

REVISION LOG	
REVISION:001	DATE: 02/16/23

1. OPTIONS DETERMINED AND REVISED

Lot 109 DC - 55 Walburn Way Lillington, NC 130630

# The Brunswick Craftsman - LH



ARCHITECTURAL DRAWINGS	
Sheet No.	Sheet Description
0.0	Cover Sheet
1.0	Foundation (Slab)
1.0.1	Foundation (Crawl)
2.0	First Floor Plan
2.1	First Floor Plan Options
2.2	Second Floor Plan
3.0	Front Elevations (Slab)
3.0.1	Front Elevations (Crawl)
3.1	Rear & Side Elevations (Slab)
3.1.1	Rear & Side Elevations (Crawl)
3.2	Elevation Options (Slab)
3.2.1	Elevation Options (Crawl)
4.0	Roof Plan
5.0	First Floor Electrical
5.1	First Floor Options Electrical
5.2	Second Floor Electrical



	'TRADITIONAL' ELEVATION	
	UNHEATED	HEATED
FIRST FLOOR	0	822
SECOND FLOOR	0	1008
FRONT PORCH	72	0
REAR PATIO/DECK	144	0
2 CAR GARAGE	401	0
SUBTOTALS	617	1830
TOTAL UNDER ROOF	2447	

	OPTIONS	
	UNHEATED S.F.	HEATED S.F.
POCKET OFFICE	0	+42
FIREPLACE BUMPOUT	0	+11
MESSY KIT/ PWR PANTRY	0	+72

REV. #	DESCRIPTION	DATE
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THE BRUNSWICK - LH  
Cover - Craftsman

### DESIGN CRITERIA:

THIS PLAN IS TO BE BUILT IN CONFORMANCE WITH THE 2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE

DIMENSIONS SHALL GOVERN OVER SCALE, AND CODE SHALL GOVERN OVER DIMENSIONS.

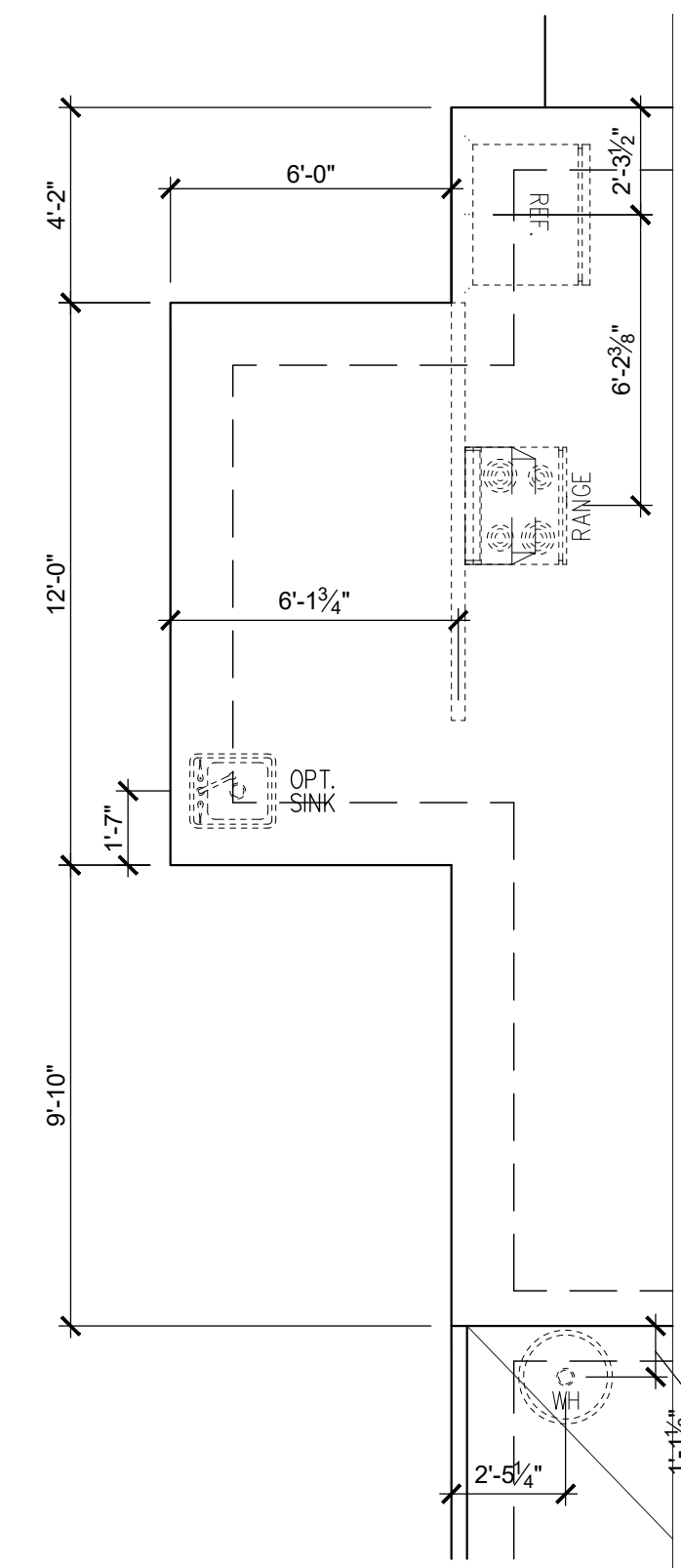
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ISSUE DATE:  
7/1/2021

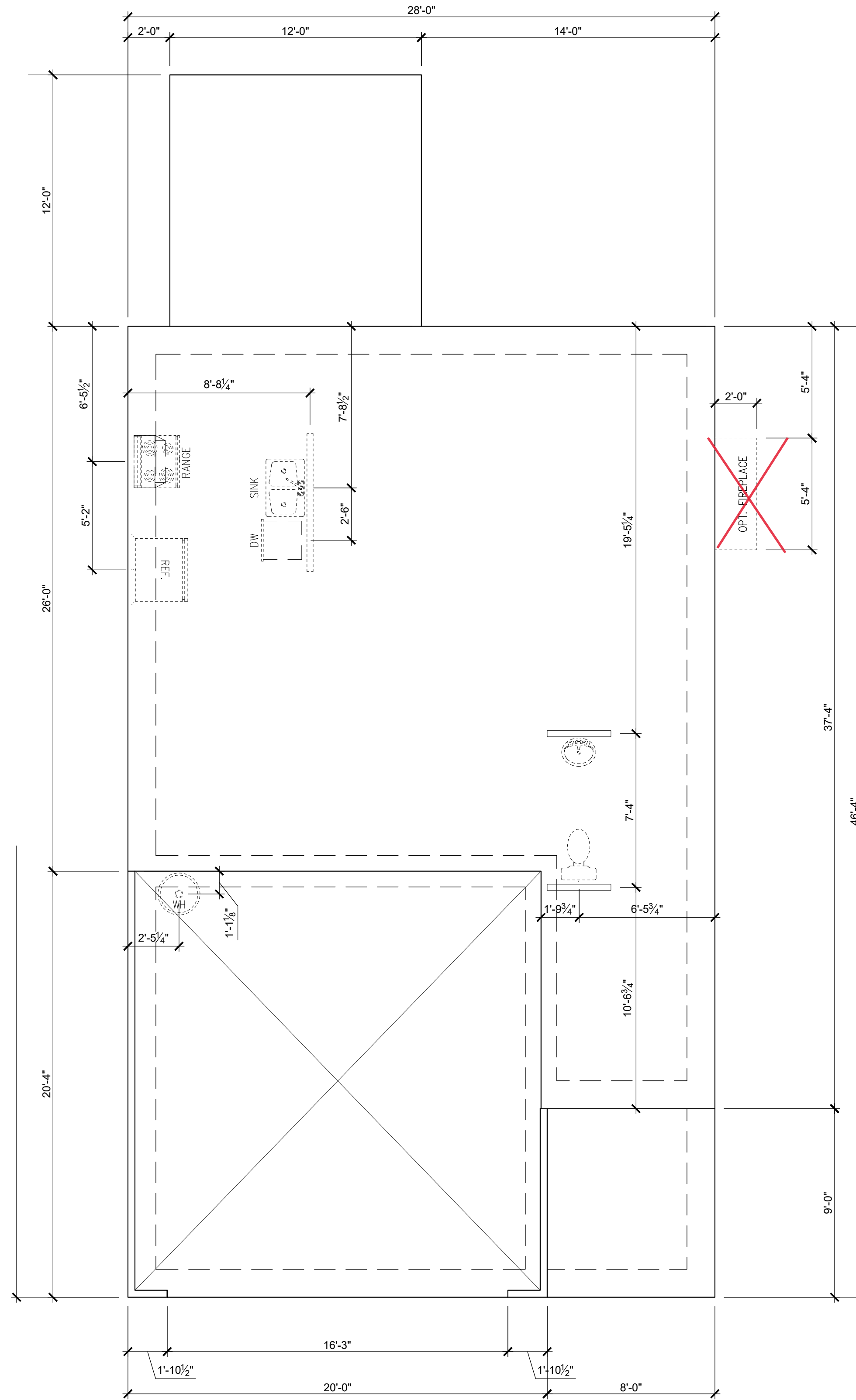
CURRENT REVISION DATE:  
03-03-2023- JJ

SCALE:  
1/8" = 1'-0"

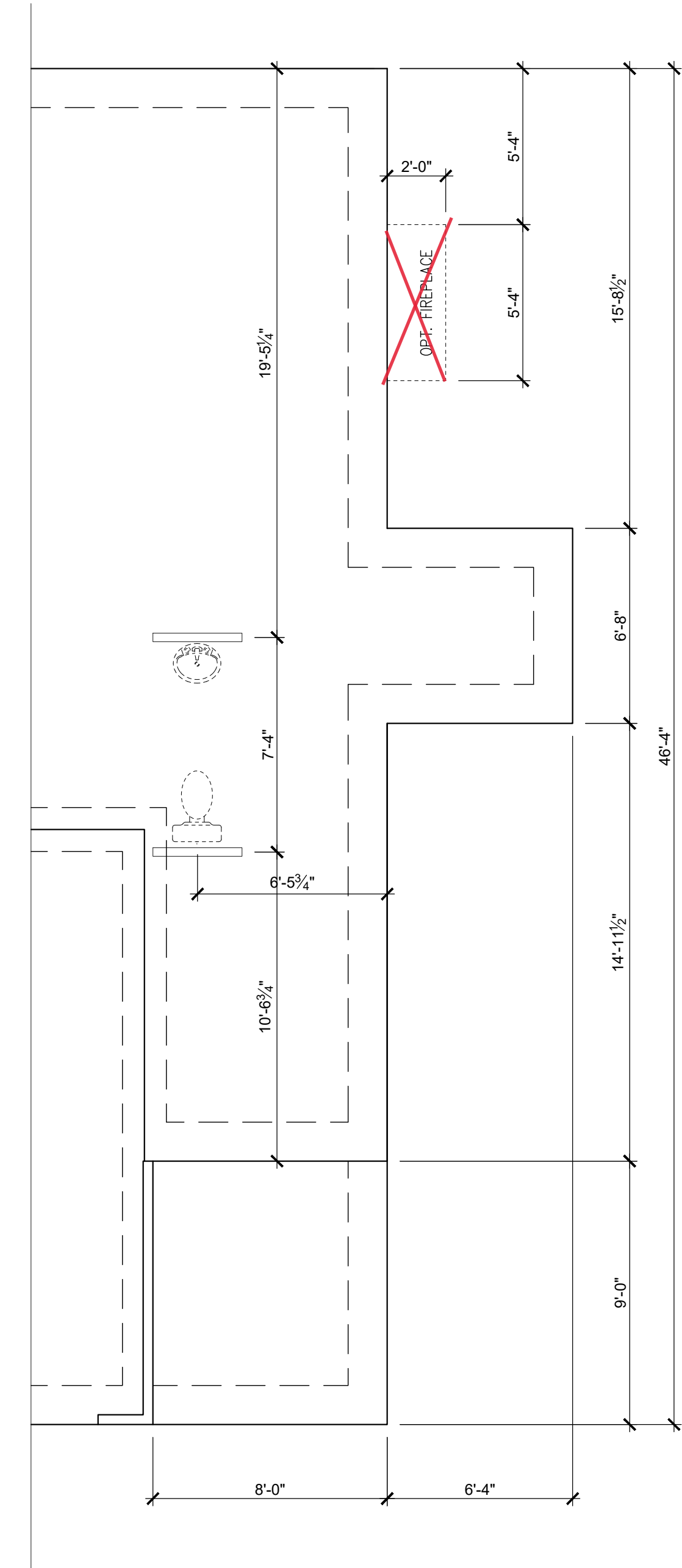
SHEET  
0.0



**MESSY KITCHEN, POWER PANTRY  
FOUNDATION - SLAB**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**FOUNDATION- SLAB**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



