

STRUCTURAL DESIGN BY:  
SOUTHERN ENGINEERS, P.A.  
3716 BENSON DR., RALEIGH, NC 27609  
LICENSE: C-4772, PHONE: 919-878-1617  
PROJECT # 19-1000

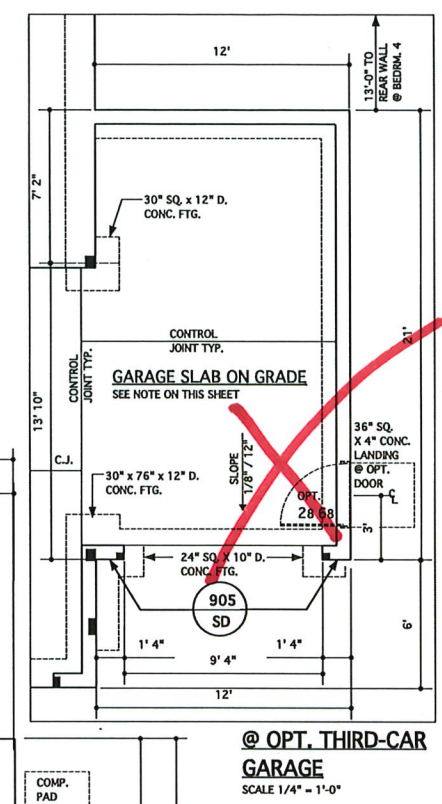
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Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.



**JAMES WENTLING/ ARCHITECT**  
LAND TITLE BUILDING  
100 SOUTH BROAD STREET,  
SUITE 1524  
PHILADELPHIA, PA 19110

(215) 568-2551  
email: information@wentlinghouseplans.com

ARCHITECTURE  
LAND PLANNING  
GRAPHICS

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DATE	DESCRIPTION
05-28-19	ELEV. C
12-10-19	3RD CAR GARAGE EXT.
01-14-21	RE-STAMP SHEET
02-09-21	OPT. PORCH FOOTINGS
09-09-21	RE-STAMP SHEET
02-15-23	NEILL'S POINT/FARM
02-23-23	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.

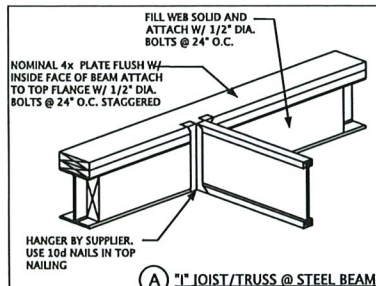
PROJECT NO. 113-88  
DATE 01-08-18  
SCALE AS NOTED  
DRAWN BY JK  
CHECKED BY JW  
ISSUED FOR PERMITS/CONSTRUCTION

PROJECT TITLE  
**MODEL 6260 - GARAGE RIGHT**

CLIENT  
**CHESAPEAKE HOMES OF NC**  
3100 Smokee Court,  
Suite 210  
Raleigh, NC 27604  
(919) 256-3060  
(919) 556-0690 Fax

DRAWING TITLE  
**MONOLITHIC SLAB FOUNDATION PLAN**

SHEET  
**2**



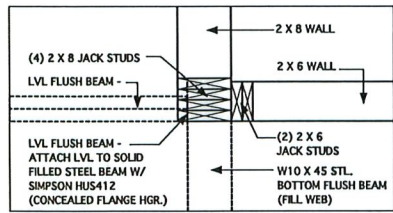
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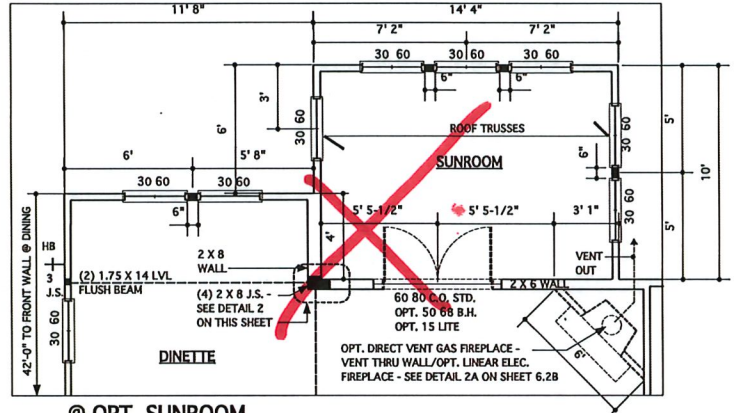


**PORTAL FRAME LEGEND**  
 SEE SD SHEETS FOR PORTAL FRAME DETAILS  
**APA-PF:** APA PORTAL FRAME  
**APA-PF-END:** END CONDITION FOR APA PORTAL FRAME  
**CS-PF:** CONTINUOUS PORTAL FRAME CONSTRUCTION  
**CS-PF-END:** END CONDITION FOR CONTINUOUS PORTAL FRAME

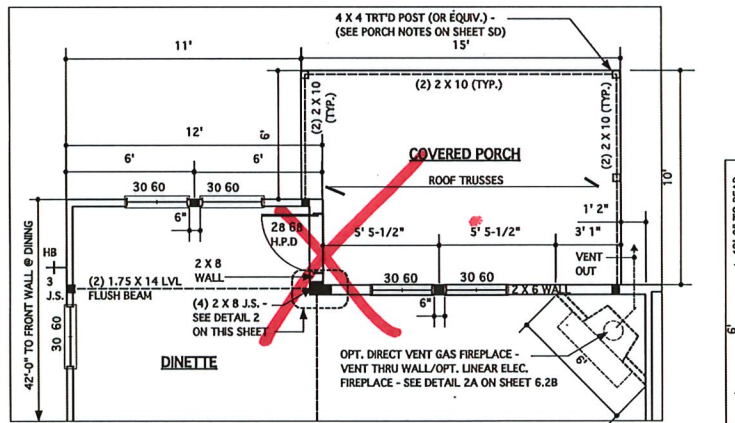
REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.



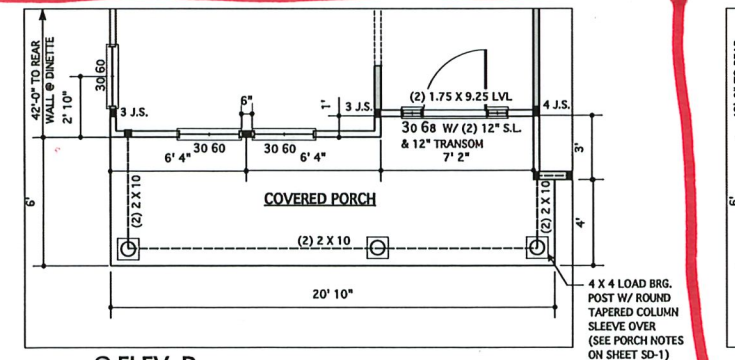
**BEAM/STUD CONNECTION DETAIL 2**  
 SCALE 1" = 1'-0"



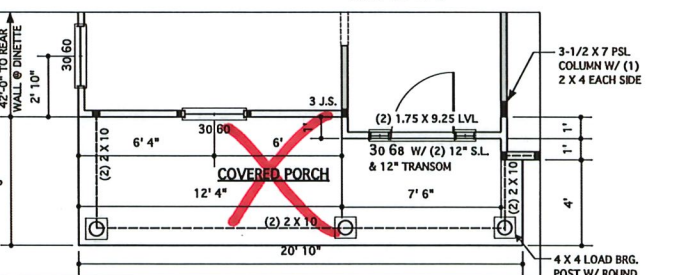
**@ OPT. SUNROOM**  
 SCALE 1/4" = 1'-0"



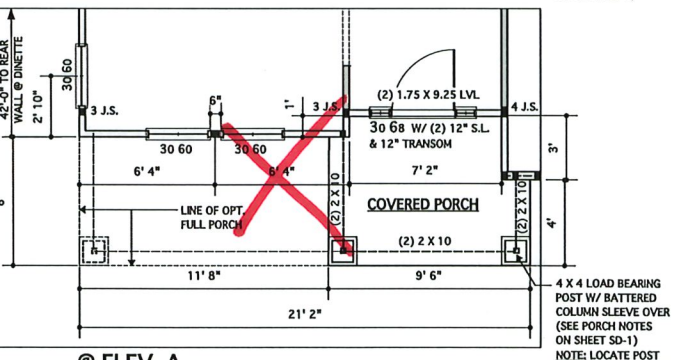
**@ OPT. COVERED PORCH**  
 SCALE 1/4" = 1'-0"



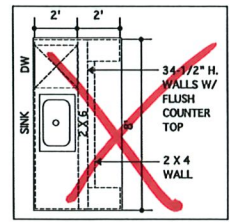
**@ ELEV. D**  
 SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.



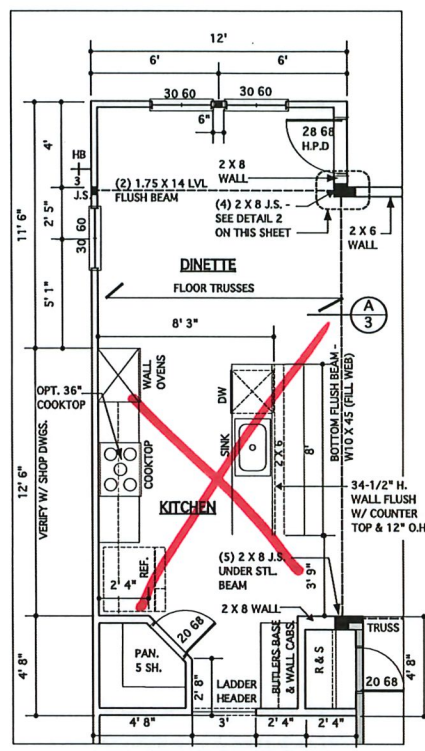
**@ ELEV. C**  
 SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.



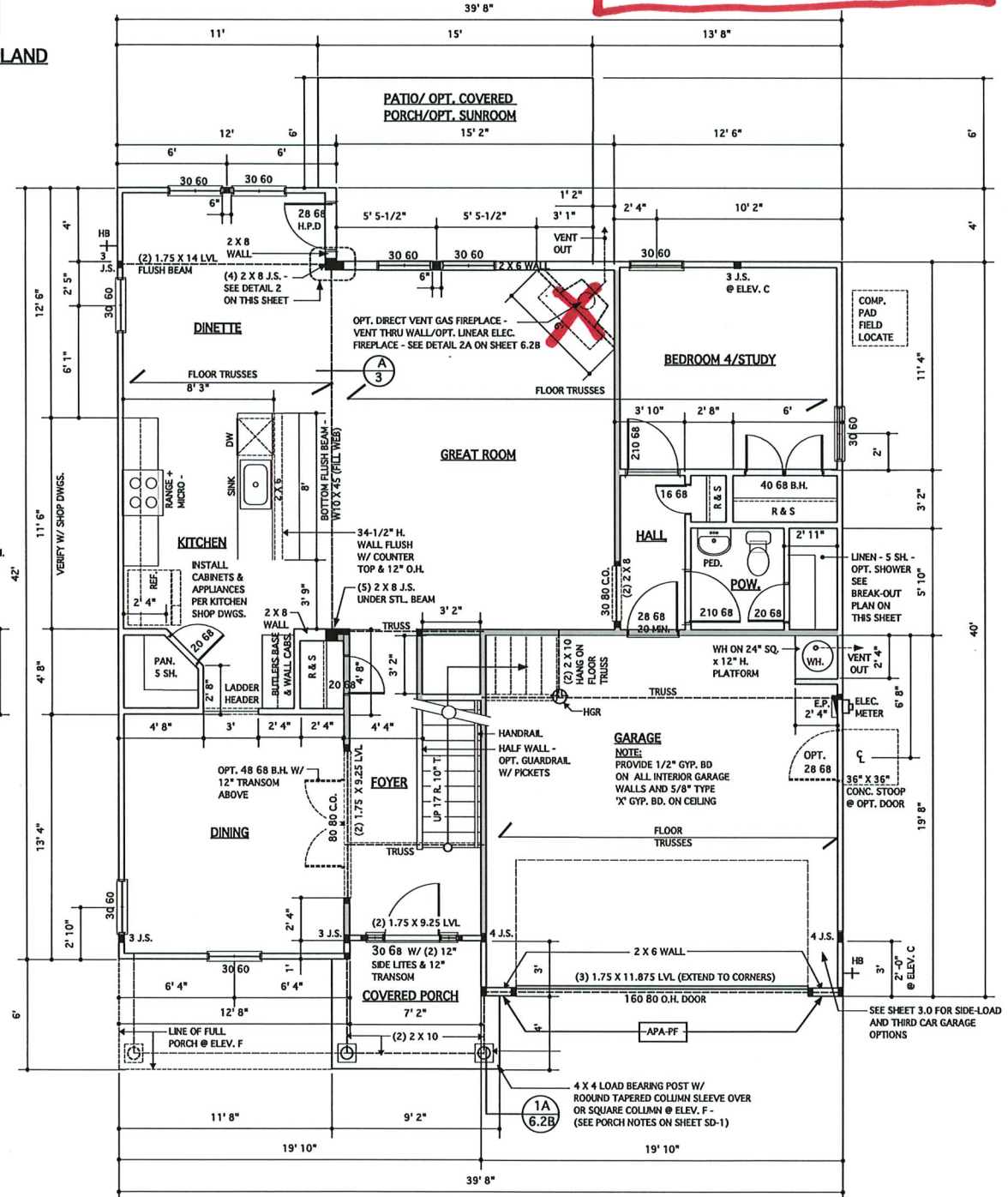
**@ ELEV. A**  
 SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.



**OPT. GOURMET KITCHEN ISLAND**  
 SCALE 1/4" = 1'-0"



**OPT. GOURMET KITCHEN**  
 SCALE 1/4" = 1'-0"

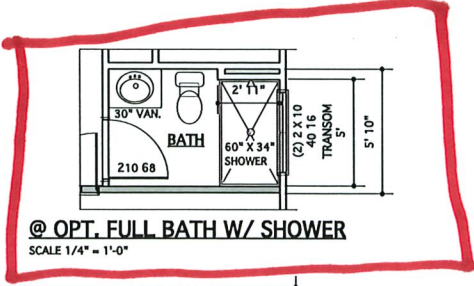


**FIRST FLOOR PLAN @ ELEV. B/F**  
 SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.

**NOTES:**  
 WALLS ARE DIMENSIONED TO FACE OF STUD AND ARE 3-1/2" THICK UNLESS NOTED OTHERWISE. (SEE SHEET SD-1 FOR ADDITIONAL NOTES & DETAILS)  
 DENOTES 2 JACK STUDS UNLESS NOTED OTHERWISE  
 SEE STRUCTURAL DRAWINGS FOR NUMBER OF JACK STUDS AND SIZES  
 NOTE: SEE ELEVATIONS FOR OPT. BRICK OR STONE WANSKOT/VENEER TYPES & LOCATIONS

**LEGEND**

	INTERIOR LOAD BEARING WALL
	DENOTES 2 JACK STUDS UNLESS NOTED OTHERWISE
	SEE STRUCTURAL DRAWINGS FOR NUMBER OF JACK STUDS AND SIZES



**@ OPT. FULL BATH W/ SHOWER**  
 SCALE 1/4" = 1'-0"

**JAMES WENTLING/ ARCHITECT**  
 LAND TITLE BUILDING  
 100 SOUTH BROAD STREET,  
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 PHILADELPHIA, PA 19110

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 LAND PLANNING  
 GRAPHICS

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**REVISIONS**

DATE	DESCRIPTION
01-14-19	STRUCT. DWGS. REV.
05-28-19	ELEVATIONS
12-10-19	3RD CAR GARAGE EXT.
01-14-21	RE-STAMP SHEET
09-09-21	RE-STAMP SHEET
02-15-23	NEILL'S POINT/FARM
02-23-23	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.

**PROJECT INFO**

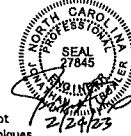
PROJECT NO. 113-88  
 DATE 01-08-18  
 SCALE AS NOTED  
 DRAWN BY JWK  
 CHECKED BY JW  
 BOSS FOR PERMITS/CONSTRUCTION

**MODEL 6260 - GARAGE RIGHT**

**CLIENT**  
**CHESAPEAKE HOMES OF NC**  
 3100 SmokeTree Court,  
 Suite 210  
 Raleigh, NC 27604  
 (919) 256-3060  
 (919) 556-0690 Fax

**FIRST FLOOR PLANS**

STRUCTURAL DESIGN BY:  
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3716 BENSON DR., RALEIGH, NC 27609  
LICENSE: C-4772, PHONE: 919-878-1617  
PROJECT # 19-1000



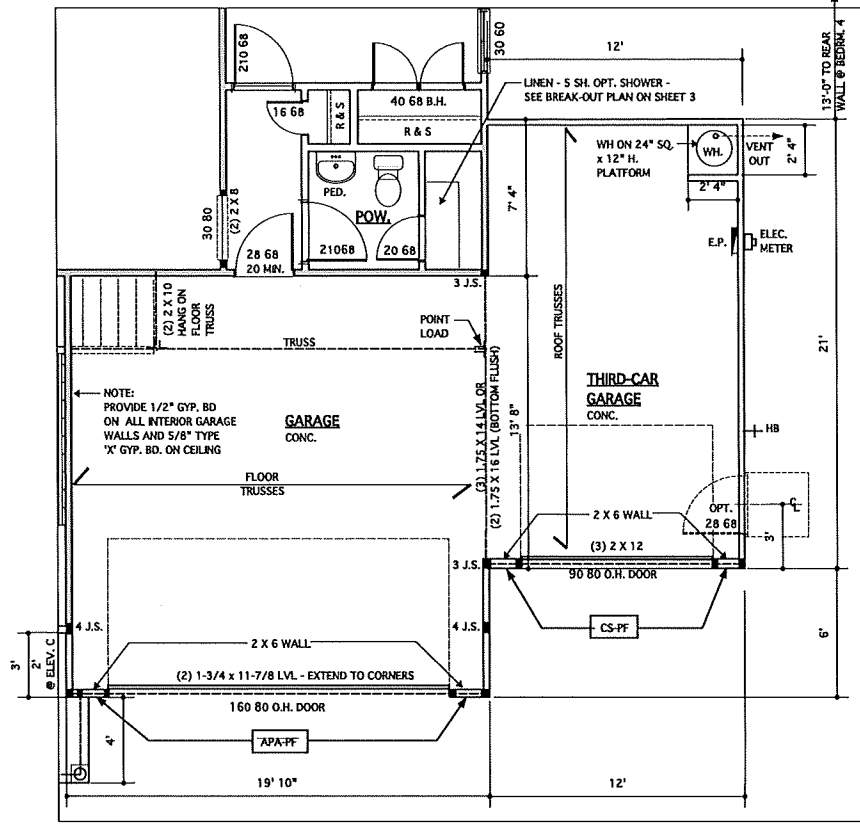
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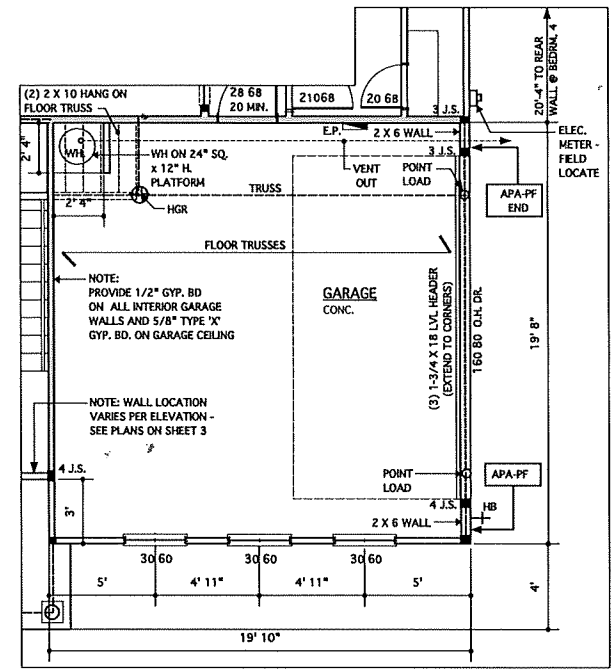
**NOTES:**  
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(SEE FLOOR SYSTEM LAYOUT AND SHOP DRAWINGS FOR ADDITIONAL INFORMATION AND TO VERIFY BEAM & TRUSS SIZES AND LOCATIONS.)  
NOTE: SEE ELEVATIONS FOR OPT. BRICK OR STONE WAINSCOT/VENEER TYPES & LOCATIONS

