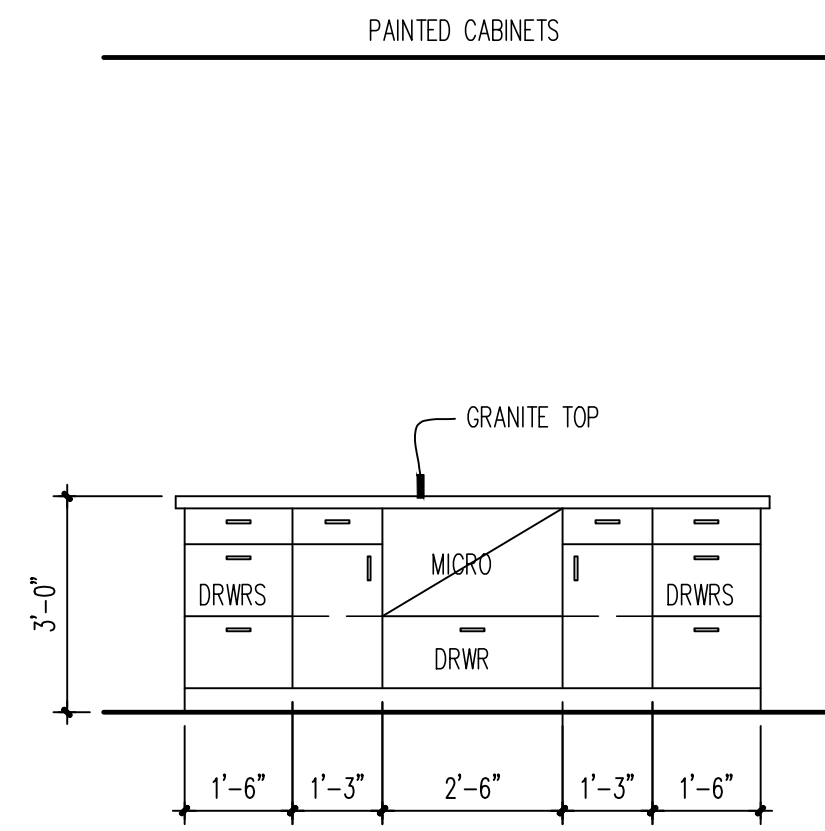
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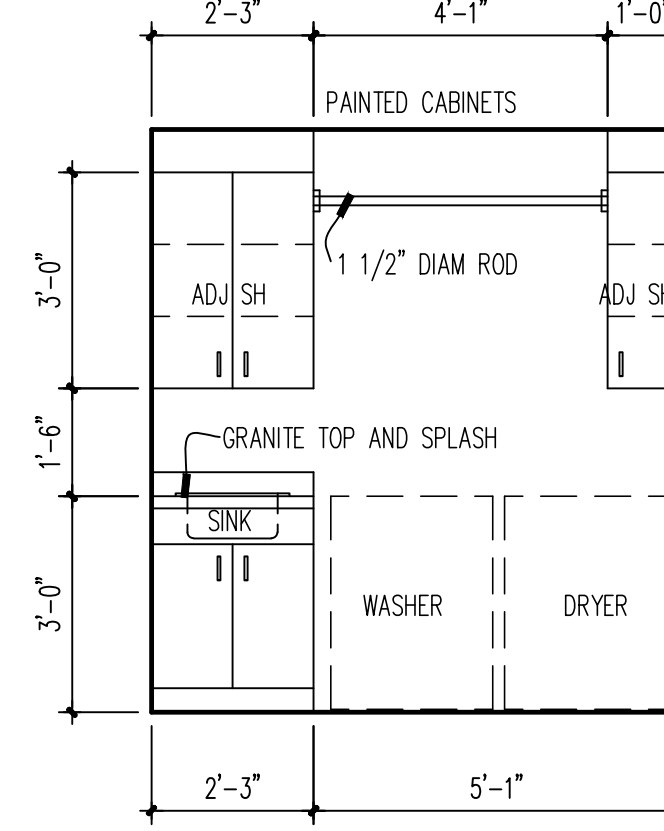
01  
A6 KITCHEN  
3/8" = 1'-0"



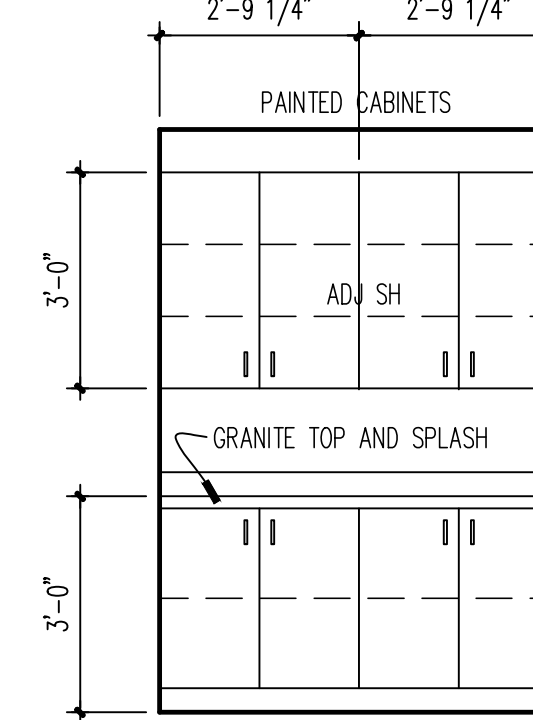
02  
A6 KITCHEN  
3/8" = 1'-0"



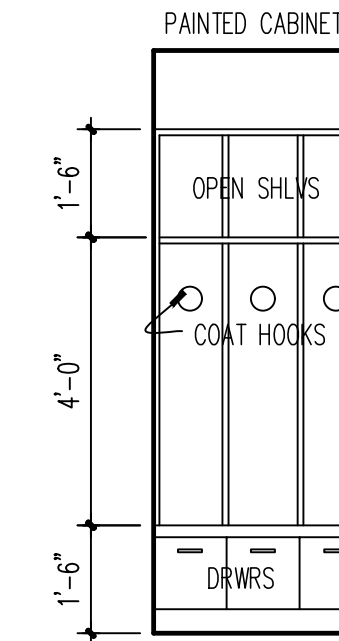
03  
A6 KITCHEN  
3/8" = 1'-0"



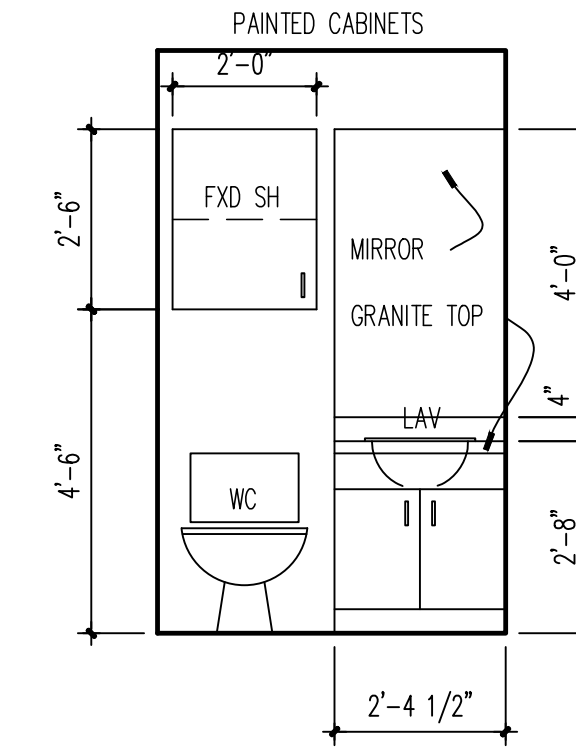
04  
A6 UTILITY  
3/8" = 1'-0"



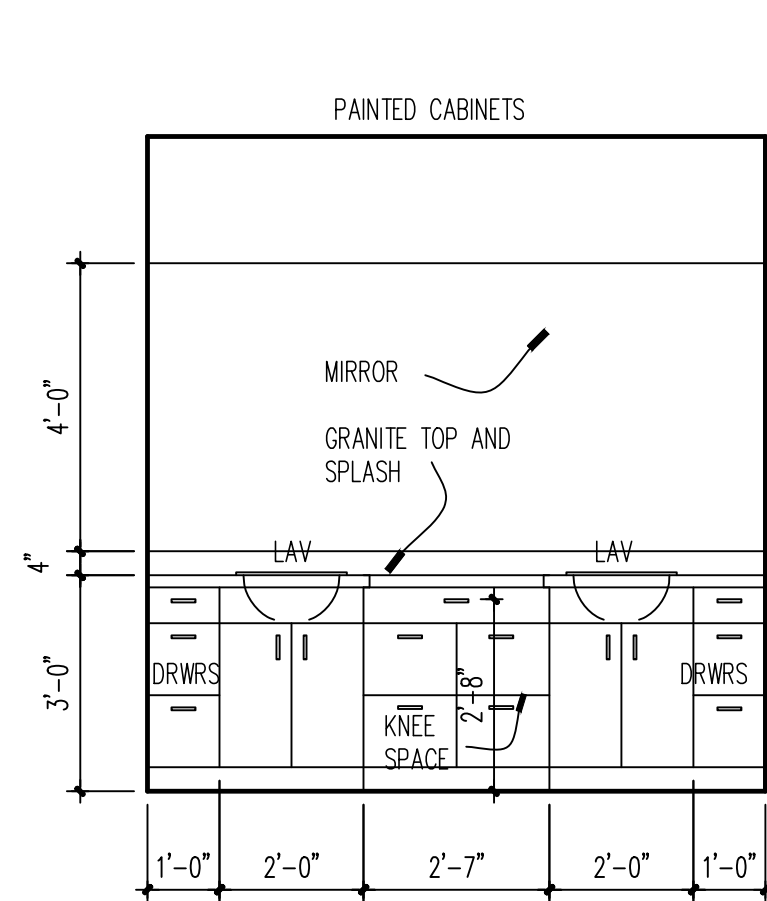
05  
A6 UTILITY  
3/8" = 1'-0"



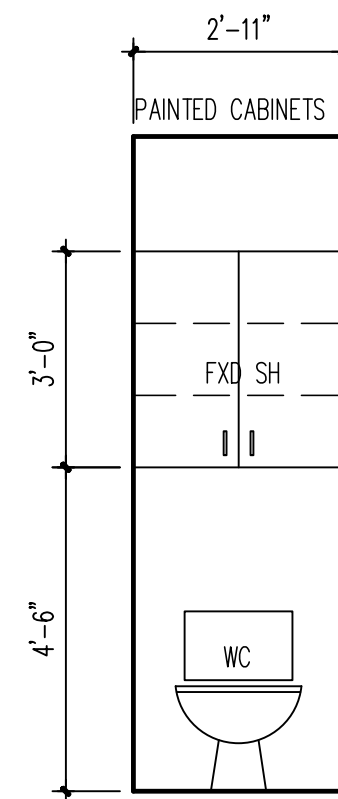
06  
A6 MUD RM  
3/8" = 1'-0"



