# **DETACHED SINGLE FAMILY DWELLING**

# **MODEL 6260 - GARAGE RIGHT**

## CONTENTS

- CONTENTS AND PROJECT INFORMATION
- MONOLITHIC SLAB FOUNDATION
- FIRST FLOOR PLANS
- FIRST FLOOR PLANS OPTIONS 3.0
- 3.1 SECOND FLOOR PLANS **ELEVATION A AND ROOF PLAN**
- 41 **ELEVATION B AND ROOF PLAN**
- FLEVATION C AND ROOF PLAN 4.2
- 4.3 **FLEVATION D AND ROOF PLAN**
- 4.5 FI EVATION F AND ROOF PLAN
- TYPICAL BUILDING SECTION
- FOUNDATION, WALL, AND SOFFIT DETAILS FOUNDATION AND WALL DETAILS 6.1
- FOUNDATION AND WALL DETAILS 6.2
- 6.2 A ELEVATION A DETAILS
- 6.2 B ELEVATION B/C/D/F DETAILS
- FIRST FLOOR ELECTRICAL PLANS
- SECOND FLOOR ELECTRICAL PLANS
- STANDARD DETAILS AND NOTES MONOLITHIC

AREA SCHEDULE		
FIRST FLOOR HEATED *	1,206 SF	
SECOND FLOOR HEATED *	1,460 SF	
TOTAL HEATED AREA	2,666 SF	
GARAGE **	384 SF	
COVERED FRONT PORCH ***	60 SF	
TOTAL COVERED AREA	3,110 SF	
OPT. SUNROOM	142 SF	
OPT. REAR COVERED PORCH	146 SF	

- \* ADD 14 SF @ ELEV. C
- \*\* ADD 252 SE @ THIRD-CAR GARAGE OPTION
- \*\*\* 61 SE OFIEV A
  - 61 SF @ ELEV. A
    115 SF @ ELEV. C
    130 SF @ ELEV. D/F/ELEB. B W/ FULL PORCH OPTION
    131 SF @ ELEV. A W/ FULL PORCH OPTION

## **GENERAL NOTES**

O). GENERAL CONDITIONS

1. STAIRS: ALL STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS ESTABLISHED BY THE ADOPTED BUILDING CODE. STAIR RISORADAY.

BY THE ADOPTED BUILDING CODE. STAIR RISORADATION —MAXIMUM STAIR RISER 8-1/47; INNIMIAM STAIR TREAD BY WITH A 3/47—11/44 NOSING ON STAINS WITH SOLD BISER, INNIBIAM STAIR READROOM 6-8-10 CLEAR MEASURED VENTICALLY FROM THE STAIR NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATTORM, INNIMIAL LEGY STAIR OFFENING WITH STAIR READER OF A SPIREE OF 4 MICHES STAIRS WITH OPEN NISERS SHALL BE CONSTRUCTED TO PREVENT THE PASSAGE OF A SPIREE OF 4 MICHES OR MORE IN DAMPETER THROUGH THE RISER OPENINGS. THE GREATEST TRISER REGIST WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCHES. THE GREATEST TRADE RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCHES. THE CRATEST TRADE RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCHES. AND SHALL SER PROVIDED ON A TILEST ON SHALL SET ON THE MISSING OF THE TREADS, AND SHALL SE REPOVIDED ON A TILEST ON SHALL SET OF FOUR ON MORE RESERS. HANDRALLS SHALL LIBED ON SHALL SET RUNNINGS AND SHALL SET RUNNINGS OF THE TREADS, AND WITH AND OUTSIDE DAMPETER OF A LEAST 1-1/4 INCHES AND NOT GREATER THAN 2 INCHES MAX. OR APPROVED NALL SET THAN 1-1/2 INCHES PASSALL SET THAN 1-1/2 INCHES SHALL SET ILEAST AND A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL, GUADANLES NALL SESS THAN 5 FLOORS SECTION WITH AND OUTSIDE DAMPETER OF AT LEAST 1-1/4 INCHES AND NOT GREATER THAN 2 INCHES MAX. OR APPROVED NALL SET THAN 3 6 NICHES STAIN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL, GUADANLES HALD SHALL SELL SHALL AND A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL, GUADANLES HALD SHALD SHALL SET THAN 3 6 NICHES STAIN 1-1/4 INCHES ADOVE THE FLOOR OR GRACE BLOOMS. LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW.

. WINDOW SUPPLIER IS TO CERTIFY THAT THE WINDOWS PROVIDED FOR BEDROOMS MEET THE GOVERNING BUILDING CODE EGRESS AND FALL PREVENTION REQUIREMENTS. IF LARGER WINDOWS ARE REQUIRED THAN THOSE SHOWN ON THE PLANS, THE SUPPLIER SHALL NOTFY THE BUILDER AND THE BUILDER SHALL SUBSTITUTE THE LARGER WINDOWS FOR THOSE SHOWN ON THE PLANS. THE BUILDER SHALL CONFIRM WINDOW SIZES BY COMPLETING THE ROUGH FRAME OPENINGS BEFORE THE WINDOWS ARE ORDERED. GLAZING AT ALL WINDOWS, DOORS, TUBS, FIXED GLASS PANELS, SIDELIGHTS, ETC, MUST MEET THE REQUIREMENTS OF THE GOVERNING CODE WITH SPECIAL ATTENTION PAID TO GLAZING AT HAZARDOUS LOCATIONS PER IRC SECTION R308.

. ALL VENTED CRAWL OR ATTIC SPACES SHALL BE PROVIDED WITH VENTS TO ALLOW A FLOW OF AIR THROUGH \*\*ALL VENTED DYAWL OR AT IT: SYALES STALL BE PROVIDED WITH VENTS STOLD FROM A FLOW OF ART TREODER THE SPACE. FREE VENT AREA IS TO BE AS FOLLOWS: COAN, VENTS SHOULD EQUAL 11/150 OF GROUND AREA, ROOF VENTS 1/300 OF CELING AREA WITH VENTS INSTRIBUTED PER THE GOVERNING BUILDING CODE. PROVIDE ACCESS OFFENINGS TO CRAWL (187\* 24" MIN.) AND ATTIC (22" X3" ON IN. WITH 30" HEADROOM) OR SIZED FOR REMOVAL OF RECHANICAL EQUIPMENT IF LOCATED IN ATTIC PER IN 305.1.3. S. WHERE DRAWNINGS OR INFORMATION IS IN CONCLICT WITH OTHER DIMAYINGS OR DETAILS, THE BUILDER

. THERE DRAWNES ON REPORTED IN SILVENELL WITH OTHER DRAWNES ON DETAILS, THE BOULDES SHALL NOTEY THE ARCHTECT IN WRITING PROOF OF THE COMMENCEMENT OF CONSTRUCTION IN ORDER THAT A CLARFICATION NOTICE CAN BE ISSUED.
ALL COMPONENTS AND CLADONG SHALL BE ATTACHED FOR WIND SPEED REQUIREMENTS NOTED ON THIS COVER SHEET OR PER THE GOVERNING BUILDING OFFICIAL'S REQUIREMENTS.

STE WOOLK
 PRESUMED SOIL BRAING CAPACITY IS NOTED ON THIS COVER SHEET, THE BUILDER IS RESPONSBLE
FOR VERIFYING THIS BEARING CAPACITY, ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR

FOR VERFYING THIS BEARING CAPACITY, ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR ENNINERED FILL

2. THE BOTTOM OF ALL FOOTINGS SHALL BE BELOW THE FROST LINE AS DEFINED BY THIS COVER SHEET, THE DRAWINGS OR THE GOVERNING BUILDING OFFICIAL'S REQUIREMENTS AND/ON 12" MINIMUM.

3. FOR BASEMENT COMOTIONS, THE MAXOMUM VERTICAL DISTANCE MEASURED FROM THE TOP OF A BASEMENT FLOOR SLAB TO THE OUTSIDE FRISHED GRADE SHALL NOT EXCEED DISTANCES FOR THE WALL THICKNESS AS SHOWN IN IRC TABLES R-04-1.1 (1-4) OR R-40-4.1.2 (1-9) BASED ON WALL TYPE AND SOIL CLASS.

4. DO NOT BACKFILL UNTIL WALLS HAVE CURED AND THE ENTINE BUILDING STRUCTURE ABOVE IS IN PLACE, BACKFILL SHALL BE CLEAN GRANULAR FILL, FREE OF ORGANIC MATERIAL, PLACED EQUIALLY ON ALL SIDES, COMPACTED TO 95% MAXOMUM DRY DENSITY PER ASTM D589.

5. FRISHED GRADE SHALL SLOVE MAYA FROM THE BUILDING PER BC SECTION R40-1.3.

6. TEAMICE TEATHER! THE THE THIS HOW THE BUILDING PER BC SECTION R40-1.3.

6. TEAMICE THEATHER! THE THE AND THE BUILDING PER BC SECTION R40-1.3.

6. TEAMICE THEATHER! THE THE AND THE SHALL HOW THE AT PRIMITEE WITH ETA APPROVED THE HEALDEN SPRAY BOTA-CARE OR BC, TERMICODE FERNITH AT PERMILETER WITH ETA APPROVED THE HEALDEN SPRAY BOTA-CARE OR BC, TERMICODE TERMILED WHERE SHOWN ON PLANS.

93. CAST-N-PLACE CONCRETE

1. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.

EXTERNOR SLABS TO BE 3,000 PSI, MIN. SY & MAX. 79. ARE EXTERNED TO CONCRETE.

1. CONCRETE SHALL NOVE A MINIMUM ESHAY COMPRESSIVE STRENGTH OF 3,000 PSI.

EXTERIOR SLABS TO BE 3,000 PSI, MIN. 59 & MAX. 79 M AR ENTHANEO CONCRETE.

2. CONCRETE PLACEMENT SHALL COMPLY WITH RECOMMENDATIONS OF ACI 332.

3. CONCRETE SLABS SHALL HAVE POLYPROPILED. FIBER ADDITIVE (1.5 LB/C) OR WHY REINFORCEMENT 6 X 6, W 1.4 X W 1.4 PER ASTIN A 185 LOCATED MIDWAY THROUGH THE SLAB THXXNESS. ALL SLABS ARE TO BEAR ON COMPACTED FILL TESTED FOR 95% MAXIMUM DRY DENSITY PER ASTIN D698.

4. KENNORGENG STEEL WHERE SHOWN ON PLANS SHALL CONFORM TO ASTIN A615, GRADE 60 MIN.,

5. PROVIDE A 6 MIL POLYETHELENE MOISTURE VAPOR BARRIER MEMBRANE UNDER INTERIOR AND GARAGE CONCRETE SLABS AND FOOTINGS WHERE INDICATED ON THE DRAWINGS. LAP SHEETS 6" MIN. AT JOINTS. 5. COVERED PORCHES SLABS SHALL SLOPE AT A MINIMUM SLOPE OF 1/8" PER FOOT TO DRAIN

WATER AWAY FROM EXTERIOR WALLS. UNCOVERED PATIO SLABS SHALL SLOPE AT 1/4" PER FOOT.

T. \_\_\_\_\_\_PASAUSEL. 1. CONCRETE MASONRY UNITS (CMU) SHALL CONFORM TO ASTM C90. GRADE N. NORMAL WEIGHT UNITS.

1. CONCRETE INASONRY UNITS (CMJ) SHALL CONFORM TO ASTIM C90, GRADE N, NORMALI WEIGHT UNITS.

2. MORTAR TO BE TYPE "W WITH A 28 DAY COMPRESSIVE STRENGTH OF 2,000 PS. PROVIDE CONTRIVOUS HORIZONTAL JOINT REINFORCING EVERY OTHER COURSE. MORTAR TO MEET ASTIM C270 STANDARDS,

3. GROUT SHALL MEET THE REQURREMENTS OF ASTIM C476 WITH A 28 DAY COMPRESSIVE STRENGTH OF 2,500 PSI. GROUT ALL CELLS RECEIVEN ANCHORS AND THE TOP COURSE OF ALL BEARRYG WALLS,

4. FACE BRICK SHALL BE STANDARD SUZE AND COPIETY WITH ASTIM C216, PLANNING BOND WITH TOOLED JOINT APPLICATION. SECURE BRICK VENEER TO WALL STUDS WITH 22 GA. GALV. METAL TIES ATTACHED TO STIDGS WITH 84 DALS SPACING AS SHOWN ON HAMS.