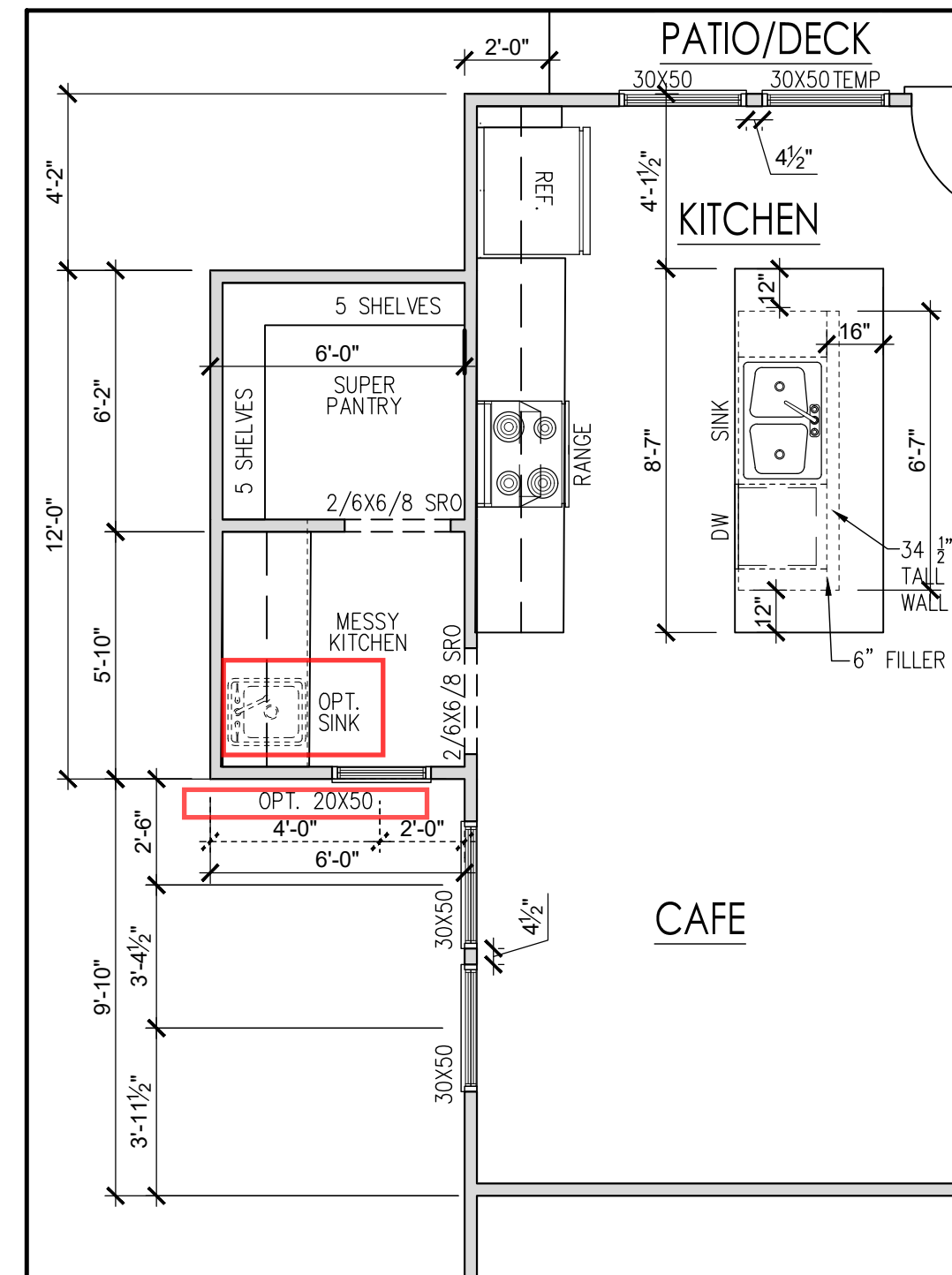
**POCKET OFFICE OPTION  
FOUNDATION - SLAB**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

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**GENERAL FLOOR PLAN NOTES**

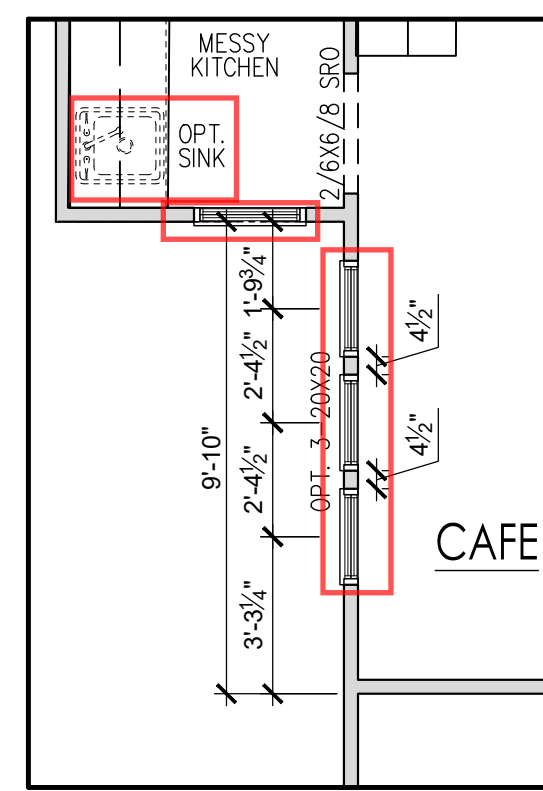
GENERAL FLOOR PLAN NOTES SHALL APPLY UNLESS NOTED OTHERWISE ON PLAN.

1. WALL HEIGHTS: TYPICALLY 9'-1 1/2" AT FIRST FLOOR AND SECOND FLOOR, AND 9'-1 1/2" AT ATTICS U.N.O. ALL WALLS ARE CONSTRUCTED USING A DOUBLE TOP PLATE. SPLICES AT DOUBLE TOP PLATE DO NOT NEED TO OCCUR AT VERTICAL STUDS BUT MUST BE AT LEAST 24" APART FROM JOINT IN OTHER TOP PLATE LAYER. SPECIAL WALL HEIGHTS ARE NOTED ON PLANS WHERE THEY OCCUR.
2. WALL THICKNESS IS TYPICALLY 3 1/2". 2X6 FRAME SHALL BE USED AT WALLS THAT BACK UP TO PLUMBING FIXTURES. WALLS GREATER THAN 10' HIGH SHALL BE FRAMED WITH 2X6 FRAMING OR GREATER AND WILL BE NOTED AS A SPECIAL CONDITION WHERE IT OCCURS ON PLAN.
3. TYPICAL HEADER HEIGHT SHALL BE 7'-8" AFF AT FIRST FLOOR, AND 7'-4" AFF AT SECOND FLOOR U.N.O.
4. JACKS: OPENINGS UP TO 3'-4" WIDE SHALL HAVE (1) 2X4 JACK STUD SPF ON EACH SIDE. OPENINGS GREATER THAN 3'-4" WIDE SHALL HAVE (2) 2X4 JACK STUDS SPF ON EACH SIDE.
5. SOFFITS, COFFERED CEILINGS, TREY CEILINGS AND OTHER SIGNIFICANT CEILING PLAN ELEMENTS ARE SHOWN ON THE FLOOR PLANS AND ARE DENOTED AS SINGLE DASHED LINES. UNLESS SPECIFICALLY CALL OUT AS INCLUDED, KITCHENS DO NOT INCLUDE SOFFITS OVER WALL CABINETRY.
6. DOOR AND WINDOW FRAMES, WHERE OCCURRING NEAR CORNERS, SHALL BE A MINIMUM OF 4 1/2" FROM CORNER. EXCEPT FOR WALK-IN CLOSETS WITH DOORS NEAR A CORNER, DOORS AT CLOSETS SHALL BE CENTERED ON CLOSET.
7. WINDOWS: SHALL HAVE AT LEAST (1) WINDOW IN EACH SLEEPING ROOM, THAT MEETS EGRESS. SHALL BE PROVIDED WITH TEMPERED GLASS AT HAZARDOUS GLAZING AREAS. FALSE WINDOWS SHALL BE INSTALLED WITH OBSCURE GLAZING.
8. CLOSETS FOR CLOTHING OR COAT STORAGE SHALL BE EQUIPPED WITH 1 ROD/SHELF. CLOSETS FOR LINEN SHALL HAVE 4 OPEN EQUAL SHELVES. CLOSETS FOR PANTRIES SHALL HAVE 4 EQUAL WOOD SHELVES, PAINTED.
9. STAIR TREADS SHALL BE A MIN OF 9" DEEP, RISERS SHALL BE A MAXIMUM OF 8 1/4", UNLESS NOTED OTHERWISE, PER THE CURRENT NORTH CAROLINA RESIDENTIAL CODE
10. HANDRAILS AND GUARDS AT STAIRS SHALL BE 34" ABOVE THE FINISHED SURFACE OF THE RAMP SURFACE OF THE STAIR. HANDRAILS AT LANDINGS AND OVERLOOKS OF MULTILEVEL SPACES SHALL BE 36" ABOVE FINISHED FLOOR. GUARDS (PICKETS OR BALUSTERS) SHALL BE SPACED WITH NO MORE THAN 4" BETWEEN GUARDS.
11. ATTIC ACCESS SHALL BE PROVIDED AT ALL ATTIC AREA WITH A HEIGHT GREATER THAN 30". MINIMUM CLEAR ATTIC ACCESS SHALL BE 20" X 30". PULL DOWN STAIRS AND ACCESS DOORS IN KNEE WALLS MEETING MINIMUM CRITERIA ARE ALSO ACCEPTABLE.
12. GARAGE DOOR TO LIVING SPACE SHALL BE 2'-8" X 6'-8" MINIMUM SIZE AND SHALL BE 20 MINUTE FIRE RATED AND WEATHER SEALED.
13. GARAGE WALLS, AS A MINIMUM, SHALL BE SEPARATED FROM LIVING SPACE BY INSTALLING 1/2" GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL. WITH HABITABLE SPACE ABOVE, THE INSIDE OF ALL GARAGE WALLS REQUIRE 1/2" GWB SUPPORTING 5/8" TYPE "X" GWB ON CEILING.



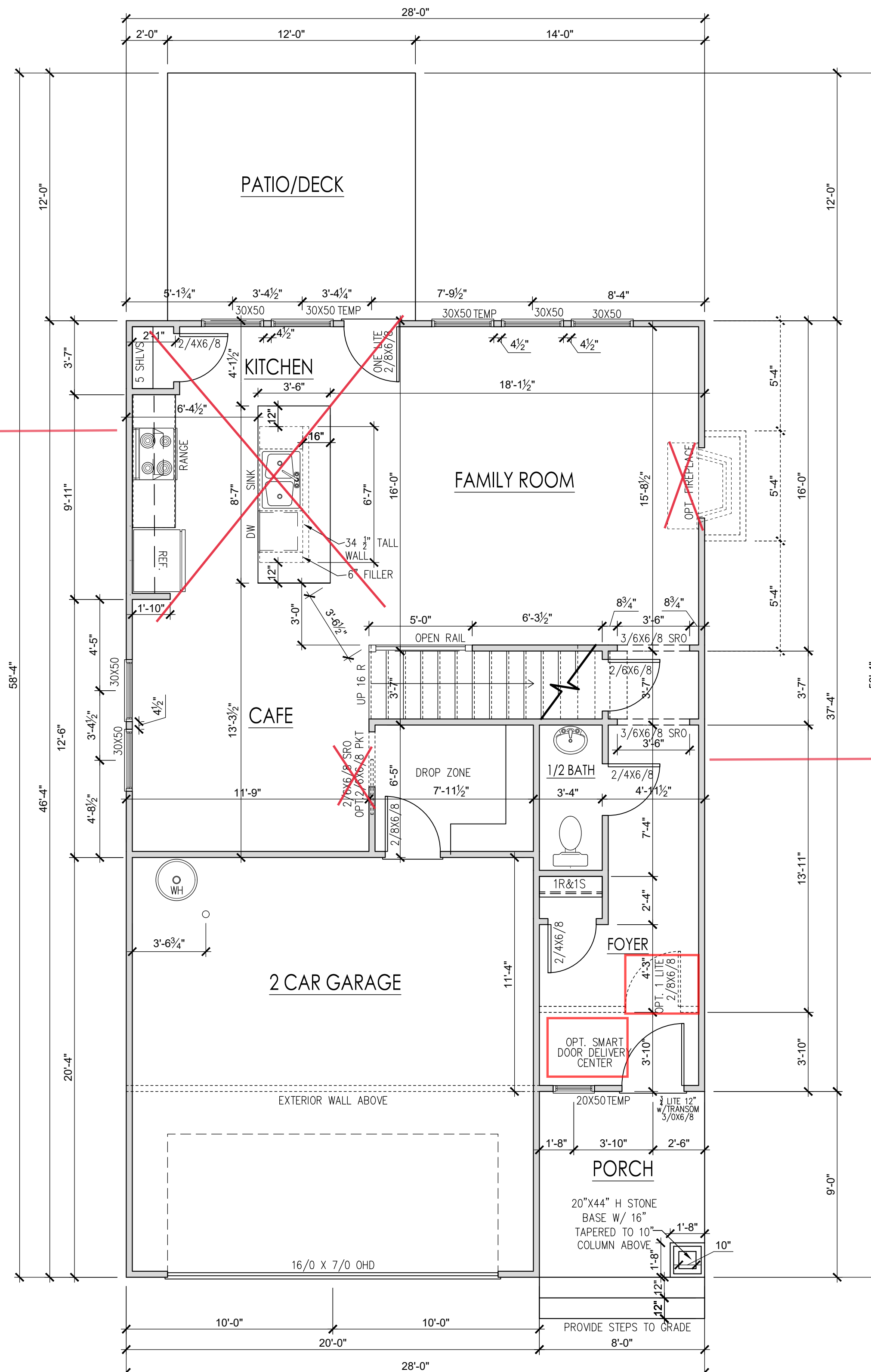
**MESSY KITCHEN, POWER PANTRY FLOOR PLAN OPTION**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



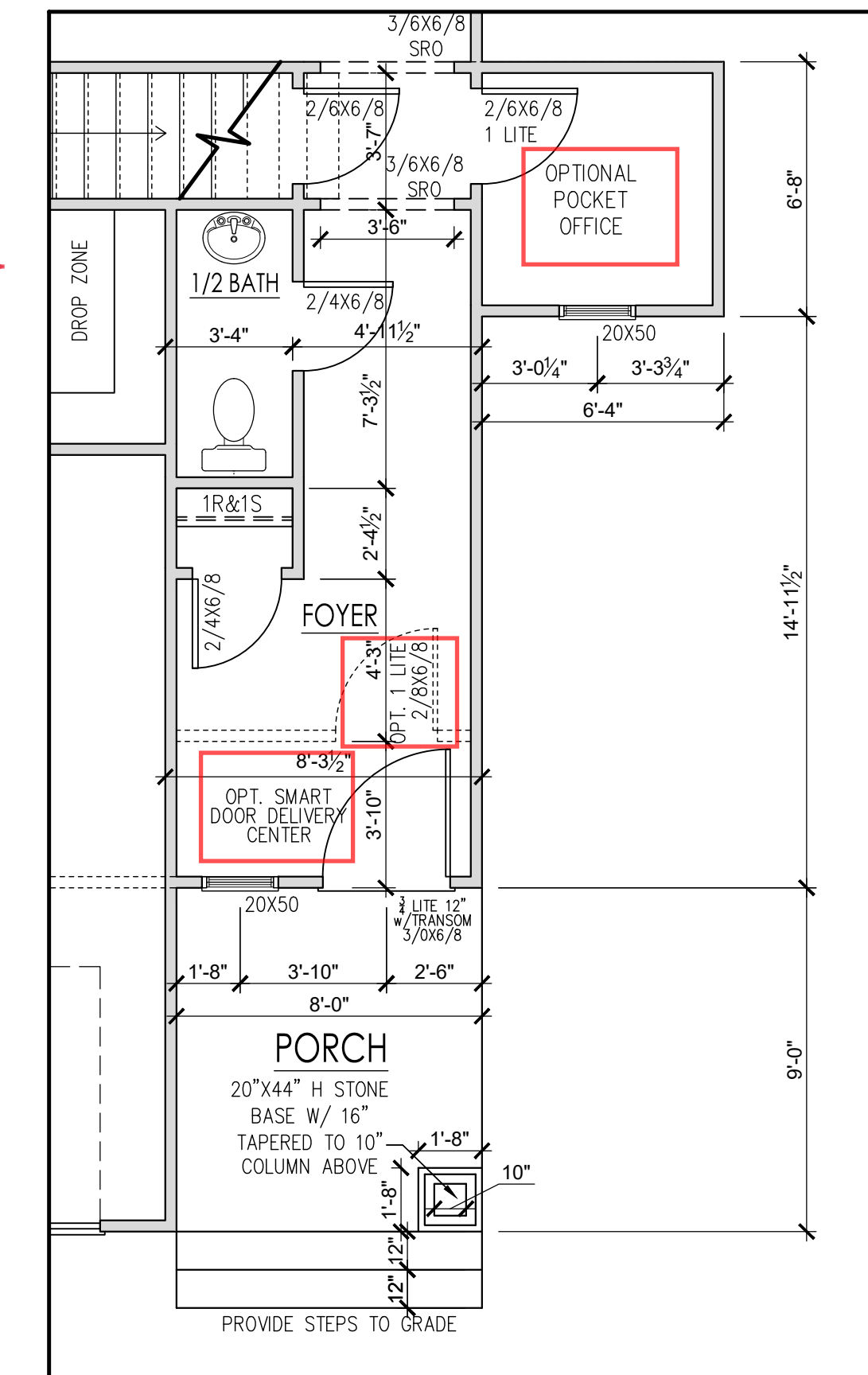
**OPTIONAL WINDOWS FOR CAFE**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**FIRST FLOOR PLAN - CRAFTSMAN**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