**LEGEND**  
INTERIOR LOAD BEARING WALL  
DENOTES 2 JACK STUDS UNLESS NOTED OTHERWISE  
SEE STRUCTURAL DRAWINGS FOR NUMBER OF JACK STUDS AND SIZES



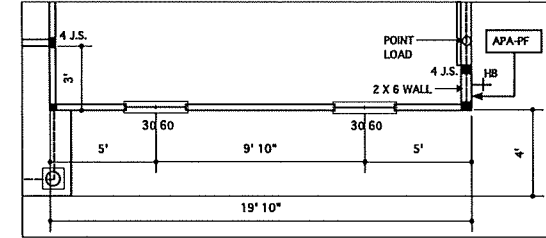
**FLOOR PLAN @ OPT. THIRD-CAR GARAGE**

SCALE 1/4" = 1'-0"  
NOTE: SEE FIRST FLOOR PLAN ON SHEET 3 FOR ADDITIONAL NOTES & DIMENSIONS



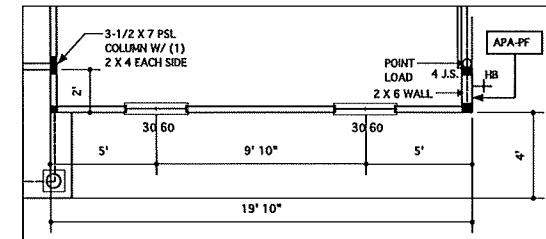
**@ OPT. SIDE-LOAD GARAGE @ ELEV. A**

SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.



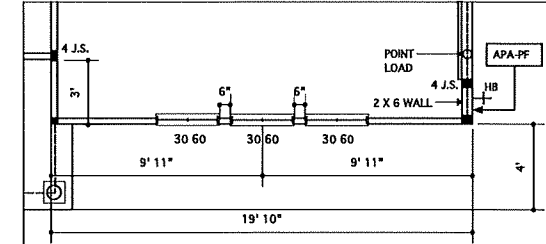
**@ ELEV. B/F**

SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.



**@ ELEV. C**

SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.



**@ ELEV. D**

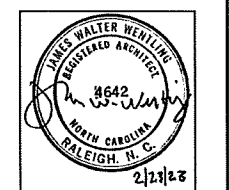
SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.

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ARCHITECT**  
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MARK	DATE	DESCRIPTION
DN	01-14-19	STRUCT. DWGS. REV.
CH	05-28-19	ELEVATIONS
CH	12-10-19	3RD CAR GARAGE EXT.
AM	01-14-21	RE-STAMP SHEET
AM	09-09-21	RE-STAMP SHEET
JW	02-07-23	NBLL'S POINT
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.

**PROJECT NO.** 113-88  
**DATE** 01-04-18  
**SCALE** AS NOTED  
**DRAWN BY** JK  
**CHECKED BY** JW  
**ISSUED FOR** PERMITS/CONSTRUCTION

**PROJECT TITLE**  
**MODEL 6260 - GARAGE RIGHT**

**CLIENT**  
**CHESAPEAKE HOMES OF NC**  
3100 Smoketree Court,  
Suite 210  
Raleigh, NC 27604  
(919) 255-3060  
(919) 556-0690 Fax

**DRAWING TITLE**  
**FIRST FLOOR PLAN OPTIONS**

**SHEET**  
**3.0**

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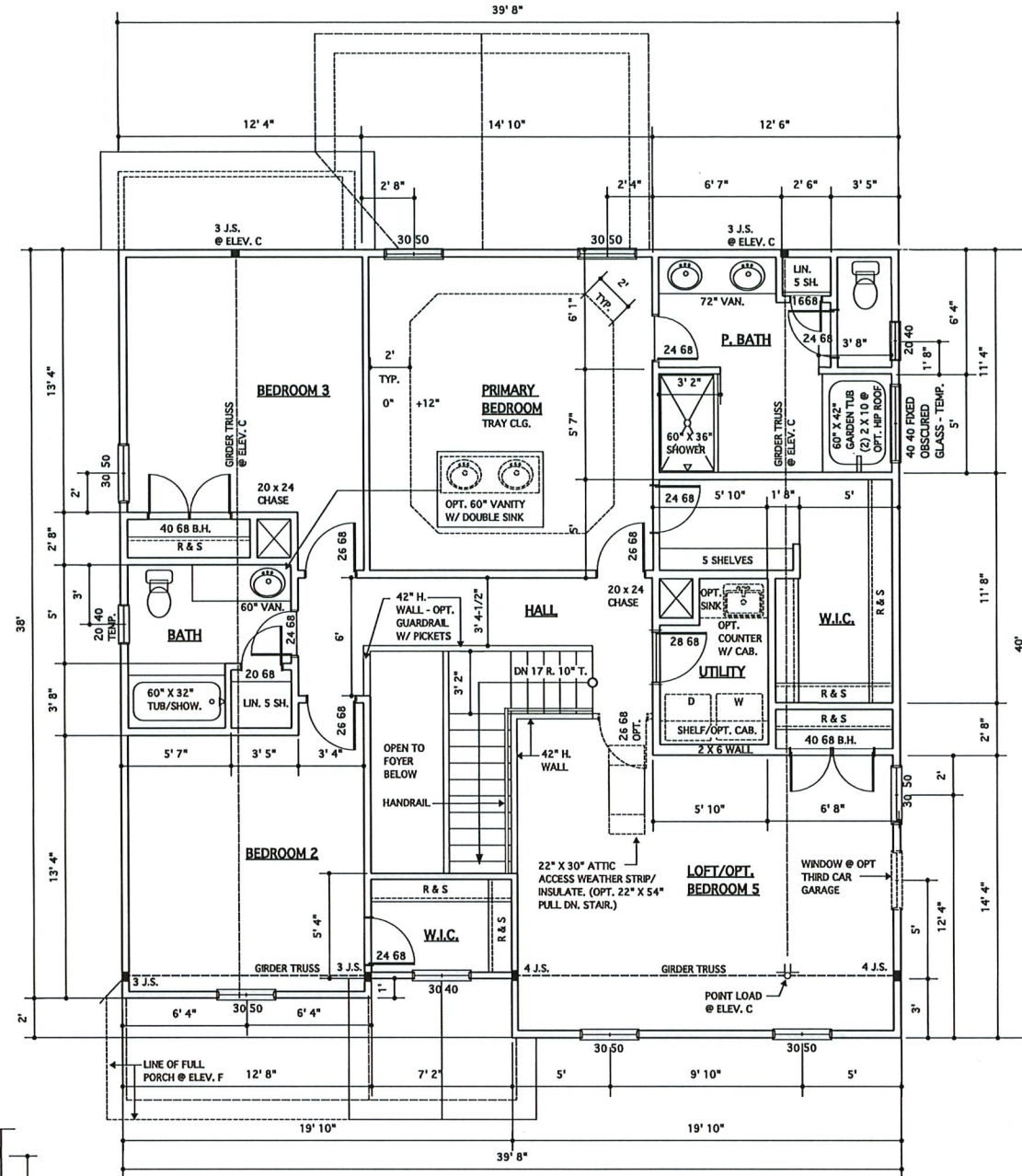
REFER TO "SD" SHEET(S) FOR STANDARD DETAILS, BRACING DETAILS AND STRUCTURAL NOTES.

**NOTES:**

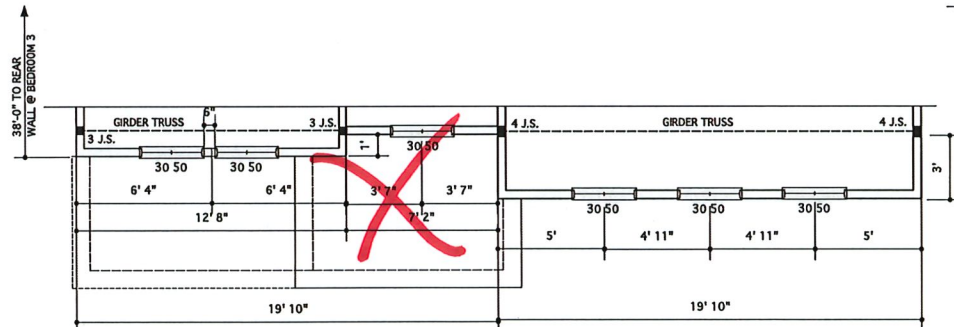
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(SEE FLOOR SYSTEM LAYOUT AND SHOP DRAWINGS FOR ADDITIONAL INFORMATION AND TO VERIFY BEAM & TRUSS SIZES AND LOCATIONS.)  
NOTE: SEE ELEVATIONS FOR OPT. BRICK OR STONE WAINSCOT/VENEER TYPES & LOCATIONS

**LEGEND**

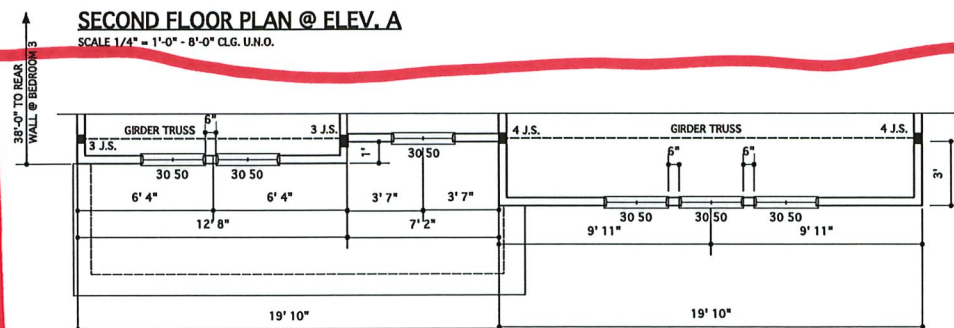
- INTERIOR LOAD BEARING WALL
- DENOTES 2 JACK STUDS UNLESS NOTED OTHERWISE
- SEE STRUCTURAL DRAWINGS FOR NUMBER OF JACK STUDS AND SIZES



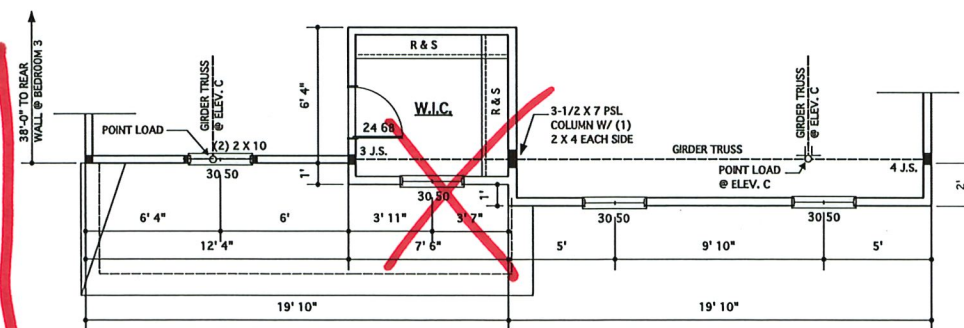
**SECOND FLOOR PLAN @ ELEV. B/F**  
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.  
SEE ELEV. SHEET FOR ROOF PLAN



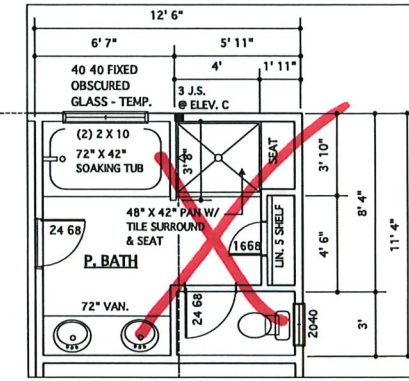
**SECOND FLOOR PLAN @ ELEV. A**  
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.



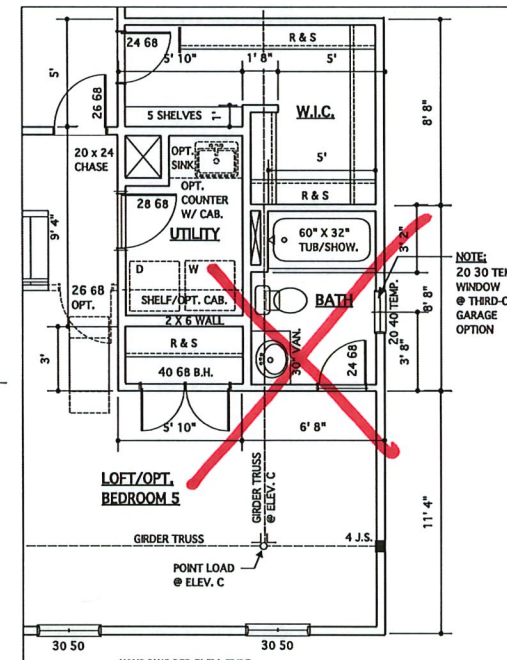
**SECOND FLOOR PLAN @ ELEV. D**  
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.



**SECOND FLOOR PLAN @ ELEV. C**  
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.



**@ OPT. DELUXE PRIMARY BATH**  
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.



**OPT. BATH & CLOSET**  
SCALE 1/4" = 1'-0" - 8'-0" CLG. U.N.O.

**JAMES WENTLING/  
ARCHITECT**

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**REVISIONS**

DATE	DESCRIPTION
01-14-19	STRUCT. DWGS. REV.
05-28-19	FULL PORCH OPT.
01-14-21	REBAMP SHEET
09-09-21	M. BATH WNDW. REV.
02-07-23	NEIL'S POINT/FARM
02-15-23	OPT. EXT. FINISHES
02-23-23	1'-0" DINING EXTENSION/STRUCT. DWGS. REV.

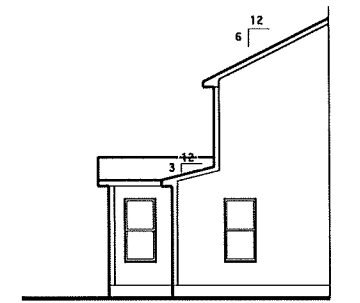
PROJECT NO.	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	JK
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

**PROJECT TITLE**  
**MODEL 6260 - GARAGE RIGHT**

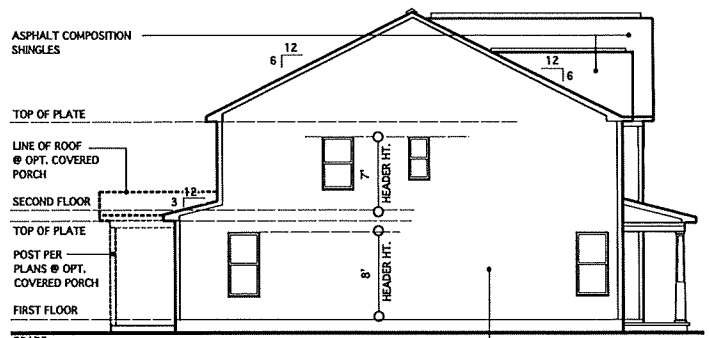
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(919) 256-3060  
(919) 556-0690 Fax

**DRAWING TITLE**  
**SECOND FLOOR PLANS**

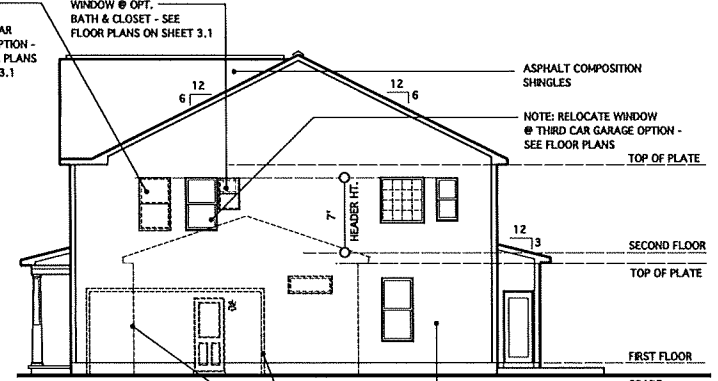
**SHEET**  
**3.1**



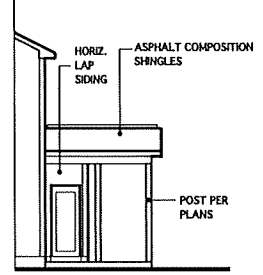
**LEFT ELEVATION @ OPT. SUNROOM**  
SCALE: 1/8"=1'-0"



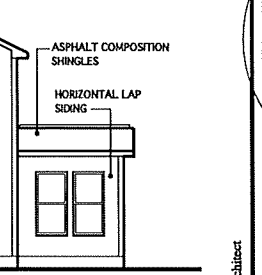
**LEFT ELEVATION**  
SCALE: 1/8"=1'-0"



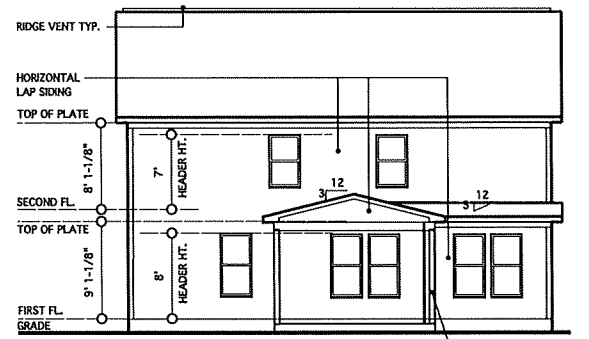
**RIGHT ELEVATION**  
SCALE: 1/8"=1'-0"