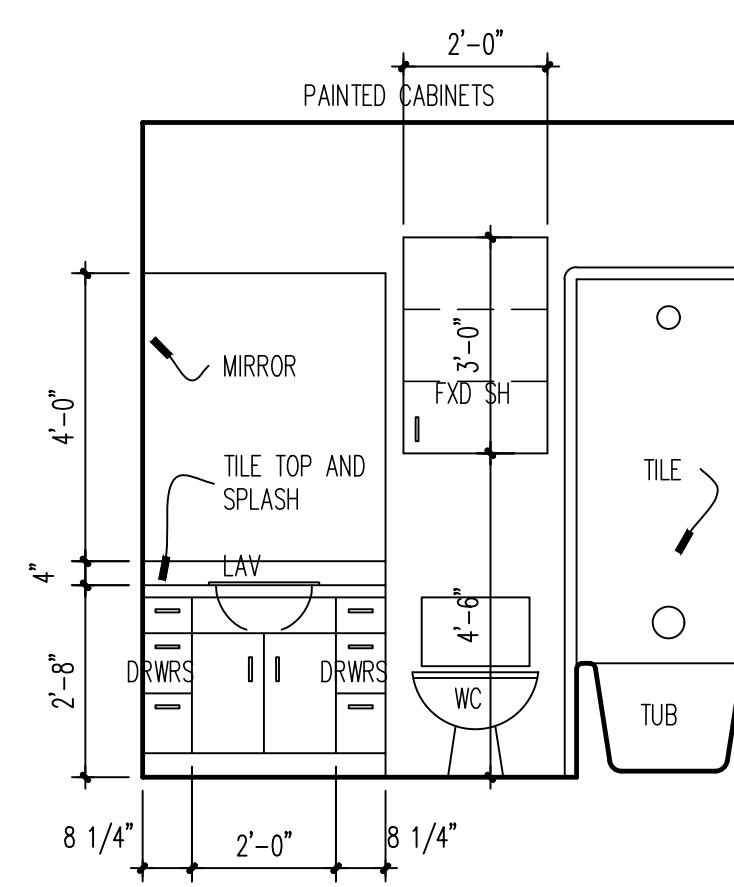
07  
A6 POWDER  
3/8" = 1'-0"



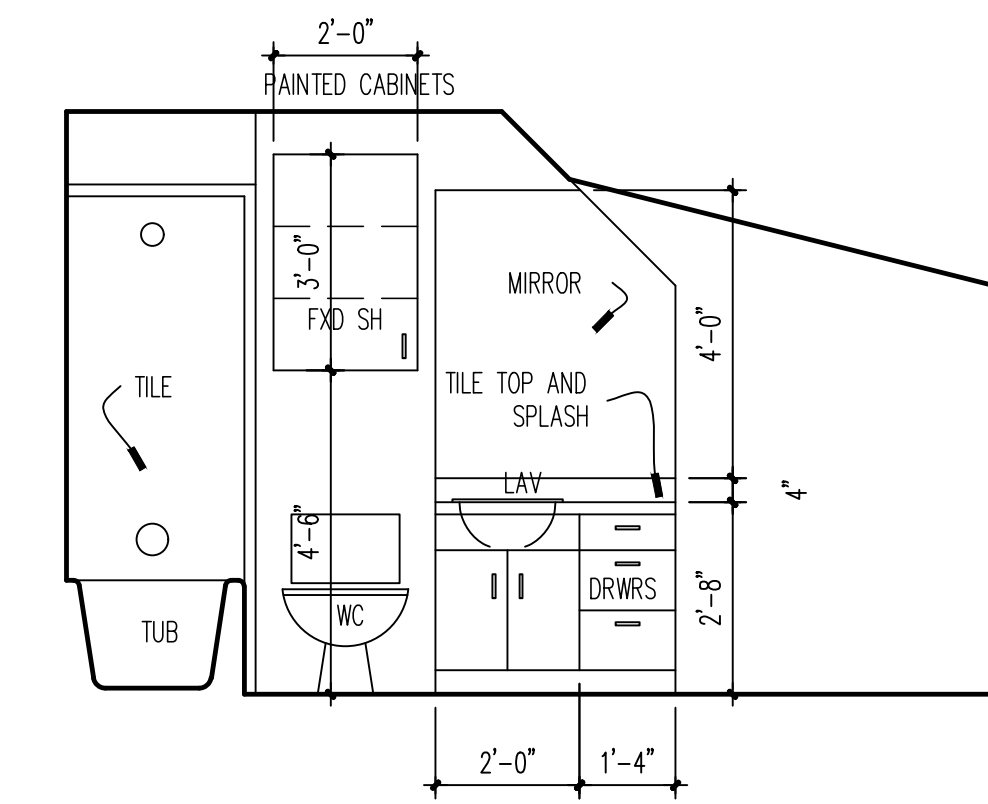
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A6 MSTR BATH  
3/8" = 1'-0"



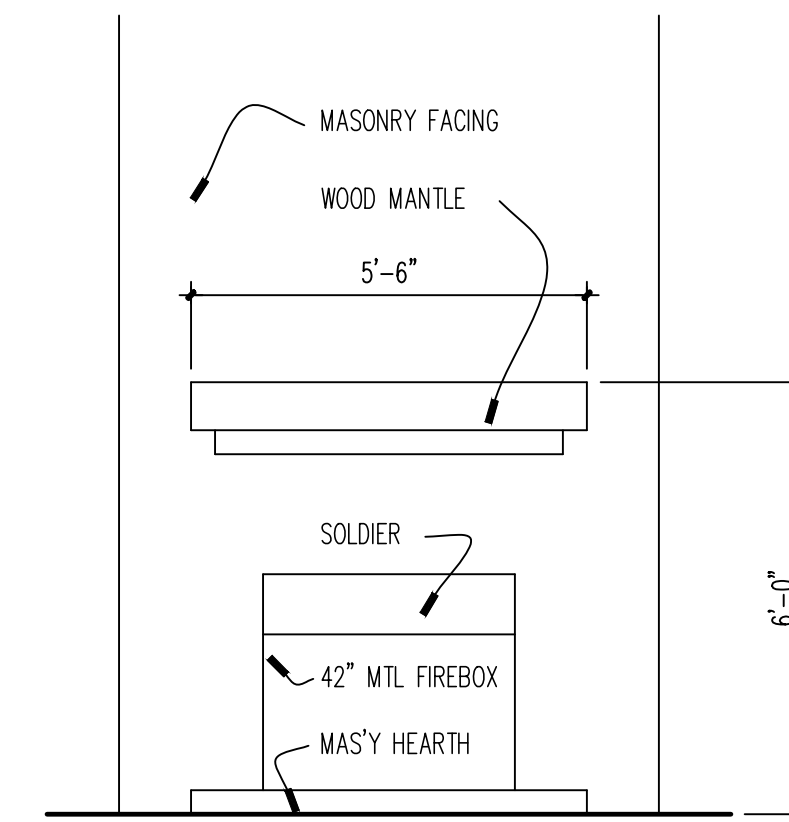
09  
A6 MSTR BATH  
3/8" = 1'-0"



10  
A6 BATH 2  
3/8" = 1'-0"



11  
A6 BATH 3  
3/8" = 1'-0"



12  
A6 FAMILY  
3/8" = 1'-0"

## CABINET ELEVATIONS

SCALE: 1/4" = 1'-0"

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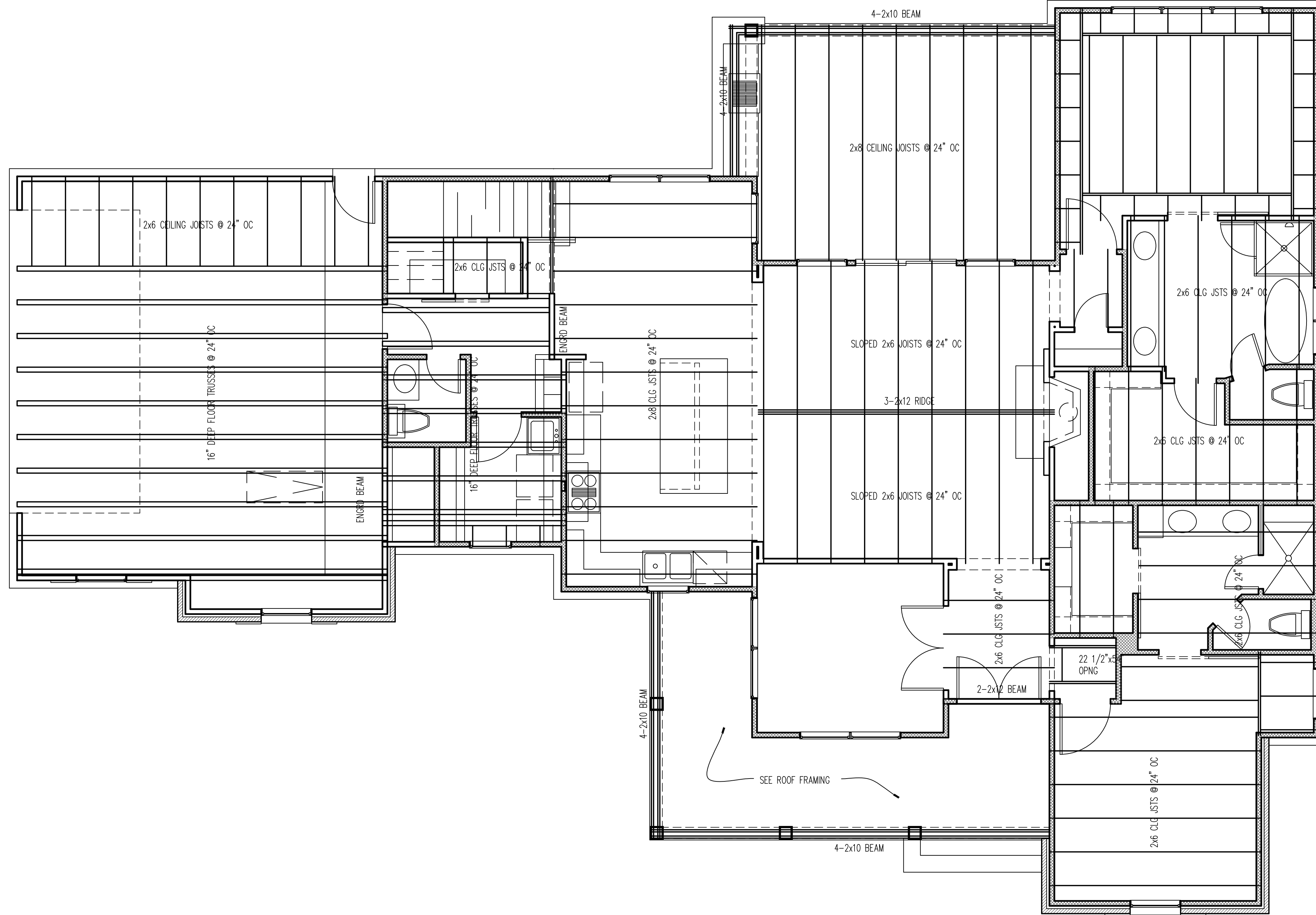
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**A6**  
OF E1

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**L'ATTESA DIVITA**  
PLANNO. 2091



**SECOND FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

HEADER SCHEDULE	
FIRST FLOOR:	
OPNG. SIZE	
2'-3"	2-2x10'S
4'-UP	2-2x12'S
SECOND FLOOR:	
OPNG. SIZE	
2'-3"	2-2x6'S
4'	2-2x8'S
5'	2-2x10'S
6'-UP	2-2x12'S
ALL LUMBER INDICATED SHALL BE #2 SYP, KD SYP, FIR OR SPRUCE	