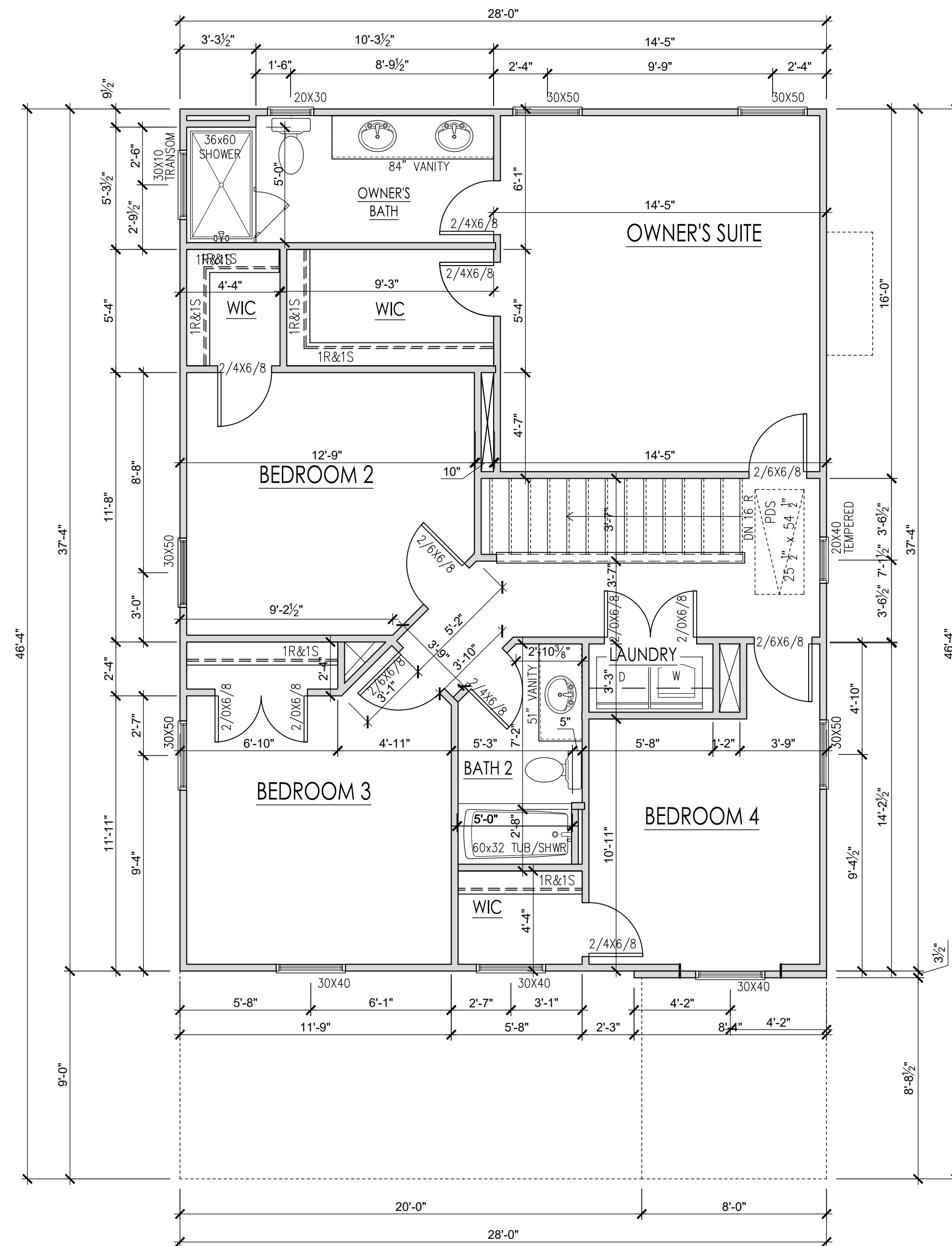


**POCKET OFFICE FLOOR PLAN OPTION**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

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ISSUE DATE: 7/1/2021
CURRENT REVISION DATE: 03-03-2023- JJ
SCALE: 1/8" = 1'-0"
SHEET <b>2.0</b>



**GENERAL FLOOR PLAN NOTES**

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**SECOND FLOOR PLAN - 4 BEDROOM - CRAFTSMAN**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

**THE BRUNSWICK - LH**  
Second Floor Plan 4 and 3 Bedroom

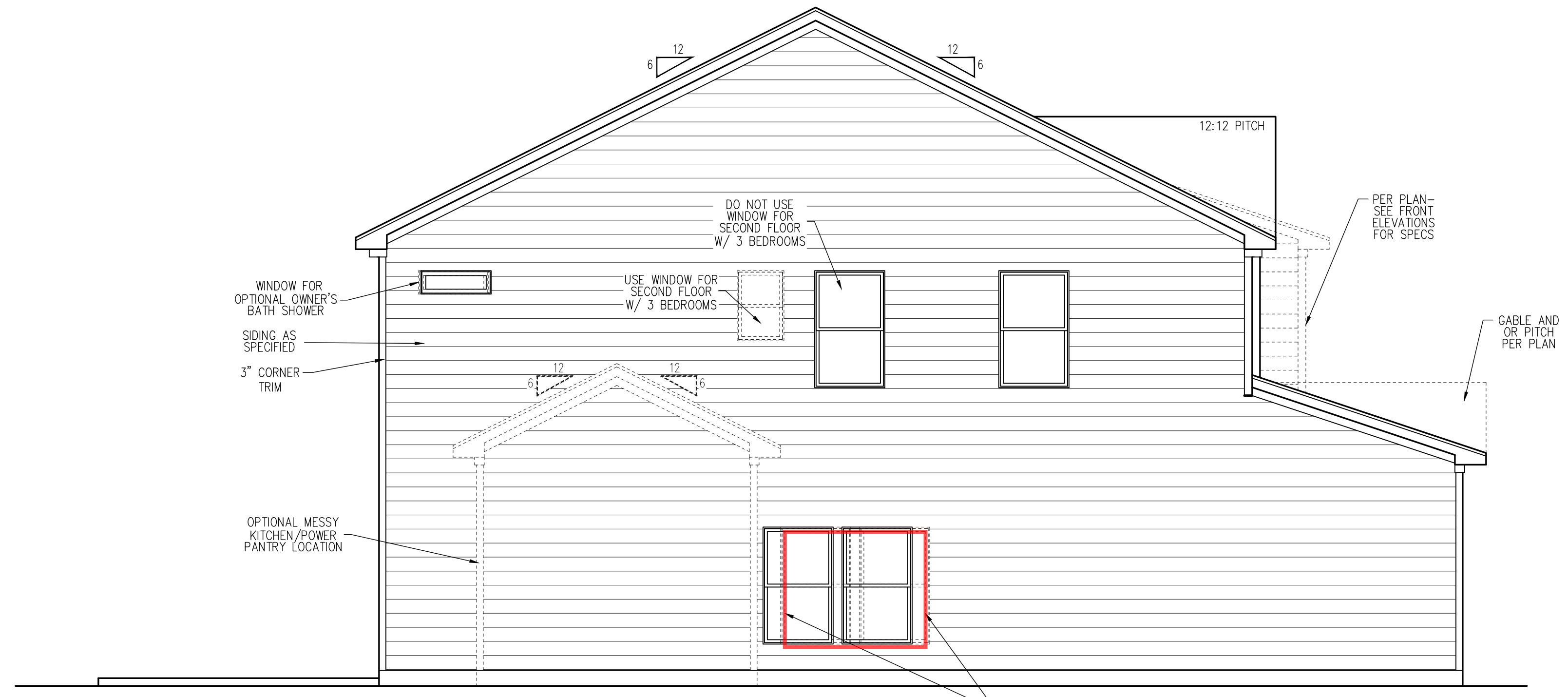
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ISSUE DATE:  
7/1/2021  
CURRENT REVISION DATE:  
03-03-2023- JJ  
SCALE:  
1/8" = 1'-0"  
SHEET  
**2.2**



**REAR ELEVATION (SLAB)**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



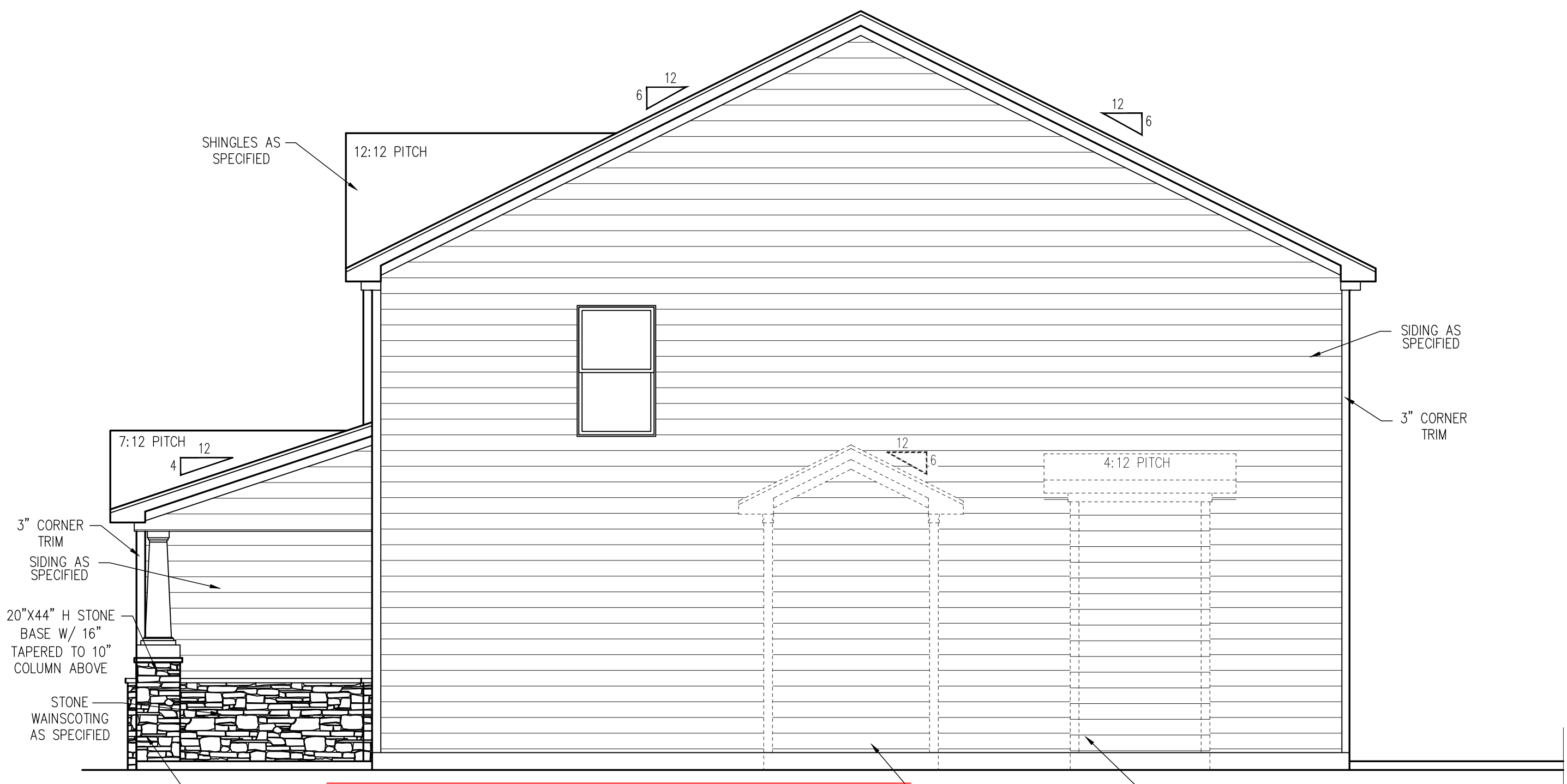
**LEFT ELEVATION (SLAB)**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**REAR ELEVATION**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**RIGHT SIDE ELEVATION  
4 BEDROOM- CRAFTSMAN (SLAB)**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