5. APRLY A BITUMINOUS WATERPROOF MEMBRANE TO THE EXTENDR OF ALL BASEMENT WALLS TO BE BELOW CRADE ASTER BACKFULING.

GRADE AFTER BACKFILLING.
6. MANUFACTURED STONE WHERE SHOWN ON PLANS, SHALL BE INSTALLED IN STRICT ACCORDANCE
WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND DETAILS AND THE MASONRY VENEER
MANUFACTURERS ASSOCIATION (MYMA) "INSTALLATION GLIDE AND DETAILING OPTIONS FOR COMPLIANCE

WITH ASTIN C1780.

5. STRUCTURAL STEEL

1. STEEL BEAMS AND PLATES SHALL CONFORM WITH ASTIN A36, STEEL COLUMNS SHALL CONFORM TO ASTIN A53.

2. ALL STRUCTURAL STEEL SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT ASC SPECIFICATIONS AND "STEEL CONSTRUCTION HANALL." ALL PIPE COLUMNS SHALL BE STANDARD WEIGHT STEEL COLUMNS IN ACCORDANCE WITH ASTIN ASOO AND PINISHED WITH CORROSON RESISTANT COATING PER ASTIN B117. STEEL COLUMNS AT BASEMENT LOCATIONS SHALL PENETRATE THE BASEMENT SLAB DOWN TO THE TOP OF THE COLUMN FOOTING BELOW SLAB.

3. ALL BRICK STEEL LINTELS SHALL BE SIZED PER STRUCTURAL DRAWINGS ON SHEET SD1,

06. WOOD

1. FRAWING LUMBER SHALL BE DENTIFED BY A GRADE MARK OR CERTIFICATE OF INSPECTION WHICH PROVIDES THE FOLLOWING MINIMUM DESIGN VALUES:

GRADE
HEM/SYP/SPF #2 OR BETTER
SYP #2 OR BETTER
HEM/SYP/SPF #3

2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICAN WOOD COUNCIL (AWC

2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICAN WOOD COUNCL. (AWC),
"WOOD FRAME CONSTRUCTION HAVILLA" (WCKW) AND SHALL COMPLY WITH RC R301.1 TO SUPPORT
AND TRANSFER ALL LOADS SAFELY TO THE FOLKBATION.
3. THE DESIGN LOADS FOR PREFABRICATION WOOD TRUSSES ARE PER THESE SPECS., THE GOVERNING BUILDING CODE
AND CURRENT EDITIONS OF THI - 1AND NDS. THE TRUSS MANKE, SHALL PROVIDE SHOP DRAWINGS, SEALED BY A STATEICCHSED DESIGN PROFESSIONAL, FOR APPROVAL PRIOR TO FABRICATION. INSTALL TRUSSES AND ENGIREEED
LUMBER IN STRICT ACCORDANCE WITH THE SHOP DRAWINGS AND WITCA-B1 AND WITCA-B2. ALL POINT LOADS,
PARTIAL INFORM LOADS OR COMBINATIONS THEREOF SHALL BE DETERMINED BY THE TRUSS MANUFACTURER AND
ACCOUNTED FOR IN THE DESIGN OF THE ROOF AND/OR FLOOR SYSTEM.

4. PREFABRICATED WOOD-1-001STS SHALL BE RATED SPER ASTAIN BOSES AND INSTALL THE DES EARD DRAWINGS

4. PREFABRICATED WOOD-I-JOISTS SHALL BE RATED PER ASTM DS055 AND INSTALLED PER SHOP DRAWINGS

AND DETAILS PROVIDED BY THE MANUFACTURER.
5. HANGERS, ANCHORS AND FASTENERS, WHEN CALLED FOR IN SHOP DRAWINGS OR THESE DRAWINGS, SHALL BE INSTALLED IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS ALL HANGERS. FRANING ANCHORS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD TO BE STAINLESS. STEEL OR GALVANIZED PER G185 RATING 'Z-MAX' COATING BY SIMPSON OR 'TRIPLE ZINC' BY LISP.

6. BEAMS AND HEADERS ARE TO BEAR ON JACK STUDS AS NOTED ON THE PLANS. SHOP DRAWINGS, OR PER CODE. PROVIDE SOLID BLOCKING BELOW ALL JACK STUDS FORMING A CONTINUOUS BEARING LINE TO THE FOUNDATION 7. ALL LUMBER IN CONTACT WITH EARTH, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. FIELD TREAT SAWED, DRILLED OR NOTCHED TREATED LUMBER PER AWPA M4-11.

8. PROVIDE STRUCTURAL SHEATHING WHERE NOTED ON PLANS. ALL WOOD SHEATHING SHALL BE APA RATED FOR INTENDED USE AND SUPPORT SPANS. INSTALL ROOF SHEATHING WITH "H" CLIPS BETWEEN TRUSSES

9. INSTALL FIREBLOCKING FOR R 902.11 TO CUT OFF DRAFT OPENINGS AT ALL INTERCONNECTIONS BETWEEN FOR CONCEALED VERTICAL AND HORZONTAL SPACES, BETWEEN STORIES, AND BETWEEN THE TOP STORY AND ROOF, 10. STILDS FOR EXTENDIOR WALLS SHALL BE STEED FOR THE THE TOP STORY AND ROOF, 11. ALL NOTCHES AND CUTS IN FRAMING SHALL NOT EXCEED MAX. DIMENSIONS AS DEFINED IN THE IRC R602.6..

ONLEAGED VERTICAL AND INSTALLS SHALL BE SIZED PER THE INTERNATIONAL RESPIENTIAL CODE, TABLE ROGIS, 1

11. ALL NOTCHES AND CUTS IN FRANING SHALL NOT EXCEED MAX, DIMENSIONS AS DEFINED IN THE RIC REGOZES, 1

11. ALL NOTCHES AND CUTS IN FRANING SHALL NOT EXCEED MAX, DIMENSIONS AS DEFINED IN THE RIC REGOZES, 2

11. INSTALL INSULATION HATERIALS TO MEET THE 'R' VALUES AS SHOWN ON THE DRAWINGS, IT INSULATION TIGHT INTO SPACES AND LEAVE NO GAPS OR VOIDS, PROVIDE RIGID INSULATION WHERE SHOWN ON PLANS, AT INTERIOR WALLS SEAL ALL JOINTS, SEAMS AND PENETRATIONS TO PREVENT AR LEAVAGE PER INTOZ.4.

2. INSTALL HERICAL SOSPHILAT ROOS SHORES IN A COORDINATE WITH MANNE, INSTRUCTIONS AND ASPHALT ROOFING MANUFACTURERS ASSOC. "ASPHALT ROOFING RESIDENTIAL MANNEAL." SHINGLES ANE TO BE CERTIFIED MIN. CLASS C RIE RESISTANCE CRAST THE 160 OR U. 190 AND WIND RESISTANCE CRASS PER ASTIO J 316 OR DOT 15 FOR WIND SPEED. INSTALL LINDERLAYMENT PER ROOF SLOPE AND BIC RIGGS.2.2 AND CONFORMING TO ASTH D226 TYPE L.

3. INSTALL HASHING, SHEET METAL, GUTTERS AND DOWNSPOUTS PER PLANS AND PER "ASPHALT ROOFING RESIDENTIAL MANILL." AND "ARCHITECTURAL SHEET HETAL MANIALL" BY SMACKIA. INSTALL FLASHING AT ALL ROOF TO WALL CONDITIONS, EXTENDED OPENINGS AND ELSEWHERE WHERE REQUIRED.

4. INSTALL A WATER-RESISTIVE BARRER ON ALL WALLS, HOUSEWARDS SHOULD MEET ASTH D5034 FOR DURABILITY, D779 FOR WATER RESISTANCE AND E36 FOR PERMEABILITY AND BE INSTALLED FOR MANUF. INSTALLATION INSTRUCTIONS. PRE-WEATHEREDS SHEATHING SHALL BE TAPED AND SECURED PER MANNE, INSTALLATION INSTRUCTIONS. WHO PRESSURE RESISTANCE AND E36 FOR PERMEABILITY AND BE INSTALLED FOR MANUF. INSTALLATION INSTRUCTIONS.

5. INSTALL SOING AND ACCESSORY COMPONENTS IN STRUCT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. WHAT PRESSURE RESISTANCE AND E36 FOR PERMEABILITY AND BE INSTALLATION INSTRUCTIONS. WHAT PRESSURE RESISTANCE TO BE DEFINED BY STALL BE SIGN.

6. DOORS WYNDOWS AND GLASS

1. INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTALLATION RESTRUCTIONS. WHITH PERPER PER PER PER PER PER PER

09. FINISHES

1. GYPSUM WALL BOARD, GYPSUM SHEATHING MATERIALS AND ACCESSORES SHALL BE INSTALLED IN ACCORDANCE WITH IRC R702.3 AND WITH GA-253 "APPLICATION OF GYPSUM SHEATHING" PUBLISHED BY THE GYPSUM ASSOCIATION.
2. INSTALL FLOOR COVERINGS AS SHOWN ON PLANS OR PER OWNER'S SCHEDULE PER MANUF, INSTALLATION INSTRUCTION.

1. PROVIDE KITCHEN AND BATH CABINETS FIXTURES AND APPLIANCES, FIREPLACE, HARDWARE AND MISC, ITEMS PER OWNERS SCHEDULE. INSTALLATIONS TO BE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. PRE-FAB FIREPLACES TO BE UL LISTED AND COMPLY WITH UL 127.

INSTALLATION INSTRUCTIONS. PRE-FAB FIREPLACES TO BE UL LISTED AND COMPLY WITH UL 127.

1.1-14. N/A

1. \_\_HECHANCAL

1. INSTALL VENTLATORS AND HEATING AND AIR CONDITIONING SYSTEMS AS SHOWN ON PLANS OR PER OWNER'S SCHEDULE.

SIZE ALL EQUPHENT PER ACCA MANUAL S AND JAND INSTALL FOR FUTURE ACCESS SERVICE AND REMOVAL\_PROVIDE

COMBUSTION AR WHEN REQURED PER MIT 701. ALL DUCTWORK AND PRING LOCATED IN

UNCONDITIONED SYACES STALLE EN ISSUATED AND SEALED PER CODE. INSTALL DRYRE AND UCT TO OUTSIDE WITH

SMOOTH HETAL DUCTING WITHOUT SCREWS AND WITH MINIMUM BEINS, MAXIMUM DUCT LENGTH PER RC MI 502.

2. VENTING: ALL DRYRES AND BATH EDHAUSTS MUST BE EVENTED DIRECT TO THE EXTERNOR OF THE

STRUCTURE WITH A BACKDRAFT DAMPER IN ACCORDANCE WITH THE CURRENT CODE.

3. PROVIDE A PROCRAMABLE THERMOSTAT, MANUALS FOR MECHANICAL AND WATER HEATING EQUIPMENT,

ENERGY COMPLIANCE CERTIFICATE AND ALL OTHER REQUIREMENTS OF THE CURRENT ENERGY CODE.

16. ELECTRICAL

ENERGY COMPLANCE CERTIFICATE AND ALL OTHER REQUREMENTS OF THE CURRENT ENERGY CODE.

16. ELECTRICAL

1. TEAMINAL HOOK UP IS REQUIRED FOR ALL EXTURES, APPLIANCES, MOTORS, FANS AND CONTROLS. LOCATION OF OUTLETS AND EQUIPMENT ON PLANS IS APPROXIMATE, EXACT ROUTING OF WIRRING AND OUTLETS SHALL BE GOVERNED BY STRUCTURAL CONDITIONS AND OBSTRUCTIONS.

2. ALL ELECTRICAL BREAKERS AND CONTROLS SHALL BE PROPERLY I LABELED, INSTALL GFCI PROTECTED AND AFCI OUTLETS WHERE SHOWN ON PLANS OR AS REQUIRED BY CODE, MATERIAL AND EQUIPMENT SHALL BEAR A UL LABEL, LIGHT FIXTURES MUST MEET CLEARANCES STATED IN THE NEC. INSTALL LIGHT SWITCHES AT 3' 6" A.F.F. AND OUTLETS 12" A.F.F. TO CENTERLAW UN.O.

3. INSTALL ELECTRIC SHOKE DETECTORS, CARBON MONOXOPE/ALARAMS WHERE SHOWN ON PLANS. ALL DETECTORS MUST BE INTER-CONNECTED AND INCORPORT A BATTERY BACK-UP, INSTALL PER NEFA 22 AND UL 21" REQUIREMENTS. CO ALARMS TO COMPLY WITH NEFA 720 AND UL 2034. COMBINATION SHOKE/CO ALARMS MUST BE LISTED PER UL 2034.