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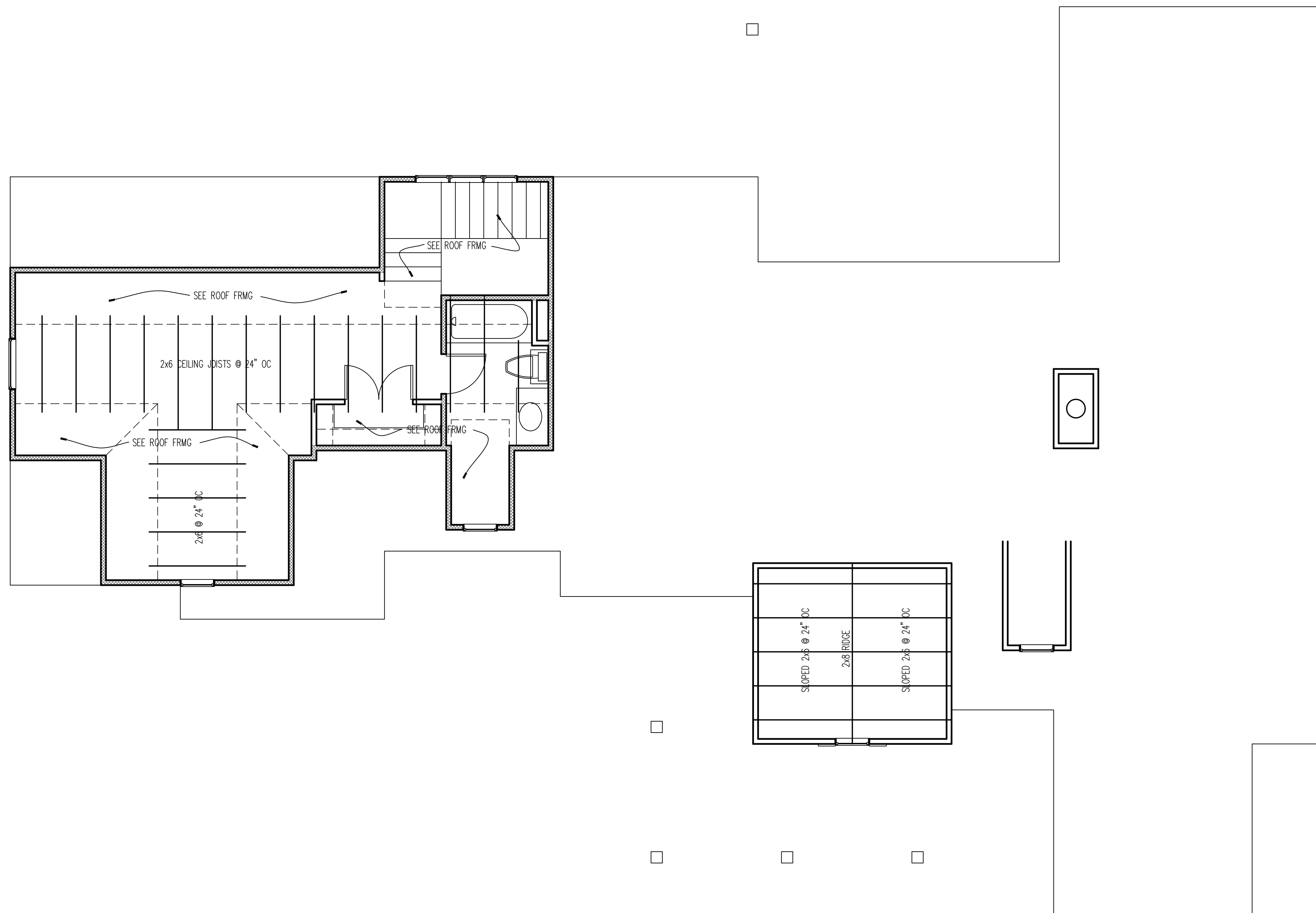
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**CEILING FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

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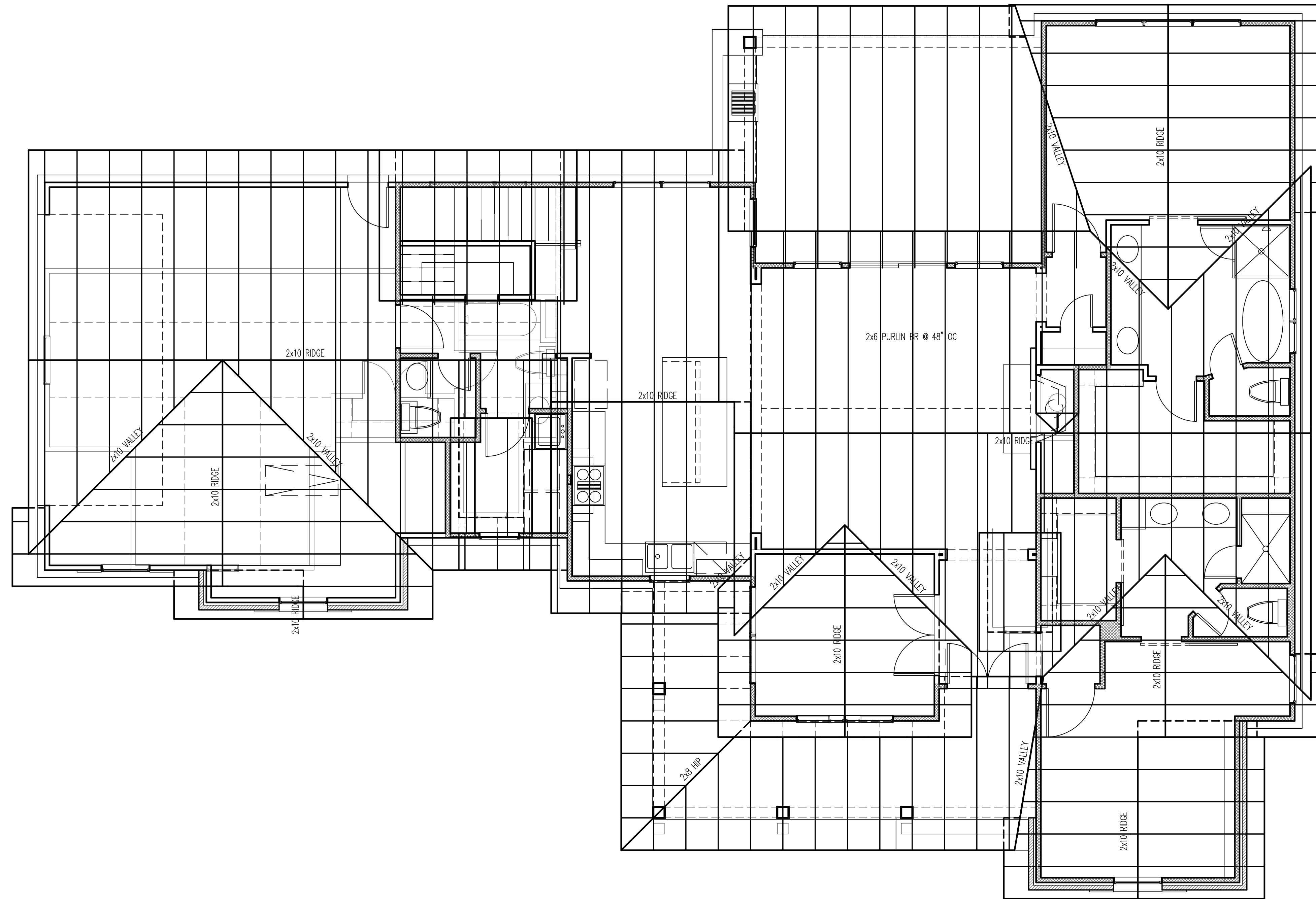
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**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

**FRAMING NOTES:**

1. ALL MEMBERS SHALL BE NO. 2 GRADE SYP OR SFP LUMBER.
2. ALL FASCIAS ARE 2x8 GROOVED SFP OR BETTER.
3. ALL RAFTERS ARE 2x6 @ 24" O.C.
4. BRACE ALL INTERSECTIONS OF RIDGE, HIP, OR VALLEYS DOWN TO LOAD BEARING WALLS.
5. ALL TRUSSES SHALL BE DESIGNED BY A LOCAL ENGINEER, PREFERABLY A TRUSS MANUFACTURER.

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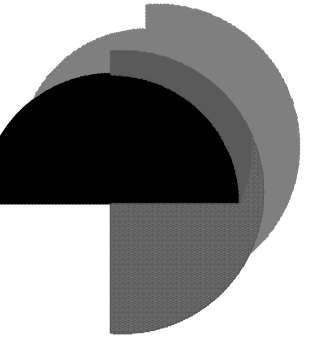
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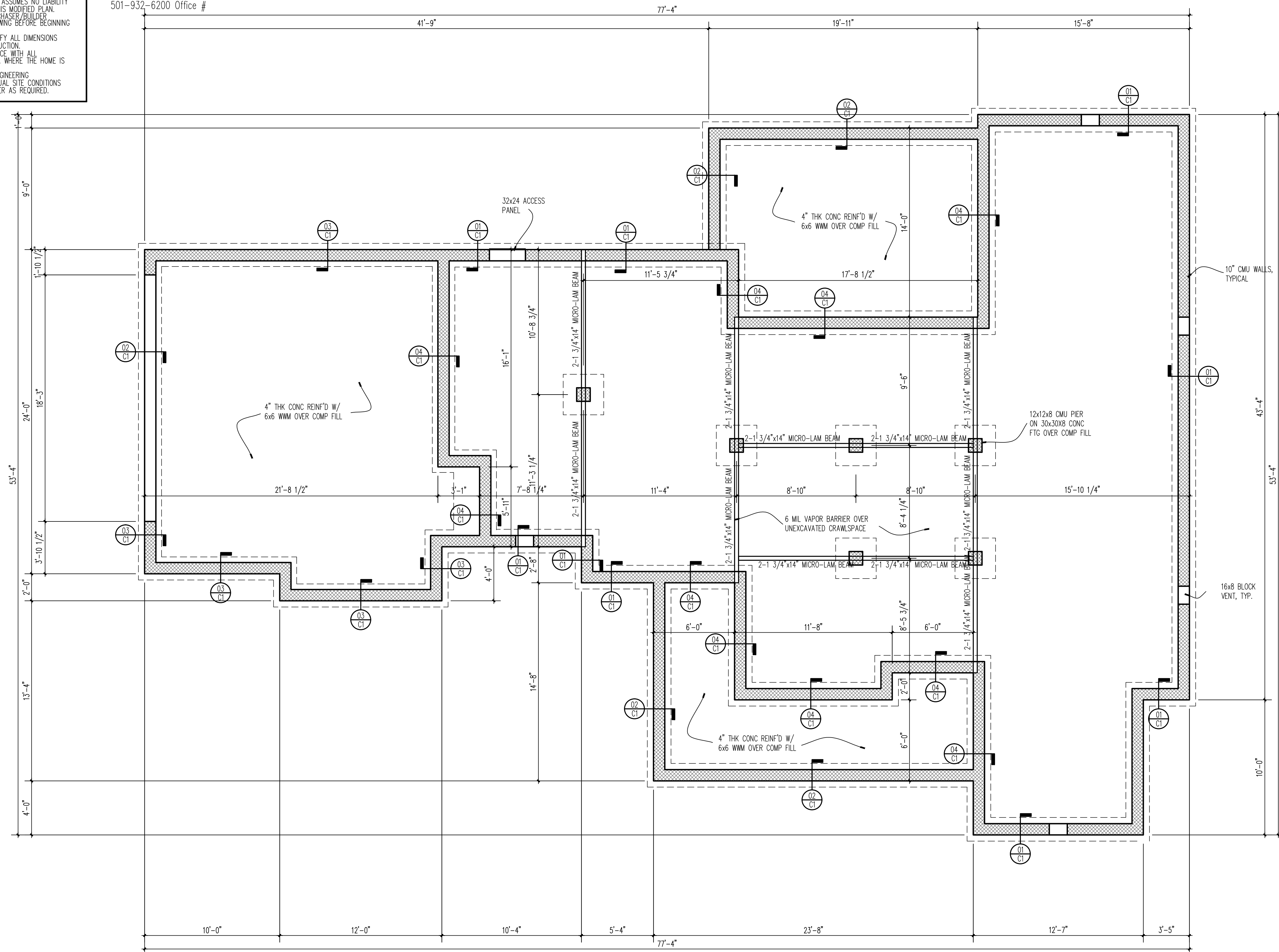