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THE BRUNSWICK - LH

Rear and Side Elevations - Craftsman

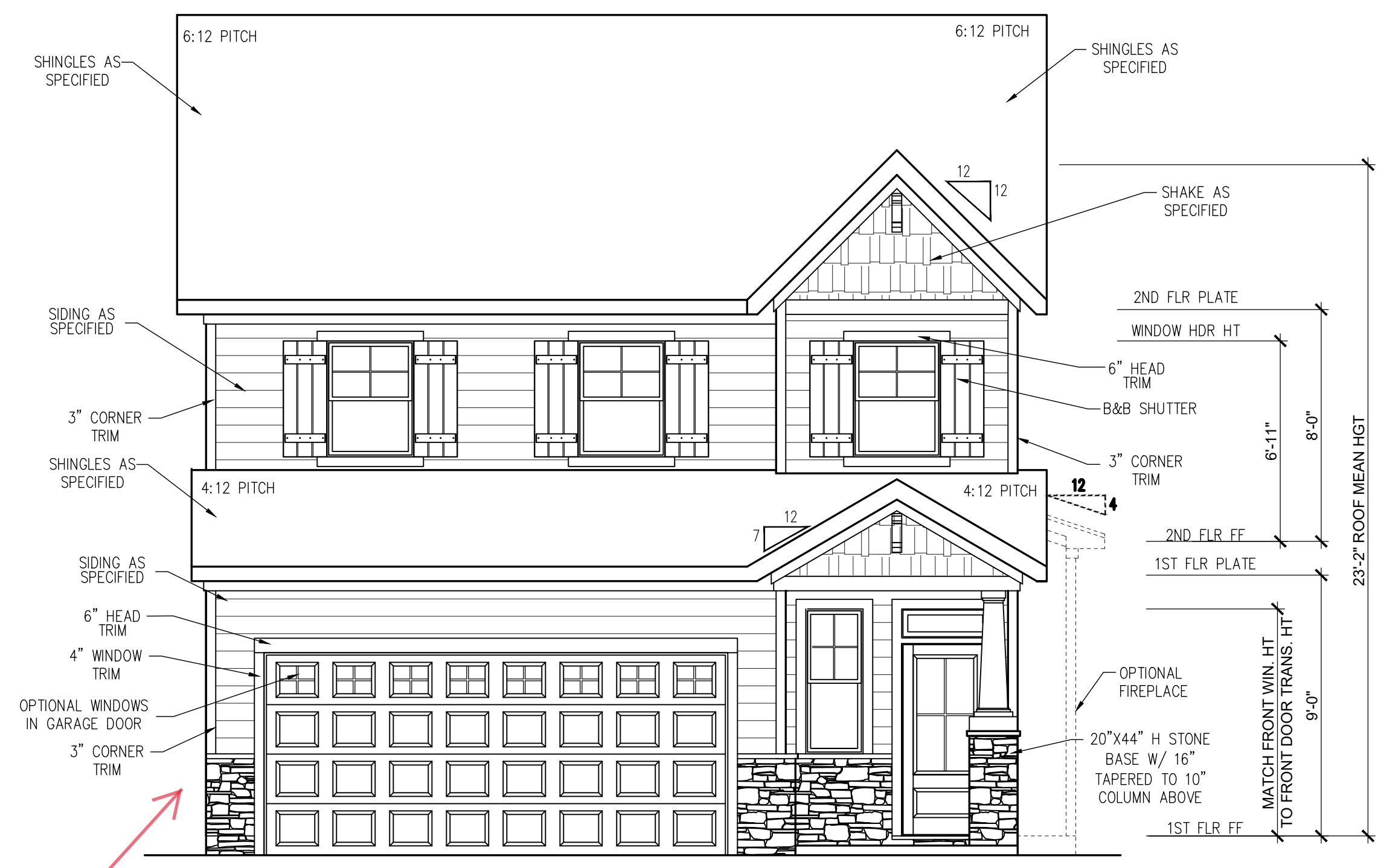
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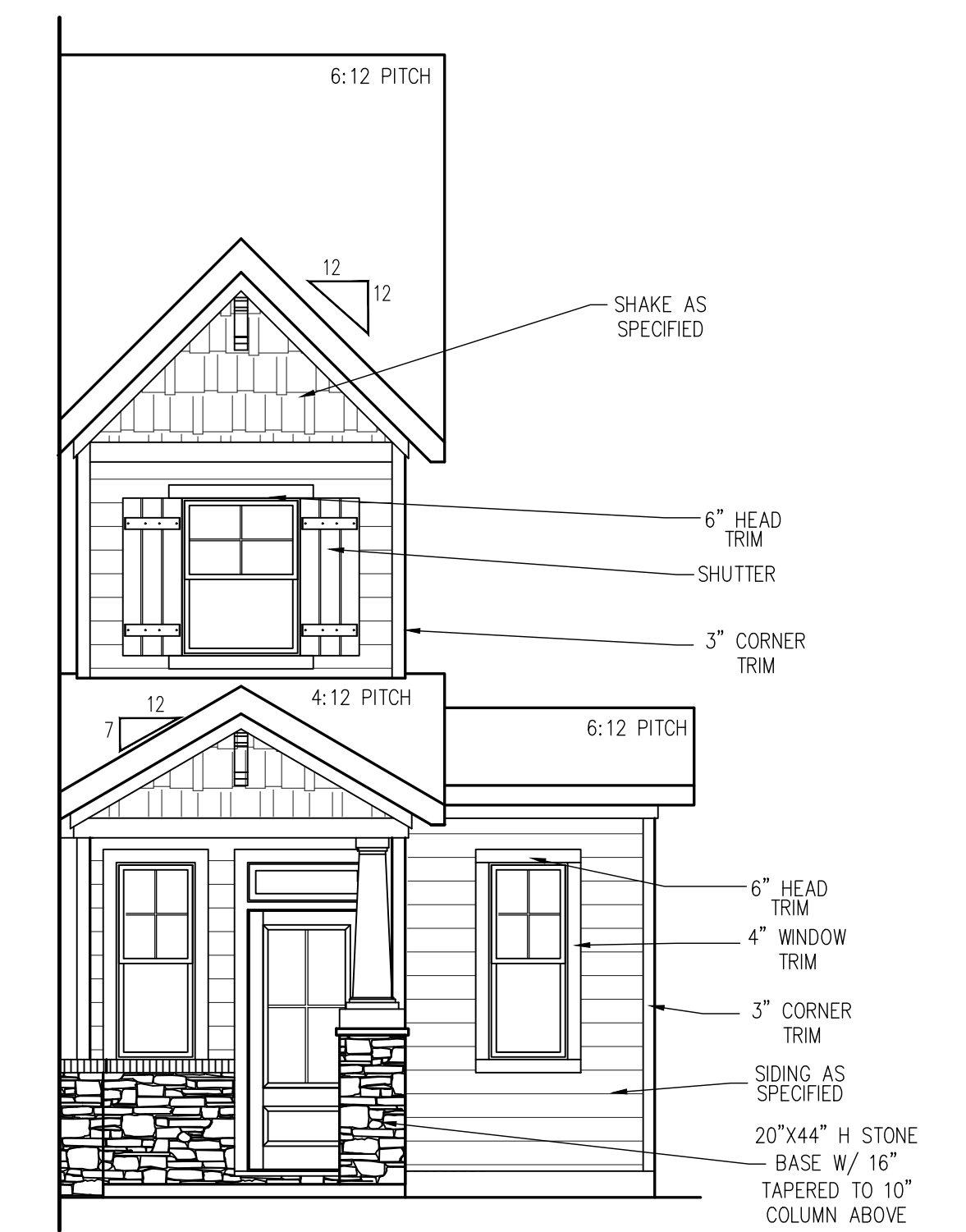
CURRENT REVISION DATE:  
03-03-2023- JJ

SCALE:  
1/8" = 1'-0"

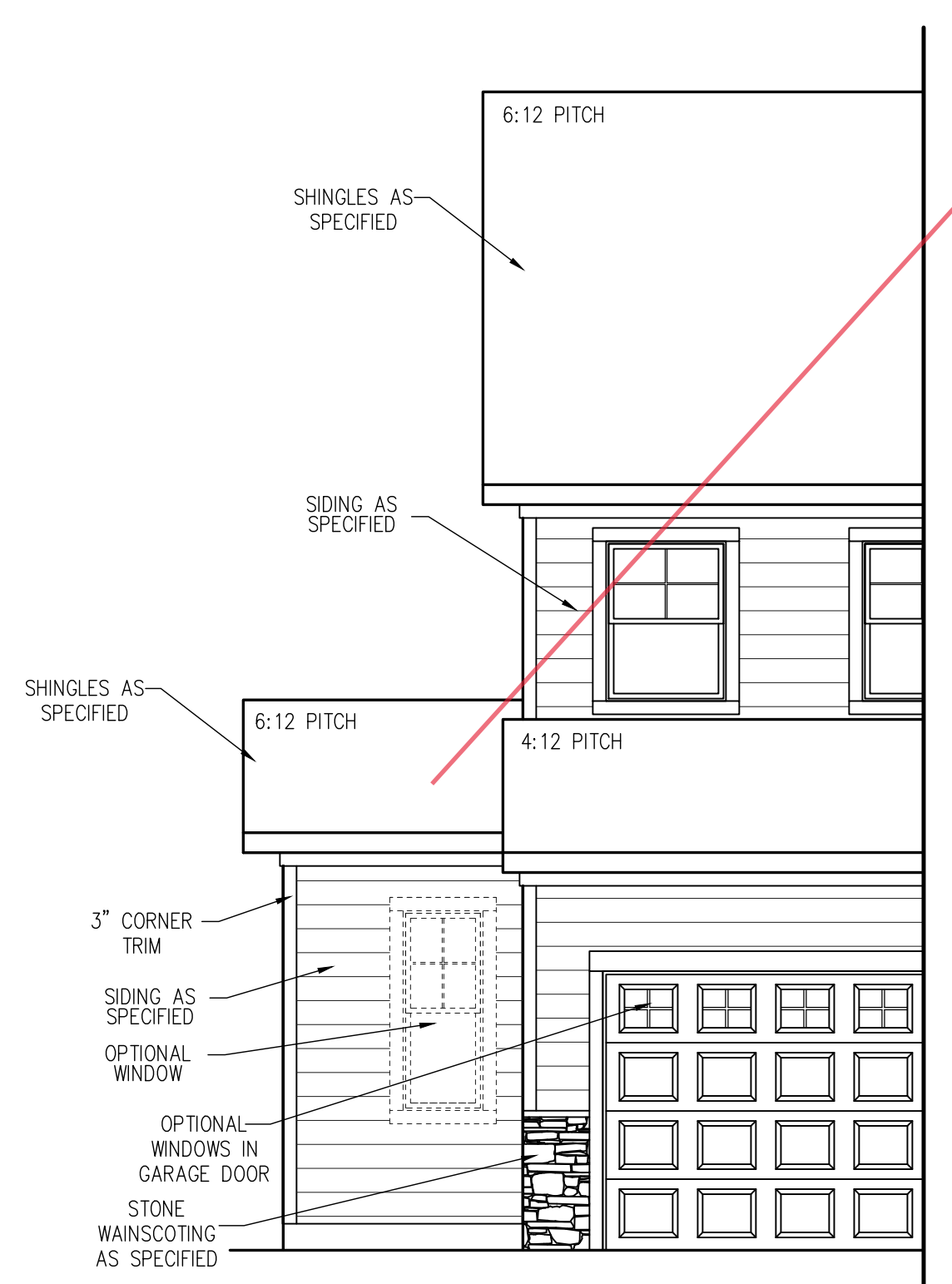
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3.1



**FRONT ELEVATION - CRAFTSMAN - 4 BEDROOM - (SLAB)**  
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**POCKET OFFICE FRONT ELEVATION  
 4 BEDROOM- CRAFTSMAN (SLAB)**  
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

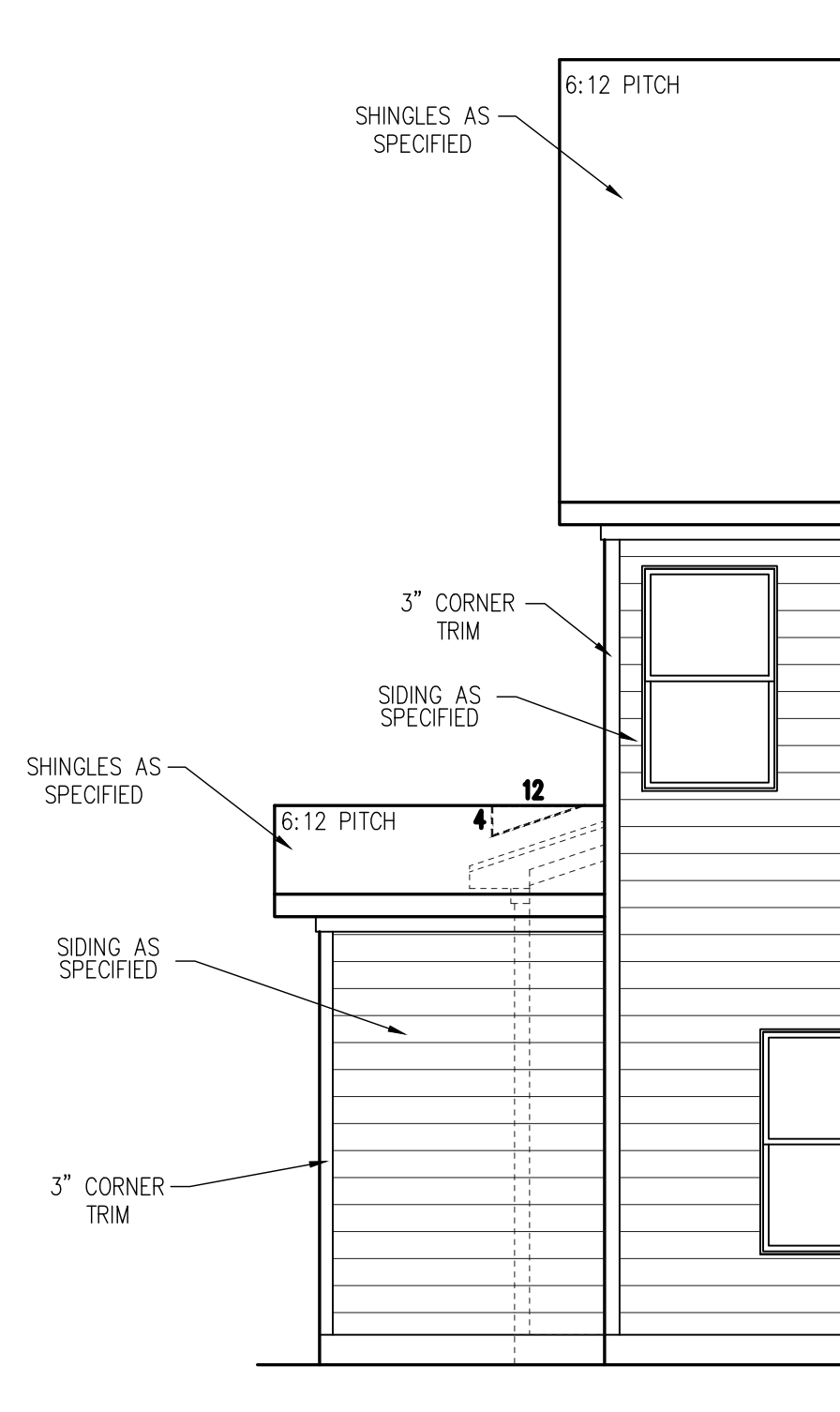


**OPT. MESSY KITCHEN, POWER PANTRY  
 FRONT - CRAFTSMAN (SLAB)**  
 SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