4. PROVIDE HIGH EFFICACY LAMPS IN PERMANENT FIXTURES PER CURRENT ENERGY CODE.

17. PLURBING

1. INSTALL PLUMBING FIXTURES, SUPPLY AND WASTE LINES PER GOVERNING CODE. ALL NOTCHES AND CUTS IN FRAMING
SHALL NOT EXCEED MAX. DIMENSIONS AS DEFINED IN THE BUILDING CODE. PROTECT PLUMBING LINES AND REINFORCE STUD
WALL NOTCHES WITH 16 GA. METAL PLATES.

## **BUILDING CODE SUMMARY**

Location:	Aguona Focation	vanous Locations, NC Market						
Proposed Use	: Detached Single	Family Dwelling						
Owner: Contact Perso	Chesanaaka Ho							
Contact Perso	Brad Blough	Telephone #:	(919) 256-3060	E-mail:	bblough@cheshomes.con			
DESIGNER C	AE BECORD.							
				_				
<u>Deskaner</u>	Name	License d	Teleph	<u>ดก<b>อ #</b>;</u>	E-mail:			
Architect	James W. Wentling	NC-Arch. # 4	642 (215) 50	8-2551	JamesWentling			
					@wentinghouseplan			
Structural:	Jonathan A. Troxler	NC-P.E., # 27	845 (919) 87	8-1617	jtroxler @southernengineers.			
BUILDING DA	of Code: 2018 North	th Carolina State R Cwith North Carolin	esidential Code la Amendments)					
				· ·				
DESIGN LOA	DS:			,	,			
Doof I had I as	al.							
Roof Live Los			Attic With Perman Attic Without Perm		40 PSF 20 PSF			

20 PSF 115-120 MPH

Moderate
12\*
Moderate to Heavy
20\_4

Exposure: B
Risk Group: II

ENERGY EFFICIENCY

Minimum Insulation: R-38 (R-30 w/ Raised Heel Truss) Slab: Glazing 'U' Value:

(Note: Minimum insulation values per Southern Energy Reports)

SOIL BEARING CAPACITIES

Presumptive Bearing Capacity: 2.000 PSF

Homesite 169 Plan 6260 Elevation D **Garage Right** 

-Mono Slab

-Patio

-No Fireplace

-Full Front Porch

-First Floor Full Bath

-Alternate #2 Kitchen Layout

-Second Floor Pickets and Rails

GRAPHICS THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK UNDER SECTION AS AN ARCHITECTURAL WORK UNDER SECTION AND ARCHITECTURAL WORK SOUTH AND AND ARCHITECTURAL WORKS OF THE ARCHITECTURAL WORKS OF THE

ARCHITECTURE

LAND PLANNING

JAMES WENTLING/ ARCHITECT LAND TITLE BUILDING 100 SOUTH BROAD STREET, SUITE 1524 PHILADELPHIA, PA 19110



REVIS	SIONS	
KUK	DATE	DESCRIPTION
АМ	12-29-20	OPT, GOURMET ISLAND
АМ	01-14-21	RESTAMP SHEET
DN	02-09-21	OPT. PORCH POOTINGS
АМ	09-09-21	M. BATH WINDOW
JW	02-07-23	NEILL'S POINT/FARM
DN	02-15-23	OPT. EXT. FINISHES
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT, DWGS, REV.

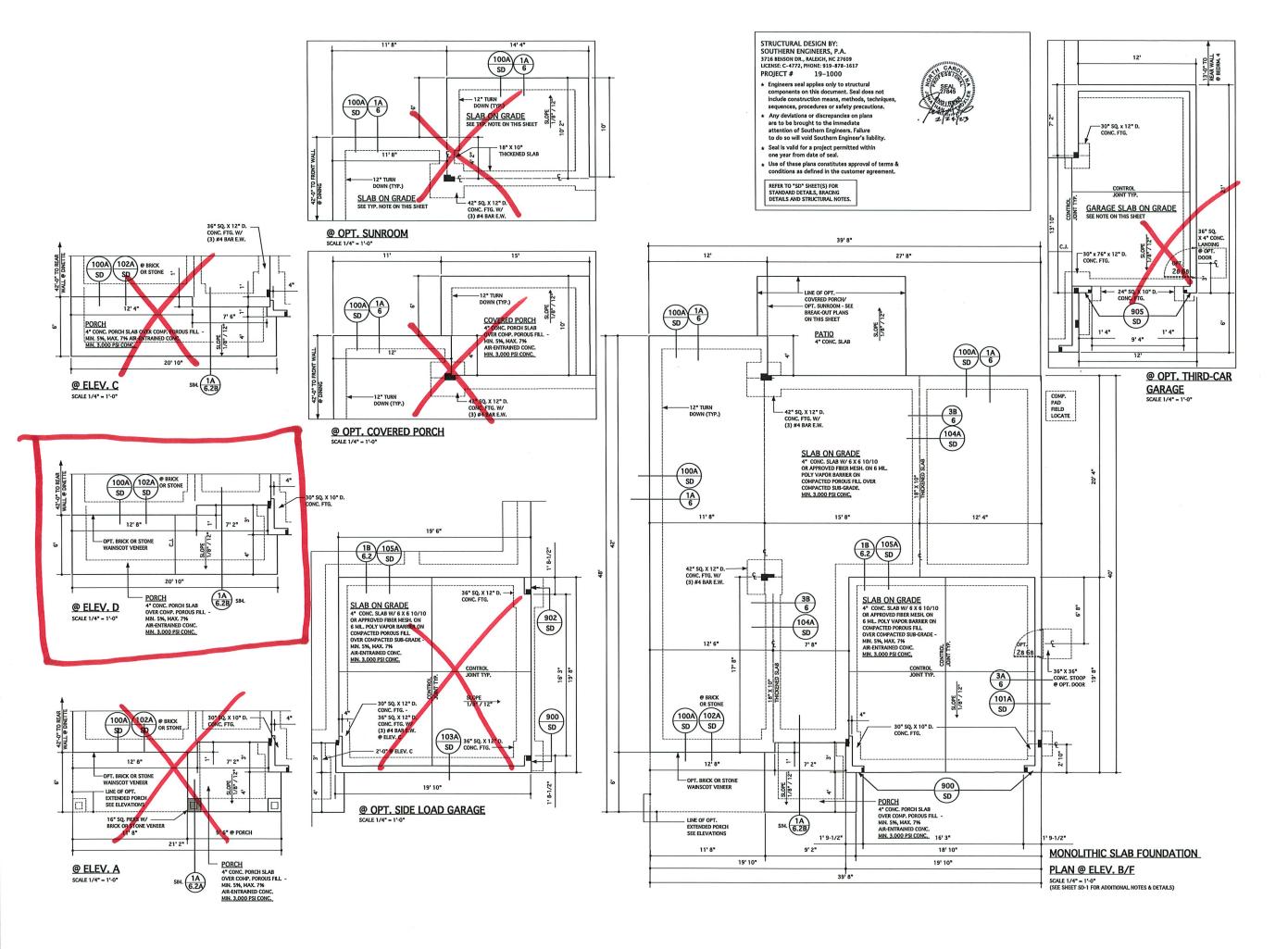
DN	02-23-23	1'-0" DINING EXTENSION/ STRUCT, DWG\$, REV.
MORG	T NO.	15
DATE	10-16	i-17
SCALE	NOS	CALE
DEAWN	DN	
CHECK	M. Mag	
ISSUED	FOR PERI	MITS/CONSTRUCTION

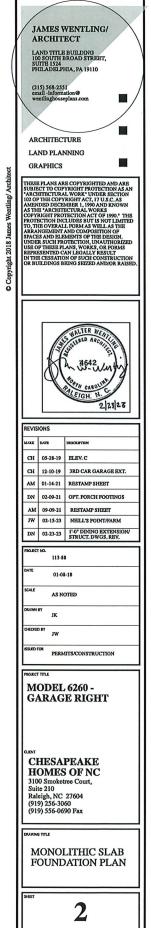
MODEL 6260 -GARAGE RIGHT

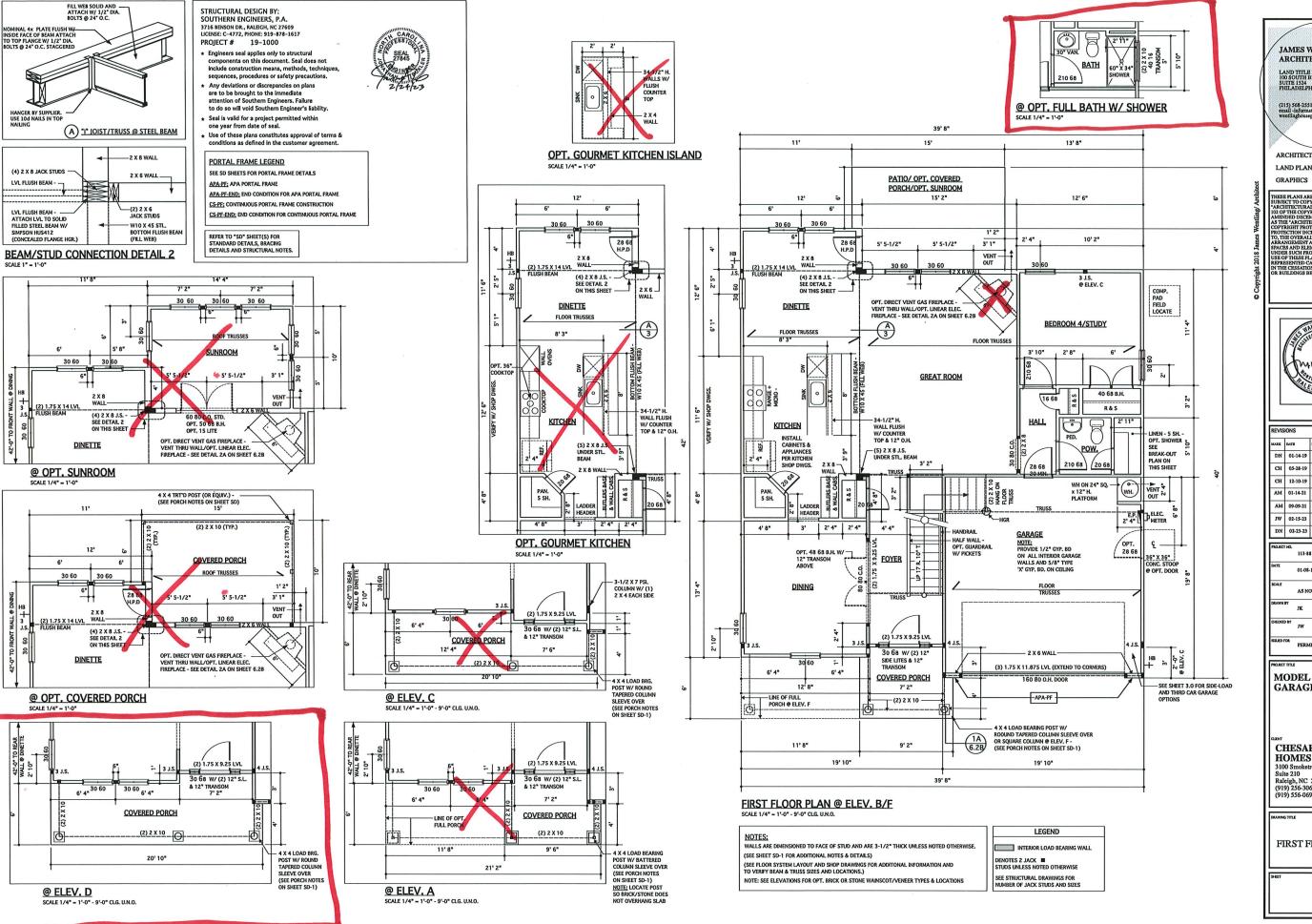
CHESAPEAKE HOMES OF NC

Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

CONTENTS AND PROJECT







JAMES WENTLING/ LAND TITLE BUILDING 100 SOUTH BROAD STREET, SUITE 1524 PHILADELPHIA, PA 19110 ARCHITECTURE LAND PLANNING



CH 12-10-19 3RD CAR GARAGE EXT. AM 01-14-21 RESTAMP SHEET AM 09-09-21 RESTAMP SHEET JW 02-15-23 NEILL'S POINT/FARM DN 02-23-23 1'-0" DINING EXTENSIO STRUCT, DWGS, REV.

