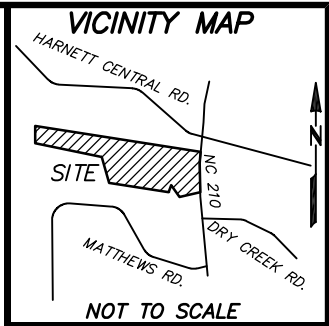


LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 01°19'25" E	70.00'

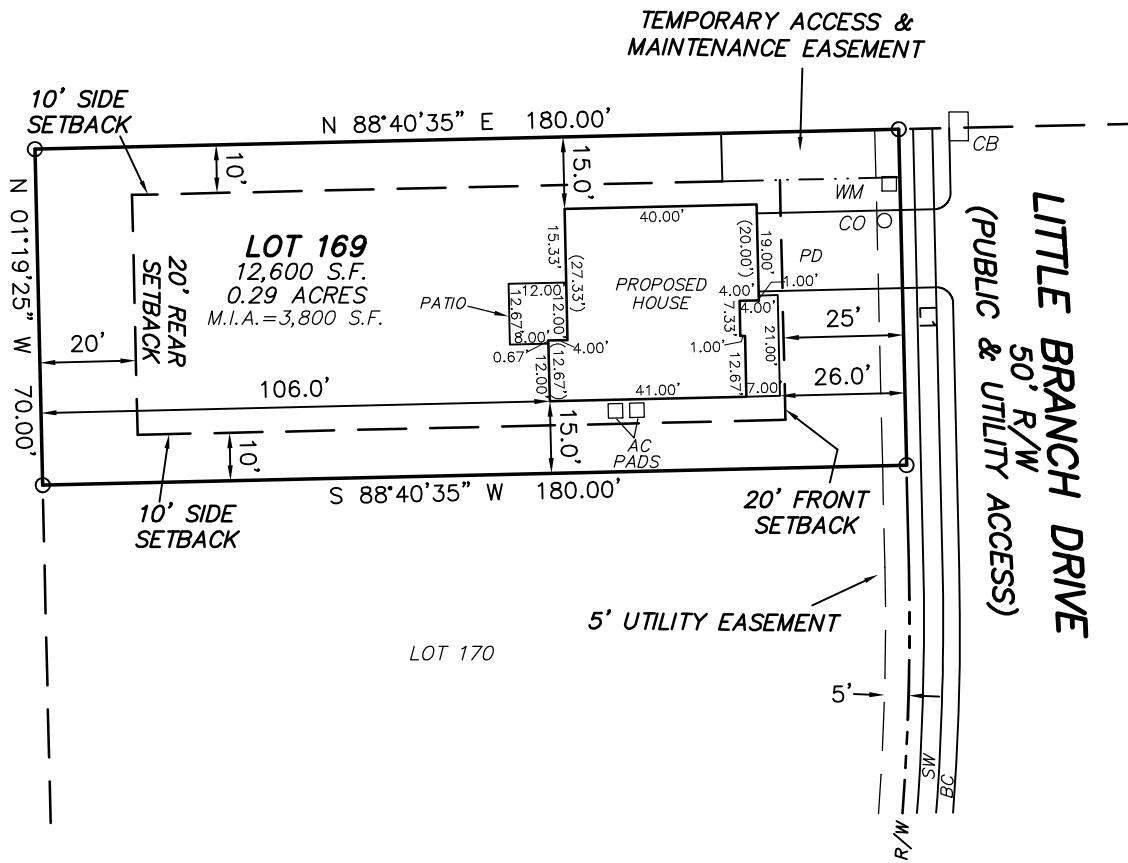
PROPOSED IMPERVIOUS SURFACES:  
TOTAL LOT AREA=12,600 S.F.  
HOUSE/PORCHES=1,848 S.F.  
DRIVEWAYS,ETC.=518 S.F.  
TOTAL IMPERVIOUS AREA=2,366 S.F.  
MAXIMUM IMPERVIOUS AREA=3,800 S.F.



REFERENCES:  
1. D.B. 3963, PG. 731  
PIN 0652-90-7402.000  
PID 110662 0027 74  
RESTRICTIVE COVENANTS:  
2. D.B. 4072, PG. 220

DAN RYAN BUILDERS-NORTH CAROLINA, LLC  
DB 3963, PG 731  
PIN: 8662-00-2888.000  
PB 2021, PG 41

N.C. GRID NORTH (NAD83) FROM P.B. 2022, PG. 203-205



DAN RYAN BUILDERS-NORTH CAROLINA, LLC  
DB 3963, PG 731  
PIN: 8662-00-2888.000  
PB 2021, PG 41

**SETBACKS**

FRONT-25'  
SIDE-10'  
REAR-20'  
CORNER SIDE-20'

**LEGEND**

(BC)-BACK OF CURB  
(CB)-CATCH BASIN  
(SW)-SIDEWALK  
(PD)-PROPOSED DRIVEWAY  
(WM)-WATER METER  
(CO)-CLEANOUT  
(AC)-AIR CONDITIONER

**NOTES:**

- ALL EASEMENTS, RIGHTS OF WAY AND BOUNDARY INFORMATION TAKEN FROM P.B. 2022, PG 203-205 UNLESS OTHERWISE NOTED.
- PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN DONE BY ROBINSON & PLANTE, P.C.
- THE PROJECT IS WITHIN THE WS IV WATERSHED. THE MAXIMUM IMPERVIOUS AREA PER LOT IS 3,800 SF.

**PRELIMINARY PLAT- NOT FOR RECORDATION, CONVEYANCE, OR SALE**

LOT 169 THE FARM AT NEILLS CREEK  
PHASE 1  
108 LITTLE BRANCH DRIVE  
HARNETT COUNTY  
LILLINGTON, N.C. 27546

SURVEY FOR  
**CHESAPEAKE HOMES**



GRAPHIC SCALE

REFERENCE: PLAT BOOK 2022 PAGE 203-205.

FILE: FNCL0T169PP

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION DESCRIPTION RECORDED IN REFERENCES AS SHOWN; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN \_\_\_\_\_; THAT THE RATIO OF PRECISION IS 1:10,000; AND THAT THIS MAP MEET THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.16000).  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

6260  
ELEV D  
MONO SLAB  
PATIO  
FULL FRONT PORCH  
GARAGE RIGHT FRONT

**ROBINSON & PLANTE PC**  
LAND SURVEYING  
C-2687  
970 TRINITY ROAD  
RALEIGH NC, 27607  
PHONE (919) 859-6030  
FAX (919) 859-6032

PROFESSIONAL LAND SURVEYOR L-4433

DATE: 3-14-23 SCALE: 1"=40'