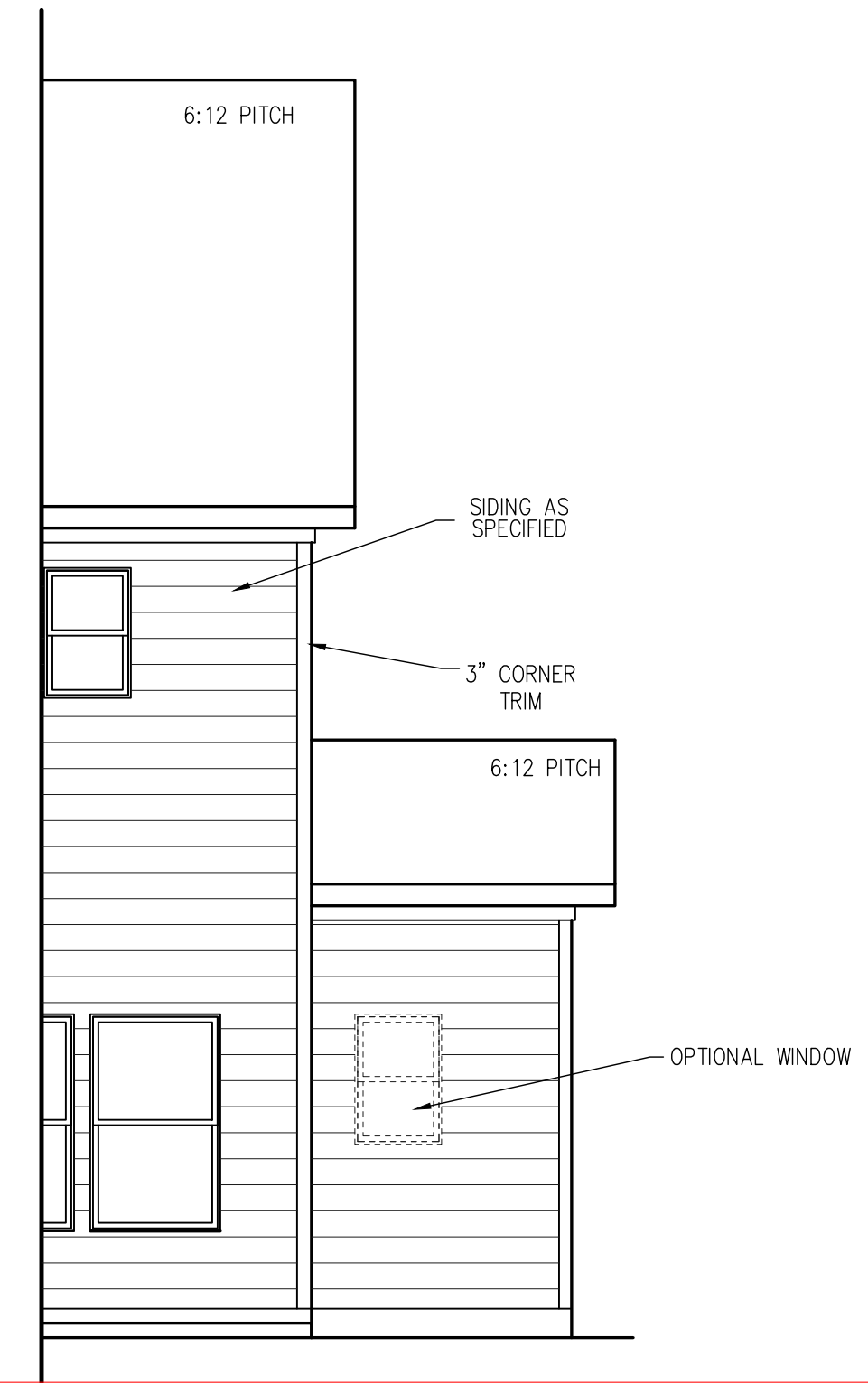
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**THE BRUNSWICK - LH**  
 Front Elevations  
 3 & 4 Bedroom - Craftsman

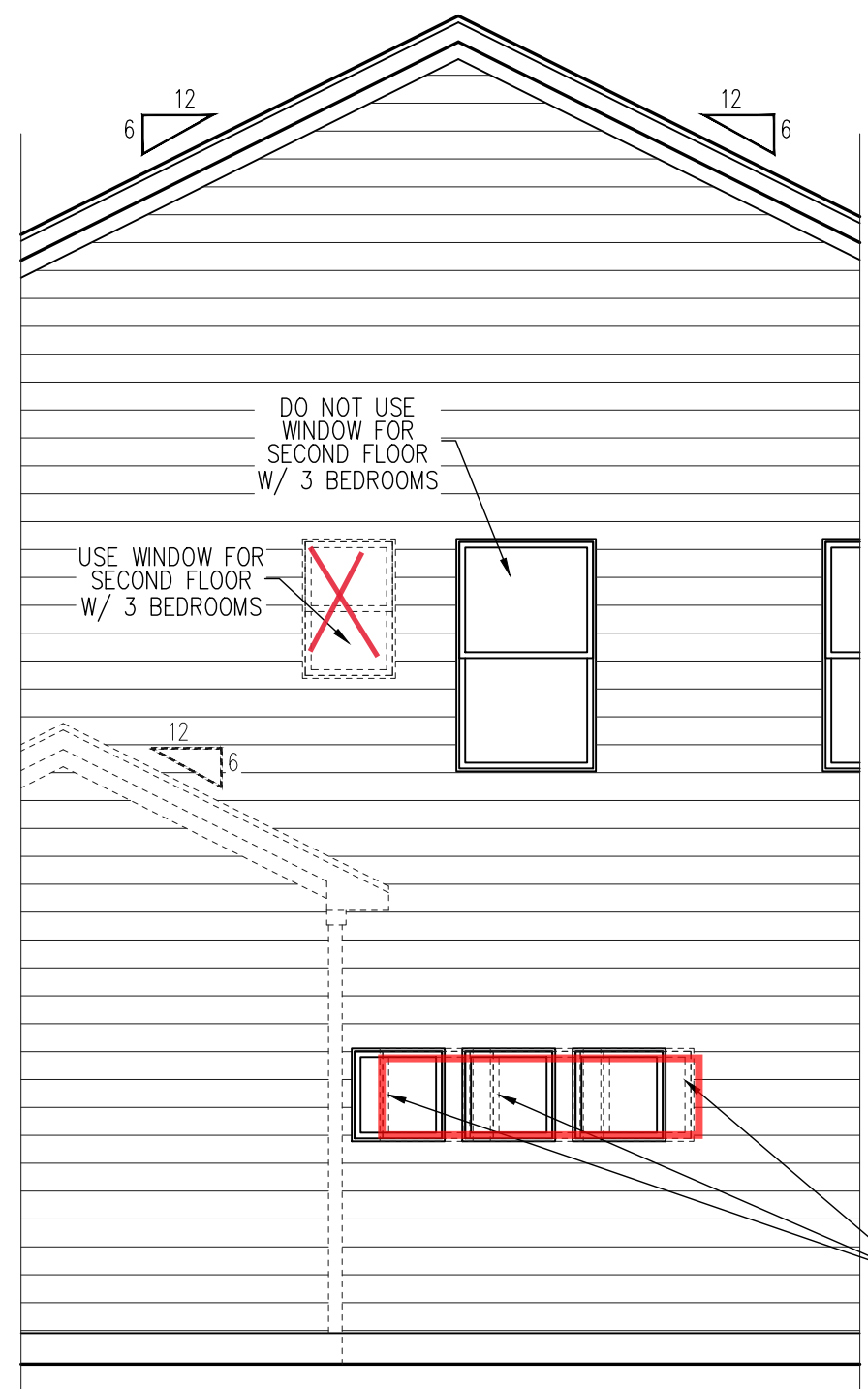
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 SCALE:  
 1/8" = 1'-0"  
 SHEET  
**3.0**



**POCKET OFFICE OPTION  
REAR ELEVATION (SLAB)**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

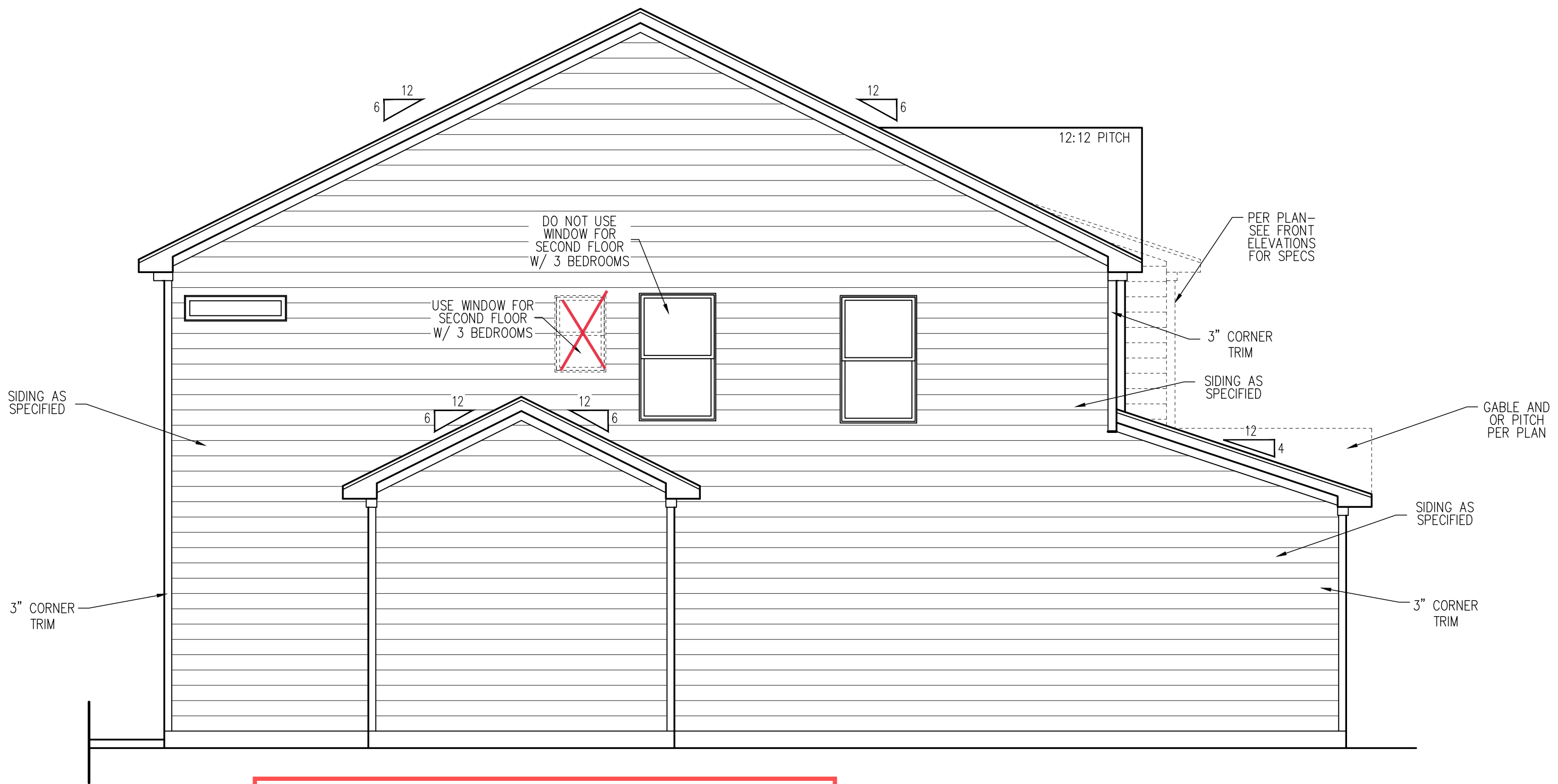


**MESSY KITCHEN POWER PANTRY OPTION  
REAR ELEVATION (SLAB)**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**OPTIONAL CAFE WINDOWS  
LEFT ELEVATION (SLAB)**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