AS NOTED PERMITS/CONSTRUCTION

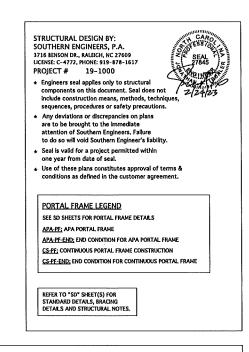
MODEL 6260 -**GARAGE RIGHT** 

CHESAPEAKE HOMES OF NC

Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

FIRST FLOOR PLANS

3



## NOTES:

WALLS ARE DIMENSIONED TO FACE OF STUD AND ARE 3-1/2" THICK UNLESS NOTED OTHERWISE, (SEE SHEET SD-1 FOR ADDITIONAL NOTES & DETAILS)

(SEE FLOOR SYSTEM LAYOUT AND SHOP DRAWINGS FOR ADDITIONAL INFORMATION AND

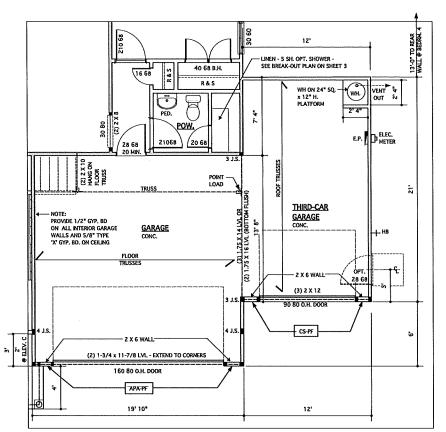
TO VERIFY BEAM & TRUSS SIZES AND LOCATIONS.)

NOTE: SEE ELEVATIONS FOR OPT. BRICK OR STONE WAINSCOT/VENEER TYPES & LOCATIONS

# LEGEND

ENTERIOR LOAD BEARING WALL

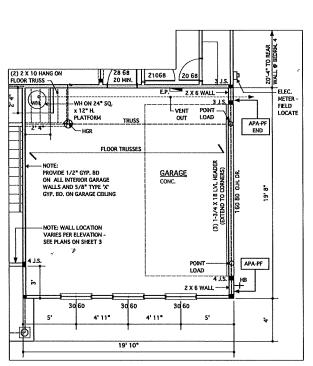
DENOTES 2 JACK STUDS UNLESS NOTED OTHERWISE
SEE STRUCTURAL DRAWINGS FOR
NUMBER OF JACK STUDS AND SIZES



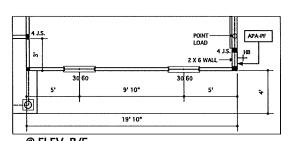
# FLOOR PLAN @ OPT. THIRD-CAR GARAGE

SCALE 1/4" = 1'-0"

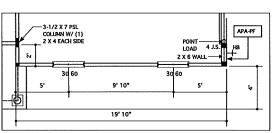
NOTE: SEE FIRST FLOOR PLAN ON SHEET 3 FOR ADDITIONAL NOTES & DIMENSIONS



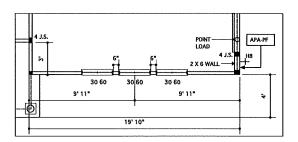
@ OPT. SIDE-LOAD GARAGE @ ELEV. A



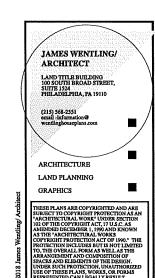
@ ELEV. B/F SCALE 1/4" = 1'-0" - 9'-0" CLG. U.N.O.



@ ELEV. C



@ ELEV. D





REVIS	IONS	
XXX	DATE	DESCRIPTION
DN	01-14-19	STRUCT. DWGS. REV,
СН	05-28-19	ELEVATIONS
СН	12-10-19	3RD CAR GARAGE EXT.
АМ	01-14-21	RESTAMP SHEET
AM	09-09-21	RESTAMP SHEET
JW	02-07-23	NEILL'S POINT
DN	02-23-23	1'-0' DINING EXTENSION STRUCT, DWGS, REV.

PROJECT NO.	
	113-88
DATE	01-08-18
SCALE	
	AS NOTED
DRAWN ST	ж
CHECKED BY	JW WI
ISSUED FOR	PERMITS/CONSTRUCTION

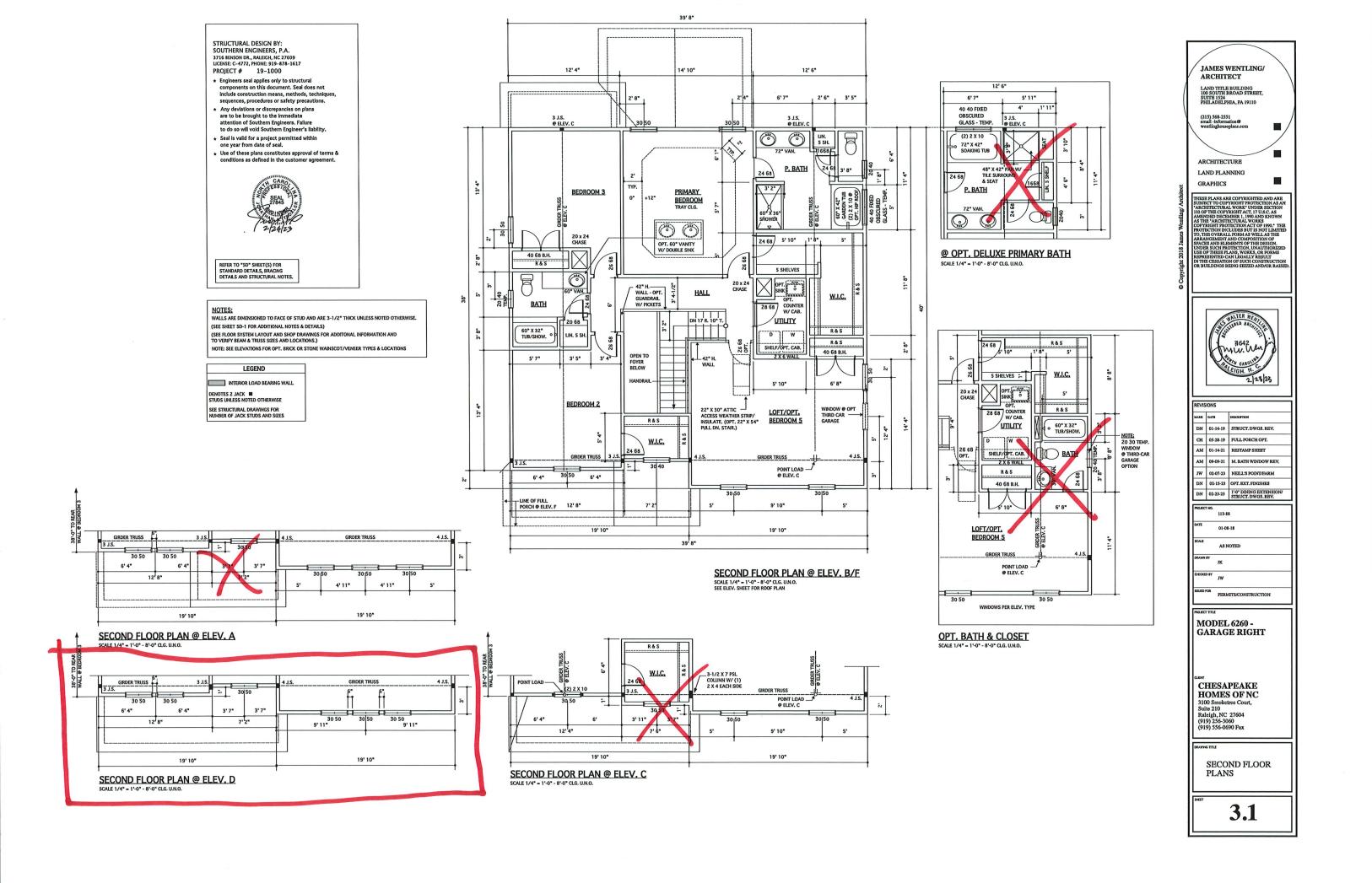
# MODEL 6260 -GARAGE RIGHT

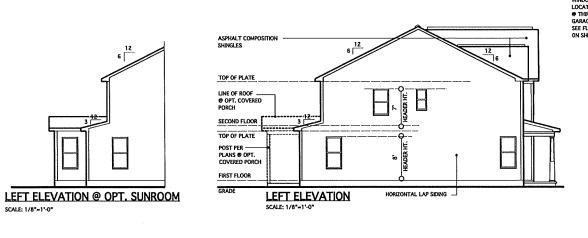
# CHESAPEAKE HOMES OF NC

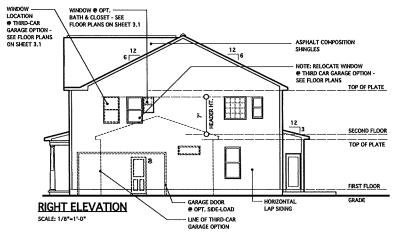
HOMES OF NC 3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

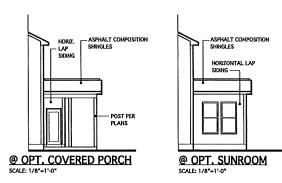
DEAWING TITLE

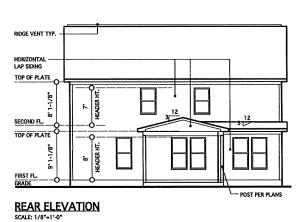
FIRST FLOOR PLAN OPTIONS













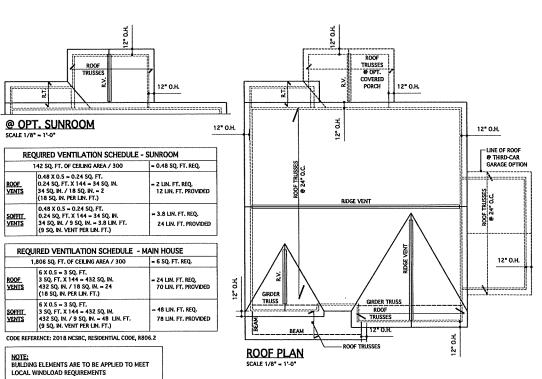


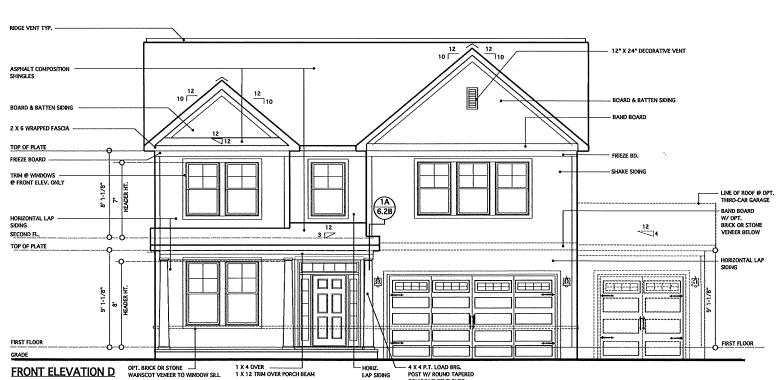


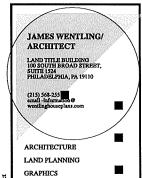
**REAR ELEVATION @ OPT. COVERED PORCH** SCALE: 1/8"=1'-0"

**REAR ELEVATION @ OPT. SUNROOM** 

FRONT ELEVATION W/ SIDE LOAD GARAGE SCALE: 1/8"=1"-0"









	REVISIONS			
- 1	MARK	DATE	DESCRIPTION	
- 1	AL	12-10-19	WINDOW UPDATE	
- 1	CH	12-10-19	3RD CAR GARAGE EXT.	
- 1	AM	01-14-21	RESTAMP SHEET	
ı	АМ	09-09-21	M. BATH WINDOW	
ı	JW	02-07-23	NEILL'S POINT/FARM	
ı	DN	02-15-23	OPT. EXT. FINISHES	
	DN	02-23-23	1'-0' DINING EXTENSION/ STRUCT, DWGS, REV.	