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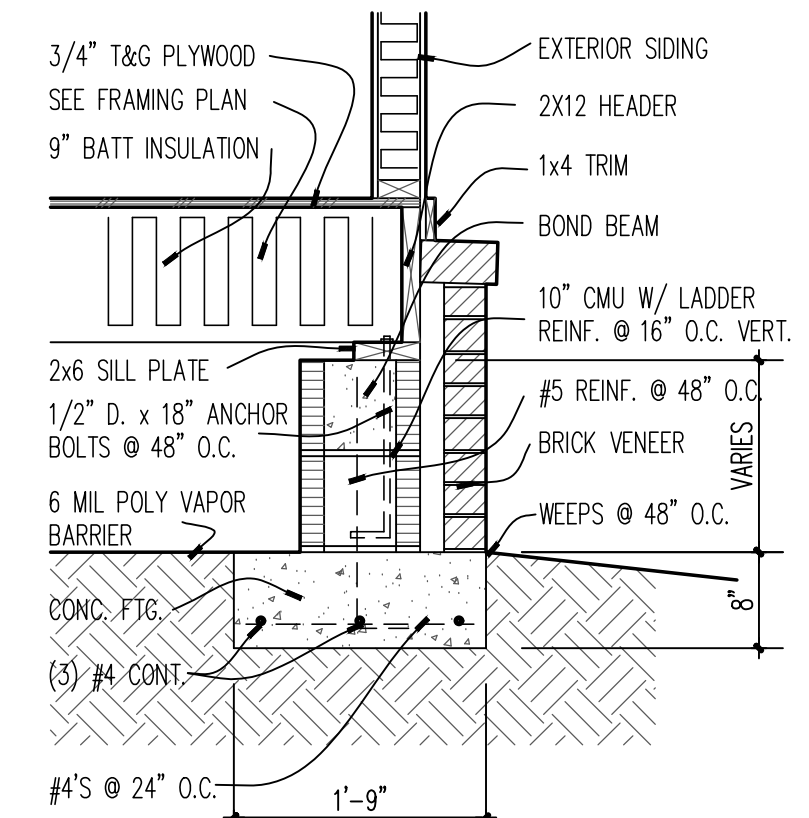
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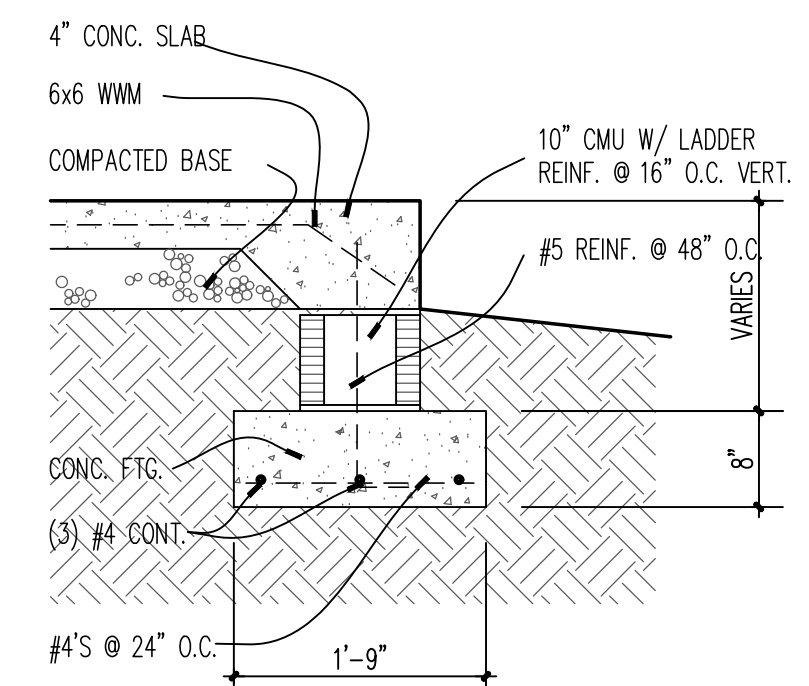
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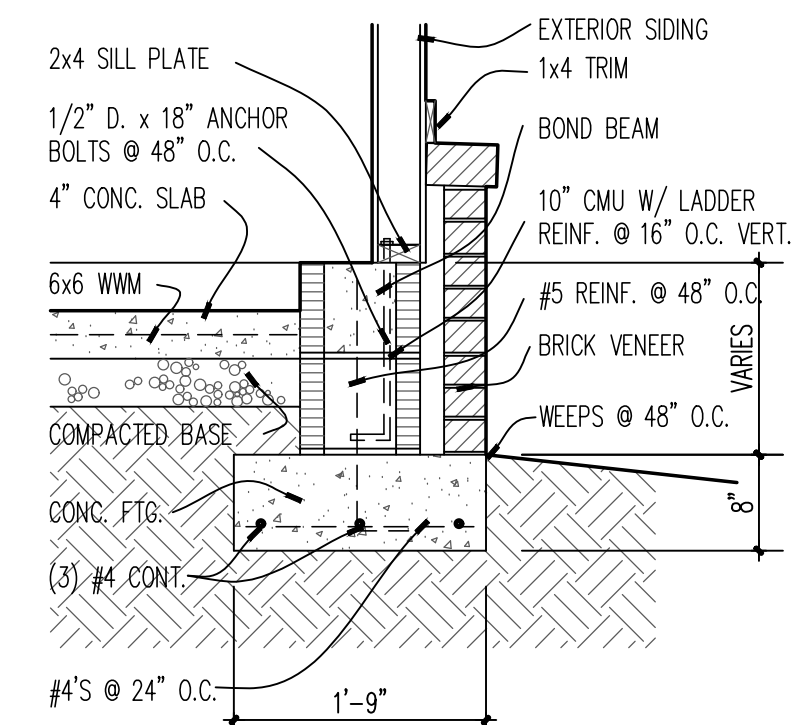
**CRAWLSPACE PLAN**  
SCALE: 1/4" = 1'-0"



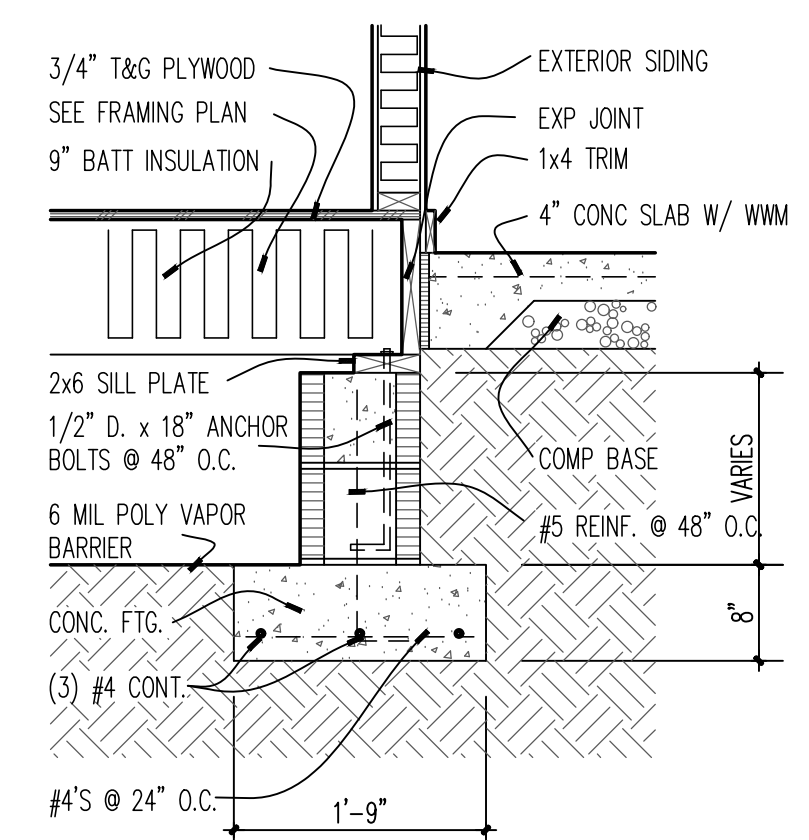
**01 FTG DETAIL**  
3/4" = 1'-0"



**02 FTG DETAIL**  
3/4" = 1'-0"



**03 FTG DETAIL**  
3/4" = 1'-0"



**04 FTG DETAIL**  
3/4" = 1'-0"

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**ARCHITECT**  
A PROFESSIONAL LIMITED LIABILITY CORPORATION  
2725 Highland Trail - Leander, Texas - 78641  
(512) 260-2750

**L'ATTESA DIVITA**  
PLANNING 2091

PROJECT:  
REVISIONS:

DATE:  
NOVEMBER 15, 2009

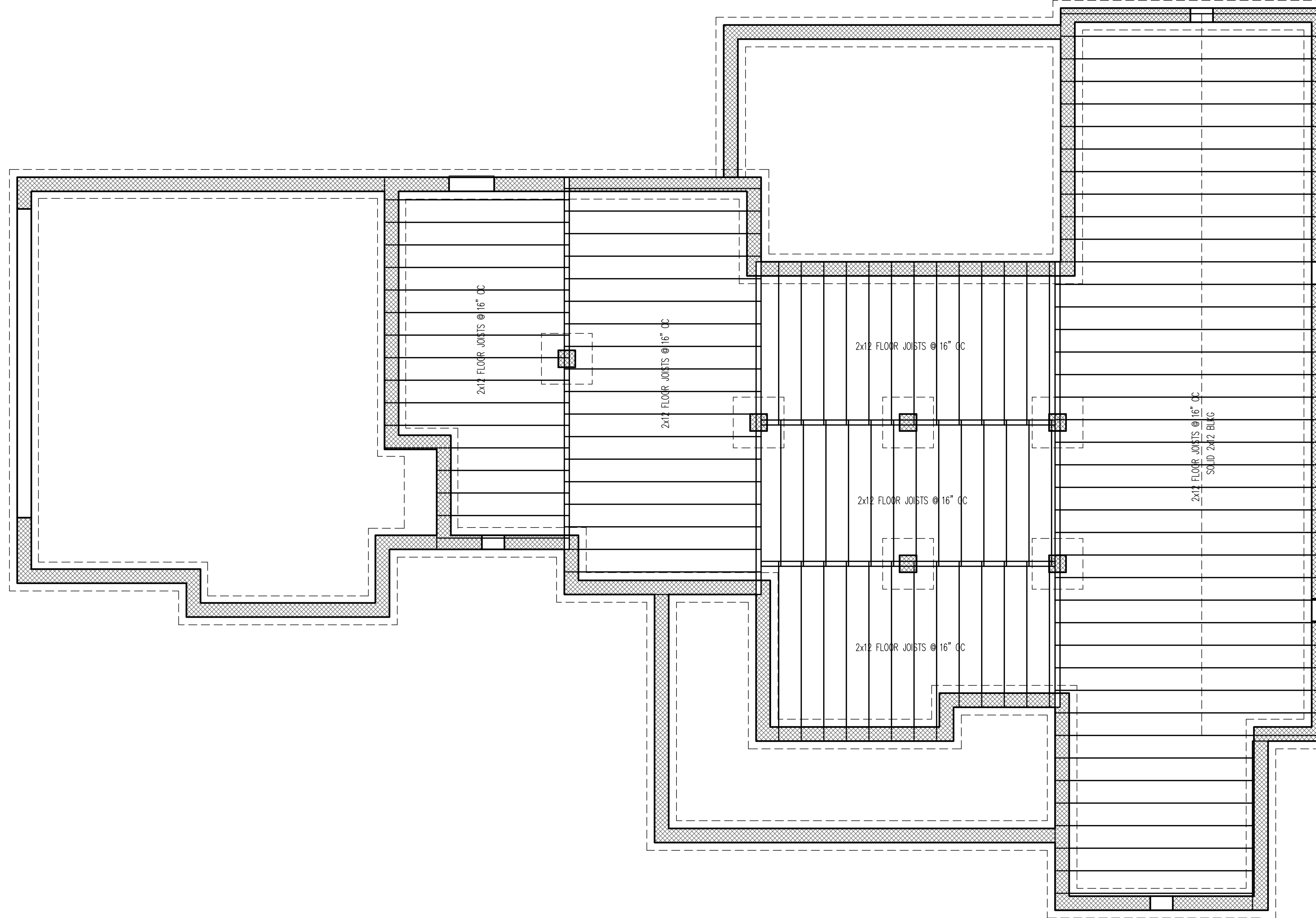
**C1**  
OF C2

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# FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

**NOTES:**

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2. PROVIDE SOLID BLKG. @ MID-SPAN OR @ 8'-6" O.C. MAX. SPACING.
3. CONTRACTOR SHALL VERIFY ALL BEAM SIZES WITH ENGINEER.
4. PROVIDE REINF. @ CMU WALLS OF #5'S @ 48" O.C. IN FULLY GROUTED CELLS.
5. PROVIDE 3-#5'S CONT. @ BOT. OF ALL CONT. CONC. FOOTINGS.
6. PROVIDE 3-#5'S EA. WAY @ BOT. OF SPOT CONC. FTGS.