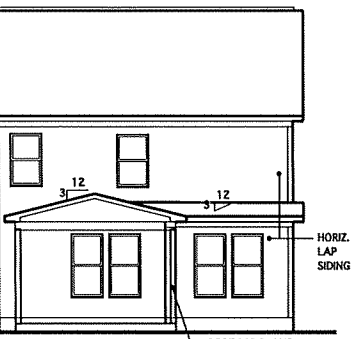
**@ OPT. COVERED PORCH**  
SCALE: 1/8"=1'-0"



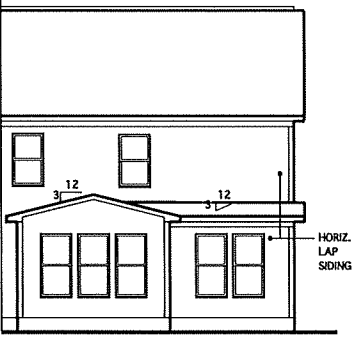
**@ OPT. SUNROOM**  
SCALE: 1/8"=1'-0"



**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



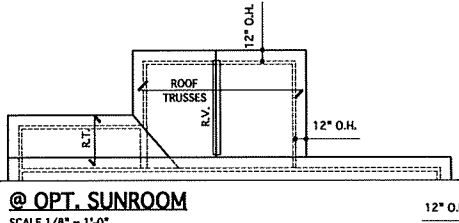
**REAR ELEVATION @ OPT. COVERED PORCH**  
SCALE: 1/8"=1'-0"



**REAR ELEVATION @ OPT. SUNROOM**  
SCALE: 1/8"=1'-0"



**FRONT ELEVATION W/ SIDE LOAD GARAGE**  
SCALE: 1/8"=1'-0"



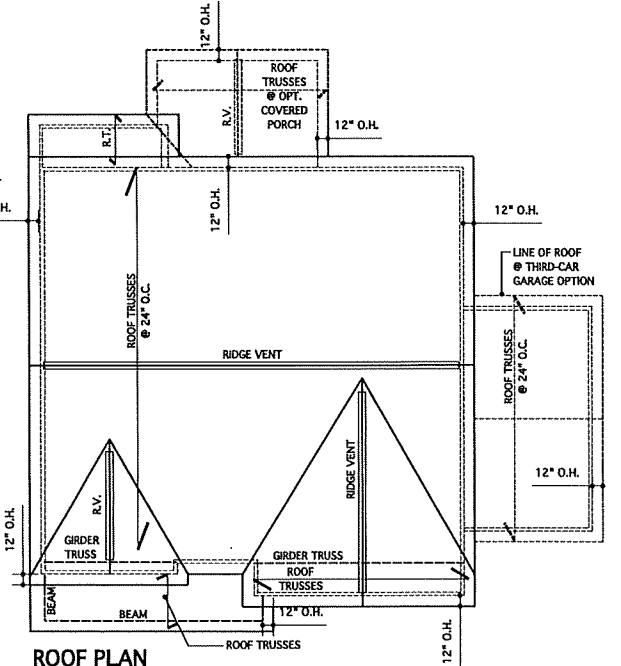
**@ OPT. SUNROOM**  
SCALE 1/8" = 1'-0"

REQUIRED VENTILATION SCHEDULE - SUNROOM	
142 SQ. FT. OF CEILING AREA / 300	= 0.48 SQ. FT. REQ.
ROOF VENTS 0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 18 SQ. IN. = 2 (18 SQ. IN. PER LIN. FT.)	= 2 LIN. FT. REQ. 12 LIN. FT. PROVIDED
SOFFIT VENTS 0.48 X 0.5 = 0.24 SQ. FT. 0.24 SQ. FT. X 144 = 34 SQ. IN. 34 SQ. IN. / 9 SQ. IN. = 3.8 LIN. FT.	= 3.8 LIN. FT. REQ. 24 LIN. FT. PROVIDED

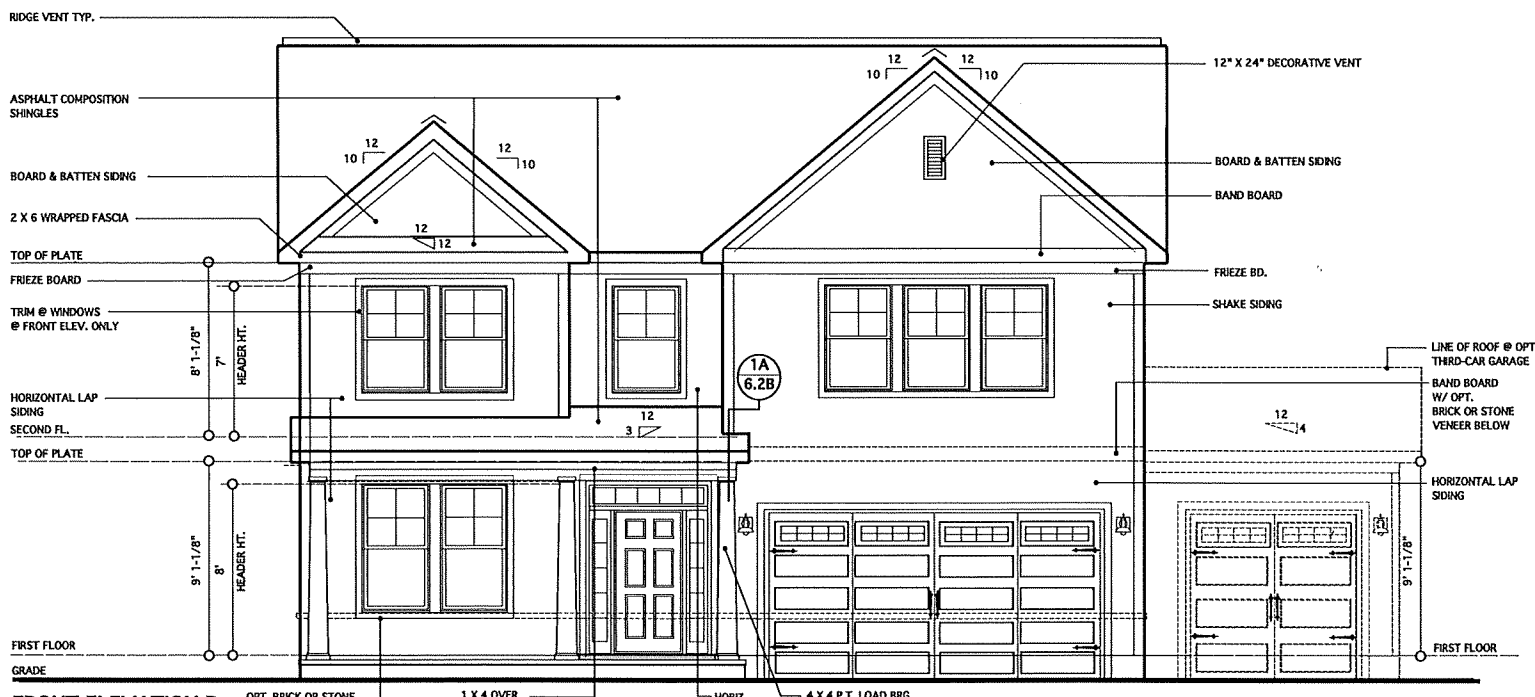
REQUIRED VENTILATION SCHEDULE - MAIN HOUSE	
1,806 SQ. FT. OF CEILING AREA / 300	= 6 SQ. FT. REQ.
ROOF VENTS 6 X 0.5 = 3 SQ. FT. 3 SQ. FT. X 144 = 432 SQ. IN. 432 SQ. IN. / 18 SQ. IN. = 24 (18 SQ. IN. PER LIN. FT.)	= 24 LIN. FT. REQ. 70 LIN. FT. PROVIDED
SOFFIT VENTS 6 X 0.5 = 3 SQ. FT. 3 SQ. FT. X 144 = 432 SQ. IN. 432 SQ. IN. / 9 SQ. IN. = 48 LIN. FT.	= 48 LIN. FT. REQ. 78 LIN. FT. PROVIDED

CODE REFERENCE: 2018 NCSBC, RESIDENTIAL CODE, R806.2

**NOTE:**  
BUILDING ELEMENTS ARE TO BE APPLIED TO MEET LOCAL WINDLOAD REQUIREMENTS



**ROOF PLAN**  
SCALE 1/8" = 1'-0"

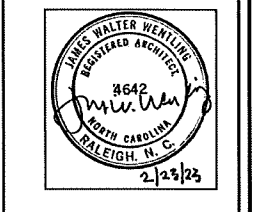


**FRONT ELEVATION D**  
SCALE: 1/4"=1'-0"

**JAMES WENTLING/  
ARCHITECT**  
LAND TITLE BUILDING  
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REVISIONS		
DATE	BY	DESCRIPTION
12-10-19	AL	WINDOW UPDATE
12-10-19	CH	3RD CAR GARAGE EXT.
01-14-21	AM	RESTAMP SHEET
09-09-21	AM	M. BATH WINDOW
02-07-23	JW	NEILL'S POINT/FARM
02-15-23	DN	OPT. EXT. FINISHES
02-23-23	DN	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.

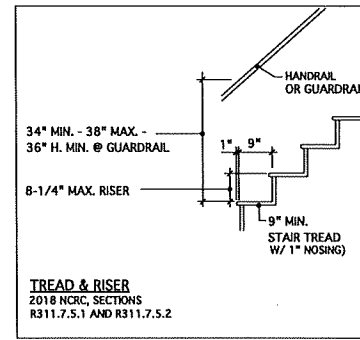
PROJECT NO.	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	DN
CHECKED BY	JW
USED FOR	PERMITS/CONSTRUCTION

**MODEL 6260 -  
GARAGE RIGHT**

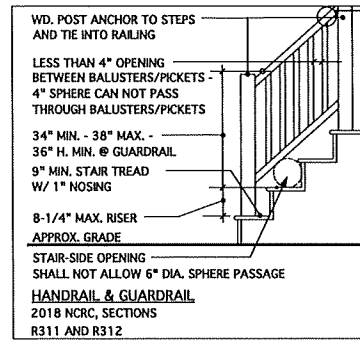
CLIENT  
**CHESAPEAKE  
HOMES OF NC**  
3100 Smoketree Court,  
Suite 210  
Raleigh, NC 27604  
(919) 256-3060  
(919) 556-0690 Fax

**ELEVATION D  
AND ROOF PLAN**

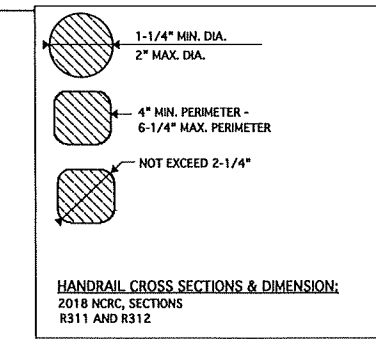
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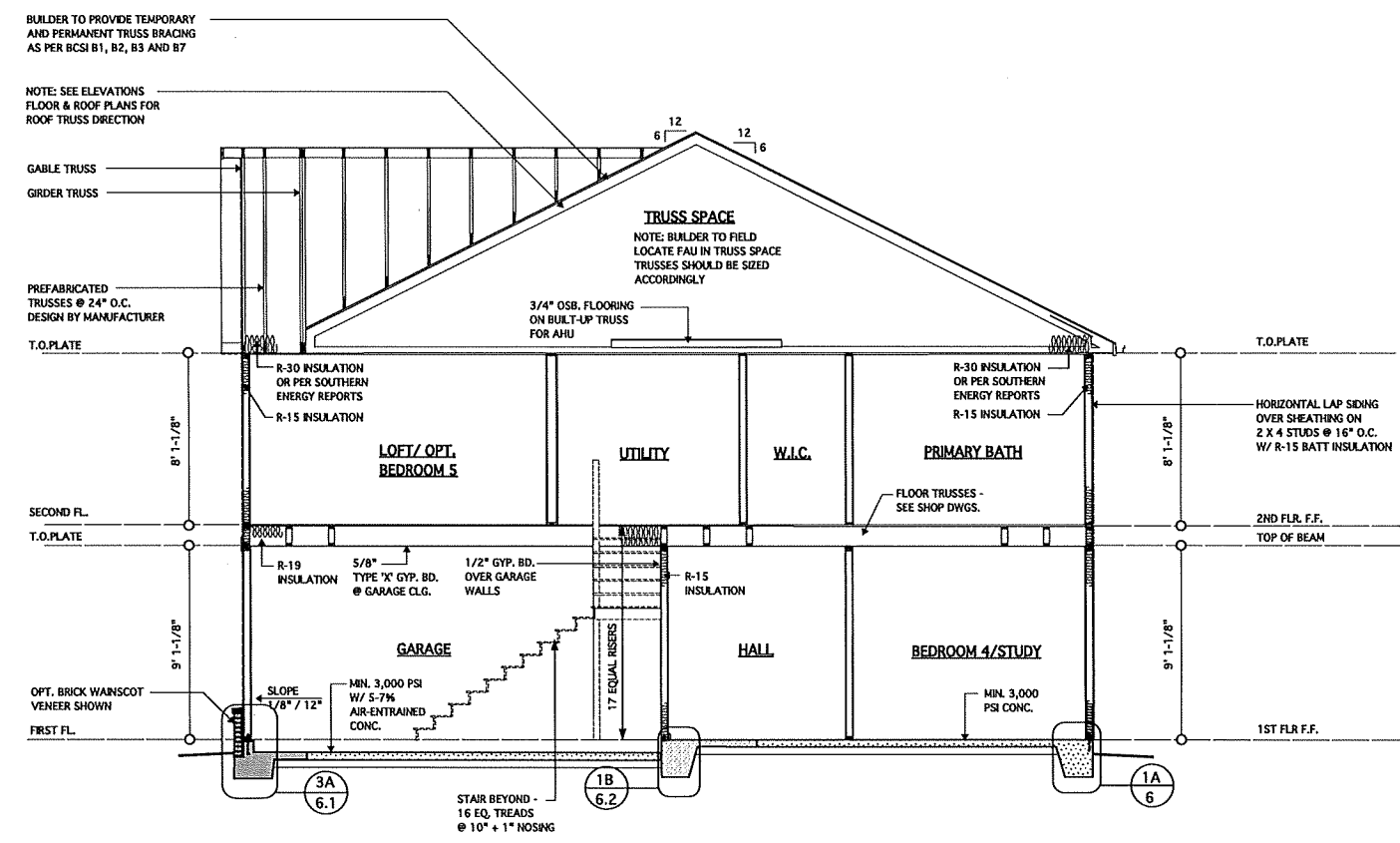
**TYP. STAIR SECTION**  
NO SCALE  
ALL STAIR AND GUARD REQUIREMENTS TO COMPLY WITH R-311 AND R312 NRC 2018



**TYPICAL RAILING @ PORCH/DECK**  
SCALE: 1/2" = 1'-0"  
(PROVIDE GUARDRAIL BOTH SIDES WHEN HEIGHT ABOVE GRADE EXCEEDS 30')  
(PROVIDE HANDRAIL ONE SIDE OF STEPS WHERE 4 OR MORE RISERS)



**HANDRAIL CROSS SECTIONS & DIMENSION:**  
2018 NRC, SECTIONS R311 AND R312

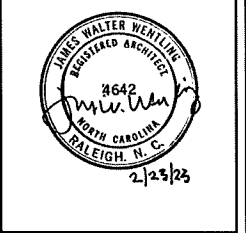


**TYPICAL BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

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DATE	DESCRIPTION
01-14-19	MINOR UPDATE
03-30-20	BLDG. HT/CITY COMMENTS
05-11-20	ADJUSTMENTS/NOTATIONS - CITY COMMENTS
01-14-21	RESTAMP SHEET
09-09-21	RESTAMP SHEET
02-07-23	NEILL'S POINT/FARM
02-23-23	1'-0" DINING EXTENSION/STRUCT. DWGS. REV.