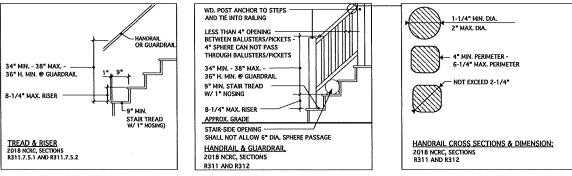
PROJECT NO.	113-88
DATE	01-08-18
SCALE	AS NOTED
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CHECKED BY	w
ISSUED FOR	PERMITSACONSTRUCTION

MODEL 6260 -GARAGE RIGHT

CHESAPEAKE HOMES OF NC 3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

ELEVATION D AND ROOF PLAN





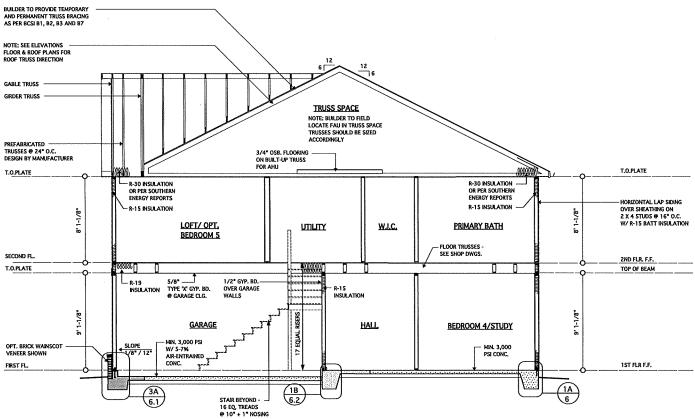
## TYP. STAIR SECTION

NO SCALE
ALL STAIR AND GUARD REQUIREMENTS TO COMPLY WITH
R-311 AND R312 NCRC 2018

# TYPICAL RAILING @ PORCH/DECK

SCALE: 172" = 1"-0"

(PROVIDE GUARDRAIL BOTH SIDES WHEN HEIGHT ABOVE GRADE EXCEEDS 30"/
PROVIDE HANDRAIL ONE SIDE OF STEPS WHERE 4 OR MORE RISERS)



# TYPICAL BUILDING SECTION

SCALE: 1/4" = 1'-0"

JAMES WENTLING/ ARCHITECT

LAND TITLE BUILDING 100 SOUTH BROAD STREET, SUITE 1524 PHILADELPHIA, PA 19110

ARCHITECTURE

LAND PLANNING GRAPHICS

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN YARCHITECTURAL WORK WIDER SECTION 102 OF THE COPYRIGHT ACT, 17 U.S.C.A.S AMEDIDED DECEMBER 1, 1990 AND KNOWN AS THE "ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990." THE PROTECTION ACT OF 1990. THE ARKANGEMENT AND CANDEST OF 1990. THE ARKANGEMENT AND CANDEST OF 1990. THE ARKANGEMENT AND CANDEST ON ON HIS MANUAL PORMAS WITH A THE ARKANGEMENT AND CANDEST ON ON HIS UNDER SIXTY BROTECTION UNAUTHIORIZED TO THE OFFICE ARKANGEMENT AND CANDEST ON ON HIS UNDER SIXTY BROTECTION, UNAUTHIORIZED THE ARKANGEMENT AND COMPANY OF THE PROTECTION, UNAUTHIORIZED THE PRO



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DN	01-14-19	MINOR UPDATE
DN	03-30-20	BLDG, HT/CTTY COMMENTS
DN	05-11-20	ADJUSTMENTS/NOTATIONS. CITY COMMENTS
AM	01-14-21	RESTAMP SHEET
ΑМ	09-09-21	RESTAMP SHEET
JW	02-07-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0' DINING EXTENSION/ STRUCT, DWGS, REV.

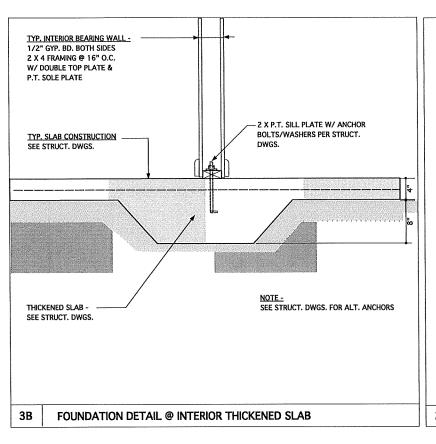
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PROJECT NO.	113-88
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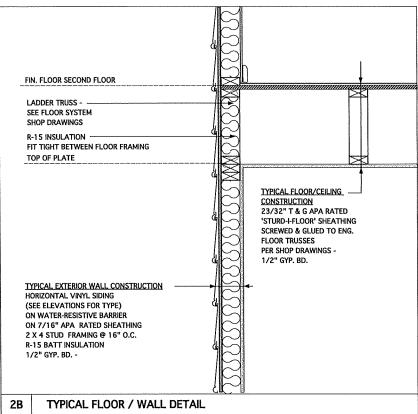
MODEL 6260 -GARAGE RIGHT

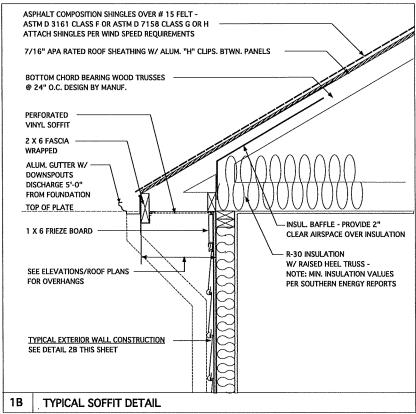
CHESAPEAKE HOMES OF NC 3100 Smoketree Cour Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

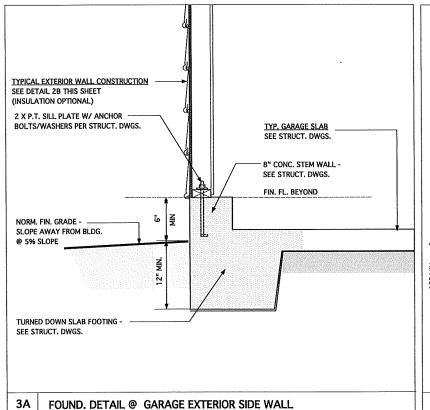
BUILDING SECTION

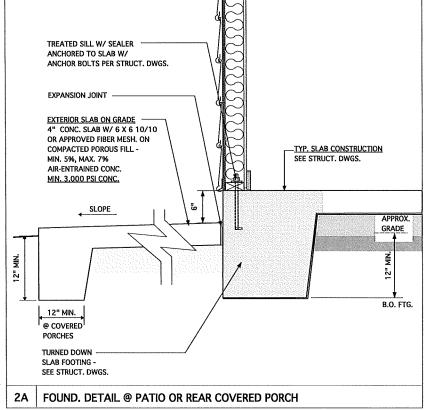
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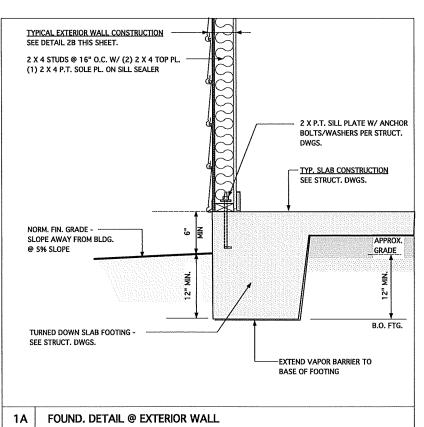












JAMES WENTLING/
ARCHITECT
LAND TITLE BUILDING

(215) 568-2551 email -information €

ARCHITECTURE

LAND PLANNING

GRAPHICS

THESE PLANS ARE COPYRIGHTED AND RESERVED AND

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK UNDER SECTION 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS ARENDOOD DESCREBER 1, 1908 AND KNOWN ARENDOOD DESCREBER 1, 1908 AND KNOWN COPYRIGHT PROTECTION ACT OF 1909. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO, THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. USE OF THESE LANS, WORKS, OR FORMS PERFESSIT DE CAN LEGALLY RESULT IN THE CESSION OF SPACES ON FORMS PERFESSIT DE CAN LEGALLY RESULT IN THE CESSION OF SPACES ON THE CONTROLCTION OR BUILDINGS BEING SEZEID AND/OR RAISED.



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DN	12-18-18	CONVERT HIGHGATE
DN	01-14-19	MINOR UPDATE
AM	01-14-21	RESTAMP SHEET
DN	02-09-21	OPT. PORCH POOTINGS
АМ	09-09-21	RESTAMP SHEET
JW	02-07-23	NEILL'S POINT/FARM

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ı	PROJECT NO.	
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		PERMITS/CONSTRUCTION

PROJECT

MODEL 6260 -GARAGE RIGHT

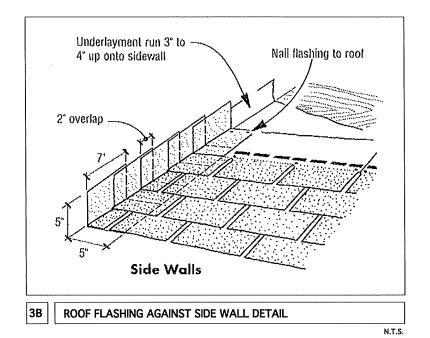
CHESAPEAKE
HOMES OF NC

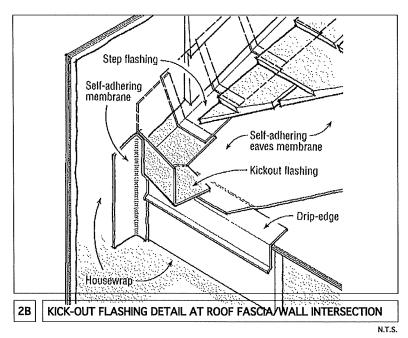
3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

DRAWING TITLE

MONOLITHIC SLAB FOUNDATION, WALL AND SOFFIT DETAILS

6





Adhere shingles trimmed to cover flashing strip

Nail flashing strip over cutouts in course below

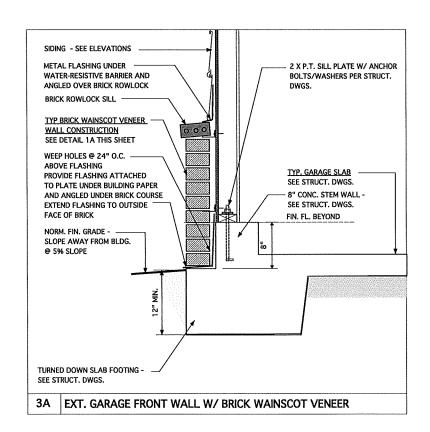
Top course at least 8' wide

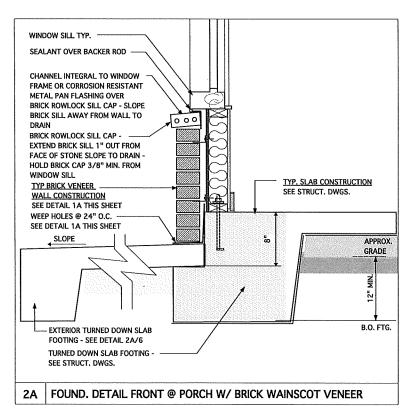
Front Wall

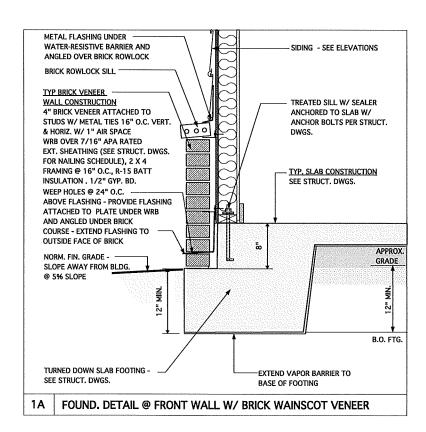
Asphalt plastic cement

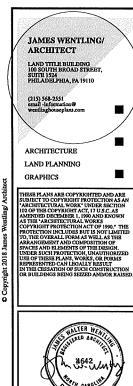
1B ROOF FLASHING AGAINST FRONT WALL DETAIL

N.T.S.