OPTIONAL WINDOWS FOR CAFE - PLACEMENT TBD BY PLAN USED

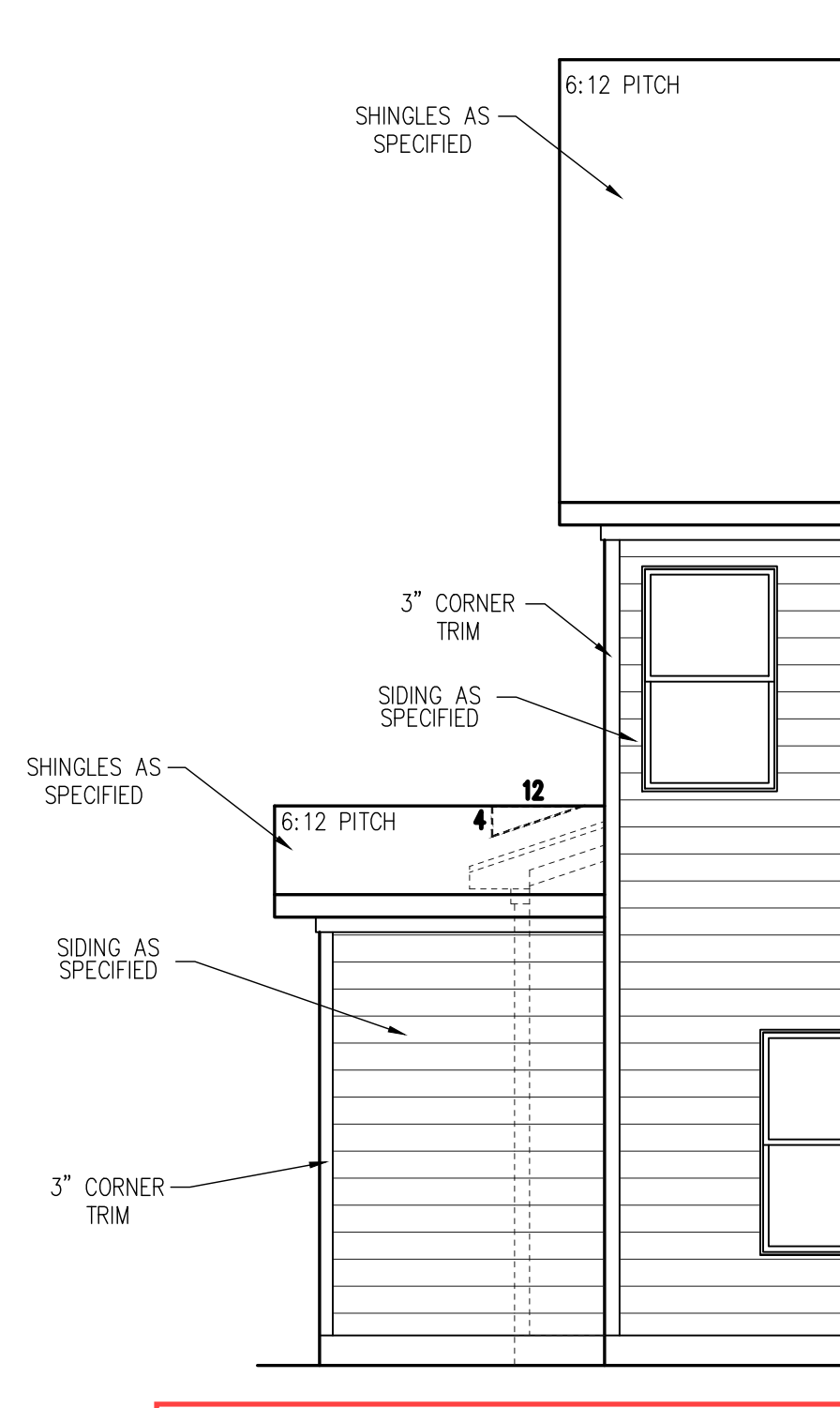


**MESSY KITCHEN POWER PANTRY  
LEFT ELEVATION (SLAB)**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

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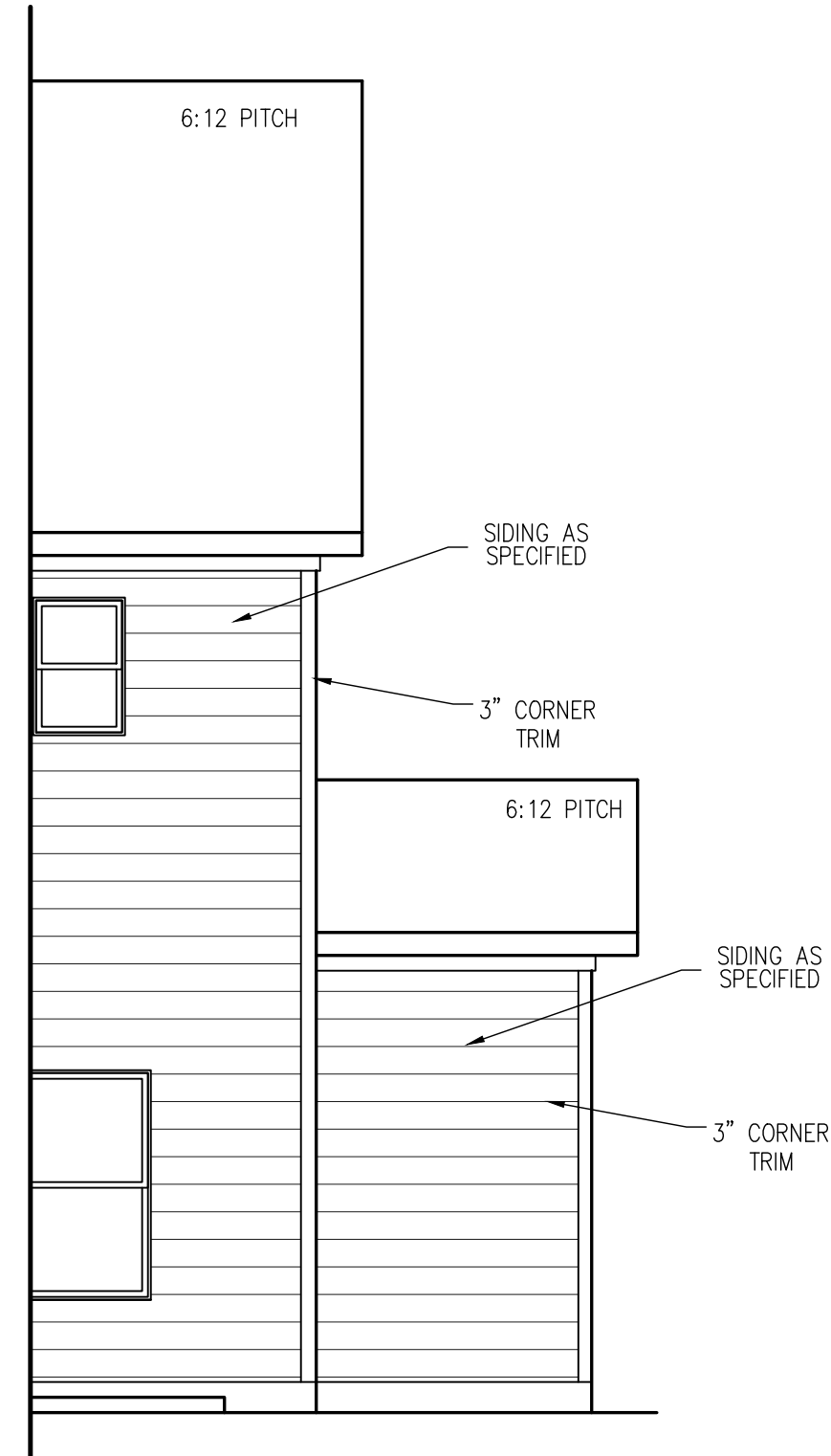
**THE BRUNSWICK - LH**  
Elevation Options - Craftsman

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CURRENT REVISION DATE: 03-03-2023- JJ
SCALE: 1/8" = 1'-0"
SHEET <b>3.2</b>



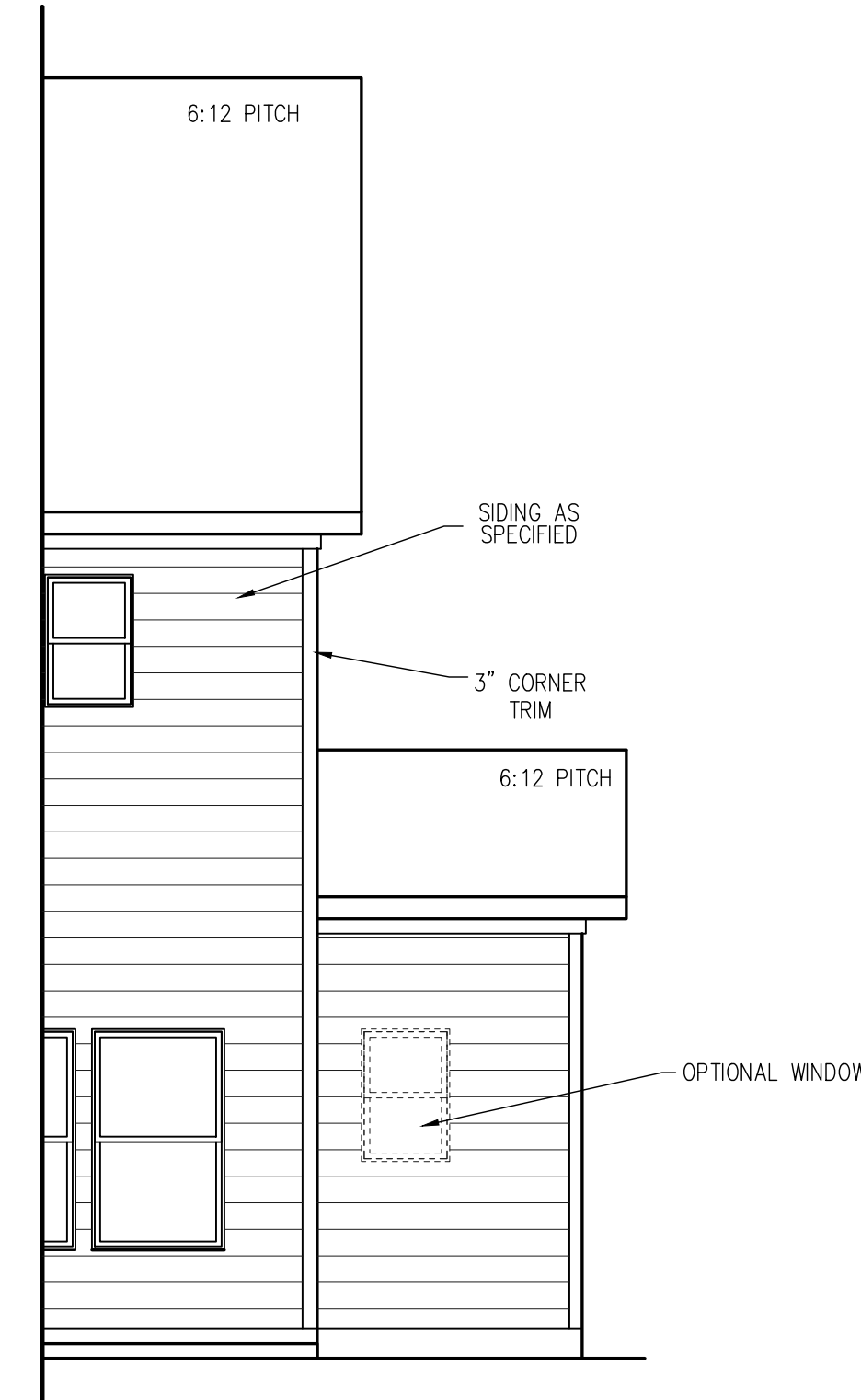
**POCKET OFFICE OPTION  
REAR ELEVATION (SLAB)**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



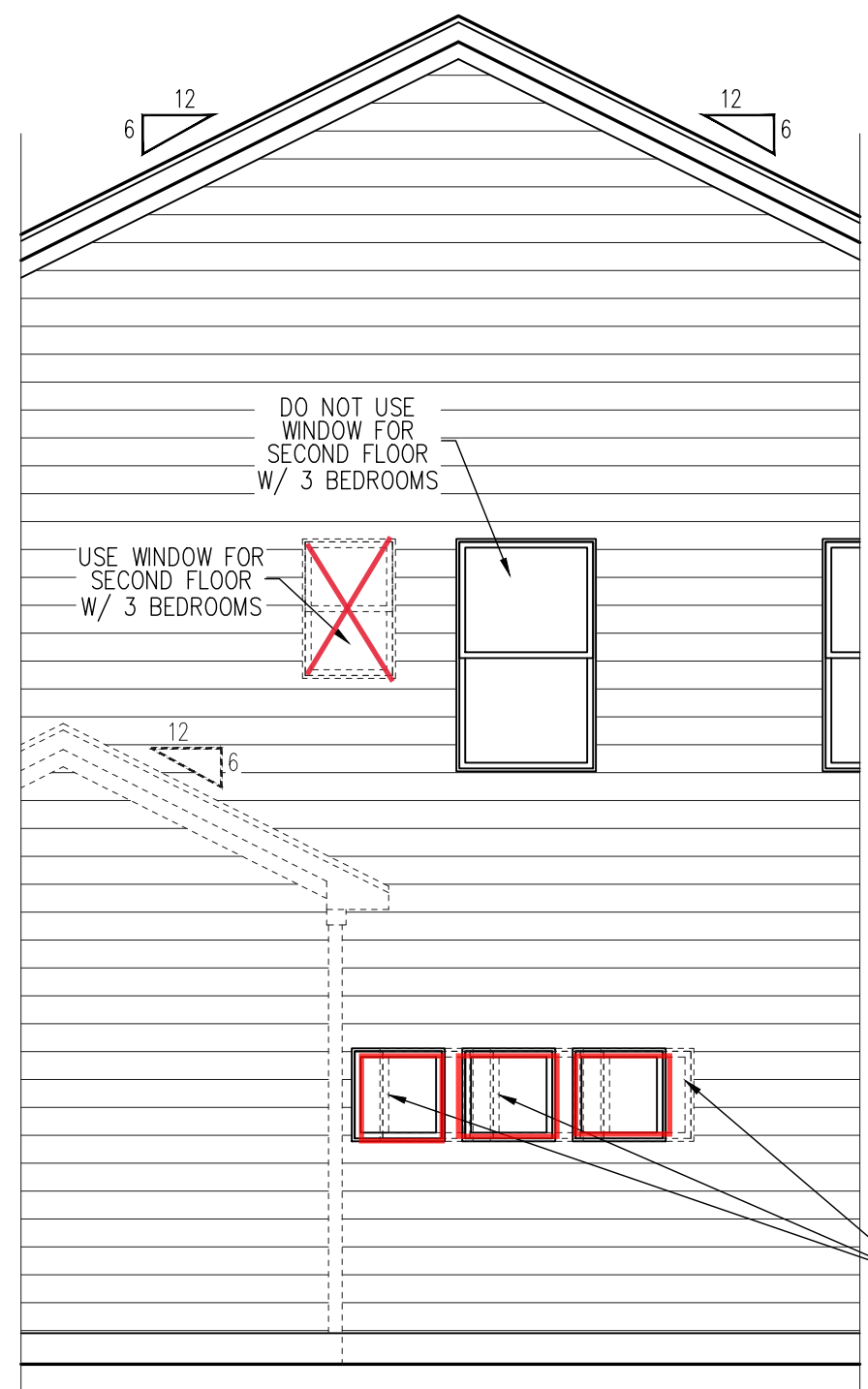
**MESSY KITCHEN POWER PANTRY  
OPTION  
REAR ELEVATION (SLAB)**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**MESSY KITCHEN POWER PANTRY OPTION  
FOR OPTIONAL KITCHEN/CAFE  
REAR ELEVATION (SLAB)**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**OPTIONAL CAFE WINDOWS  
LEFT ELEVATION (SLAB)**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

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**THE BRUNSWICK - LH**  
Elevation Options - Craftsman