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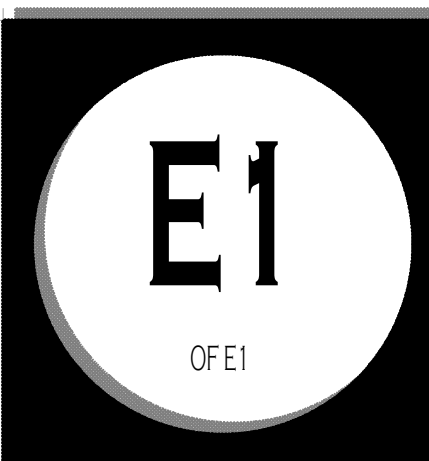
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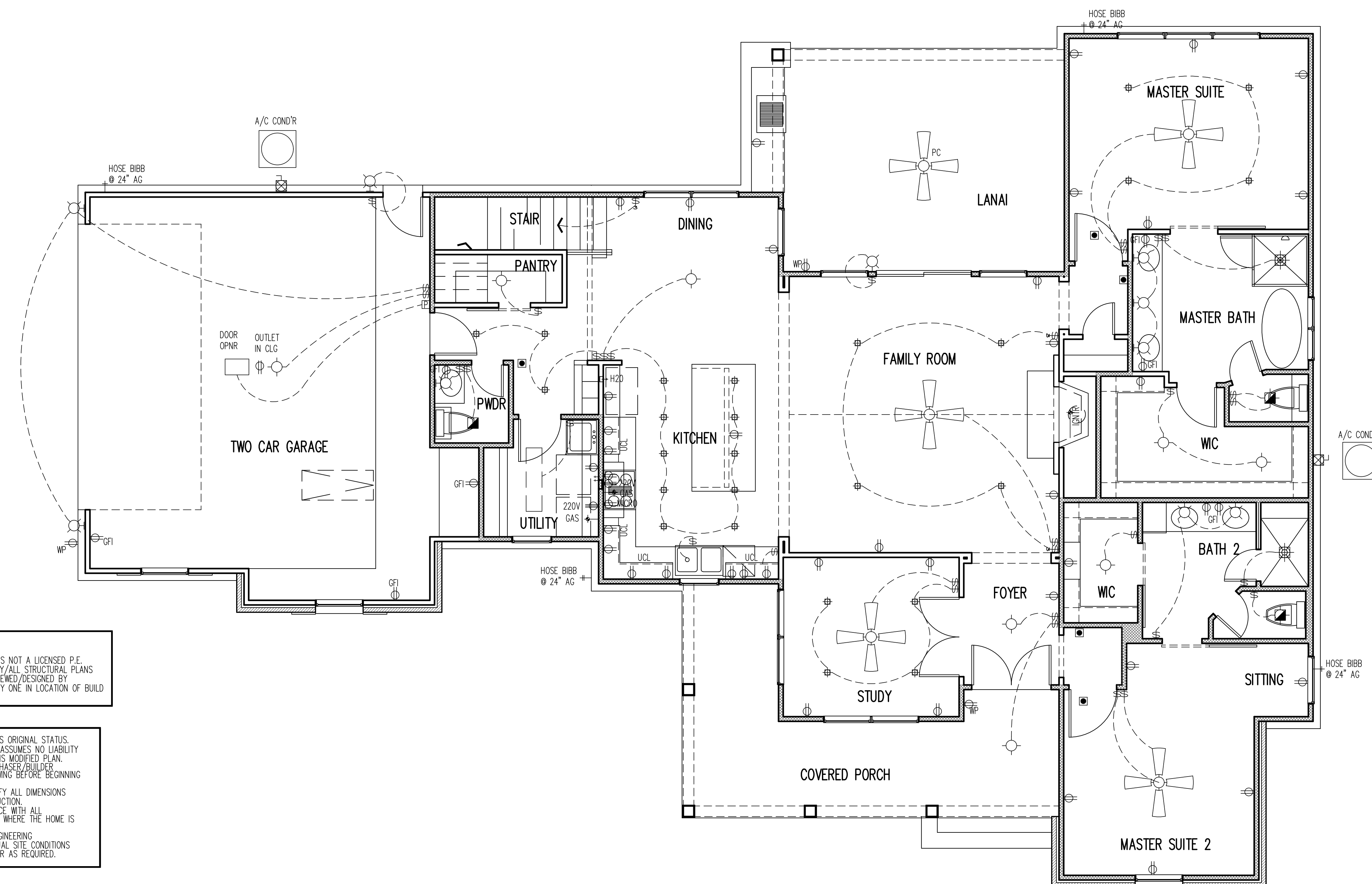
DATE:

MAY 25, 2021



LEGEND

- ⊙ 110v. FLOOR OUTLET
- ⊕ 110v. DUPLEX OUTLET
- ⊖ WP WATERPROOF OUTLET
- ⊖ GFI GROUND FAULT INSULATED
- ⊖ 220 220v. OUTLET
- ⊕ 2 2 WAY SWITCH
- ⊕ 3 3 WAY SWITCH
- ⊕ 4 4 WAY SWITCH
- ⊕ 5 DIMMER SWITCH
- ○ ○ ○ ○ GENERAL PURPOSE LTG.
- ⊖ WALL BRACKET LTG.
- ○ ○ ○ ○ RECESSED CAN LTG.
- ▭ FLOURESCENT LTG.
- ▭ DOUBLE FLOOD LTG.
- ▭ FLOURESCENT TUBE
- SMOKE DETECTOR
- ⊕ GAS CONNECTION
- ⊕ HOSE BIBB
- ⊕ CEILING FAN
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN/LIGHT
- ⊕ CHIMES
- ⊕ JUNCTION BOX
- ⊕ PHONE JACK
- ⊕ HEATER
- ⊕ A/C DISCONNECT
- ⊕ ICE MAKER CONNECTION
- ⊕ WASHER CONNECTIONS
- ⊕ CABLE TV
- ⊕ THERMOSTAT
- ⊕ PUSH BUTTON
- ⊕ MINI RECESSED CAN LTG.



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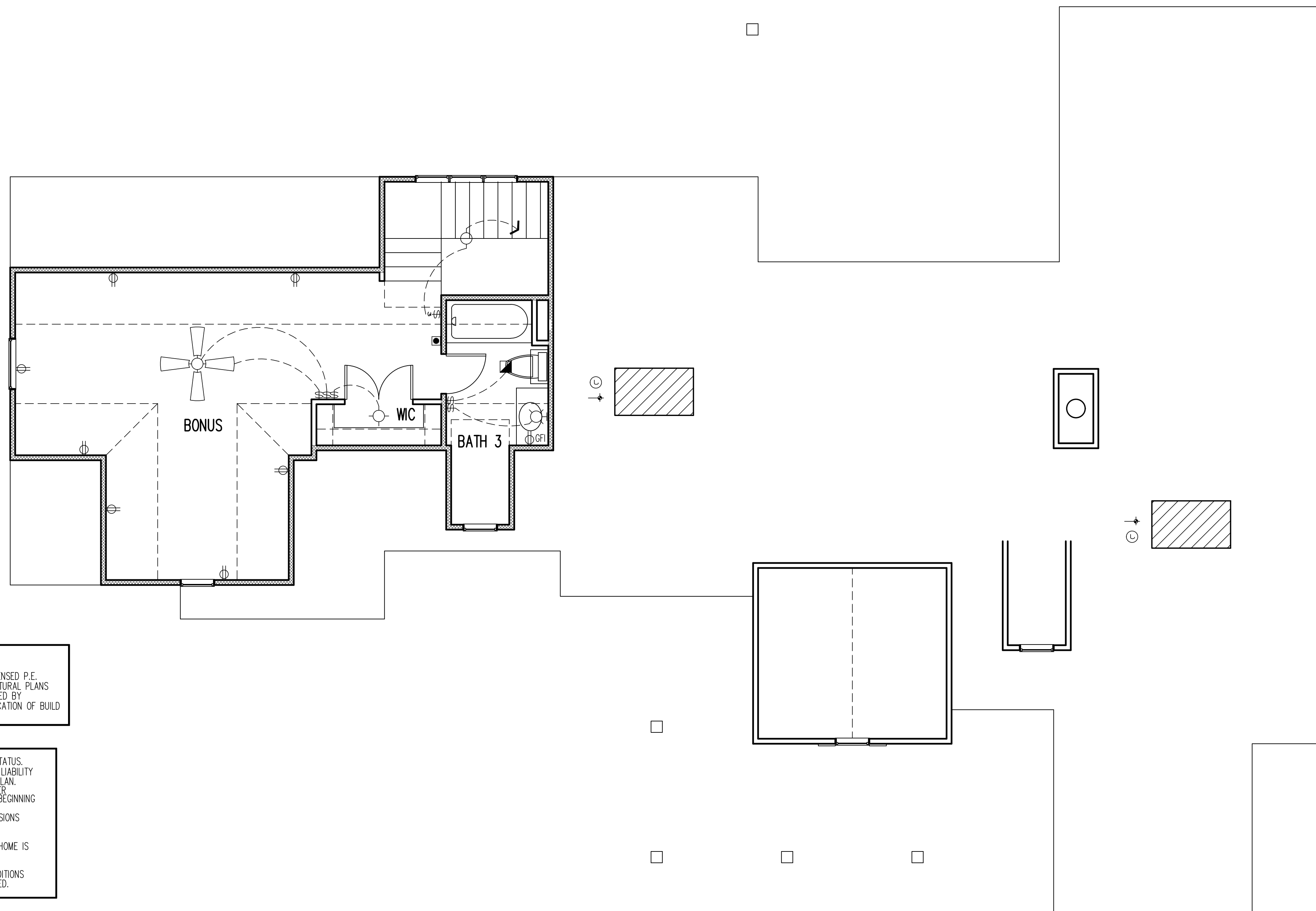
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Greenbrier Arkansas 72058  
501-932-6200 Office #

FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



**LEGEND**

	110v FLOOR OUTLET
	110v DUPLEX OUTLET
	WATERPROOF OUTLET
	GROUND FAULT INSULATED
	220v OUTLET
	2 WAY SWITCH
	3 WAY SWITCH
	4 WAY SWITCH
	DIMMER SWITCH
	GENERAL PURPOSE LTG.
	WALL BRACKET LTG.
	RECESSED CAN LTG.
	RECESSED EYEBALL LTG.
	FLOURESCENT LTG.
	DOUBLE FLOOD LTG.
	FLOURESCENT TUBE
	SMOKE DETECTOR
	GAS CONNECTION
	HOSE BIBB
	CEILING FAN
	EXHAUST FAN
	EXHAUST FAN/LIGHT
	CHIMES
	JUNCTION BOX
	PHONE JACK
	HEATER
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	ICE MAKER CONNECTION
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**SECOND FLOOR ELECTRICAL PLAN**

SCALE: 1/4" = 1'-0"