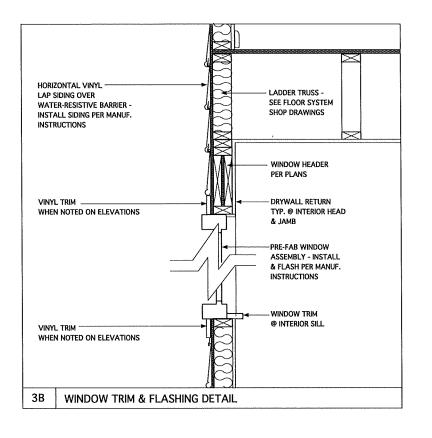


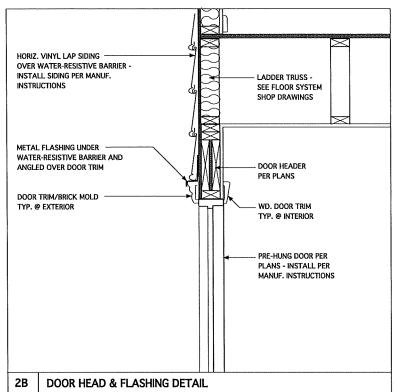
REVIS	IONS	)
MIRE	DAYS	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
АМ	01-14-21	RESTAMP SHEET
ΑМ	09-09-21	RESTAMP SHEET
JW.	02-07-23	NEILL'S POINT/FARM
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PROJECT	гно. 113-8:	1
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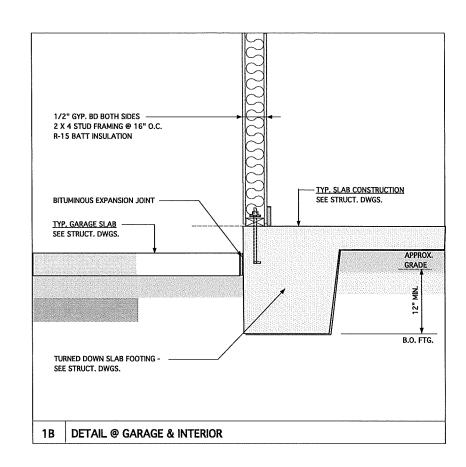
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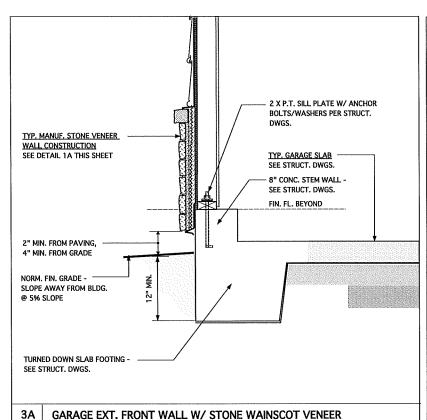
WALL DETAILS

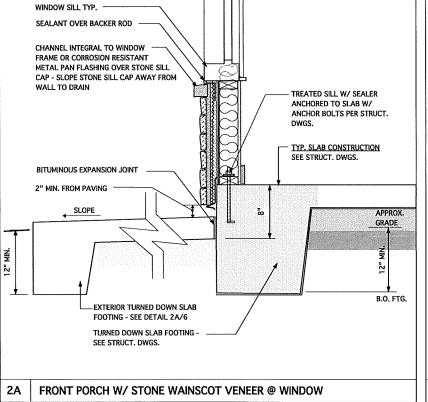
MONOLITHIC SLAB FOUNDATION AND

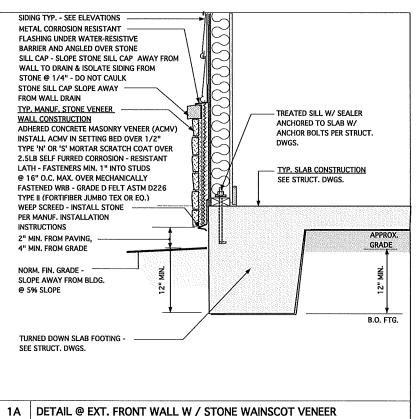


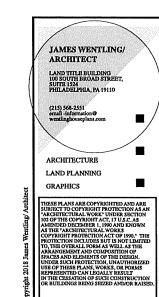














MAK	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
AM	01-14-21	RESTAMP SHEET
AM	09-09-21	RESTAMP SHEET
JW	02-15-23	NEILL'S POINT/FARM

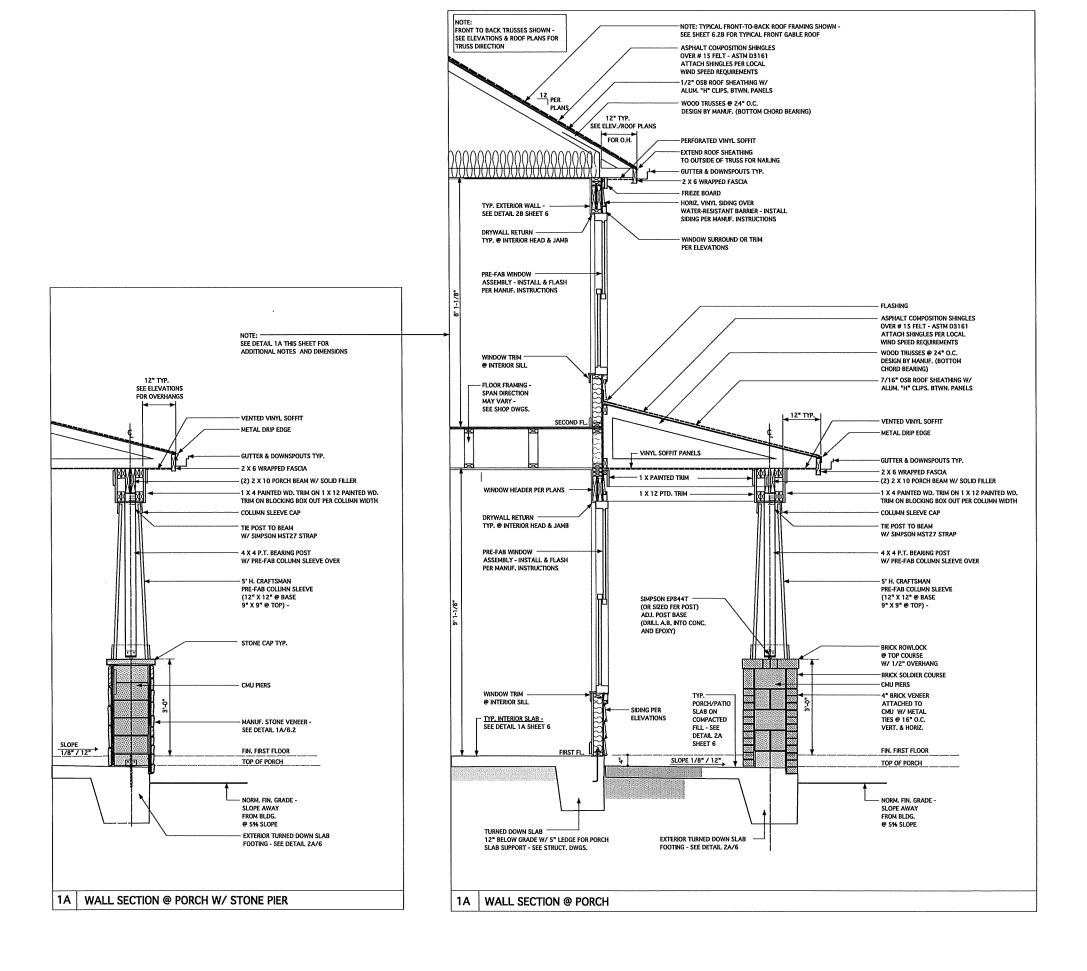
PROJECT NO.	
l	113-88
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DATE	10-16-17
SCALE	
	1-1/2* = 1'-0*
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O ECKED BY	
	JW
ISSUED FOR	
	PERMITS/CONSTRUCTION

# MODEL 6260 -GARAGE RIGHT

CHESAPEAKE
HOMES OF NC
3100 Smoketree Court,
Suite 210
Raleigh, NC 27604
(919) 256-3060
(919) 556-0690 Fax

DRAWING TITLE

MONOLITHIC SLAB FOUNDATION AND WALL DETAILS



JAMES WENTLING/ ARCHITECT

LAND TITLE BUILDING 100 SOUTH BROAD STREET, SUITE 1524 PHILADELPHIA, PA 19110

(215) 568-2551 email -information@ wentlinghouseplans

ARCHITECTURE
LAND PLANNING

LAND PLANNING GRAPHICS



MAXX   DATE   DESCRIPTEN	REVIS	REVISIONS		
AM 01-14-21 RESTAMP SHEET  AM 09-09-21 RESTAMP SHEET	MARK	DATE	DESCRIPTION	
AM 09-09-21 RESTAMP SHEET	DN	12-18-18	CONVERT HIGHGATE	
	AM	01-14-21	RESTAMP SHEET	
JW 02-15-23 NEILL'S POINT/FARM	AM	09-09-21	RESTAMP SHEET	
	JW	02-15-23	NEILL'S POINT/FARM	
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PROJECT NO.	
	113-88
DATE	01-08-18
SCALE	3/4* = 1'-0*
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ISSUED FOR	PERMITS/CONSTRUCTION

PROJECT TO

MODEL 6260 -GARAGE RIGHT

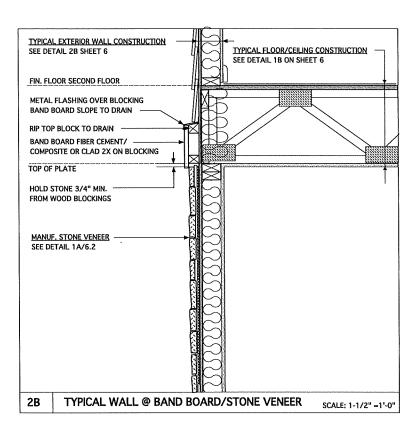
CHESAPEAKE HOMES OF NC 3100 Smoketree Court,

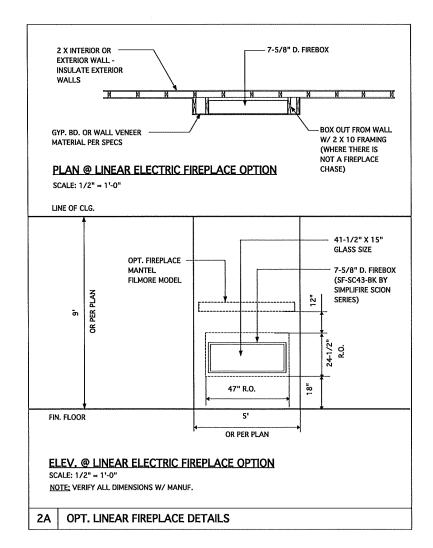
3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

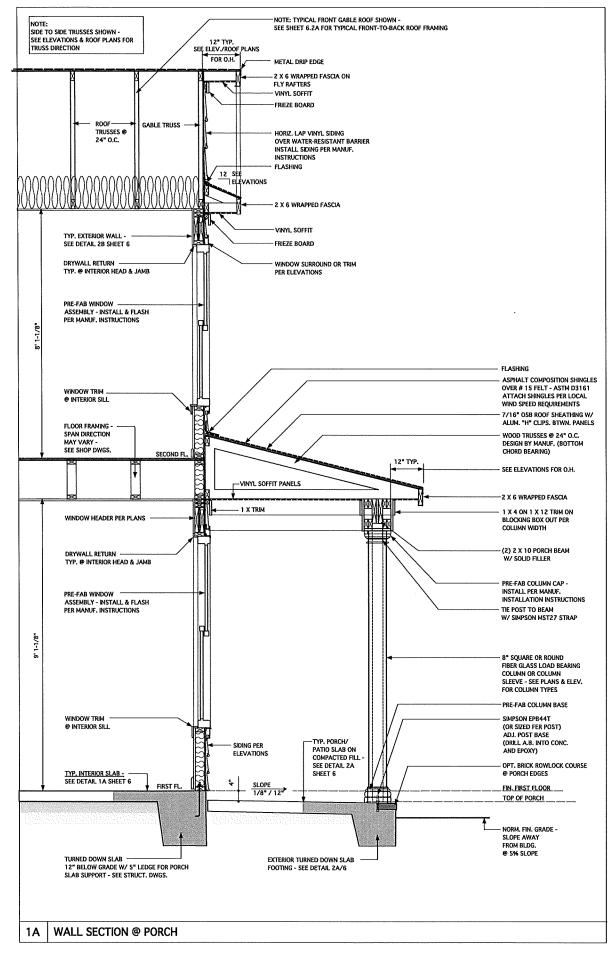
DRAWING TITL

ELEVATION A -DETAILS

6.2A









SUBJECT TO COPYRIGHT PROTECTION AS AN ACCURACY TO COPYRIGHT PROTECTION ACCURACY TO THE WARDED BOX TO THE PROTECTION ACCURACY TO THE PROTECTION ACCURACY TO THE OFFICE AND ELEMENTS OF THE DESIGN.