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South Designs

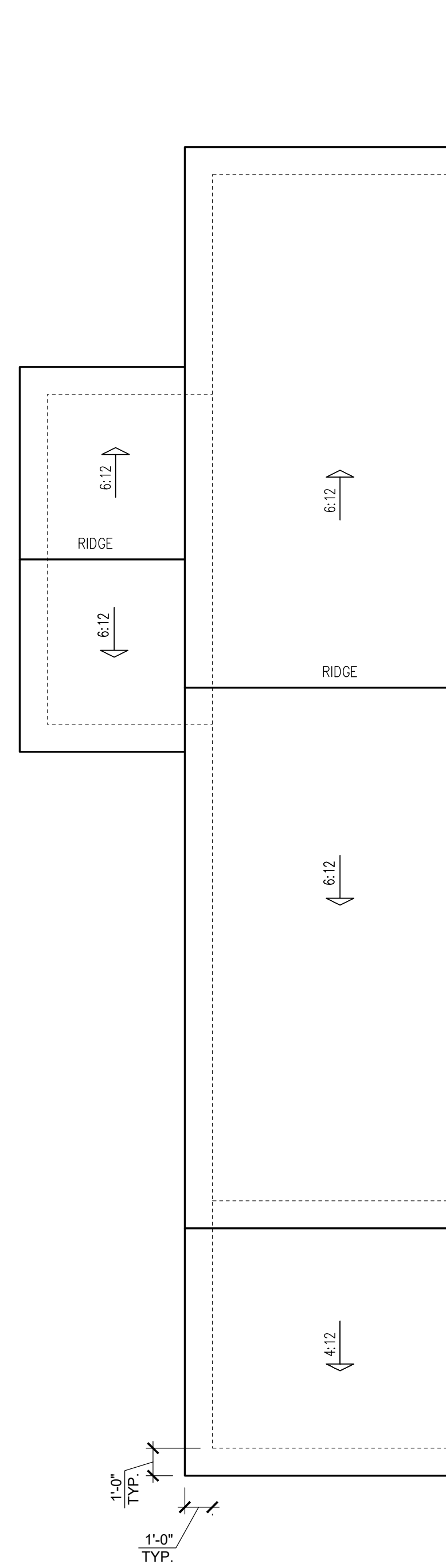
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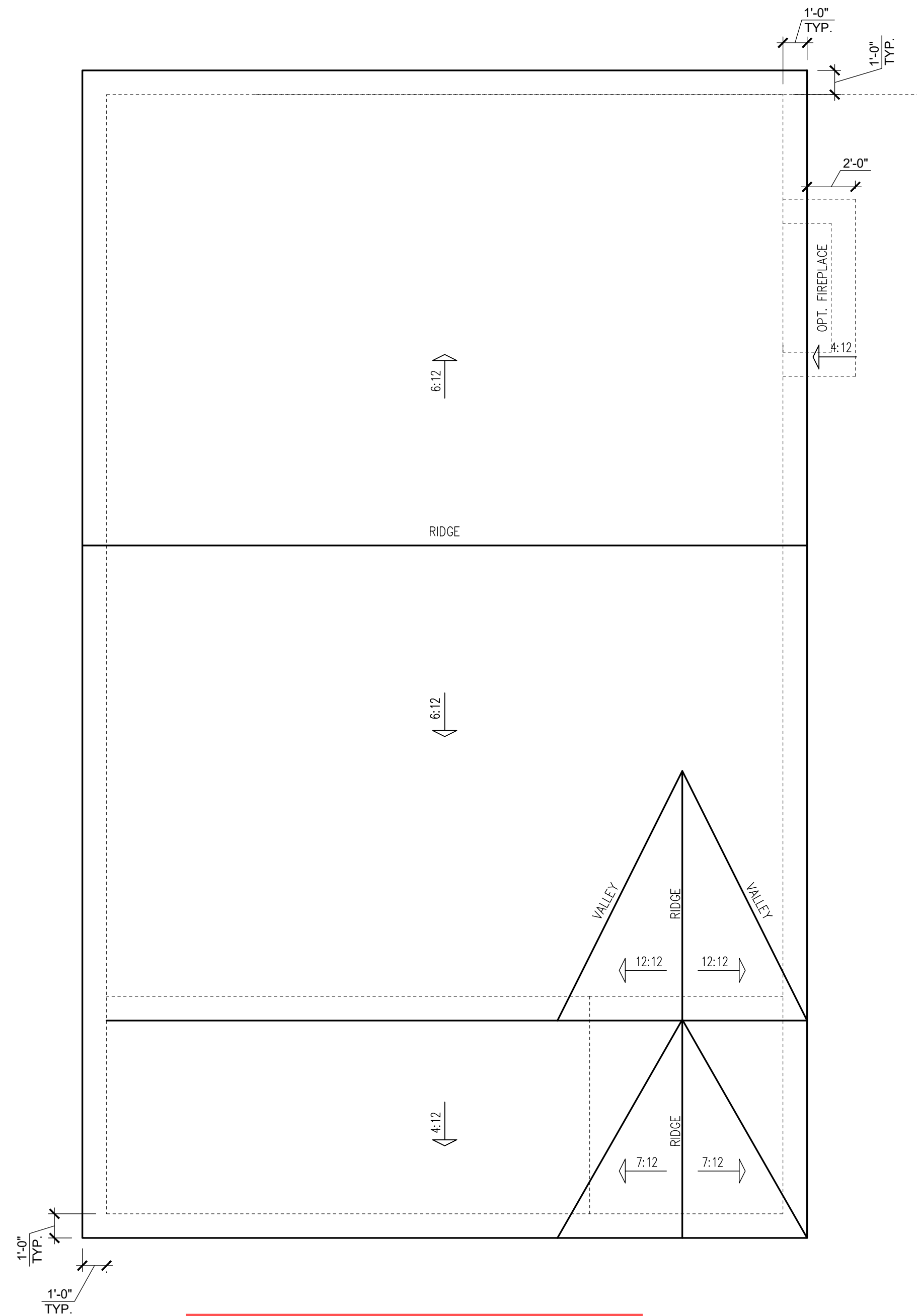
SCALE:  
1/8" = 1'-0"

SHEET  
**3.2**

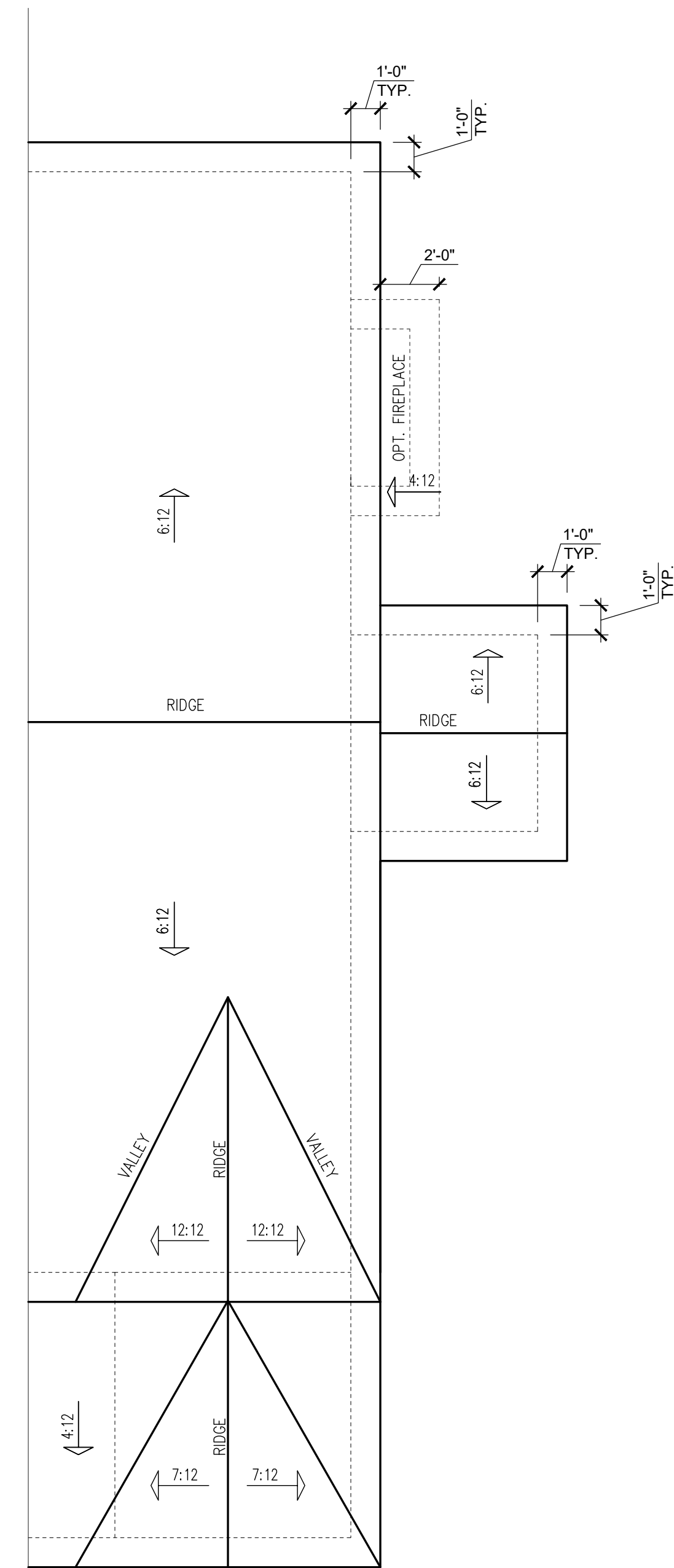




**MESSY KITCHEN, POWER PANTRY  
OPTIONAL KITCHEN/CAFE  
ROOF PLAN**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



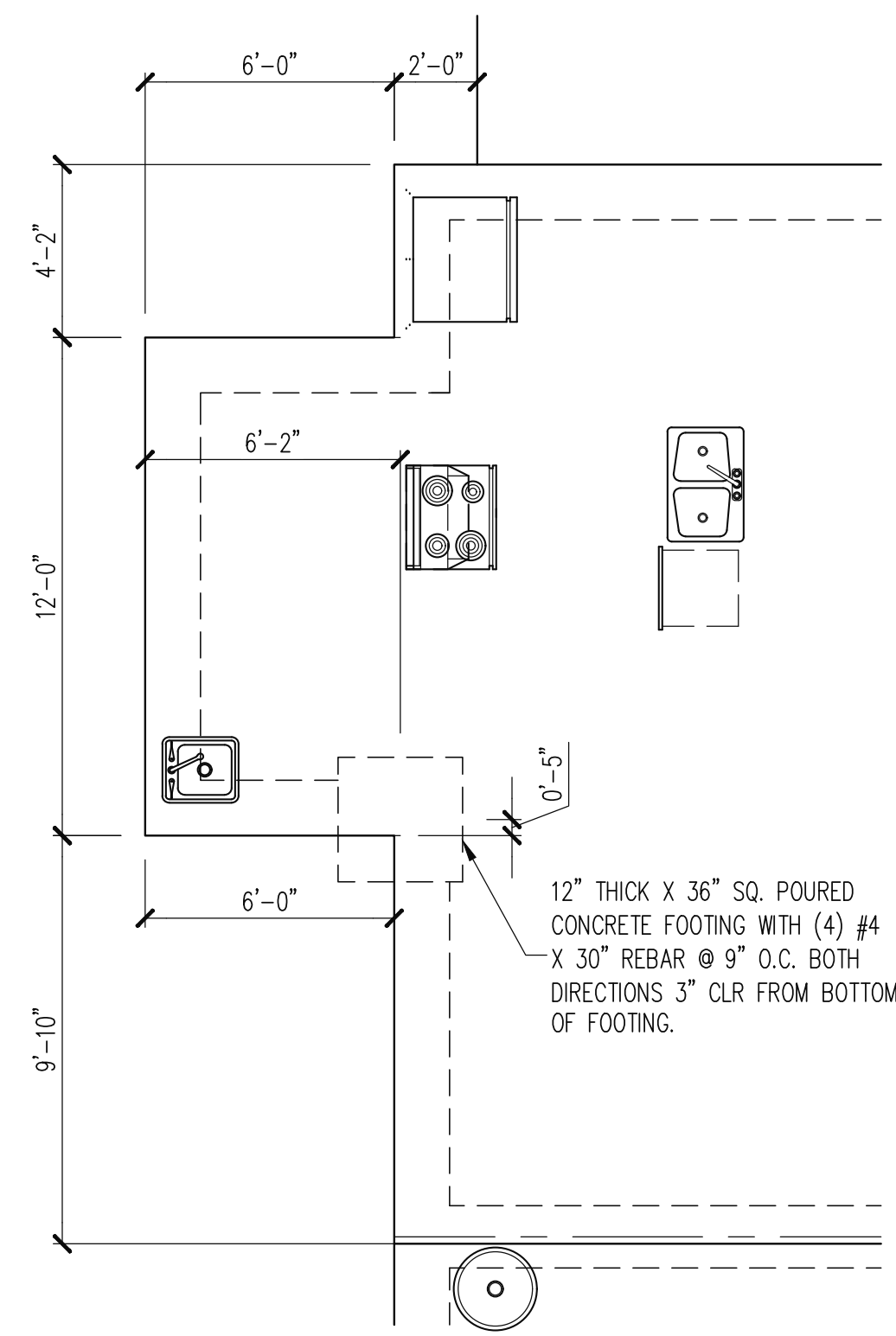
**ROOF PLAN - CRAFTSMAN**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



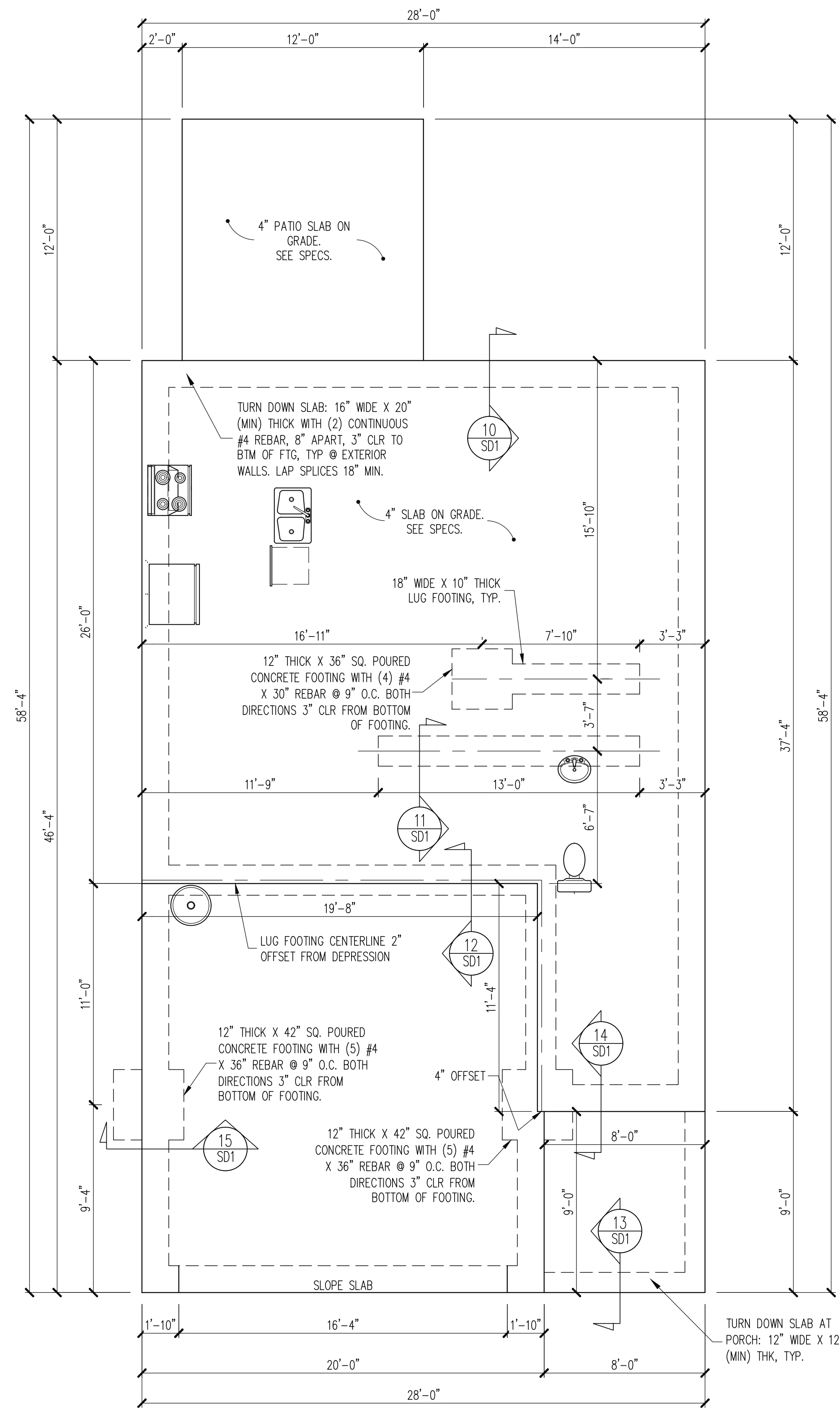
**POCKET OFFICE OPTION  
ROOF PLAN**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