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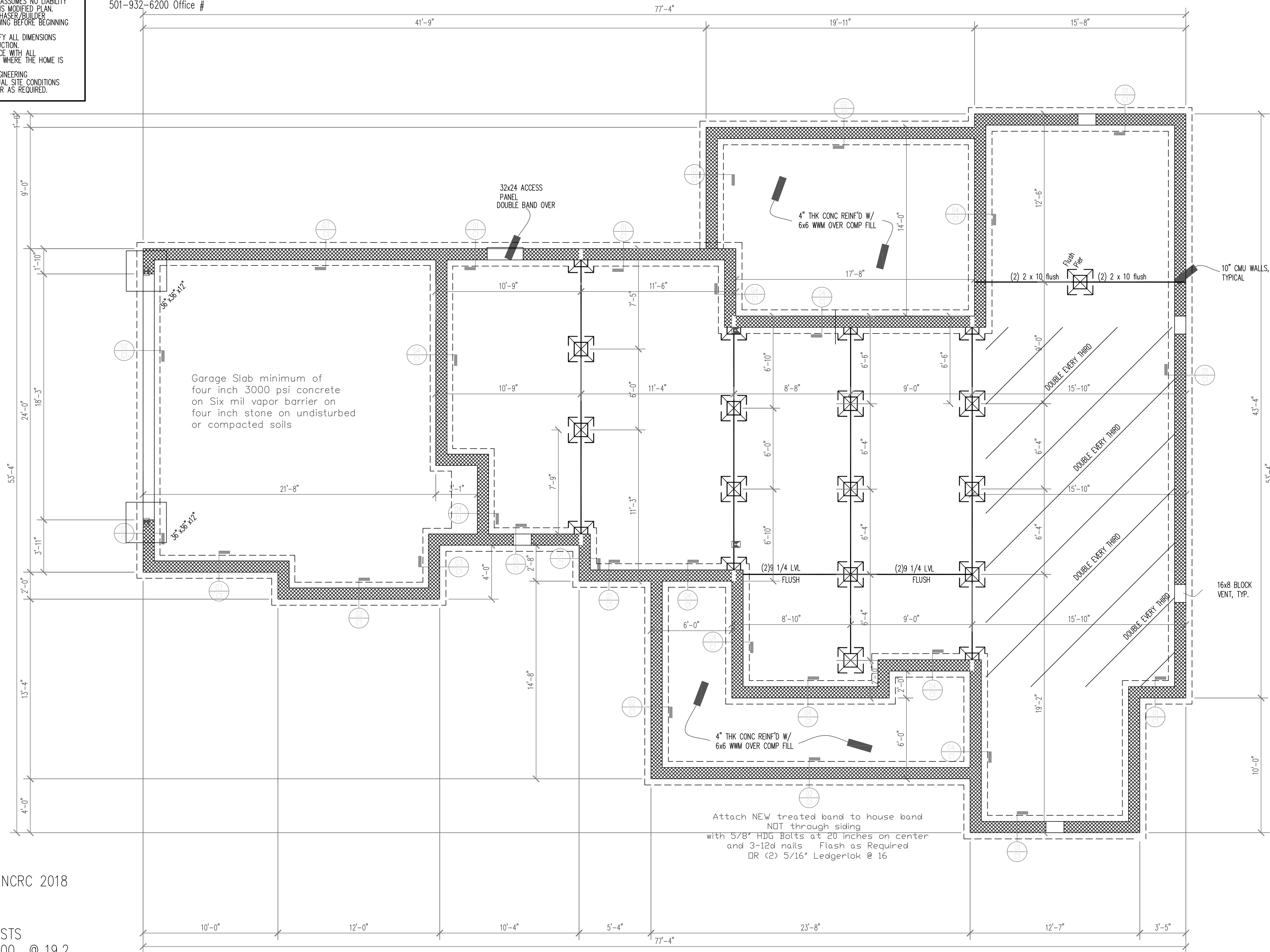
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date:  
 15 MARCH 2023

drawn by:  
 J A McRae

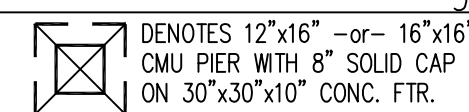
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 Residential and Commercial Engineering (NC C-2298)  
 218 Coley Farm Road Fuquay-Varina NC 27526  
 P O Box 1466 Apex, NC 27502  
 Cell 919.210.5749 jampe@nc.rr.com



DESIGN TO IRC 2015 NCRC 2018

ALL FLOOR JOISTS  
 11 7/8 BCI 5000 @ 19.2  
 11 7/8 LPI 20 @ 19.2  
 or 2 x 10 @ 16 # 2 SPF or Better

ORIENTED Left to Right



**CONCRETE PIER SIZES**  
 Size Hollow Masonry Solid Masonry  
 12"x16" Up to 48" High Up to 9'-0" High  
 16"x16" Up to 64" High Up to 12'-0" High

**FOUNDATION WALLS**  
 ALL FOUNDATION WALLS 8" BLOCK  
 PARGED -or- 4" BRICK w/ 4" BLOCK  
 w/ 8" SOLID CAP ON 18"x10" CONTINUOUS  
 CONCRETE FOOTER

20" x 10" in areas of brick veneer

IRC 2015 NCRC 2018 REQUIRES VAPOR BARRIER  
 OVER 100 PERCENT OF CRAWL AREA

**GIRDERS**

(4) 2"x10" #2 SYP -or-  
 NEW SFPA SYP Values Used  
 OR (2) 9 1/4 LVL OFFSET SPLICES

Anchor bolts required ALL foundation walls  
 provide 1/2" x 10" with 7 inch embedment  
 6" on center and 12 inches from ends / corners

DESIGN TO IRC 2015 NCRC 2018

**CRAWL SPACE VENTILATION**

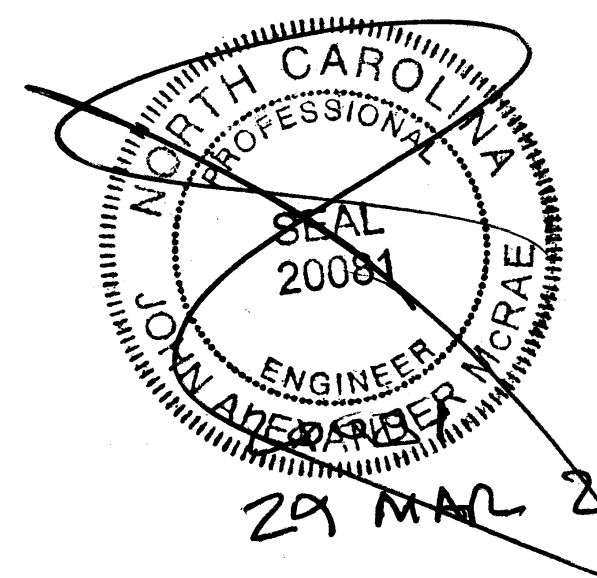
1908. SQ. FT. OF CRAWL / 150=12.75 SQ. FT. OF FREE VENT REQUIRED

NOTE: REFER TO SECTION 409.1 (CRAWL SPACE VENTILATION) IN THE NORTH CAROLINA STATE BUILDING CODE (IRC)

IRC 2015 NCRC 2018 REQUIRES VAPOR BARRIER OVER 100 PERCENT OF CRAWL AREA REDUCING VENTING  
 2875. SQ. FT. OF CRAWL / 300 = 9.58 SQ. FT. OF FREE VENT REQUIRED

9.58 / 0.44 = 22 - 8 x 16 vents (64 SQ IN FREE)

Structural Design By:  
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 P O Box 1466 Apex, NC 27502  
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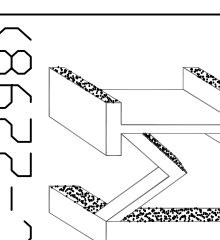


29 MAR 2023

date:  
15 MARCH 2023

drawn by:  
J A McRae

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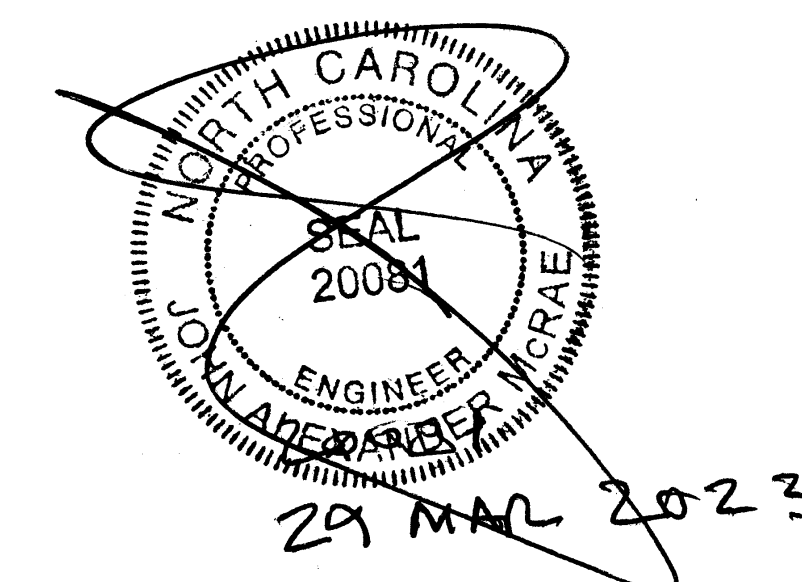
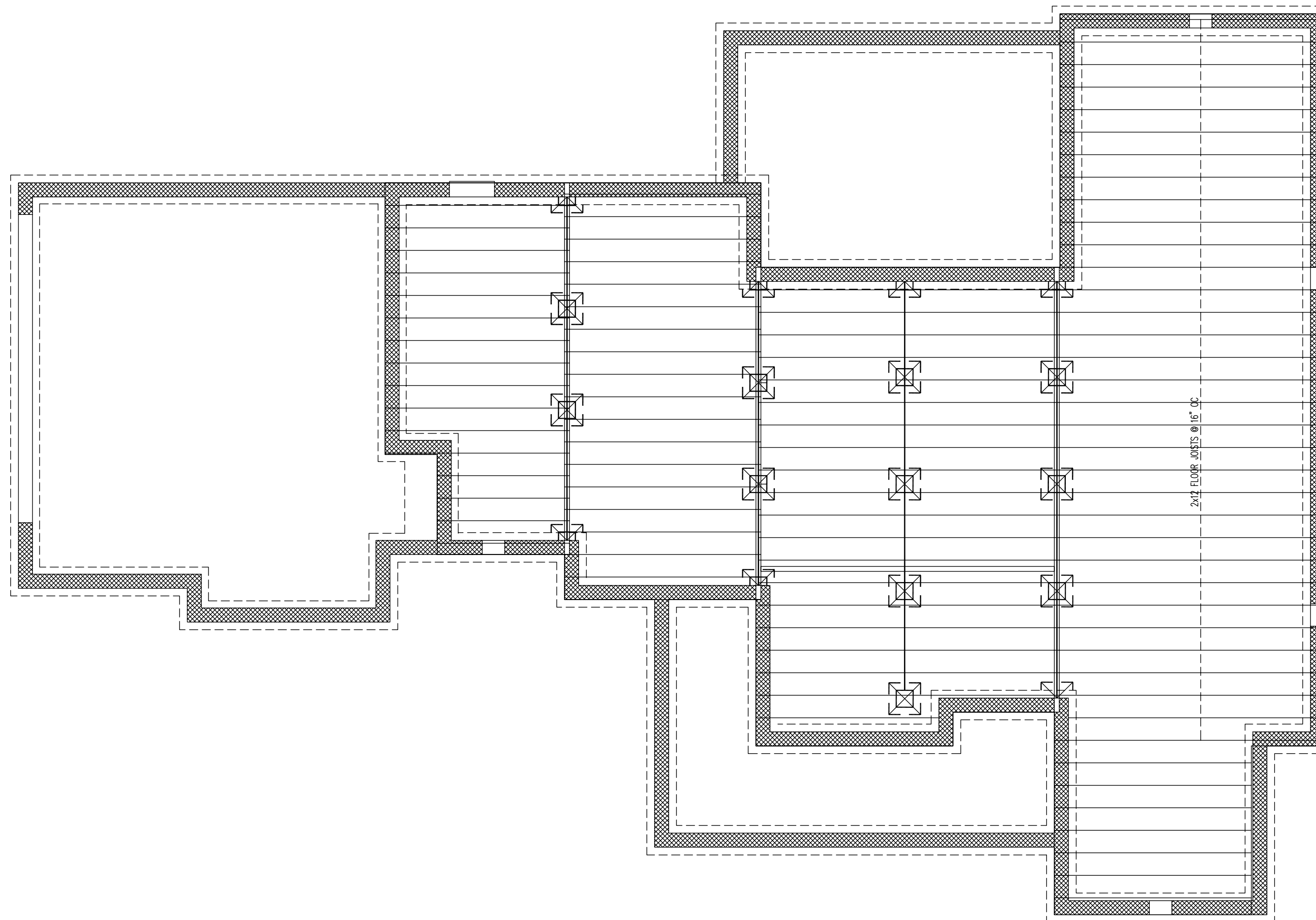