PROJECT NO.	113-48
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	JX
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

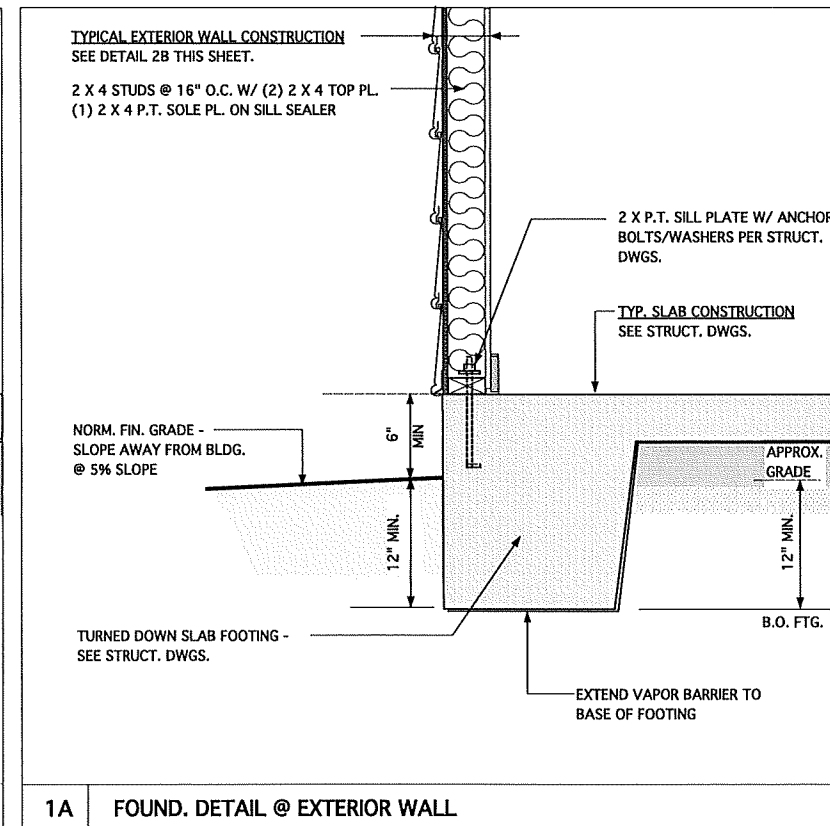
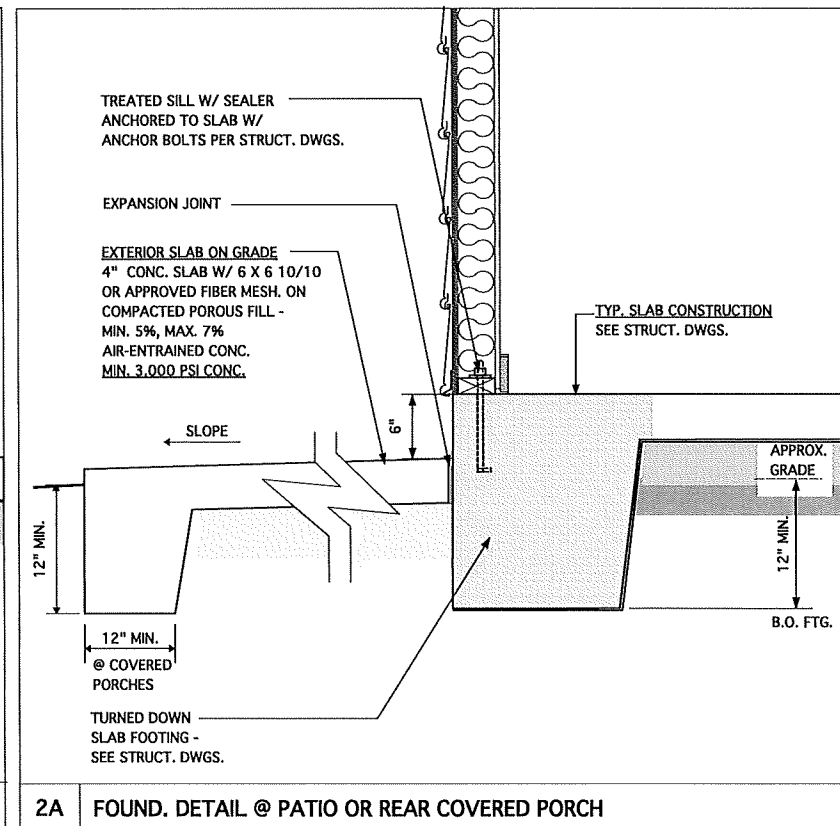
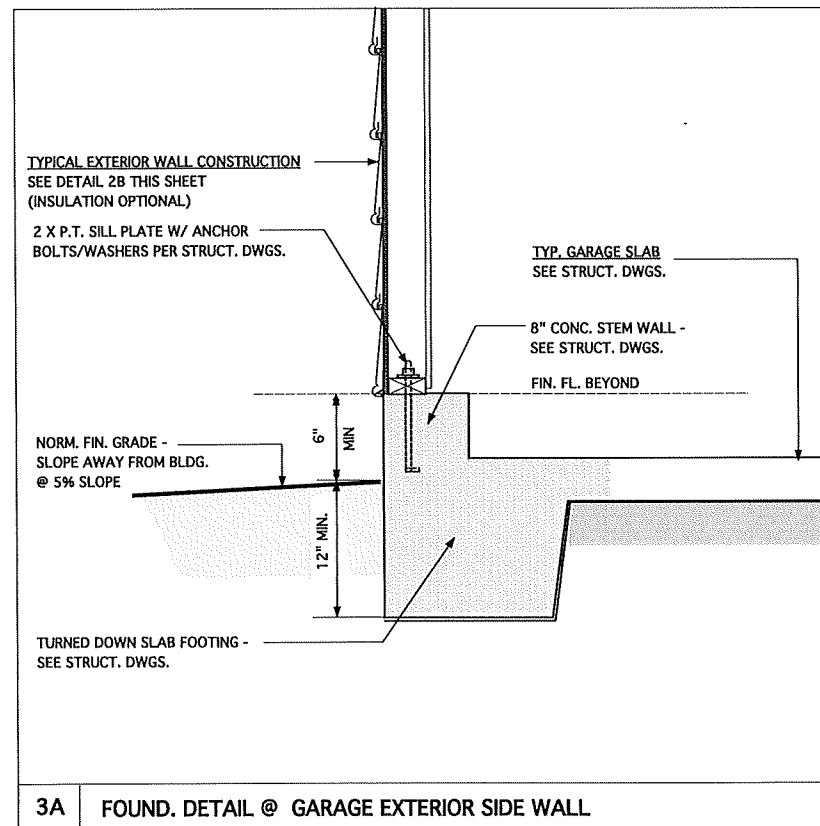
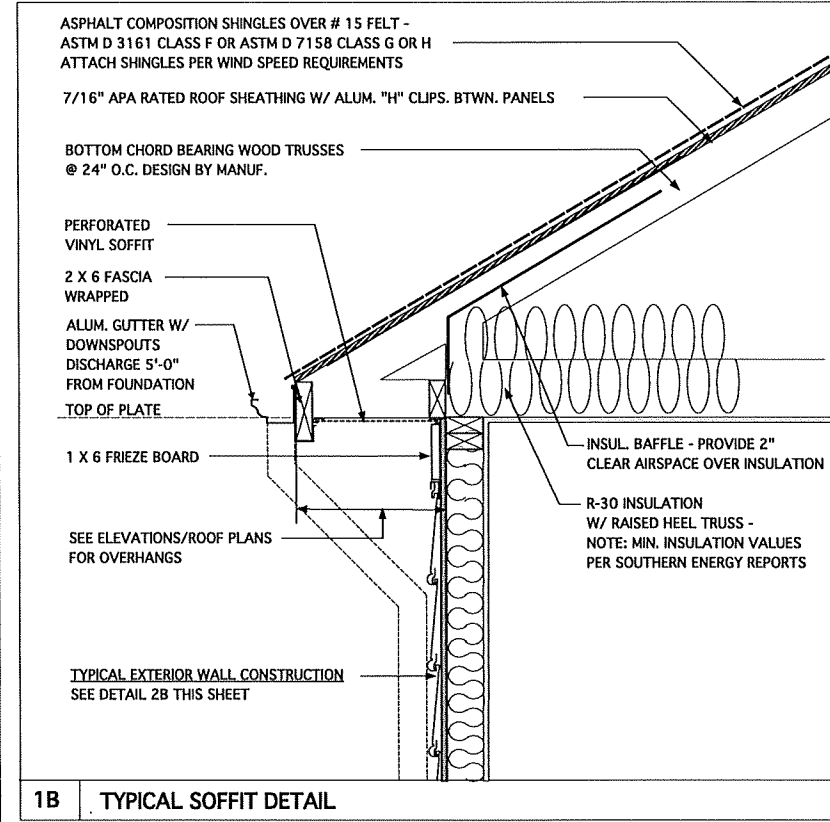
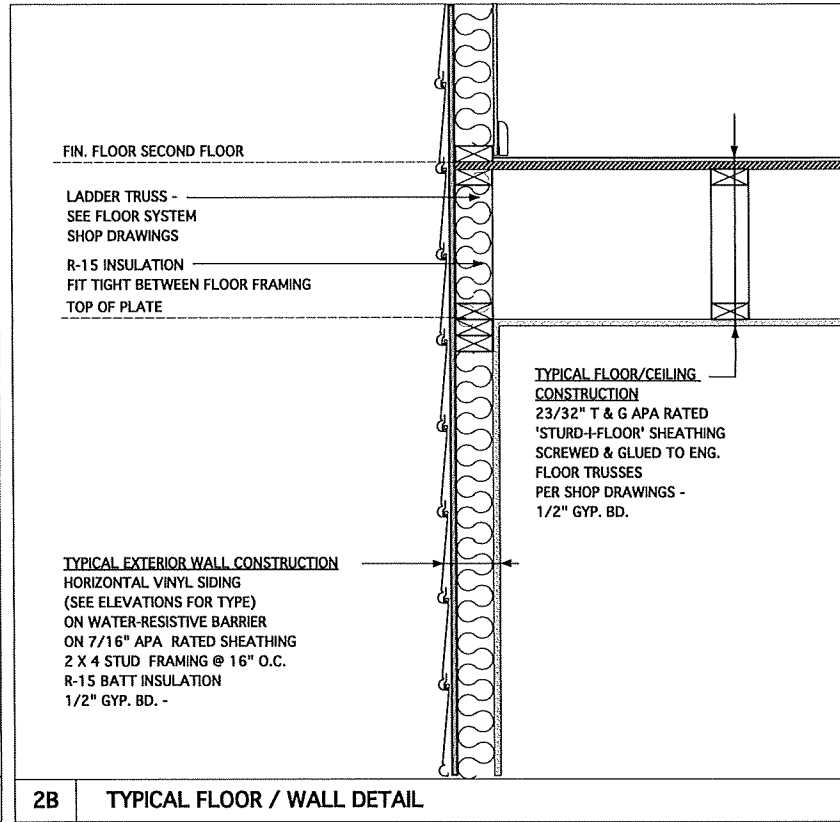
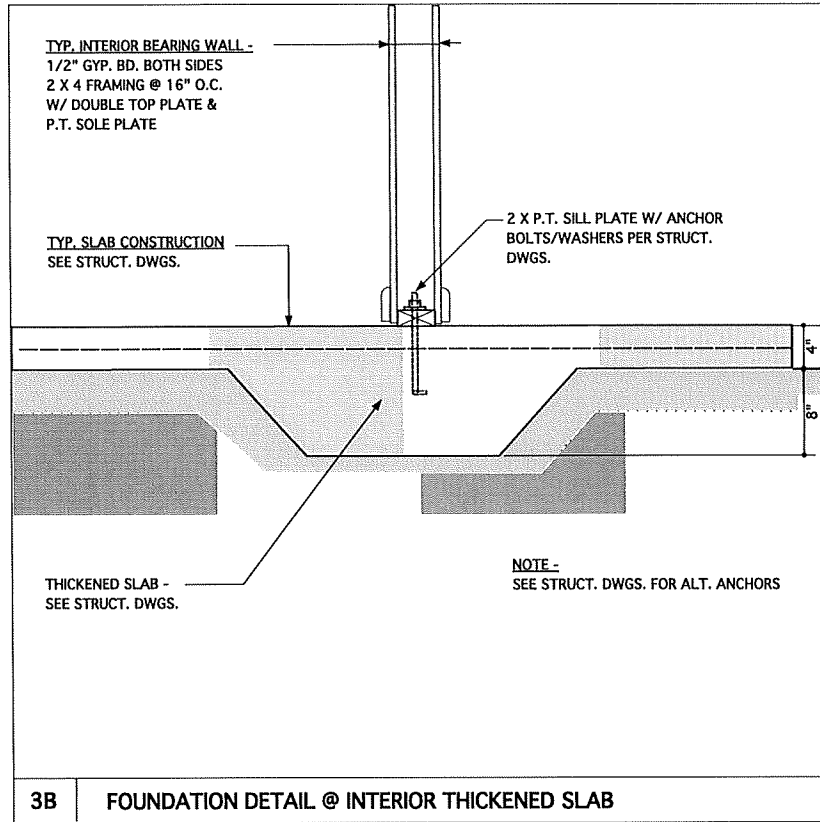
**MODEL 6260 -  
GARAGE RIGHT**

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**CHESAPEAKE  
HOMES OF NC**  
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Raleigh, NC 27604  
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**BUILDING SECTION**

**5**

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 REGISTERED ARCHITECT  
 #642  
 NORTH CAROLINA  
 RALEIGH, N. C.  
 2/23/23

DATE	DESCRIPTION
12-18-18	CONVERT HIGHGATE
01-14-19	MINOR UPDATE
01-14-21	RE-STAMP SHEET
02-09-21	OPT. PORCH FOOTINGS
09-09-21	RE-STAMP SHEET
02-07-23	NEBLL'S POINT/FARM

PROJECT NO. 113-88  
 DATE 10-16-17  
 SCALE 1-1/2" = 1'-0"  
 DRAWN BY DN  
 CHECKED BY JW  
 ISSUED FOR PERMITS/CONSTRUCTION

PROJECT TITLE  
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 3100 Smoketree Court,  
 Suite 210  
 Raleigh, NC 27604  
 (919) 256-3060  
 (919) 556-0690 Fax

DRAWING TITLE  
**MONOLITHIC SLAB  
 FOUNDATION, WALL  
 AND SOFFIT DETAILS**

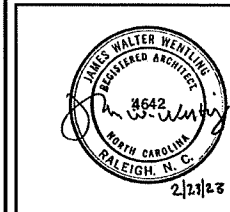
SHEET  
**6**



**JAMES WENTLING/  
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wentling@houseplans.com

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DATE	DESCRIPTION
12-18-18	CONVERT HIGHGATE
01-14-21	RE-STAMP SHEET
09-09-21	RE-STAMP SHEET
02-07-23	NEILL'S POINT/FARM

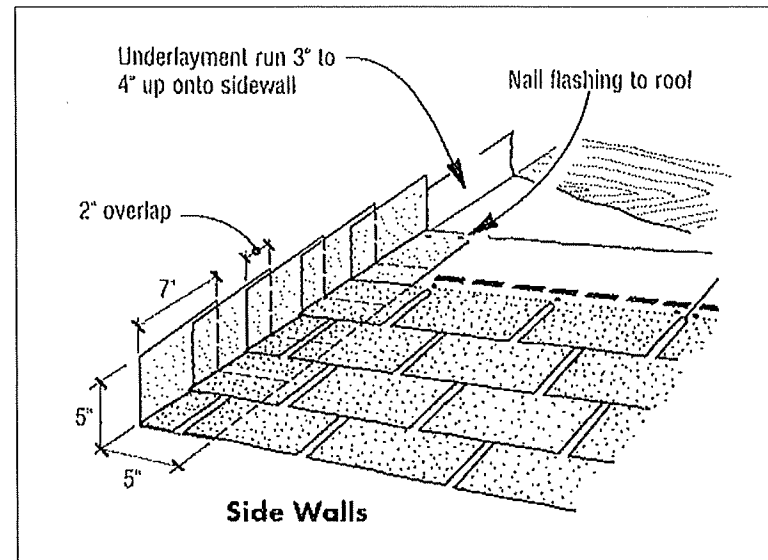
PROJECT NO.	113-88
DATE	10-16-17
SCALE	1-1/2" = 1'-0" U.N.O.
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

PROJECT TITLE  
**MODEL 6260 -  
GARAGE RIGHT**

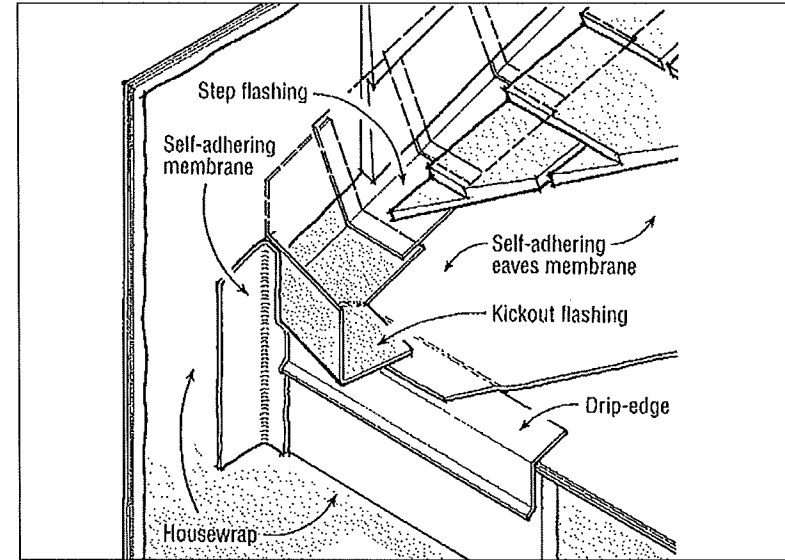
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Raleigh, NC 27604  
(919) 256-3060  
(919) 556-0690 Fax

DRAWING TITLE  
**MONOLITHIC SLAB  
FOUNDATION AND  
WALL DETAILS**

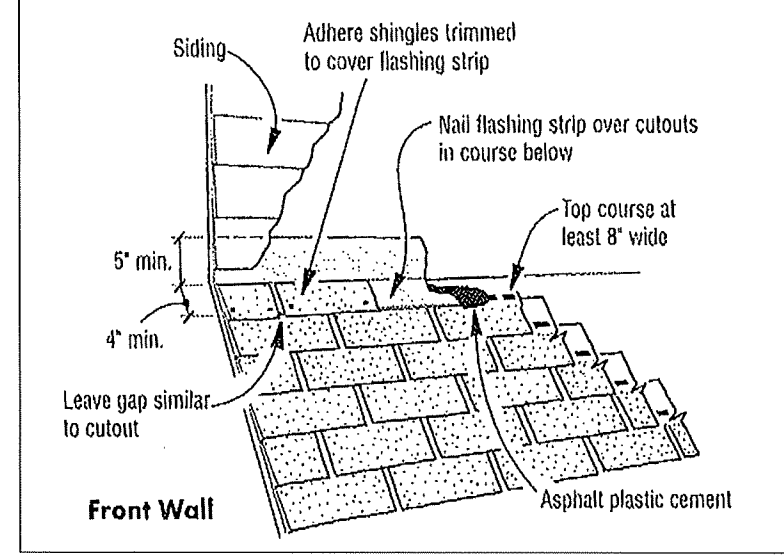
SHEET  
**6.1**



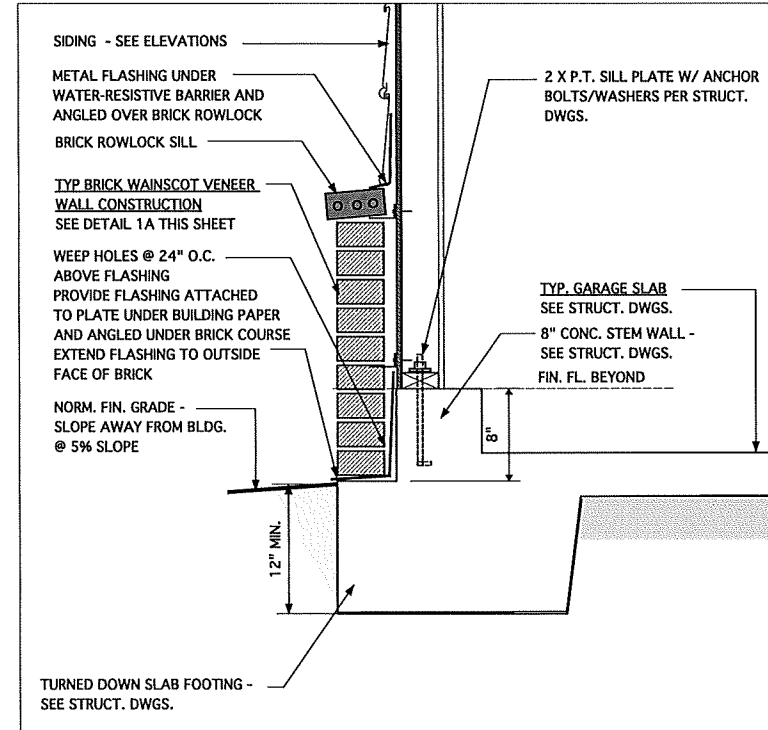
**3B ROOF FLASHING AGAINST SIDE WALL DETAIL**  
N.T.S.