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MARK	DATE	DESCRIPTION
DN	12-18-18	CONVERT HIGHGATE
AM	01-14-21	RESTAMP SHEET
AM	09-09-21	RESTAMP SHEET
JW	02-15-23	NEILL'S POINT/FARM

PROJECT HO	
	113-88
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SCALE	3/4" = 1'-0" UNO.
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ISSUED FOR	PERMITS/CONSTRUCTION

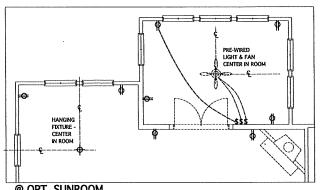
# MODEL 6260 -GARAGE RIGHT

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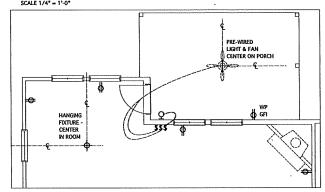
LAWING TITLE

ELEVATION B/C/D/F -DETAILS

**6.2B** 

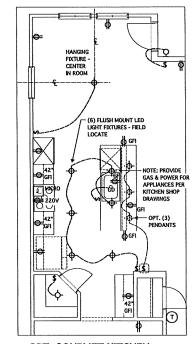


@ OPT. SUNROOM

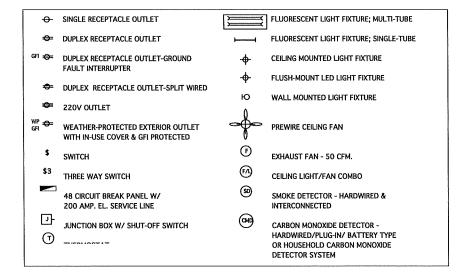


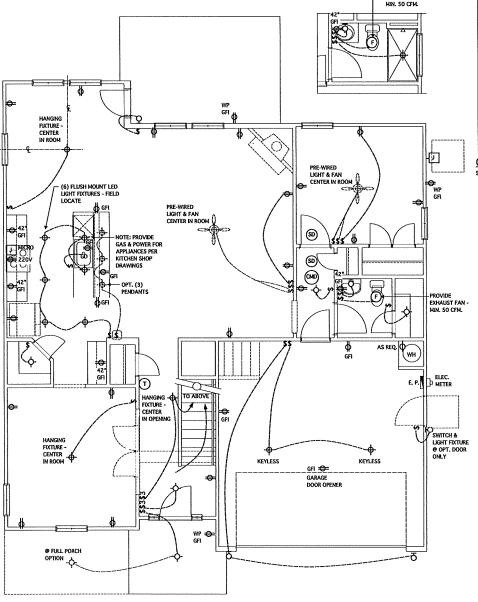
@ OPT. COVERED PORCH SCALE 1/4" = 1'-0"

**OPT. GOURMET KITCHEN ISLAND** 



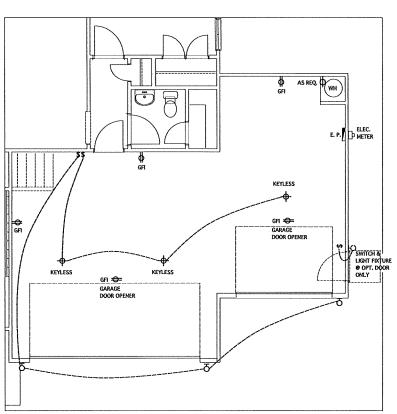
OPT. GOURMET KITCHEN SCALE 1/4" = 1'-0"





GFI E. P. FIELD LOCATE AS REQ. KEYLESS KEYLESS 

@ OPT. SIDE-LOAD GARAGE @ ELEV. A



FLOOR PLAN @ OPT. THIRD-CAR GARAGE



ARCHITECTURE LAND PLANNING

GRAPHICS



REVIS	ONS	
WALK	DATE	DESCRIPTION
DN	01-14-19	STRUCT, DWGS, REV.
CH	05-28-19	ELEVATIONS
СН	12-10-19	3RD CAR GARAGE EX
АМ	01-14-21	RESTAMP SHEET
АМ	09-09-21	RESTAMP SHEET
JW.	02-15-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0" DINING EXTENSI STRUCT, DWGS, REV.

PROJECT NO.	
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CHECKED BY	
	JW.
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ISSUED FOR	PERMITS/CONSTRUCTION

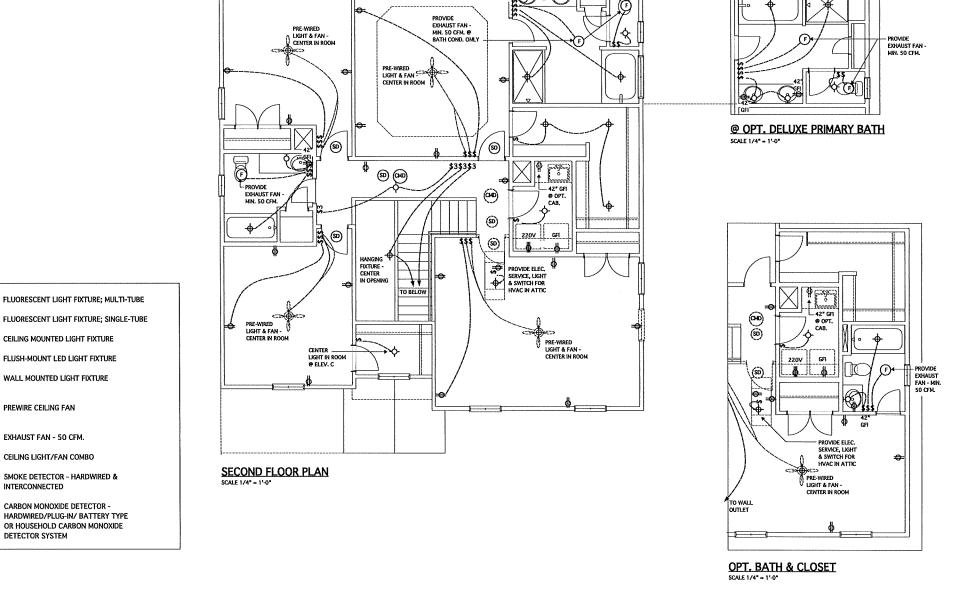
MODEL 6260 -GARAGE RIGHT

CHESAPEAKE HOMES OF NC

3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

FIRST FLOOR ELECTRICAL PLANS

FIRST FLOOR ELECTRICAL PLAN



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→ SINGLE RECEPTACLE OUTLET

DUPLEX RECEPTACLE OUTLET

FAULT INTERRUPTER

THREE WAY SWITCH

FIRE EXTINGUISHER

220V OUTLET

\$ SWITCH

\$3

(FE)

GFI ← DUPLEX RECEPTACLE OUTLET-GROUND

DUPLEX RECEPTACLE OUTLET-SPLIT WIRED

WP ← WEATHER-PROTECTED EXTERIOR OUTLET

48 CIRCUIT BREAK PANEL W/

200 AMP. EL. SERVICE LINE

JUNCTION BOX W/ SHUT-OFF SWITCH

WITH IN-USE COVER & GFI PROTECTED

CEILING MOUNTED LIGHT FIXTURE

FLUSH-MOUNT LED LIGHT FIXTURE

WALL MOUNTED LIGHT FIXTURE

PREWIRE CEILING FAN

EXHAUST FAN - 50 CFM.

INTERCONNECTED

DETECTOR SYSTEM

CEILING LIGHT/FAN COMBO

SMOKE DETECTOR - HARDWIRED &

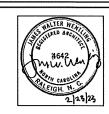
CARBON MONOXIDE DETECTOR -HARDWIRED/PLUG-IN/ BATTERY TYPE OR HOUSEHOLD CARBON MONOXIDE

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JAMES WENTLING/ ARCHITECT LAND TITLE BUILDING 100 SOUTH BROAD STREET, SUITE 1524 PHILADELPHIA, PA 19110

ARCHITECTURE LAND PLANNING GRAPHICS



REVIS	SIONS	
MARK	DATE	DESCRIPTION
DN	01-14-19	STRUCT. DWGS. REV.
СН	05-28-19	FULL PORCH OPT.
АМ	01-14-21	RESTAMP SHEET
АМ	09-09-21	M. BATH WINDOW REV.
w	02-15-23	NEILL'S POINT/FARM
DN	02-23-23	1'-0' DINING EXTENSION. STRUCT, DWGS, REV.

113-88 01-08-18 AS NOTED

MODEL 6260 -GARAGE RIGHT

CHESAPEAKE HOMES OF NC

3100 Smoketree Court, Suite 210 Raleigh, NC 27604 (919) 256-3060 (919) 556-0690 Fax

SECOND FLOOR ELECTRICAL PLANS

# STRUCTURAL NOTES NC (2018 NCRC): Mind: 115-120 mph

- BISHER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLIDING ROOF RAFTERS, INFS, VALLEYS, RIDGES, FLOORS, MALLS, EER AS ROOF RAFTERS, COLIMBA, CANTILEARS, OFFSET LAND BEARDS, MALLS, FER A ROOFER SYSTEM, FLOORING, AND PLIAN SYSTEM. EMBERER'S SEAL DOES NOT CERTIFY DIPEDIONAL ACCURACY OR RACHIECTURAL LAYOUT INCLIDING ROOF SYSTEM, ALT REGULARDER'S FOR PROFESSIONAL CERTIFICATION SHALL BE PROVIDED BY THE APPROPRIATE PROFESSIONAL, SOUTHER HEAVERS, P.A. CERTIFIES ONLY THE STRUCTURAL COMPONENTS AS PERCEPCIALLY STATED.
- 2. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUEREMENTS OF THE 2000 NC RESIDENTIAL COOR, BUT BLUCKLE COORS AND REGALATIONS THE STRUCTURAL BENGERS IS NOT RESPONSED FOR AN OFFILE LOTT HAVE ORIGINAL OF, CONSTRUCTION HERE, HETHOOS, TECHNIQUES, SEGLENCIS OR PROCEDURES, OR FOR SAMETY PRECAUTIONS AND PROCEDURE FOR THE CONTRACTORS PALLINE TO CANNOT THE CONSTRUCTION HORK IN ACCORDANCE FOR THE CONTRACTOR CAPITY OF THE CONTRACTOR HORK IN ACCORDANCE WITH THE CONSTRUCTION HORK IN ACCORDANCE WITH SOOD CONSTRUCTION PRACTICE AND THE BUILDING CODE.
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  ATTIC HITHOUTH PERSYMENT STARS. (NO PEA, 10 PEA, LOAD)
  ATTIC HITHOUTH STORAGE, NO PEA, 10 PEA, LOAD)
  EXTERIOR BALCORES. (NO PEA, 10 PEA, LOAD)
  EXTERIOR BALCORES. (NO PEA, 10 PEA, LOAD)
  PEACES. (NO PEA, 10 PEA, LOAD)
  PAGESTHERY WHALE GRAVAGES. (NO PEA, 10 PEA, LOAD)
  SHOW, (NO PEA, (NO PEA, 10 PEA, LOAD)
  SHOW, (NO PEA, (NO PEA, 10 PEA, LOAD)
  SHOW, (NO PEA, 10 PEA, LOAD)