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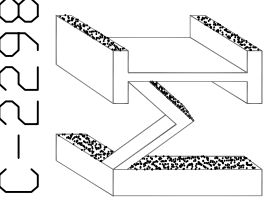
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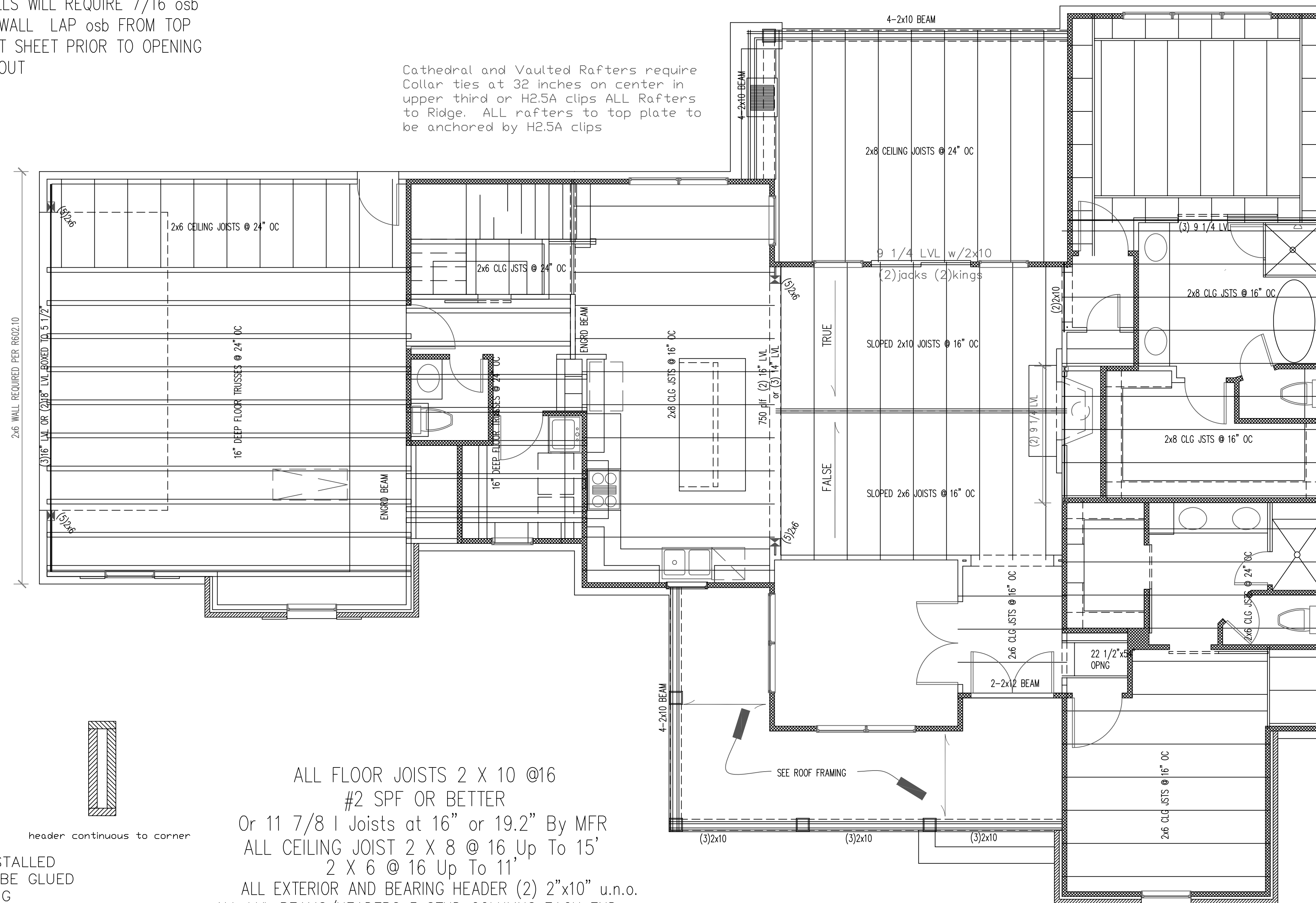
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LIMITED LENGTH OF WING WALLS WILL REQUIRE 7/16 osb SHEATHING BOTH SIDES OF WALL LAP osb FROM TOP PLATE DOWN FULL EIGHT FOOT SHEET PRIOR TO OPENING CUT-OUT

Cathedral and Vaulted Rafters require Collar ties at 32 inches on center in upper third or H2.5A clips ALL Rafters to Ridge. ALL rafters to top plate to be anchored by H2.5A clips

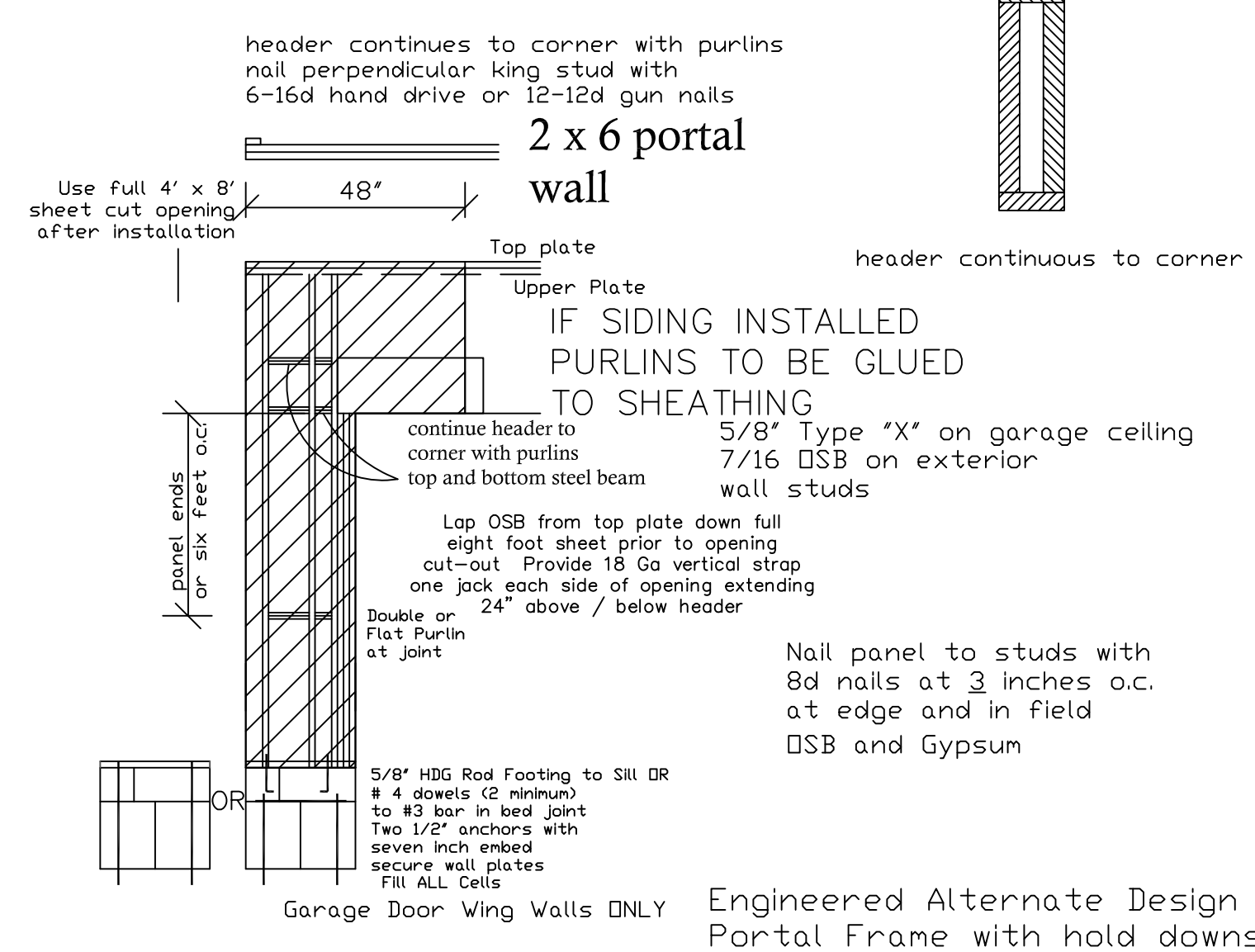
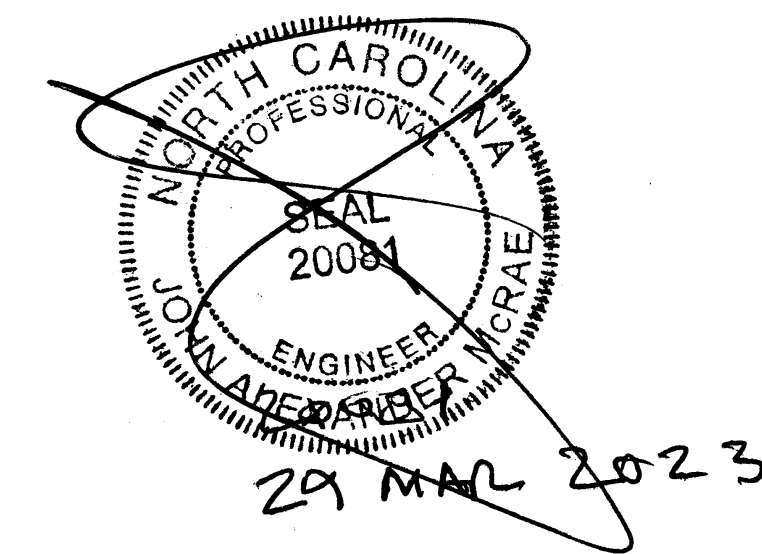
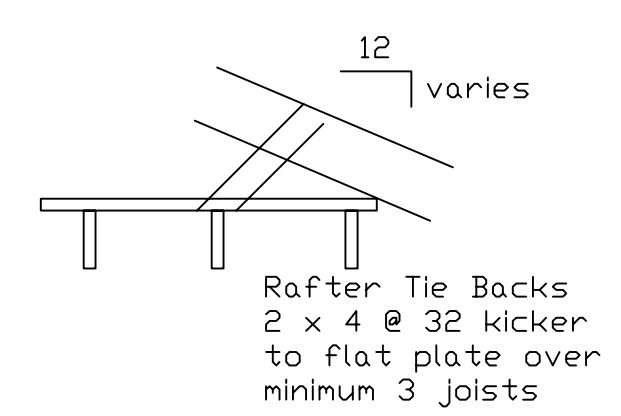


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ALL FLOOR JOISTS 2 X 10 @16 #2 SPF OR BETTER  
Or 11 7/8 I Joists at 16" or 19.2" By MFR  
ALL CEILING JOIST 2 X 8 @ 16 Up To 15' 2 X 6 @ 16 Up To 11'  
ALL EXTERIOR AND BEARING HEADER (2) 2"x10" u.n.o.  
ALL LVL BEAMS/HEADERS 3 STUD COLUMN EACH END u.n.o.  
ALL FRAMING #2 SPF OR BETTER u.n.o.