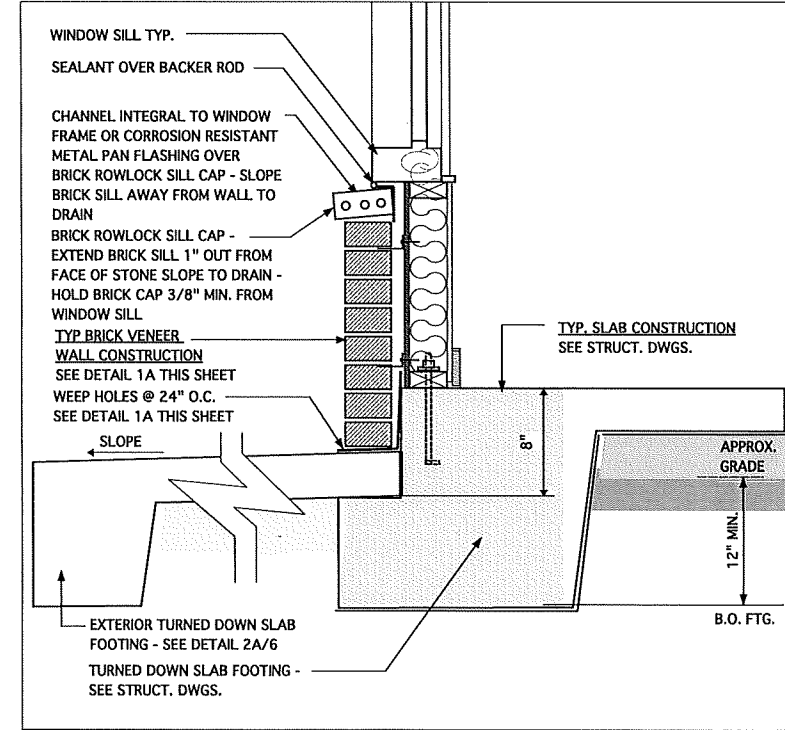
**2B KICK-OUT FLASHING DETAIL AT ROOF FASCIA/WALL INTERSECTION**  
N.T.S.



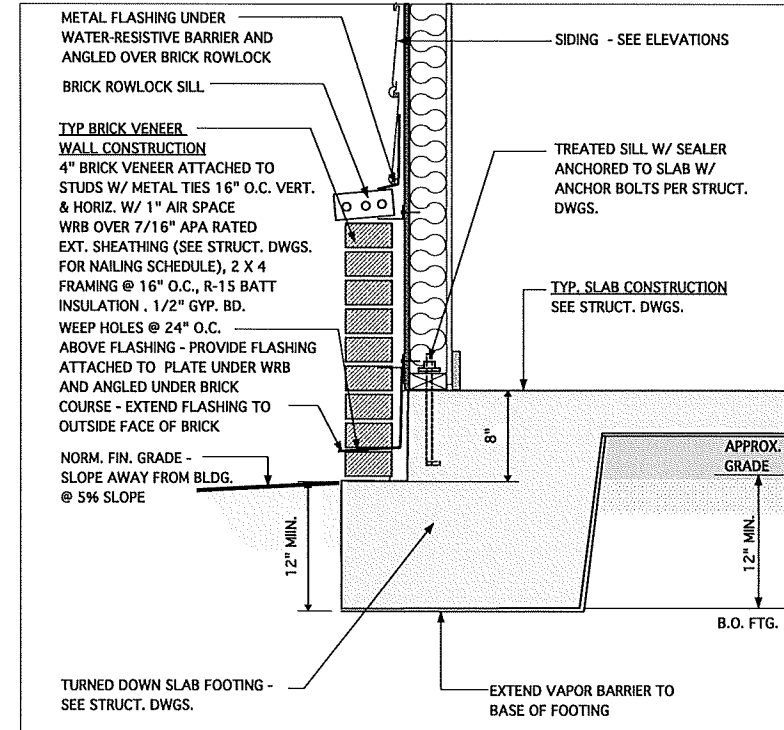
**1B ROOF FLASHING AGAINST FRONT WALL DETAIL**  
N.T.S.



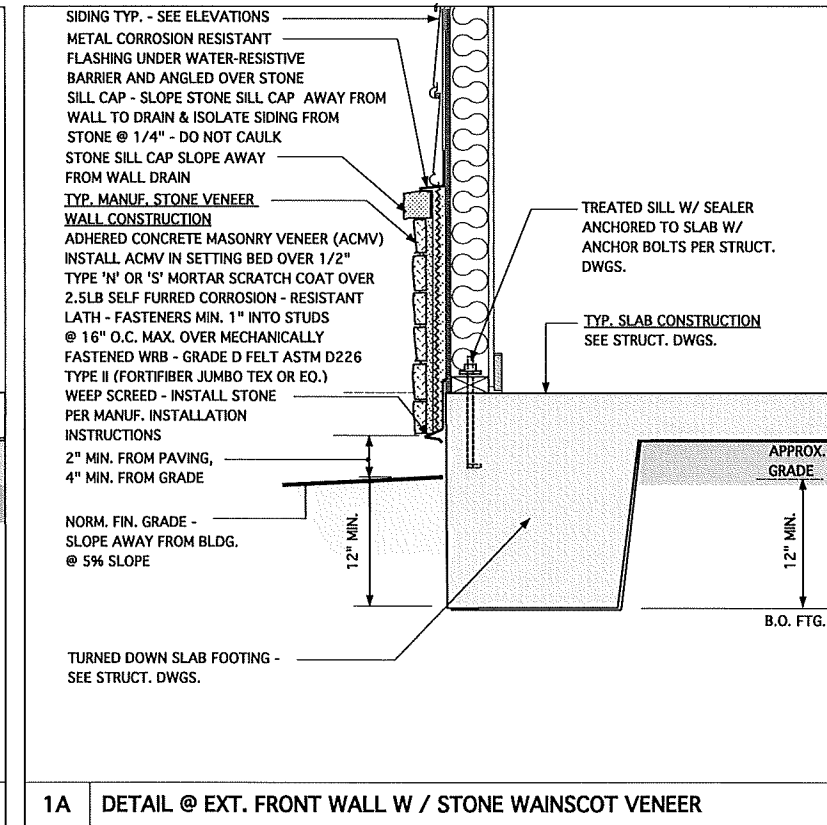
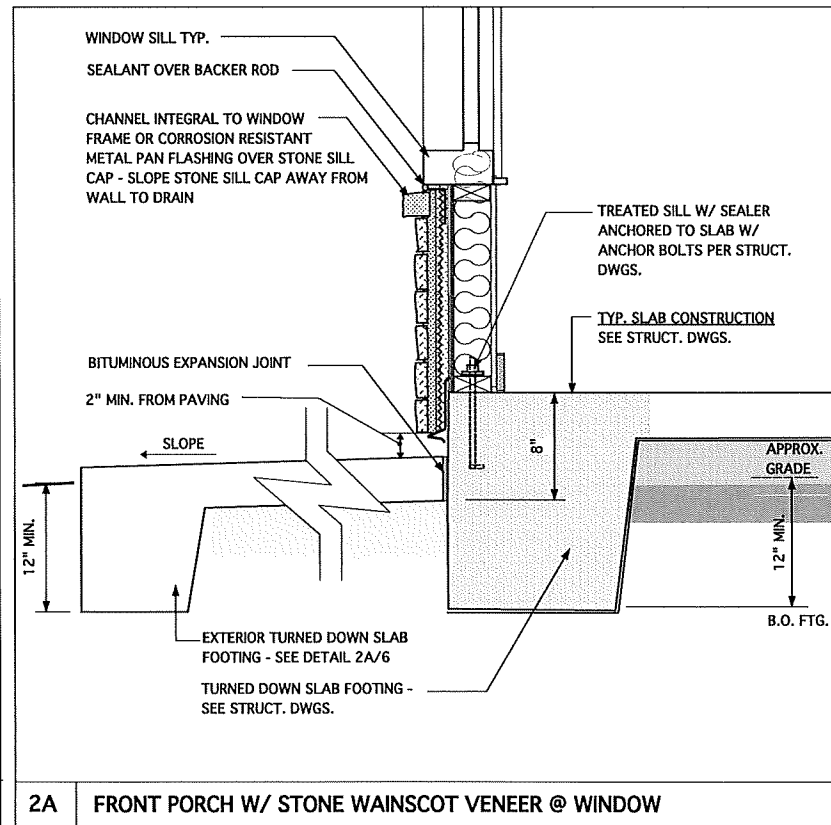
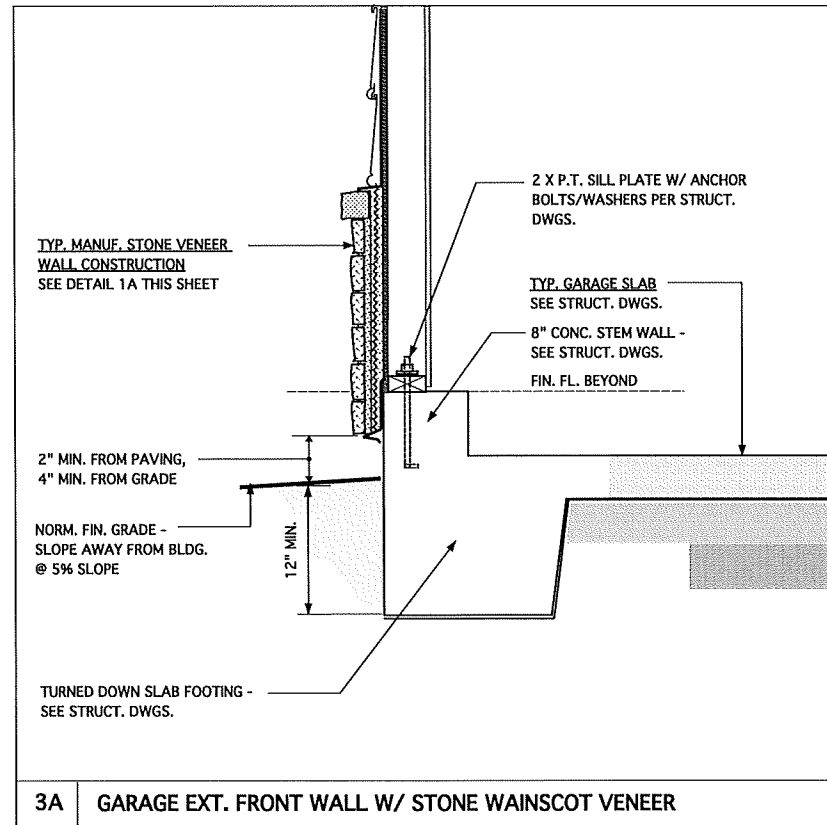
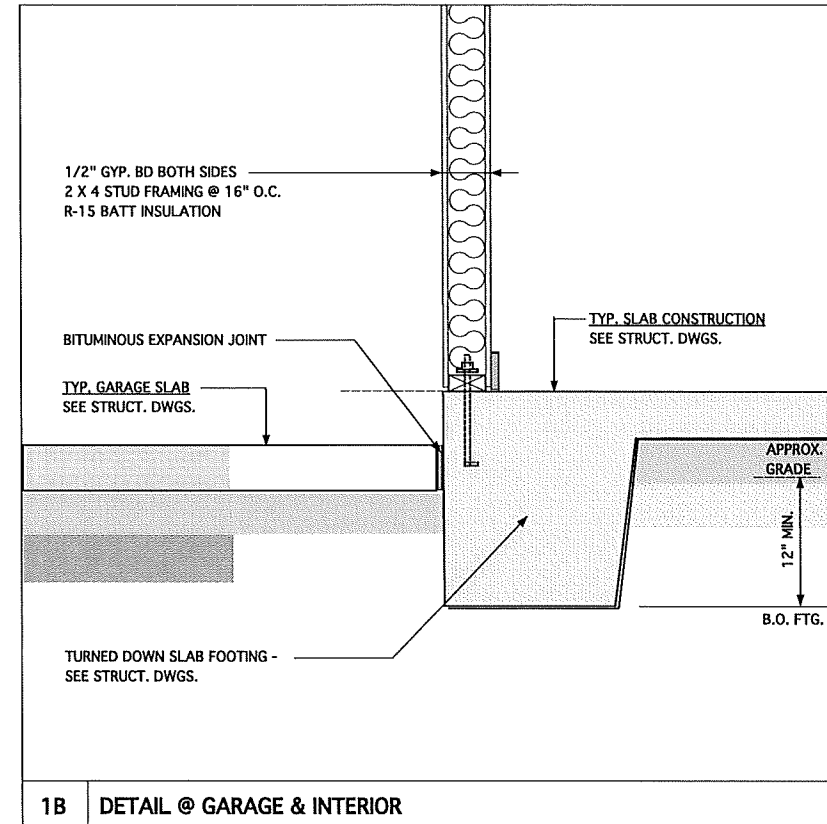
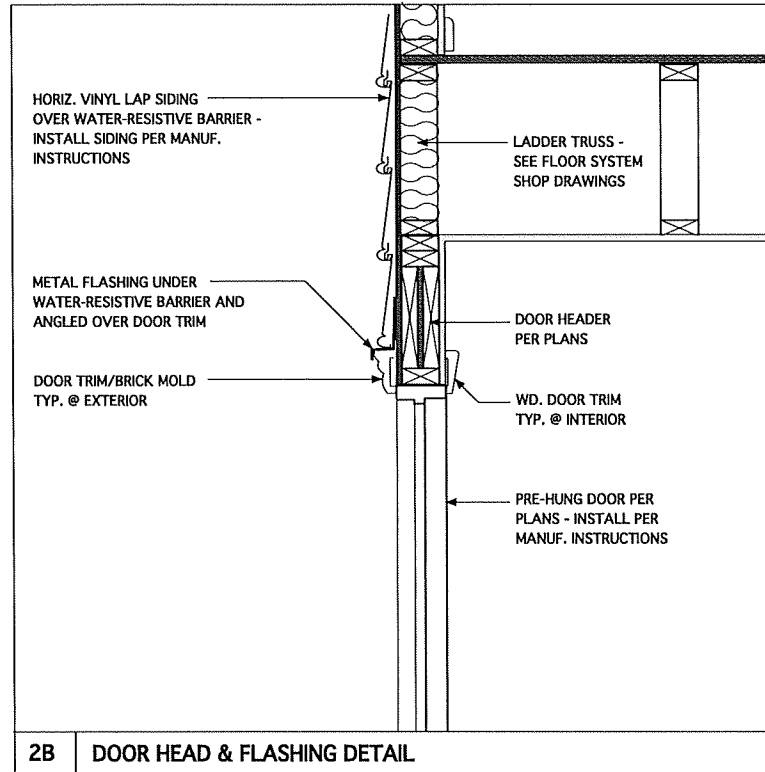
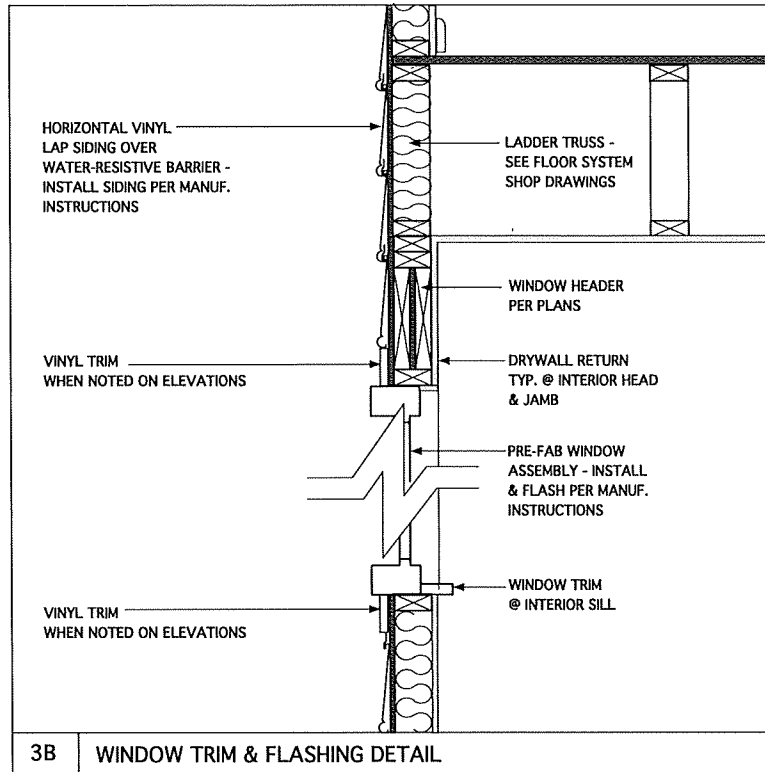
**3A EXT. GARAGE FRONT WALL W/ BRICK WAINSCOT VENEER**



**2A FOUND. DETAIL FRONT @ PORCH W/ BRICK WAINSCOT VENEER**



**1A FOUND. DETAIL @ FRONT WALL W/ BRICK WAINSCOT VENEER**



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 REGISTERED ARCHITECT  
 #642  
 NORTH CAROLINA  
 RALEIGH, N. C.  
 2/23/23

DATE	DESCRIPTION
12-18-18	CONVERT HIGHGATE
01-14-21	RE-STAMP SHEET
09-09-21	RE-STAMP SHEET
02-15-23	NEILL'S POINT/FARM

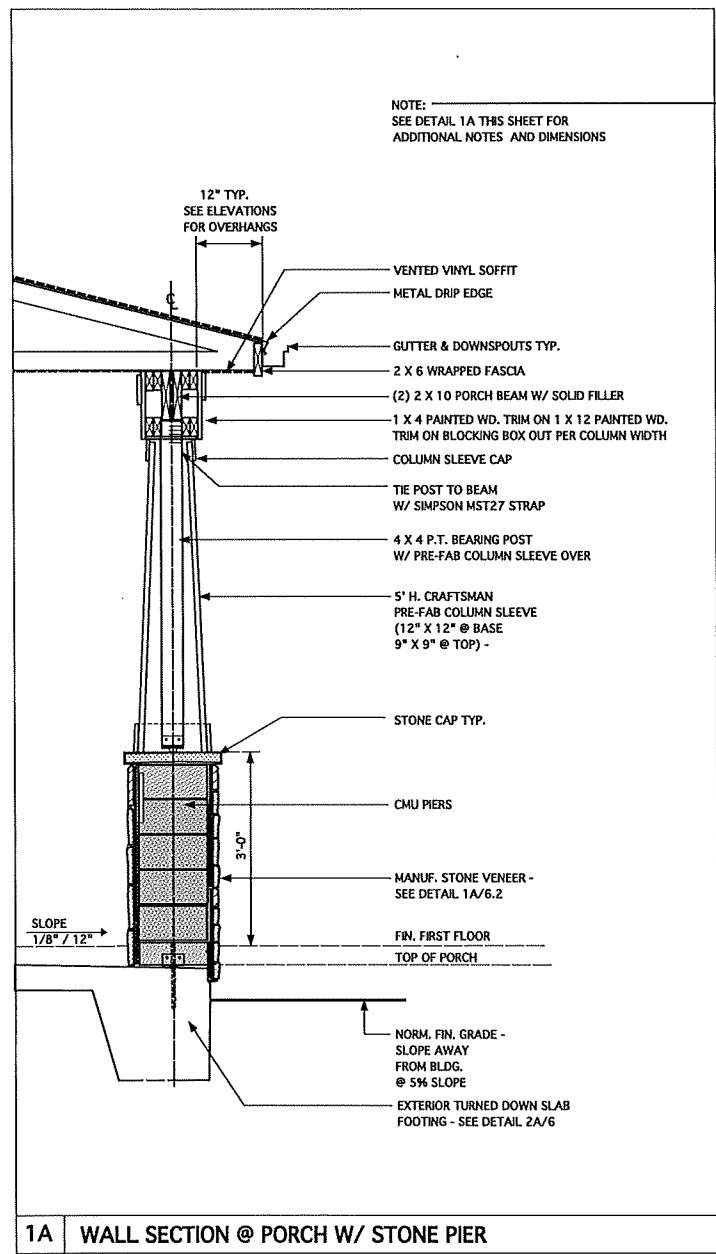
PROJECT NO. 113-88  
 DATE 10-16-17  
 SCALE 1-1/2" = 1'-0"  
 DRAWN BY DN  
 CHECKED BY JW  
 BIDD FOR PERMITS/CONSTRUCTION