- HALLS SHALL BE BRACED BY SHEATING HALLS ON ALL STORES INTH MOOD STRUCTURAL PARELS, SEE FRANKS NOTES FOR THICKNESS AND NALING REGURENERS.
- SEE APPENDIX H (DCA6) FOR EXTERIOR DECK REGUREMENTS INCLIDING ATTACHMENTS FOR LATERAL LOADS
- CONCRETE SHALL HAVE A PRIMAM 20 DAY STRENSTH OF 3000 PSI AND A HAVEMM SLIPP OF 5 NOVES MLESS NOTION OMERANES (NO). ARE BITRAINED PSR TRAILE 4022. ALL CONCRETE SHALL BE PROPORTIONED, NIGHED, SHAPED, STISTED, NO PLACED IN ACCORDANCE HITH ACI STANDARDS, ALL SAMPLES FOR FLAMMS SHALL BE TAKEN FROM THE EXIT BUT OF THE PARY. CORTINGO. JOINTS SHAPE SHAPED HAVE TO A PLACE IN ACCORDANCE THE PARY. CORTINGO. JOINTS SHAPE SHAPED HAVE ON THE TAKEN OF 1-30 TIMES THE DEPTH (D). CORTINGO. JOINTS SHALL BE SAMPLE TO A DEPTH OF VOI. BLE 4" CONCRETE SLASS SHALL HAVE AND THE CONTROL JOINTS SHAPED SHAPED IN A PLOT OF THE OF THE SHAPED SHALL BY THE PARY OF THE SHAPED S
- ALLOWALE SOIL BEARING FRESURE ASSIMED TO BE 2000 PSF. THE CONTRACTOR MIST CONTRACT A GEOTECHICAL BISINESS AND THE STRUCTURAL BISINESS FUNDATIONAL BISINESS AND THE STRUCTURAL BISINESS FUNDATION AND ANALOST TO THE STRUCTURAL BISINESS FUNDATION FOR ANALOST TO THE FORMATION HOLL SHALL BE FRONTED HITH ADEQUATE DRAMAGE, AND SHALL BE GRADED 50 AS TO DRAM SHYPECK MATER WAY FROM FROMATION HALLS.
- ALL FRANCIS LINDER SHALL BE SET #2 fb = 675 PSU INLESS NOTED OTHER/OSE (IND), ALL
  TRANED LINDER SHALL BE STP # 2, PLATE HATERIAL HAT BE SET # 3 OR STP H3 fre(purp)
  #20 PSI HIV.
- D. ALL ROOF TRIES AND I-JOST LAYOUTS SHALL BE PREPARED IN ACCORDANCE WITH THE SEALED STRUCTURAL DRAWNES. TRISEES AND I-JOSTS SHALL BE INSTALLED ACCORDAG-THE HAMEACTRIES SPECIFICATIONS. ANY CHANGE IN TRISS OR I-JOST LAYOUT SHALL BE CORDINATED WITH SOUTHERN BENEEDS.
- 12. REBAR SHALL BE DEFORMED STEEL, ASTIMOR, GRADE 60. LAP ALL REBAR SPLICES 30 BAR DIAMETERS.
- B. FLITCH BEAMS SHALL BE BOLTED TOGETHER USING (2) RONG OF 1/2" DIAMETER BOLTS (ASTM ASZI) HITH MASSERS FLACED INDER THE THREADED BHD OF BOLT, BOLTS SHALL BE SPACED AT 24" O.C. (PAN), AND STAGESTED AT THE TOP AND BOTTOM OF BEAM (2" BOGE DISTANCE), WITH 2 BOLTS LOCATED AT 6" PROM EXCH BN).
- 4. BRICK LINTELS (MEDI REGURED) SHALL BE 3 V2\(\text{S}\) V2\(\text{V}\) STEEL ANGLE FOR UP TO 6\(\text{V}\) O'S

  SPAN AND 6\(\text{V}\)\(\text{S}\) O'S TEEL ANGLE INTH 6\(\text{LE6}\) VERTICAL FOR SPANS UP TO 9\(\text{V}\)O'S

  FOR SPANS OFMER 9\(\text{V}\)STEEL ASS SECTION RICOSIS LINTELS.

- BRACING METHOD AND TYPE, CONTINUOUSLY SHEATHED HEP, CS-HEP, NOTE THAT THE HALL BRACING AMOUNT PROVIDED ON THE FLANS OFFICIALS AND SPECIFICATIONS, IS GEGATER HIML THE AMOUNT OF HALL BRACING REGURED BY SECTION REQUID OF THE CODE SEE WITES BELON FROM THE DETAILS, AND SPECIFICATIONS FOR NALL.
- DITEUR HALL SERATINES, MALLS SHALL DE DRACED DY SEATINES
  MALLS ON ALL STORMS HIN HOCO STRUCTURE, PAPEL SERATINES
  OPEN (DESPOSICE B. 10%) DIPOCIER C. 157973, SEATINES SHALL DE
  ATTACED BYTH DIS HALLS AT A 6/127 MALLE PATTERS (BY OLD AT
  PAPEL EDGES AND IZY OCK AT INTER-EDWITE SUPPORTS), INSTALL
  ELOCKINS AT ALL PAPEL BEGES.
- HEP SHATING SHALL EXTRIBUT OF THE LIPTERMOST DOLBLE BEARTING PLANE BLOCK AT ROOF PER SECTION REQUIDATE AND ATTACH REACED HALLS FOR COOK HEP SHATINGS BERNETH ROOFS SHALL BE SHALEDO ALONG CONTINUOS BAND OR THE HEP SHATINGS HAVE BE SHALEDO ALONG STONE (ORDINIDOS BAND OR THE HEP SHATINGS HAVE BE SHALEDO ALONG STONE) (ORDINIDOS AROOS BLOCK STOTH) HIT BLOCKING AT PARIE EDGES, (MBRIH ILE) BEYCAD FLOOR STOTH PRINCE AND ROOF BERNALD RECORDER APPROVIND BERNAL
- 4. 10' \* HOLDONE HALD DONN DEVICE (KOTED AS 10' ON FLANS)
  SHALL BE AN BOO POUND CAPACITY ASSERBLY AS HOTED ON FLANS,
  SEE DETAILS FOR HO ASSERBLY.

  "SECONDIFICATION." HE "NO HOLD-DONN DETAIL" ON SO SHEET
  (OR EGAIN)
- (OR EGIN)

  "IMPER FLOORS, ATTACH BASE OF KING STILD HITH A SAPSCH C522

  STRAP DOWN ACROSS THE BAND AND DOWN TO A STILD BELOH OR

  FEADER BELOH. EXTRED STRAP IT YIM ALONG EACH STILD (OR

  FEADER) AND ATTACH EACH BID W (1) BA KALS.
- NITERIOR BRACED HALL, (NOTED AS "BH!" ON PLANS) ATTACH VZ" 61793M BOARD (68) ON EACH SIDE OF WALL MITH A MIN, OF 54 COOLER HALLS OR 86 SCEPES 6 1" OZ. ALONS THE EDGES AND AT MIEST-REDIATE SUPPORTS.
- INTERIOR BRACED HALL-HOOD STRICTURAL PANEL: (NOTED AS MITERIOR BRACED HALL-HOOD STRICTIRAL PAREL (NOTION AS "BELLEGY" OF HANS), ATTACK ING SEQRE HAT! (A PER SEATHING HITH ORI HALLS AT A 6/12" HALLE BORTIST), BESTALL BLOCKEN AT ALL AND IZ" OCA ATTACK 66 OVER HEP AS REGURED, ATTACK OPPOSITE SOFT HAIL OF SOFT HEP AS REGURED, ATTACK OPPOSITE SOFT HAIL OF SOFT HEP AS REGURED, ATTACK OF SCHEDIS 6 TO OCA JOHN THE EDGES AND AT INTERMEDIATE SUPPOSITE.

## HEADER/BEAM & COLUMN NOTES

- ALL EXTERIOR AND LOAD BEARING HEADERS SHALL BE HIRL (2)256 (4" HALL) OR (8)256 (6" HALL) OR (8)256 (6" OTHERWISE
- OTHER SECTION AT BEAM AND HEADER SEPRORTS INVALIDES HE NAMED OF SEPRORTS SECURITY HE NAMED OF SEPRORTS STUDY REGARDS IN STUD POCKET OR COLUMN THE NAMED OF HEADERS IN STUDY AT EACH BOD OF HEADERS IN SETTING PARK SHOWS AT HEADER SHOWS AND HEADER AND HEADER AND HEADER SHOWS AT HEADER SHOWS AT HEADER HEADER SHOWS AT HEADER SHOWS AND HEADER SHOWS AT HEADER SHOWS AND HEADER SHO
- TRUSS SYSTEM REQUIREMENTS
- TRUSS SYSTEM LAYOUTS (FLACEMENT FLAIS)
  SHALL BE DESIGNED IN ACCORDANCE HITH SEALED
  STRUCTURAL PLANS, ANY NEED TO CHANGE
  TRUSCES SHALL BE COORDINATED NITH SOUTHERN
  BRASHERS
- TRUSS SCHENATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
- ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SPF 42 OR 45 PLATES OR LEDGERS (LHO).
- ALL REGURED ANCHORS FOR TRUSSES DUE TO UPLET OR BEARING SHALL MEET THE REGURENHENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

- PORCH POST NOTES;

  AND (6x6) TRID POST (OR BOW).

  ATTACH TRISES RAFTERS) AT PORCH MITH
  HERICARE COMECTORS.

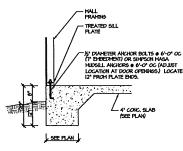
  POST CAP STEPSON ACHHAY (ACCHHAY)

  POST CAP AT CORBED (2) SEPSON LICE
  (MITE READER AT CORBED (2) SEPSON MEMA (ARLKO).

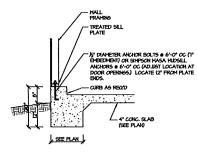
  19. INSIGN STEPSON ASHA (ARLKO).

  19

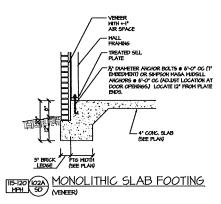
- HOTE, EQUIVALENT POST CAP AND BASE ACCEPTABLE.

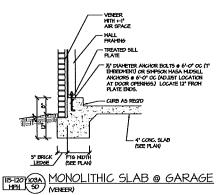


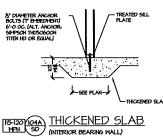
(SIDING OR EQUAL)

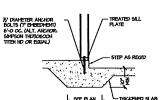


MONOLITHIC SLAB @ GARAGE (SIDING OR EQUAL)

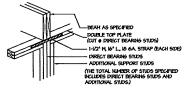


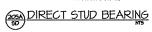


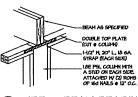




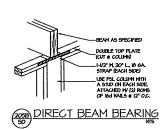
THICKENED SLAB @ GARAGE (INTERIOR GARAGE WALL)







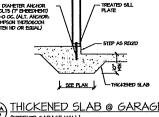
DIRECT BEAM BEARING NTS

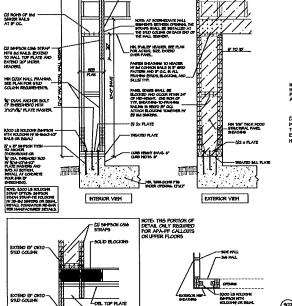


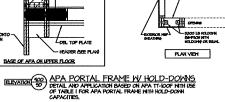


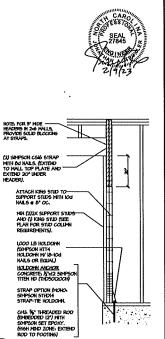
HOTE BECOLD KELDOMI STRUP OFFICE SEPSICE BY AD BE SENGTH OF BEAM METAL FOLKDATION RESEA PER HANDATON RESEAL

SECOLD HOLDOW S. HITCH HOLDOW W.— WHICH HOLDOW W.—



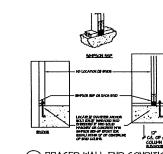






(92) END CONDITION DETAIL.

SO FOR USE MITH SINGLE APA PORTAL FRAME CONDITION DETAIL AND APPLICATION BYSED ON APA TI-LOOF HITHUSE OF TABLE I FOR APA PORTAL, HAVE MITH HIGHD-DOWN CAPACITIES.

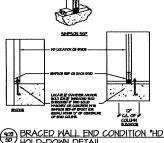


(SSCTION (SO)) APA PORTAL FRAME W HOLD-DOWNS
DETAIL AND APPLICATION BASED ON APA TI-ROSE WITH USE
OF MAKE I FOR APA PORTAL FRAME WITH HOLD-DOWN
CAPACITIES.

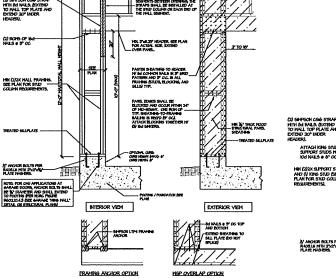
/-#\*\*\*\*

TEORE | Face | FOOTING SECTION

WAND RAZ - WAND FOR P - WAND F - WAND F



(95) BRACED WALL END CONDITION "HD" HOLD-DOWN DETAIL HOTE SHESON DITTALE ALTERNATE HOLD-DOWN DEVCES OR SYSTEMS HAY BE USED TO HEET THE COOR REQUIRED 600 US CAPACITY IN LEU OF THE ABOVE DETAIL.

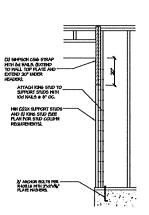


SIMPSON HTT4 SIMPSON STHONA

(93) CS-PF: CONTINUOUS PORTAL FRAME CONSTRUCTION

50) DETAIL AND APPLICATION BASED ON KIRC FISURE
RECOLOT - PORTAL FRAME CONSTRUCTION

C5-FF - OVER HOOD FLOOR



(406) C5-PF: END CONDITION DETAIL FOR USE WITH SHISLE C5-PF CONDITION) DETAIL AND APPLICATION BASED ON HERC FIGURE REGISTOJ - PORTICI, FRANZE CASTRICATION

# P.A. 27609

Southern Engineers, I 3716 Benson Drive, Raleigh, NC 2 Phone: (919) 878-1617 License: C-4772

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PROJECT #

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Detail Notes Standard and

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