All stories to be sheathed with 7/16" OSB nailed @ six inches on center edges and ends with additional nailing of "braced" panels as noted below:

ALL EXTERIOR BEARING AND NON LOAD BEARING WALLS Four Foot Panel at Corners and Maximum 12' o.c.

Wall Bracing 7/16" OSB Lap OSB from top plate down full eight foot sheet prior to opening cut-out. Nail with 8d nails at THREE inches on center edges/ends six inches in field. Purlins at panel

Minimum Panel Width 48' u.n.o.

ALL Lintels  
5 x 3 1/2 x 1/4 Up to five feet  
6 x 4 x 5/16 Over Five Feet

ALL Brick Lintels  
5 x 3 1/2 x 1/4 Up To Five feet  
6 x 4 x 5/16 Over Five Feet

DESIGN TO IRC 2015 / NCR 2018

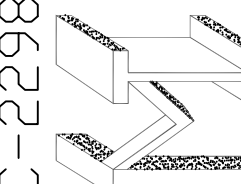
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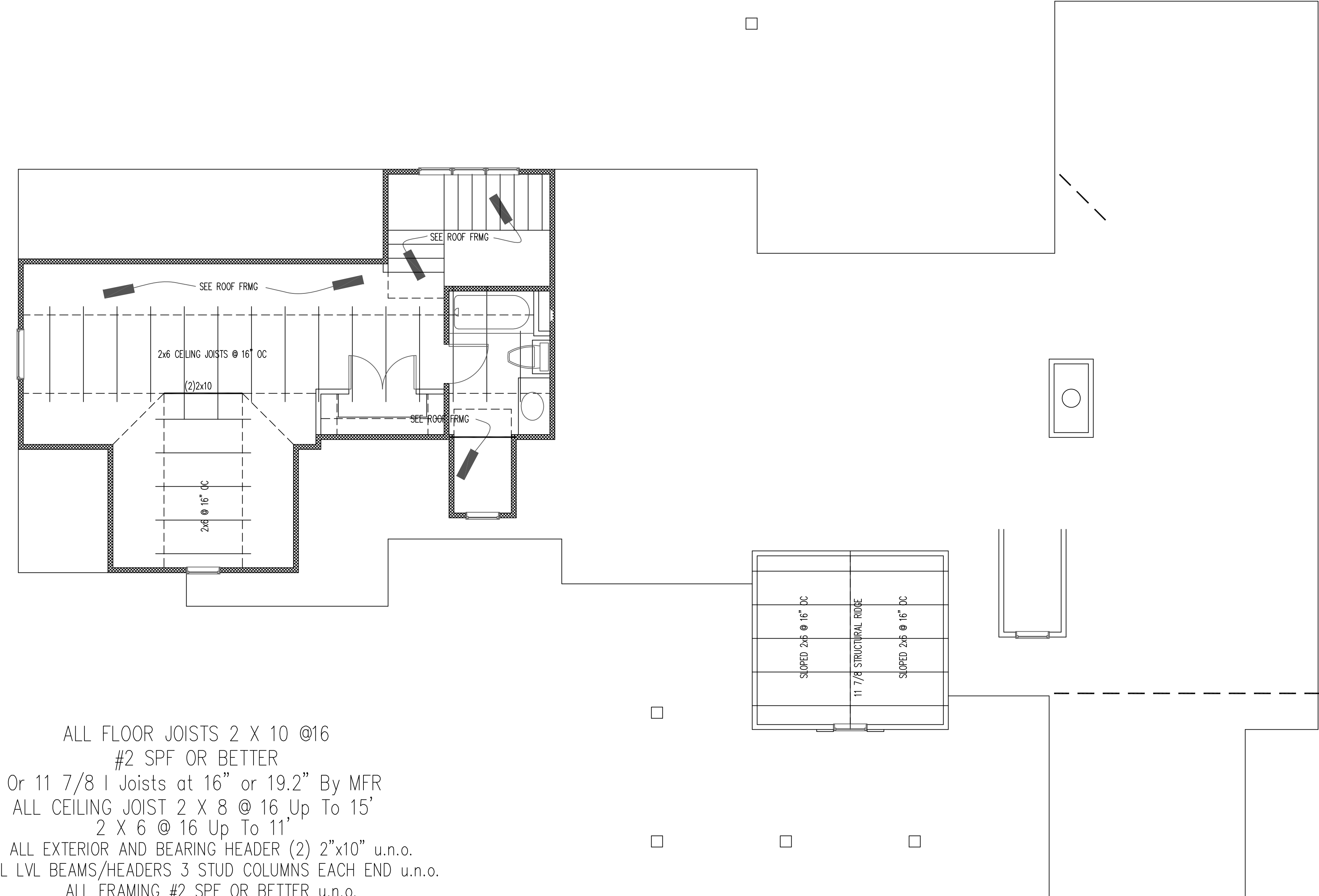
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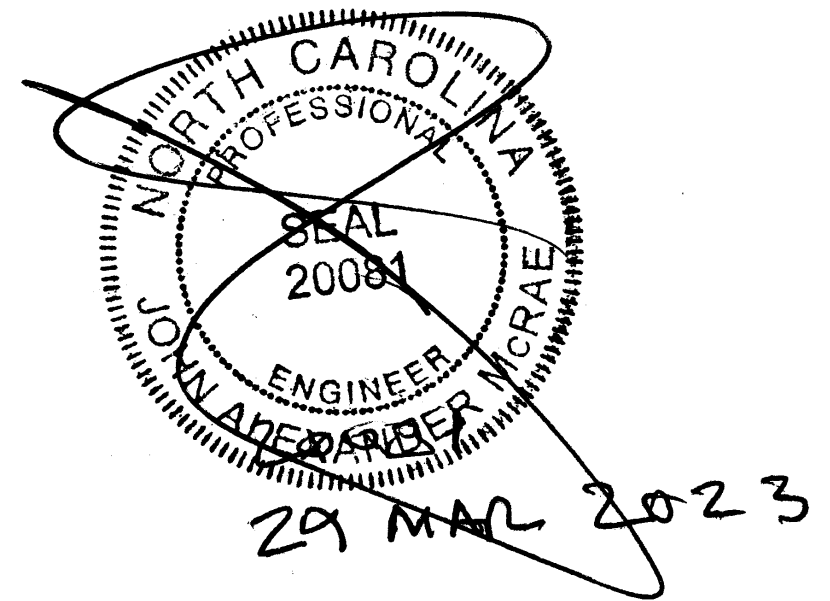


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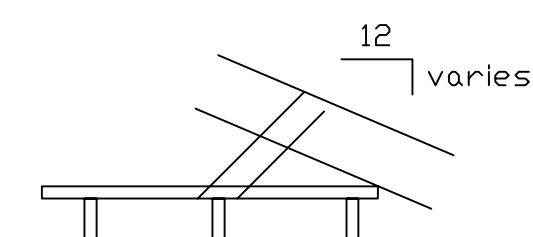
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John Alexander McRae, PE, Inc  
218 Coley Farm Road  
Fuquay-Varina North Carolina 27526  
jampe@nc.rr.com (919) 210-5749  
P O Box 1466 Apex, NC 27502  
Report deficiencies immediately  
2303-20  
(NC C-2298)

date:

15 MARCH 2023

drawn by:

J A McRae



Rafter Tie Backs  
 2 x 4 @ 32 kicker  
 to flat plate over  
 minimum 3 joists

FRAMING NOTES:

1. ALL MEMBERS SHALL BE NO. 2 GRADE SYP OR SFP LUMBER.
2. ALL FASCIAS ARE 2x8 GROOVED SFP OR BETTER.
3. ALL RAFTERS ARE 2x6 @ 24" O.C.
4. BRACE ALL INTERSECTIONS OF RIDGE, HIP, OR VALLEYS DOWN TO LOAD BEARING WALLS.
5. ALL TRUSSES SHALL BE DESIGNED BY A LOCAL ENGINEER, PREFERABLY A TRUSS MANUFACTURER.

**\*\*NOTE\*\***  
 HDS DESIGN & DRAFTING SERVICES LLC. IS NOT A LICENSED P.E. THEREFORE IT IS RECOMMENDED THAT ANY ALL STRUCTURAL PLANS INCLUDING FOUNDATION, FRAMING BE REVIEWED/DESIGNED BY A LICENSED STRUCTURAL P.E. PREFERABLY ONE IN LOCATION OF BUILD

THIS PLAN HAS BEEN MODIFIED FROM ITS ORIGINAL STATUS. HDS DESIGN & DRAFTING SERVICES LLC. ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS MODIFIED PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER/BUILDER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING ACTUAL CONSTRUCTION.  
 1. BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.  
 2. CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES IN THE AREA WHERE THE HOME IS TO BE CONSTRUCTED.  
 3. PLANS INDICATE LOCATION ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS BY A LICENSED STRUCTURAL ENGINEER AS REQUIRED.

THIS DRAWING HAS BEEN REVISED  
 ON THE DATE OF 03/01/2023

FROM IT'S ORIGINAL STATUS BY:

HDS Design & Drafting Service  
 Herbert D Shearer  
 1 HWY 25 N.  
 Greenbrier Arkansas 72058  
 501-932-6200 Office #

2 x 4 x 48  
 @ 32 Collar Ties  
 (115 mph zones)

all rafters  
 2 x 8 @ 16 #2  
 spf or better  
 all ridges 2 x 10 u.n.o.  
 fur ridge as required to  
 provide full rafter contact  
 fur rafters as required to  
 meet insulation code  
 lap all rafters at kneewall splices  
 18" minimum nail with 5-12d  
 nails from each side  
 IRC 2015 / NCR 2018 Increases  
 Attic / Ceiling Insulation to R-38

Hips May Be Spliced with six feet  
 between opposing splices  
 NO Valley Splices

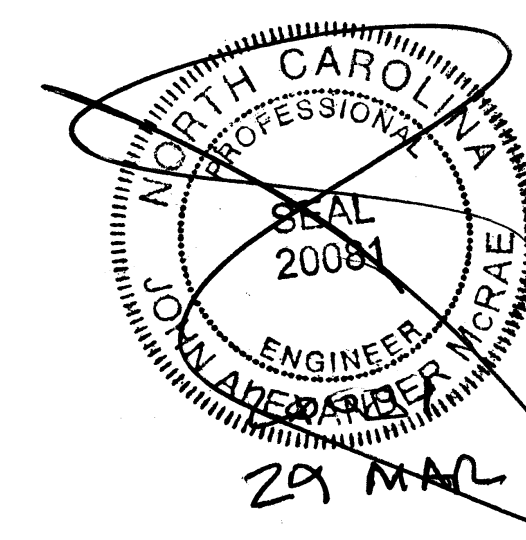


**ATTIC VENTILATION**  
 2487 SQ. FT. OF CEILING / 150 = 16.8 SQ. FT. OF FREE VENT REQUIRED = 8.4 SQ. FT. IN / 8.4 SQ. FT. OUT  
**NOTE:**  
 REFER TO SECTION 806 (ROOF VENTILATION) IN THE NORTH CAROLINA STATE BUILDING CODE (IRC)

All framing #2 SPF or better

Design To IRC 2015 / NCR 2018

**NOTE:**  
 IRC 2015 / NCR 2018  
 INCREASES ATTIC / CEILING  
 INSULATION TO R-38



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