PROJECT TITLE  
**MODEL 6260 - GARAGE RIGHT**

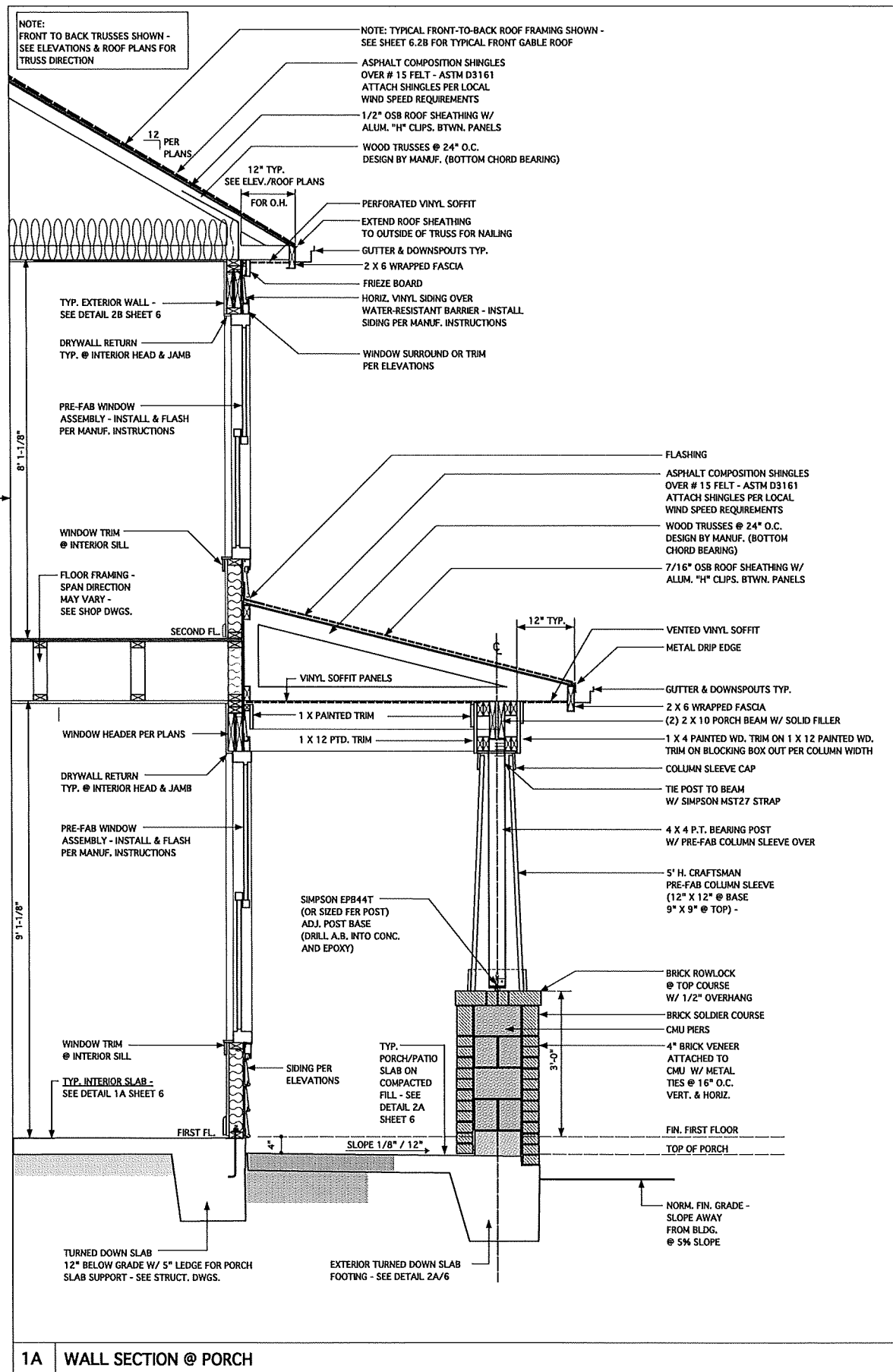
CLIENT  
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 3100 Smoketree Court,  
 Suite 210  
 Raleigh, NC 27604  
 (919) 256-3060  
 (919) 556-0690 Fax

DRAWING TITLE  
**MONOLITHIC SLAB FOUNDATION AND WALL DETAILS**

SHEET  
**6.2**



1A WALL SECTION @ PORCH W/ STONE PIER



1A WALL SECTION @ PORCH

**JAMES WENTLING/  
ARCHITECT**

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DATE	DESCRIPTION
12-18-18	CONVERT HIGHGATE
01-14-21	RE-STAMP SHEET
09-09-21	RE-STAMP SHEET
02-15-23	NEILL'S POINT/FARM

PROJECT NO.	113-48
DATE	01-08-18
SCALE	3/4" = 1'-0"
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

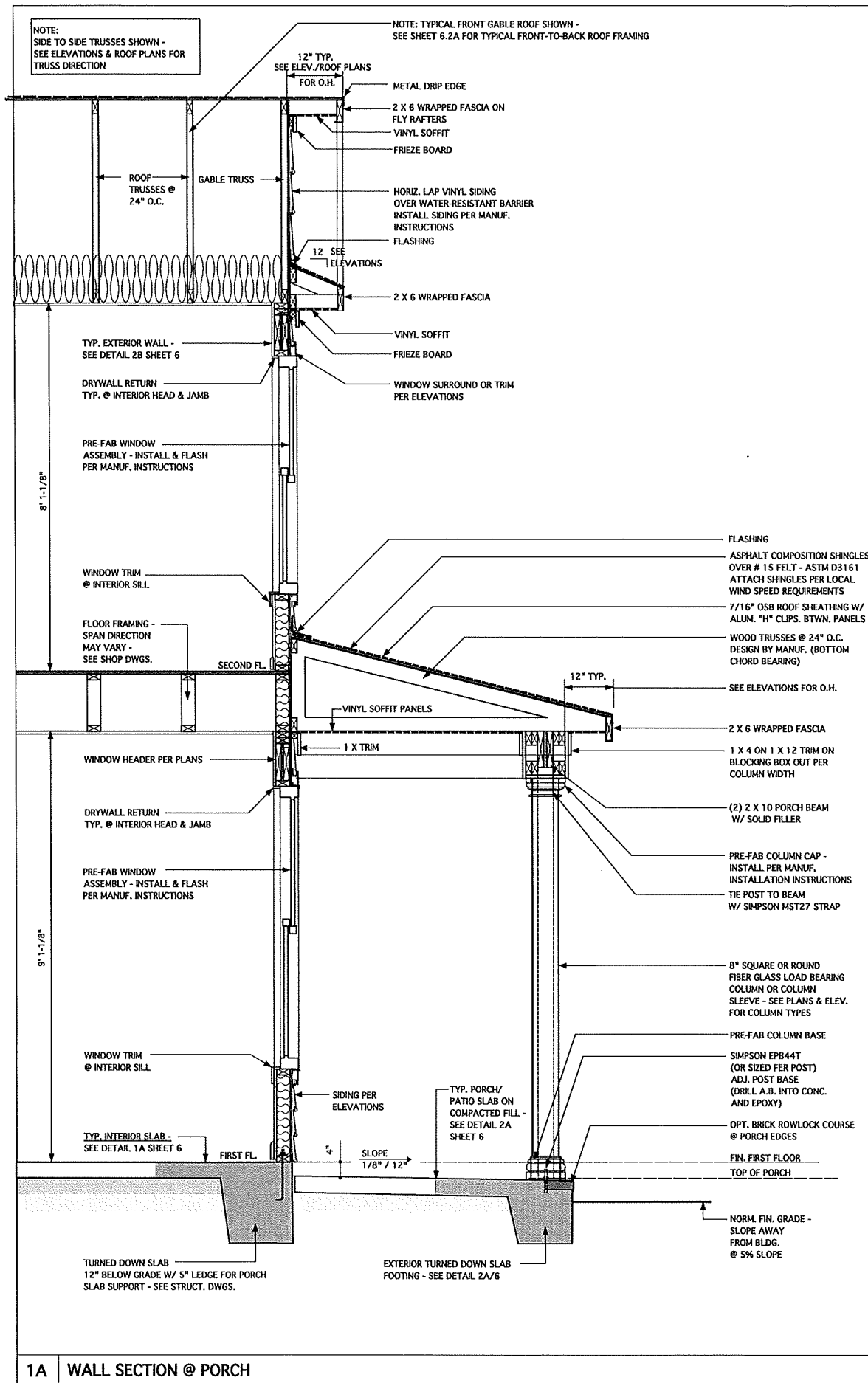
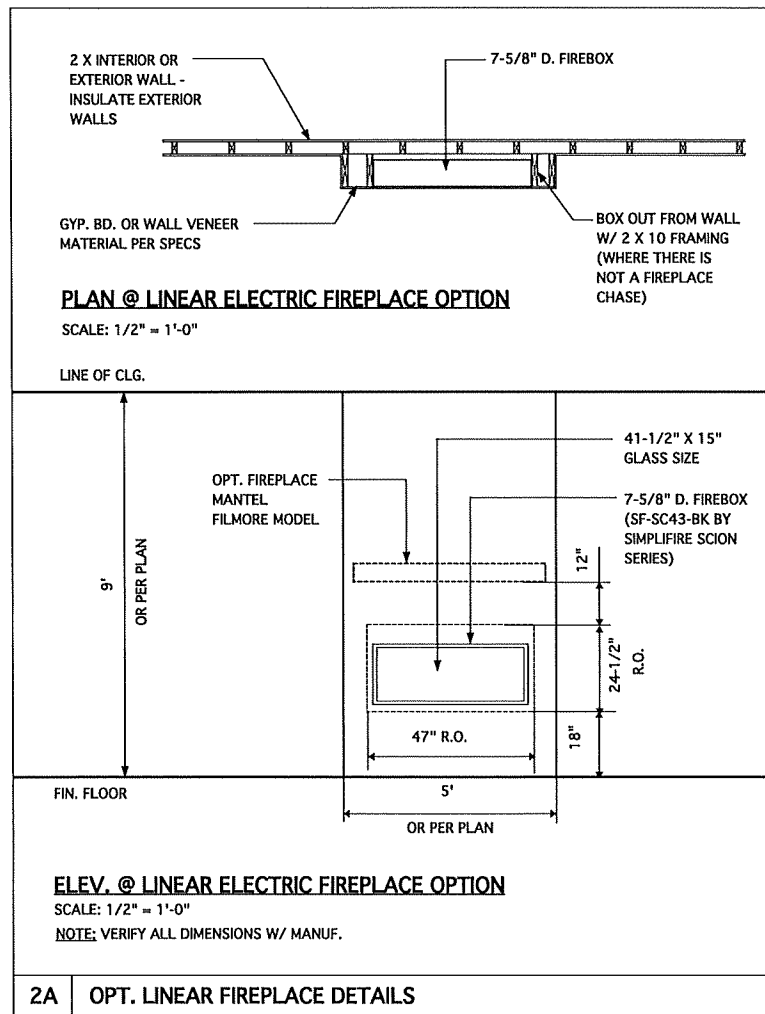
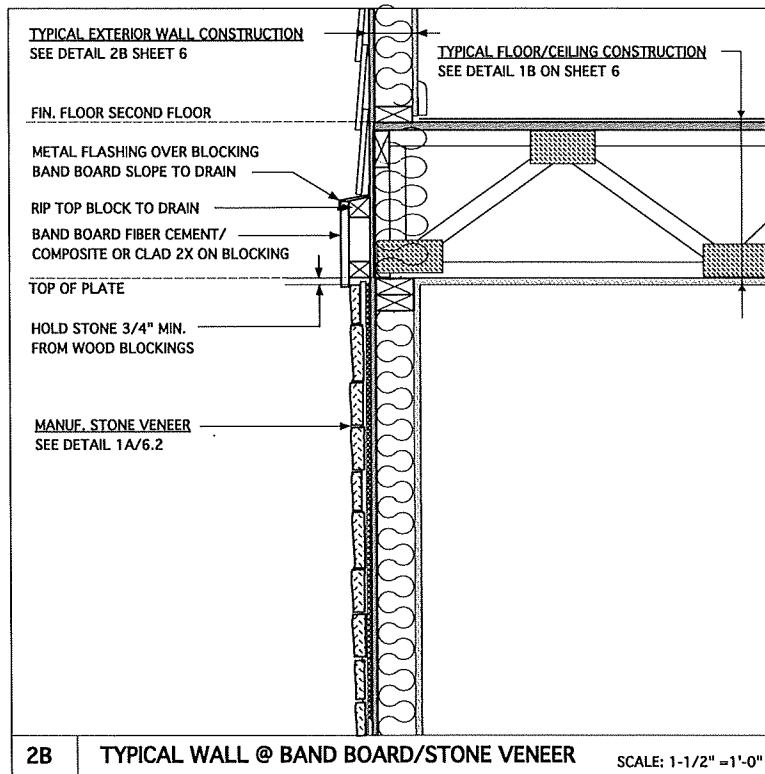
PROJECT TITLE  
**MODEL 6260 -  
GARAGE RIGHT**

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**CHESAPEAKE  
HOMES OF NC**  
3100 Smoketree Court,  
Suite 210  
Raleigh, NC 27604  
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DRAWING TITLE  
**ELEVATION A -  
DETAILS**

SHEET  
**6.2A**

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REGISTERED ARCHITECT  
#642  
NORTH CAROLINA  
RALEIGH, N. C.  
2/23/23

REVISIONS		
DATE	DESCRIPTION	BY
12-18-18	CONVERT HIGHGATE	DN
01-14-21	RE-STAMP SHEET	AM
09-09-21	RE-STAMP SHEET	AM
02-15-23	NEILL'S POINT/FARM	JW

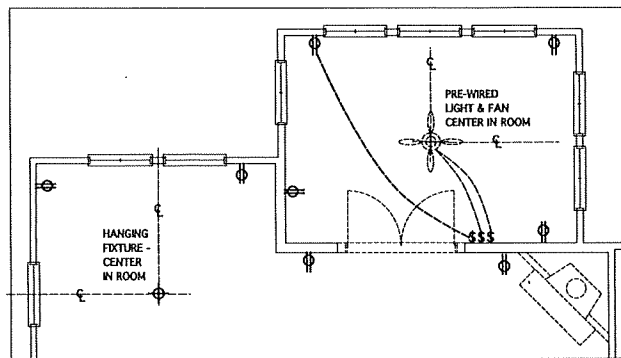
PROJECT NO. 113-88  
DATE 01-08-18  
SCALE 3/4" = 1'-0" U.N.D.  
DESIGNED BY DN  
CHECKED BY JW  
SUBMITTED FOR PERMITS/CONSTRUCTION

PROJECT TITLE  
**MODEL 6260 -  
GARAGE RIGHT**

CLIENT  
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HOMES OF NC**  
3100 Smoketree Court,  
Suite 210  
Raleigh, NC 27604  
(919) 256-3060  
(919) 556-0690 Fax

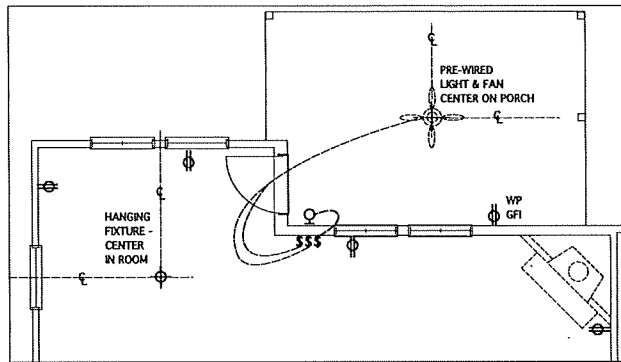
DRAWING TITLE  
**ELEVATION B/C/D/F -  
DETAILS**

SHEET  
**6.2B**



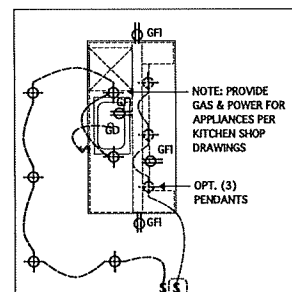
@ OPT. SUNROOM

SCALE 1/4" = 1'-0"



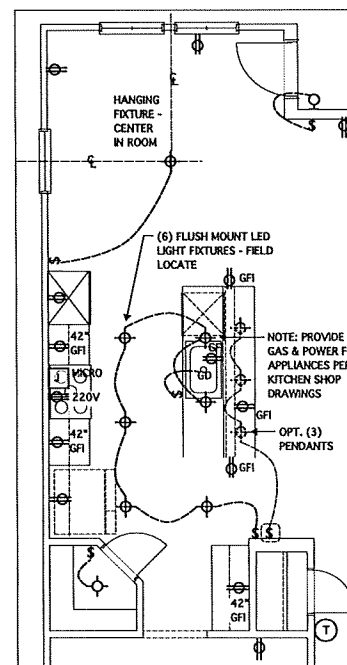
@ OPT. COVERED PORCH

SCALE 1/4" = 1'-0"



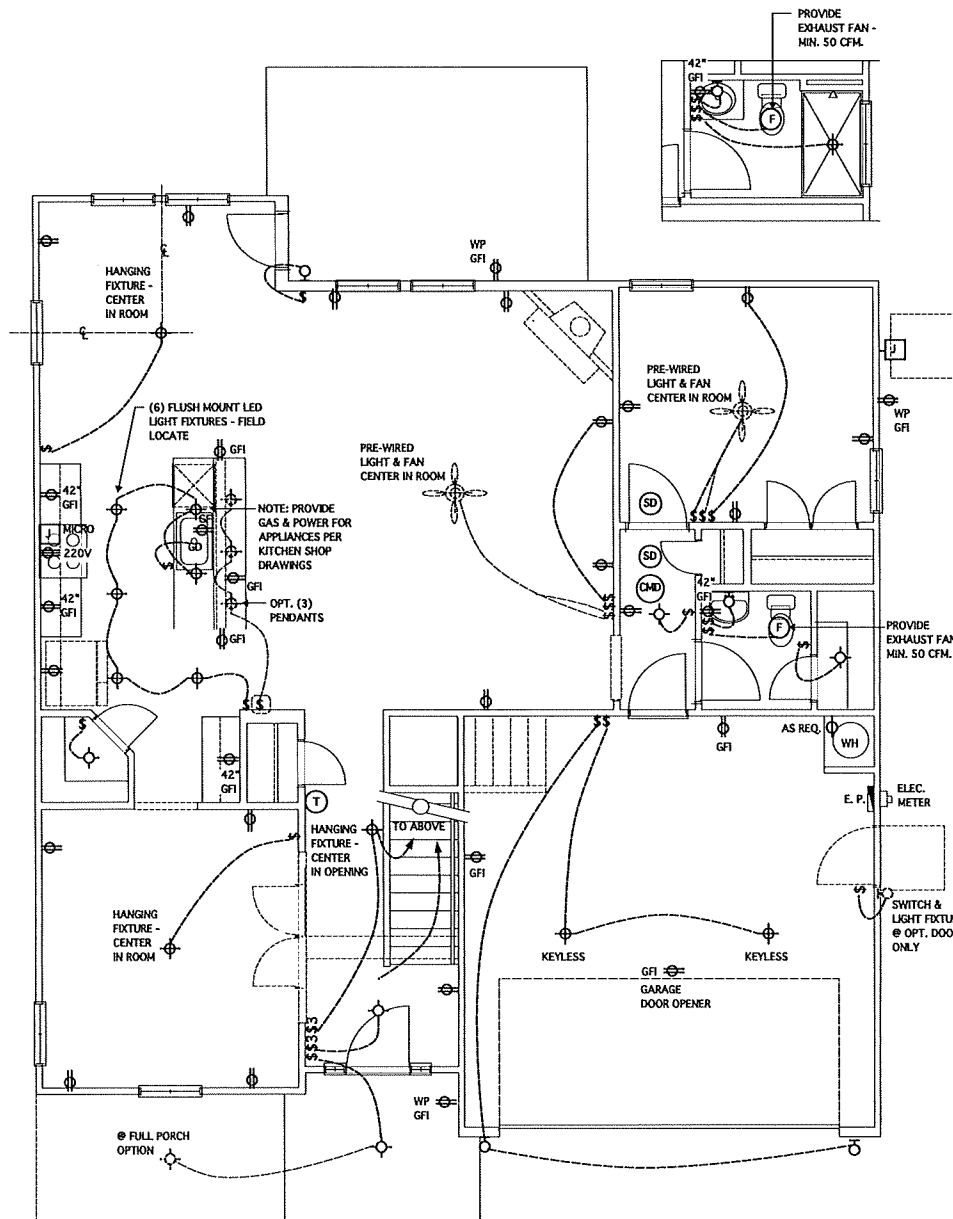
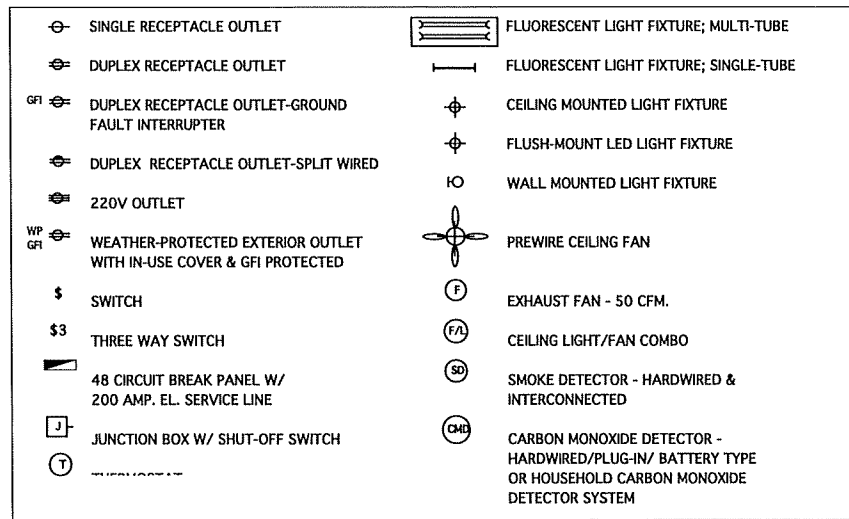
OPT. GOURMET KITCHEN ISLAND

SCALE 1/4" = 1'-0"



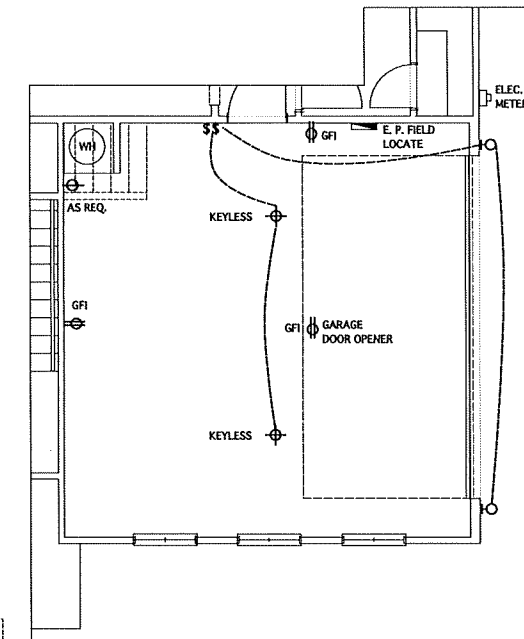
OPT. GOURMET KITCHEN

SCALE 1/4" = 1'-0"



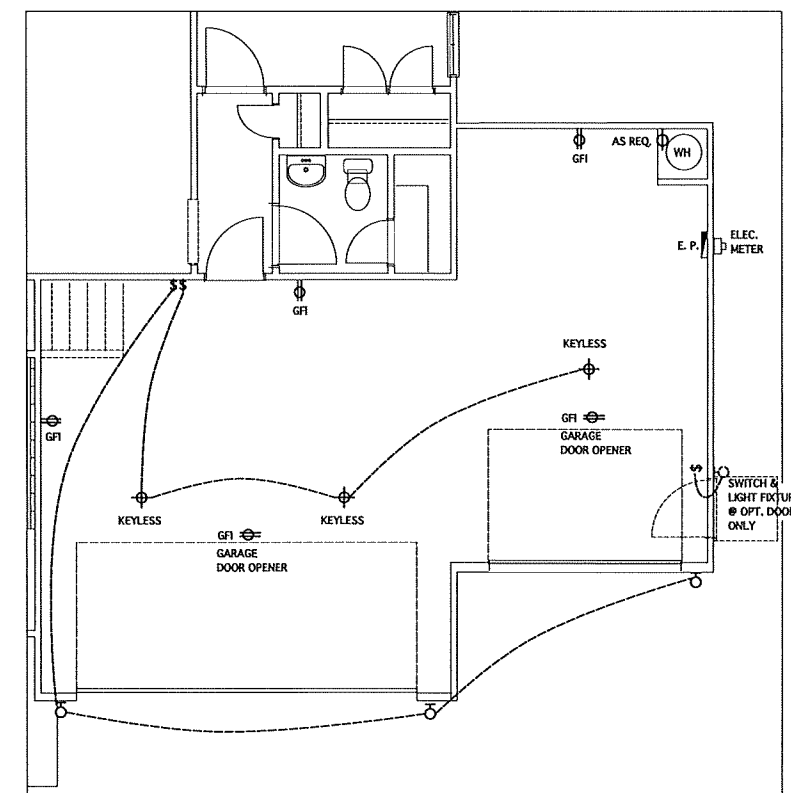
FIRST FLOOR ELECTRICAL PLAN

SCALE 1/4" = 1'-0"



@ OPT. SIDE-LOAD GARAGE @ ELEV. A

SCALE 1/4" = 1'-0"



FLOOR PLAN @ OPT. THIRD-CAR GARAGE

SCALE 1/4" = 1'-0"

**JAMES WENTLING/ ARCHITECT**  
 LAND TITLE BUILDING  
 100 SOUTH BROAD STREET,  
 SUITE 1524  
 PHILADELPHIA, PA 19110  
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 email: jwentling@wentlinghouseplans.com

ARCHITECTURE  
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 GRAPHICS

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**JAMES WALTER WENTLING**  
 REGISTERED ARCHITECT  
 #642  
 NORTH CAROLINA  
 RALEIGH, N. C.  
 2/21/23

DATE	DESCRIPTION
01-14-19	STRUCT. DWGS. REV.
05-28-19	ELEVATIONS
12-10-19	3RD CAR GARAGE EXT.
01-14-21	RE-STAMP SHEET
09-09-21	RE-STAMP SHEET
02-15-23	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.
02-23-23	

PROJECT NO. 113-88  
 DATE 01-08-18  
 SCALE AS NOTED  
 DRAWN BY JK  
 CHECKED BY JW  
 ISSUED FOR PERMITS/CONSTRUCTION

PROJECT TITLE  
**MODEL 6260 - GARAGE RIGHT**

CLIENT  
**CHESAPEAKE HOMES OF NC**  
 3100 Smoketree Court,  
 Suite 210  
 Raleigh, NC 27604  
 (919) 256-3060  
 (919) 556-0690 Fax

DRAWING TITLE  
**FIRST FLOOR ELECTRICAL PLANS**

SHEET  
**7**

**JAMES WENTLING/  
ARCHITECT**  
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100 SOUTH BROAD STREET,  
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REVISIONS		
NO.	DATE	DESCRIPTION
DN	01-14-19	STRUCT. DWGS. REV.
CH	05-28-19	FULL PORCH OPT.
AM	01-14-21	RESTAMP SHEET
AM	09-09-21	M. BATH WINDOW REV.
JW	02-15-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT. DWGS. REV.

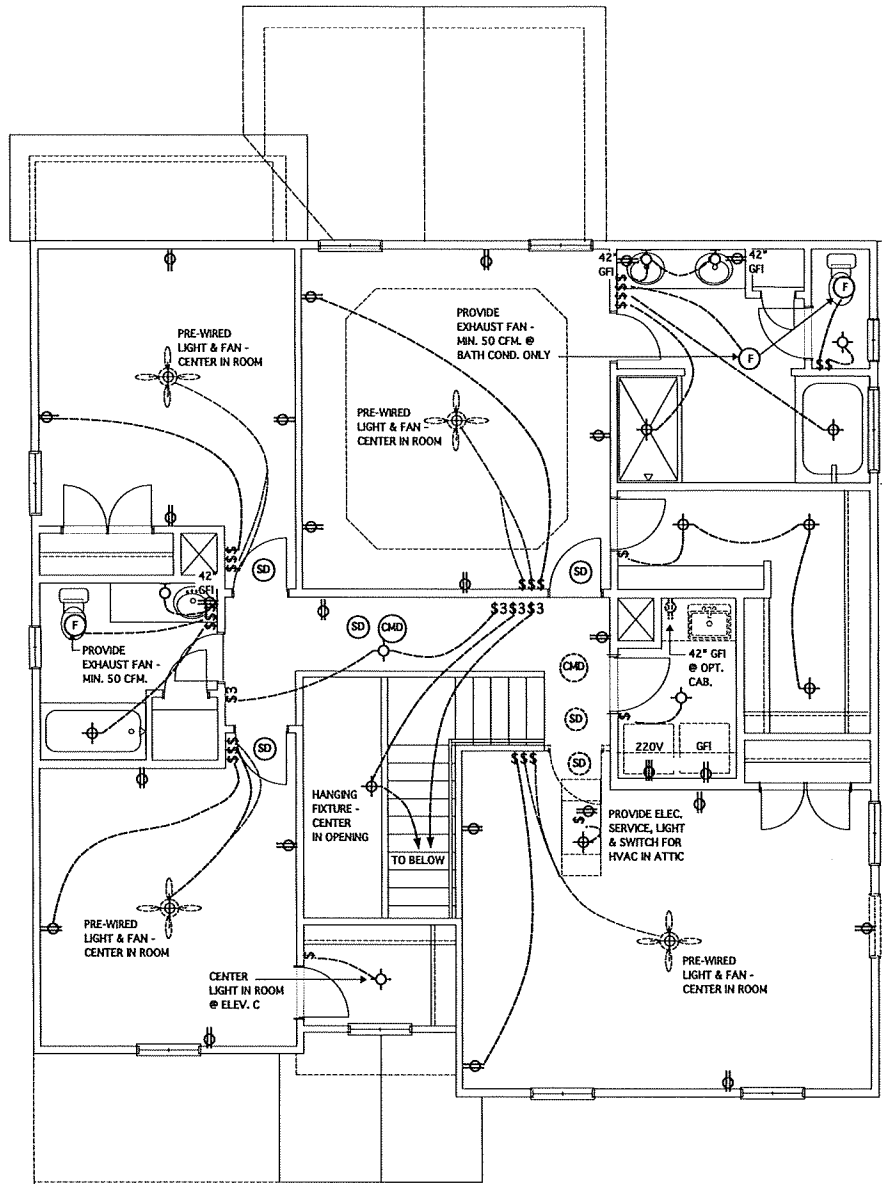
PROJECT NO.	113-88
DATE	01-08-18
SCALE	AS NOTED
DRAWN BY	JK
CHECKED BY	JW
USED FOR	PERMITS/CONSTRUCTION

PROJECT TITLE  
**MODEL 6260 -  
GARAGE RIGHT**

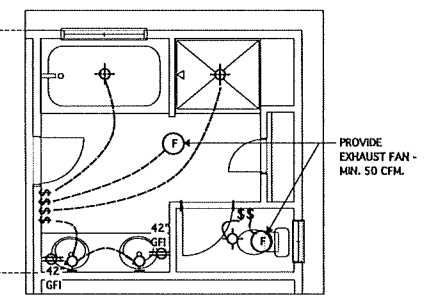
CLIENT  
**CHESAPEAKE  
HOMES OF NC**  
3100 Smoketree Court,  
Suite 210  
Raleigh, NC 27604  
(919) 256-3060  
(919) 556-0690 Fax

DRAWING TITLE  
**SECOND FLOOR  
ELECTRICAL PLANS**

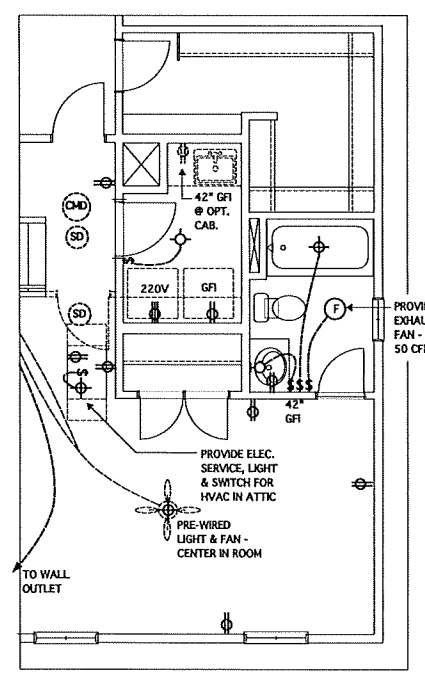
SHEET  
**7.1**



**SECOND FLOOR PLAN**  
SCALE 1/4" = 1'-0"



**@ OPT. DELUXE PRIMARY BATH**  
SCALE 1/4" = 1'-0"



**OPT. BATH & CLOSET**  
SCALE 1/4" = 1'-0"

	SINGLE RECEPTACLE OUTLET		FLUORESCENT LIGHT FIXTURE; MULTI-TUBE
	DUPLEX RECEPTACLE OUTLET		FLUORESCENT LIGHT FIXTURE; SINGLE-TUBE
	DUPLEX RECEPTACLE OUTLET-GROUND FAULT INTERRUPTER		CEILING MOUNTED LIGHT FIXTURE
	DUPLEX RECEPTACLE OUTLET-SPLIT WIRED		FLUSH-MOUNT LED LIGHT FIXTURE
	220V OUTLET		WALL MOUNTED LIGHT FIXTURE
	WEATHER-PROTECTED EXTERIOR OUTLET WITH IN-USE COVER & GFI PROTECTED		PREWIRE CEILING FAN
	SWITCH		EXHAUST FAN - 50 CFM.
	THREE WAY SWITCH		CEILING LIGHT/FAN COMBO
	48 CIRCUIT BREAK PANEL W/ 200 AMP. EL. SERVICE LINE		SMOKE DETECTOR - HARDWIRED & INTERCONNECTED
	JUNCTION BOX W/ SHUT-OFF SWITCH		CARBON MONOXIDE DETECTOR - HARDWIRED/PLUG-IN/ BATTERY TYPE OR HOUSEHOLD CARBON MONOXIDE DETECTOR SYSTEM
	FIRE EXTINGUISHER		

**STRUCTURAL NOTES**

NC (2018 NCRS), Mnd. 115-120 mph

- ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HPS, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS AND HEADERS, COLUMNS, CANTILEVERS, OFFSET LOAD BEARING WALLS, PER A GARDER SYSTEM FOOTINGS, AND PLUMBING SYSTEMS. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM. ALL REQUIREMENTS FOR PROFESSIONAL CERTIFICATION SHALL BE PROVIDED BY THE APPROPRIATE PROFESSIONAL. SOUTHERN ENGINEERS, P.A. CERTIFIES ONLY THE STRUCTURAL COMPONENTS AS SPECIFICALLY STATED.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE 2018 NC RESIDENTIAL CODE PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROGRAMS OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK, NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONSTRUCTION REVIEW SERVICES ARE NOT PART OF OUR CONTRACT. ALL HEADERS SHALL BE FRAMED, ANCHORED, TIED AND BRACED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE AND THE BUILDING CODE.
- DESIGN LOADS (LISTED AS: LIVE LOAD, DEAD LOAD, DEFLECTION)
  - ROOFS OTHER THAN SLEEPING ROOFS: (40 PSF, 10 PSF, L260C)
  - SLEEPING ROOFS: (20 PSF, 10 PSF, L260C)
  - ATTIC WITH PERMANENT STAIR: (40 PSF, 10 PSF, L260C)
  - ATTIC WITHOUT PERMANENT STAIR: (20 PSF, 10 PSF, L260C)
  - STAIRS: (40 PSF, 10 PSF, L260C)
  - EXTERIOR BALCONIES: (60 PSF, 10 PSF, L260C)
  - DECKS: (40 PSF, 10 PSF, L260C)
  - GUARDRAILS AND HANDRAILS: (200 LBS)
  - PASSENGER VEHICLE GARAGES: (50 PSF, 10 PSF, L260C)
  - FIRE ESCAPES: (40 PSF, 10 PSF, L260C)
  - SNOW: (20 PSF)
- WALLS SHALL BE BRACED BY SHEATHING WALLS ON ALL STORES WITH HOOD STRUCTURAL PANELS. SEE FRAMING NOTES FOR THICKNESS AND WALLING REQUIREMENTS.
- SEE APPENDIX H (DCA6) FOR EXTERIOR DECK REQUIREMENTS INCLUDING ATTACHMENTS FOR LATERAL LOADS.
- CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI AND A MAXIMUM SLUMP OF 5 INCHES UNLESS NOTED OTHERWISE (N.C.). AIR ENTRAINMENT PER TABLE 402.2. ALL CONCRETE SHALL BE PROPORTIONED, HAND MIXED, SAMPLED, TESTED, AND PLACED IN ACCORDANCE WITH ACI STANDARDS. ALL SAMPLES FOR PUMPING SHALL BE TAKEN FROM THE EXIT END OF THE PUMP. CONTROL JOINTS IN SLABS SHALL BE SPACED ON A GRID OF +30 TIMES THE DEPTH (D). CONTROL JOINTS SHALL BE SAUGHT TO A DEPTH OF 10, I.E. 4" CONCRETE SLABS SHALL HAVE A DEEP CONTROL JOINTS SAUGHT IN SLAB ON A +10'-0" x +10'-0" GRID.
- ALLOWABLE SOIL BEARING PRESSURE ASSIGNED TO BE 3000 PSF. THE CONTRACTOR MUST CONTACT A GEOTECHNICAL ENGINEER AND THE STRUCTURAL ENGINEER IF INADEQUATE SUBSURFACE CONDITIONS ARE ENCOUNTERED. THE SURFACE AREA ADJACENT TO THE FOUNDATION WALL SHALL BE PROVIDED WITH ADEQUATE DRAINAGE AND SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALL.
- ALL FRAMING LUMBER SHALL BE SPP #2 SPS - SPS UNLESS NOTED OTHERWISE (N.C.). ALL TREATED LUMBER SHALL BE SPP #2 PLATE MATERIAL MAY BE SPP #3 OR SPP #5 (S+SPF) = 42S PSI - MIN.
- L.V.L. SHALL BE LAMINATED VENEER LUMBER: Fv=2600 PSI, Fv=205 PSI, E=1,540,000 PSI. P.S.L. SHALL BE PARALLEL STRAND LUMBER: Fv=2400 PSI, Fv=240 PSI, E=2,000,000 PSI. L.S.L. SHALL BE LAMINATED STRAND LUMBER: Fv=2250 PSI, Fv=240 PSI, E=1,500,000 PSI. INSTALL ALL CONNECTIONS PER MANUFACTURER'S INSTRUCTIONS.
- ALL ROOF TRUSS AND I-JOIST LAYOUTS SHALL BE PREPARED IN ACCORDANCE WITH THE SEALED STRUCTURAL DRAWINGS. TRUSSES AND I-JOISTS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. ANY CHANGE IN TRUSS OR I-JOIST LAYOUT SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
- ALL STRUCTURAL STEEL SHALL BE ASTM A-36. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" INCHES AND FULL FLANGE WIDTH. PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED TO EACH SUPPORT WITH TWO LAG SCREWS (1/2" DIAMETER x 4" LONG). LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOIST ARE TIE NAILLED TO THE SOLE PLATE AND SOLE PLATE IS NAILLED OR BOLTED TO THE BEAM FLANGE @ 40" O.C. ALL STEEL TUBING SHALL BE ASTM A500.
- REBAR SHALL BE DEFORMED STEEL, ASTM60, GRADE 60. LAP ALL REBAR SPICES 30 BAR DIAMETERS.
- FLITCH BEAMS SHALL BE BOLTED TOGETHER USING (2) ROWS OF 1/2" DIAMETER BOLTS (ASTM A529) WITH WAGNERS PLACED UNDER THE THREADED END OF BOLT. BOLTS SHALL BE SPACED AT 24" O.C. (MAX) AND STAGGERED AT THE TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH 2 BOLTS LOCATED AT 6" FROM EACH END.
- BRICK LINTELS (WHEN REQUIRED) SHALL BE 8 1/2"x12"x14" STEEL ANGLE FOR UP TO 6'-0" SPAN AND 8"x12"x14" STEEL ANGLE WITH 6" LEG VERTICAL FOR SPANS UP TO 9'-0". SEE PLANS FOR SPANS OVER 9'-0". SEE ALSO SECTION R103.8.3 LINTELS.

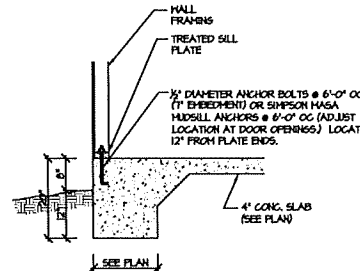
**FRAMING NOTES**

NC (2018 NCRS), Mnd. 115-120 mph

- BRACING METHOD AND TYPE: CONTINUOUSLY SHEATHED HEP, GS-HP. NOTE THAT THE WALL BRACING AMOUNT PROVIDED ON THE PLANS (DETAILS AND SPECIFICATIONS) IS GREATER THAN THE AMOUNT OF WALL BRACING REQUIRED BY SECTION R602.02 OF THE CODE. SEE NOTES BELOW FOR DETAILS AND SPECIFICATIONS FOR WALL BRACING AND WALL FRAMING.
- EXTERIOR WALL SHEATHING: WALLS SHALL BE BRACED BY SHEATHING WALLS ON ALL STORES WITH HOOD STRUCTURAL PANEL SHEATHING (HP) EXPOSURE B, 7/16" EXPOSURE C, (E932). SHEATHING SHALL BE ATTACHED WITH 8d NAILS AT A 6"x12" WALLING PATTERN (6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES.
- HEP SHEATHING SHALL EXTEND TO THE UPPER-MOST DOUBLE BEARING PLATE BLOCK AT ROOF PER SECTION R602.04.5 AND ATTACH BRACED WALLS PER CODE. HEP SHEATHING BETWEEN BEAMS SHALL BE SPLICED ALONG CONTINUOUS BAND OR THE HEP SHEATHING MAY BE SPLICED ACROSS STUDS (CONTINUOUS ACROSS FLOOR SYSTEM) WITH BLOCKING AT PANEL EDGES, 6" MINIMUM 12" BEYOND FLOOR BREAKS OR OTHER APPROVED METHOD.
- "HD" = HORIZONTAL HOLD-DOWN DEVICE (NOTED AS "HD" ON PLANS) SHALL BE AN 800 POUND CAPACITY ASSEMBLY AS NOTED ON PLANS. SEE DETAILS FOR HD ASSEMBLY.
- "MGRND"=FIRST FLOOR. USE "HD HOLD-DOWN DETAIL" ON SD SHEET (OR EQUIV).
- "INTER FLOORS": ATTACH BASE OF KING STUD WITH A SIMPSON C522 STRAP DOWN ACROSS THE BAND AND DOWN TO A STUD BELOW OR HEADER BELOW. EXTEND STRAP 1" MIN ALONG EACH STUD (OR HEADER) AND ATTACH EACH END W/ (2) 8d NAILS.
- INTERIOR BRACED WALL: (NOTED AS "IBR" ON PLANS) ATTACH 1/2" 6"x12" BOARD (6d) ON EACH SIDE OF WALL WITH A MIN. OF 5d COOLER NAILS OR 16 SCREWS @ 1" O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.
- INTERIOR BRACED WALL-HOOD STRUCTURAL PANEL: (NOTED AS "IBRHP" ON PLANS). ATTACH ONE SIDE WITH 1/2" HEP SHEATHING WITH 8d NAILS AT A 6"x12" WALLING PATTERN (6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES. ATTACH 6d OVER HEP AS REQUIRED. ATTACH OPPOSITE SIDE WITH 1/2" 6d WITH A MIN. OF 5d COOLER NAILS OR 16 SCREWS @ 1" O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.

**HEADER/BEAM & COLUMN NOTES**

- ALL EXTERIOR AND LOAD BEARING HEADERS SHALL BE MIN. (2)2x6 (4" WALL) OR (2)2x6 (6" WALL) WITH (1) SUPPORT STUD, UNLESS NOTED OTHERWISE.
- THE NUMBER SHOWN AT BEAM AND HEADER SUPPORTS INDICATES THE NUMBER OF SUPPORT STUDS REQUIRED IN STUD POCKET OR COLUMN. THE NUMBER OF KING STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS SHALL BE ACCORDING TO ITEM 14 IN TABLE R602.05 (OR AS BELOW PER NCCI COMMENTARY KING STUDS AT WALL OPENINGS) REVISED 1-4-2020.
  - UP TO 3" SPAN: (1) KING STUD
  - OVER 3" UP TO 6" SPAN: (2) KING STUDS
  - OVER 6" UP TO 12" SPAN: (4) KING STUDS
  - OVER 12" UP TO 15" SPAN: (5) KING STUDS



**TRUSS SYSTEM REQUIREMENTS**

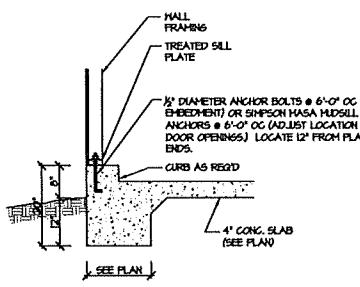
NC (2018 NCRS), Mnd. 115-120 mph

- TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE WITH SEALED STRUCTURAL PLANS. ANY NEED TO CHANGE TRUSSES SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
- TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
- ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SPP #2 OR #3 PLATES OR LEDGERS (AND).
- ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

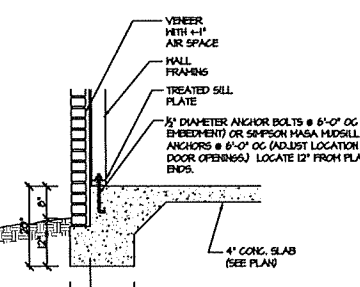
**PORCH POST NOTES:**

- 4X4 (6x6) TRIP POST (OR EQUAL).
- ATTACH TRUSSES (RAFTERS) AT PORCH WITH SURGEON CONNECTORS.
- EDGE CAP: SIMPSON ACP-MAX (AC6-MAX)
- EDGE CAP AT CORNER: (2) SIMPSON LCE4 (ENTER HEADER AT CORNER). HIGH MIN. ADD (1) SIMPSON I6.
- EDGE BASE: SIMPSON ABM4 (ABM4).
- 1.5" DIA. 1/2" ANCHOR (DEPTH 7")
- 2.5" DIA. 1/2" ANCHOR (EXTEND TO FOOTING - HIGH MIN. ONLY)
- EDGE BASE, HOOD FOUNDATION: (2) SIMPSON C56 STRAPS AT POSTS. EXTEND 12" ONTO EACH POST (UPPER AND LOWER) OR TO GRADER.
- NOTE: EQUIVALENT POST CAP AND BASE ACCEPTABLE.

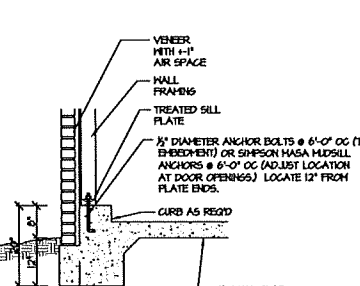
**115-120 100A 50**  
MEH (SIDING OR EQUAL)  
**MONOLITHIC SLAB FOOTING**



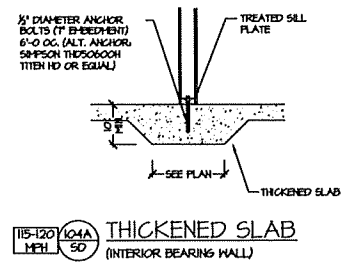
**115-120 101A 50**  
MEH (SIDING OR EQUAL)  
**MONOLITHIC SLAB @ GARAGE**



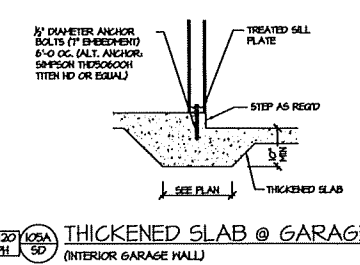
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MEH (VENEER)  
**MONOLITHIC SLAB FOOTING**



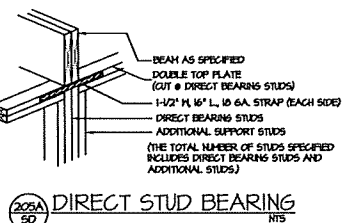
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**MONOLITHIC SLAB @ GARAGE**



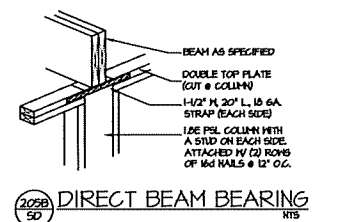
**115-120 104A 50**  
MEH  
**THICKENED SLAB**  
(INTERIOR BEARING WALL)



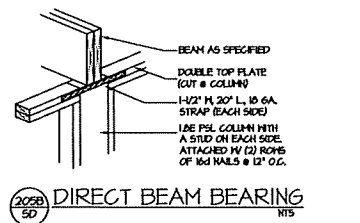
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MEH  
**THICKENED SLAB @ GARAGE**  
(INTERIOR GARAGE WALL)



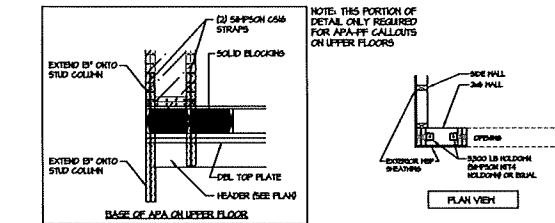
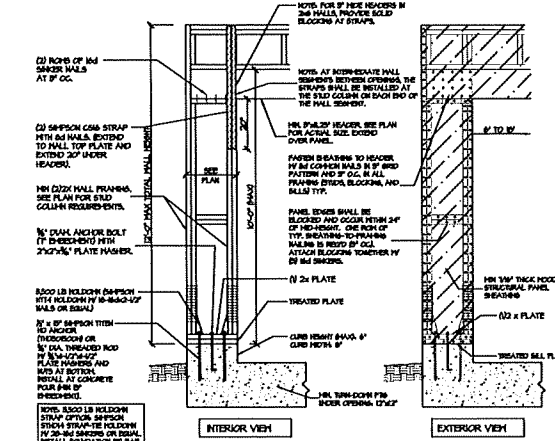
**209A 50**  
**DIRECT STUD BEARING**



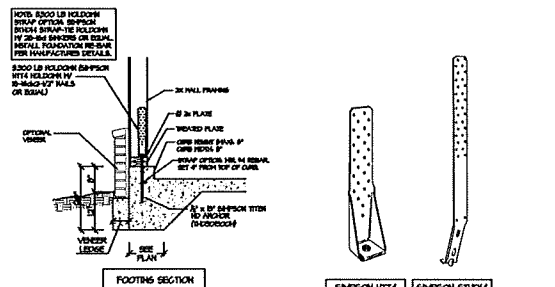
**209B 50**  
**DIRECT BEAM BEARING**



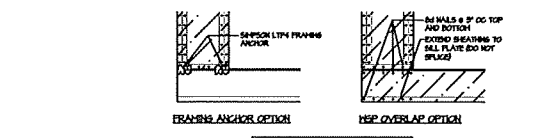
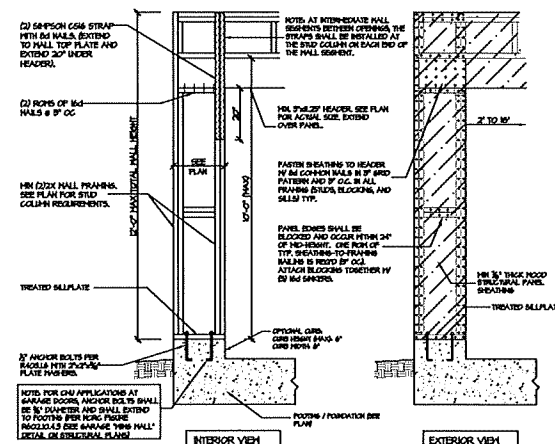
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**DIRECT BEAM BEARING**



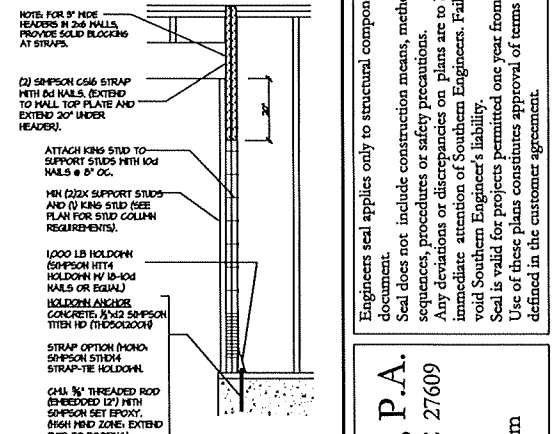
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**APA PORTAL FRAME W/ HOLD-DOWNS**  
DETAIL AND APPLICATION BASED ON APA TT-100F WITH USE OF TABLE I FOR APA PORTAL FRAME WITH HOLD-DOWN CAPACITIES.



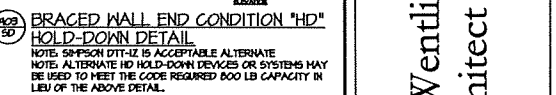
**400 50**  
**BRACED WALL END CONDITION \"/>**



**400 50**  
**CS-PF: CONTINUOUS PORTAL FRAME CONSTRUCTION**  
DETAIL AND APPLICATION BASED ON NRCR FIGURE R602.01 - PORTAL FRAME CONSTRUCTION



**400 50**  
**END CONDITION DETAIL**  
FOR USE WITH SINGLE APA PORTAL FRAME CONDITION. DETAIL AND APPLICATION BASED ON APA TT-100F WITH USE OF TABLE I FOR APA PORTAL FRAME WITH HOLD-DOWN CAPACITIES.



**400 50**  
**CS-PF: END CONDITION DETAIL**  
FOR USE WITH SINGLE CS-PF CONDITION. DETAIL AND APPLICATION BASED ON NRCR FIGURE R602.01 - PORTAL FRAME CONSTRUCTION



**PROJECT #**  
Multiple

Engineers seal applies only to structural components on this document. Seal does not include construction means, methods, techniques, sequences, procedures or safety precautions. Any deviations or discrepancies on plans are to be brought to the immediate attention of Southern Engineers. Failure to do so will void Southern Engineer's liability. Seal is valid for projects permitted one year from date of seal. Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

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**James Wentling,**  
Architect

**Standard Details**  
and Notes  
Chesapeake Homes of NC

**SD-1**  
MONO