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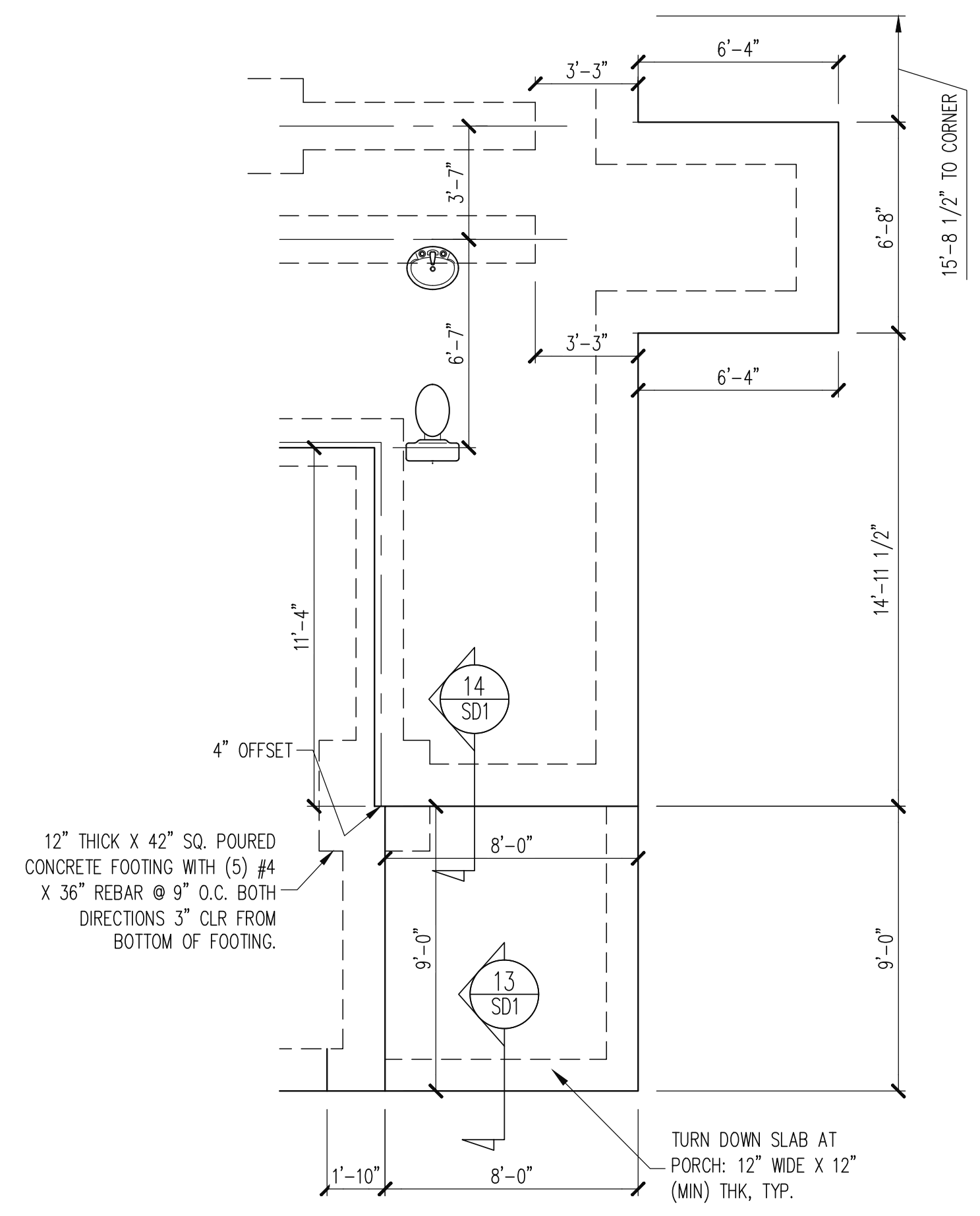
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SCALE: 1/8" = 1'-0"
SHEET <b>4.0</b>



OPTIONAL MESSY  
KITCHEN/POWER PANTRY



CRAFTSMAN



OPTIONAL POCKET OFFICE

**CONSTRUCTION SPECIFICATIONS**  
INSTANT REFERENCES

REFER TO THE CONSTRUCTION SPECIFICATIONS SECTIONS FOR THE FOLLOWING INFORMATION:

PART 1.01: CURRENT GOVERNING CODE

PART 14: STUD SUPPORT FOR BEAMS

PART 16.02: GENERAL WALL BRACING NOTES

PART 17: KING STUDS FOR EXTERIOR WALLS

SEE DETAIL / CONSTRUCTION SPECIFICATIONS SHEETS FOR I-JOISTS ALLOWABLE SUBSTITUTIONS

**NOTES:**

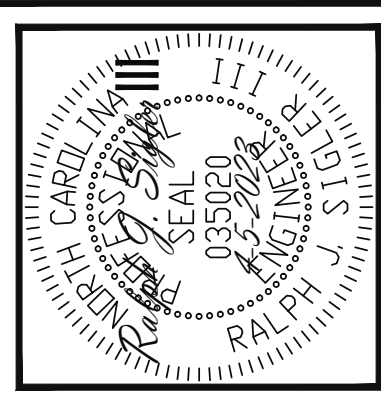
-HEIGHT AND BACKFILL LIMITATIONS FOR FOUNDATION WALLS ARE TO BE GOVERNED BY THE NCSBC, LATEST EDITION.

-14" SQ POURED CONC PIERS OR 16" Ø POURED CONC PIERS MAY BE USED IN LIEU OF 16" SQ MASONRY PIERS.

**FOUNDATION PLAN  
MONOSLAB OPTION**

1/4" = 1'-0"

ENGINEERING SEAL VALID FOR 1 YEAR ONLY  
The structural design of this plan is the property of Engineering Tech Associates, P.A. These plans are for the client listed only. Engineering Tech Associates, P.A. assumes no liability for these plans if construction or permitting takes place more than 1 year after the seal date without written permission from Engineering Tech Associates, P.A.



**Engineering Tech Associates, P.A.**  
STRUCTURAL ENGINEERS  
License No. C3870  
318 W Millbrook Rd. Unit 201  
Raleigh, North Carolina 27609  
Phone (919) 844-1661

<b>SCOPE:</b>	NEW HOME INC	
	STRUCTURAL ADDENDUM	
	LEFT HAND	
REV #	REF PROJ #	DATE

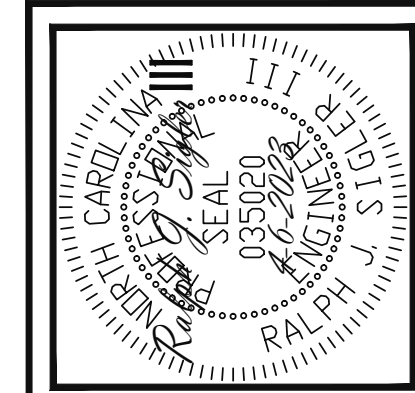
ENG: RJS/MEB  
DATE: 4-5-2023

PLAN  
BRUNSWICK

PROJECT NO.  
23-65-081 LH

SHEET NO.  
S1  
1 of 7

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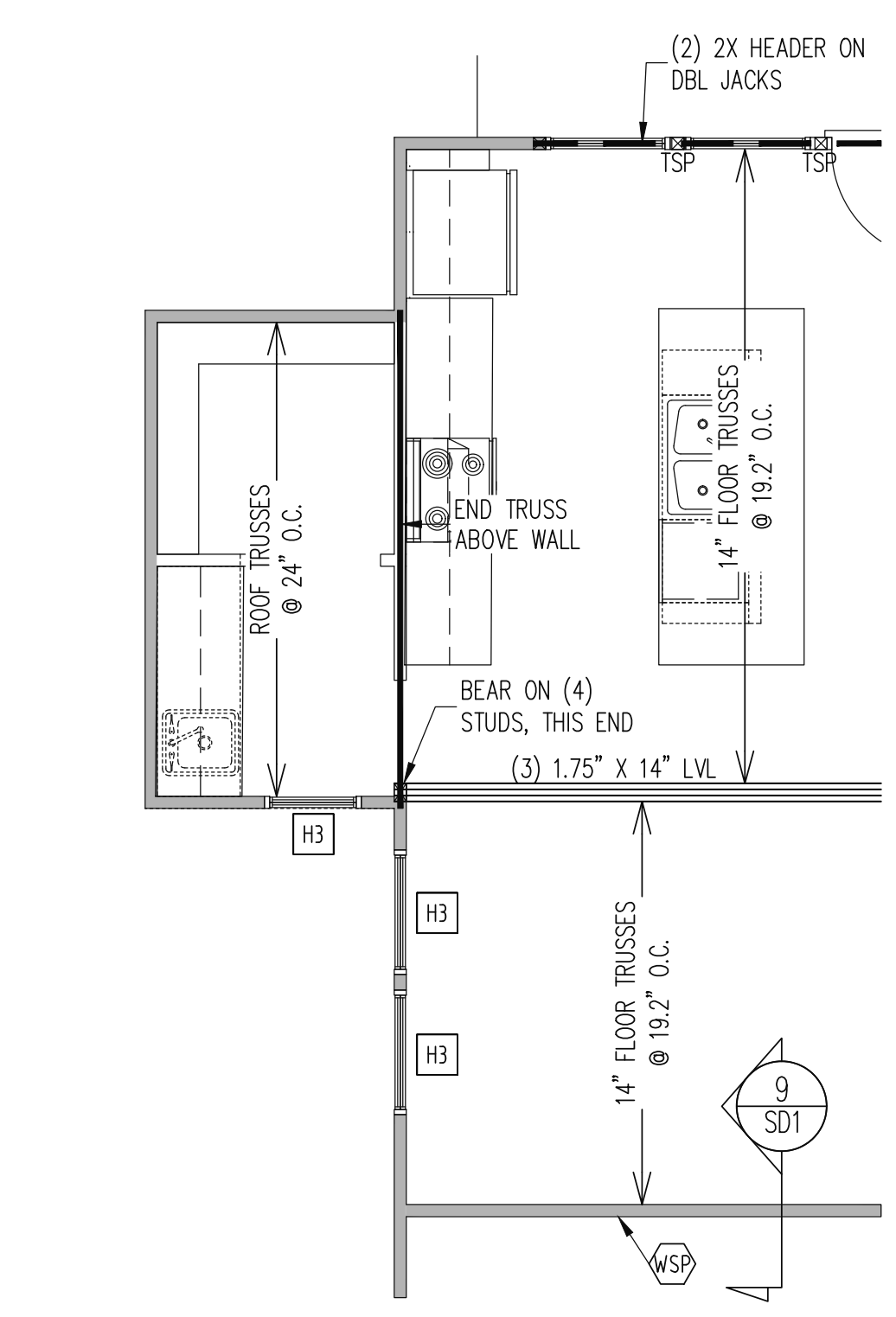


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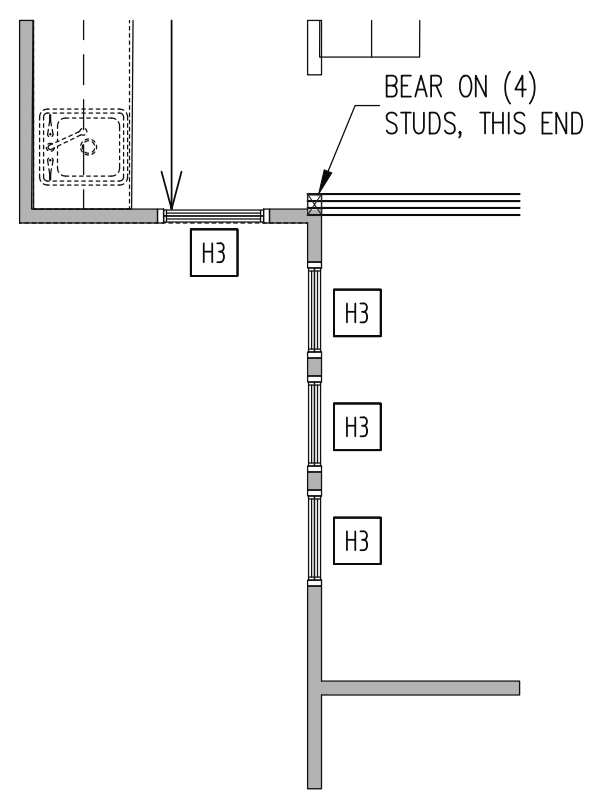
NEW HOME INC	STRUCTURAL ADDENDUM	REV #	REF PROJ #	DATE
	LEFT HAND			
	SCOPE:			

ENC: RJS/MEB  
 DATE: 4-6-2023  
 PLAN  
 BRUNSWICK  
 PROJECT NO.  
 23-65-081 LH

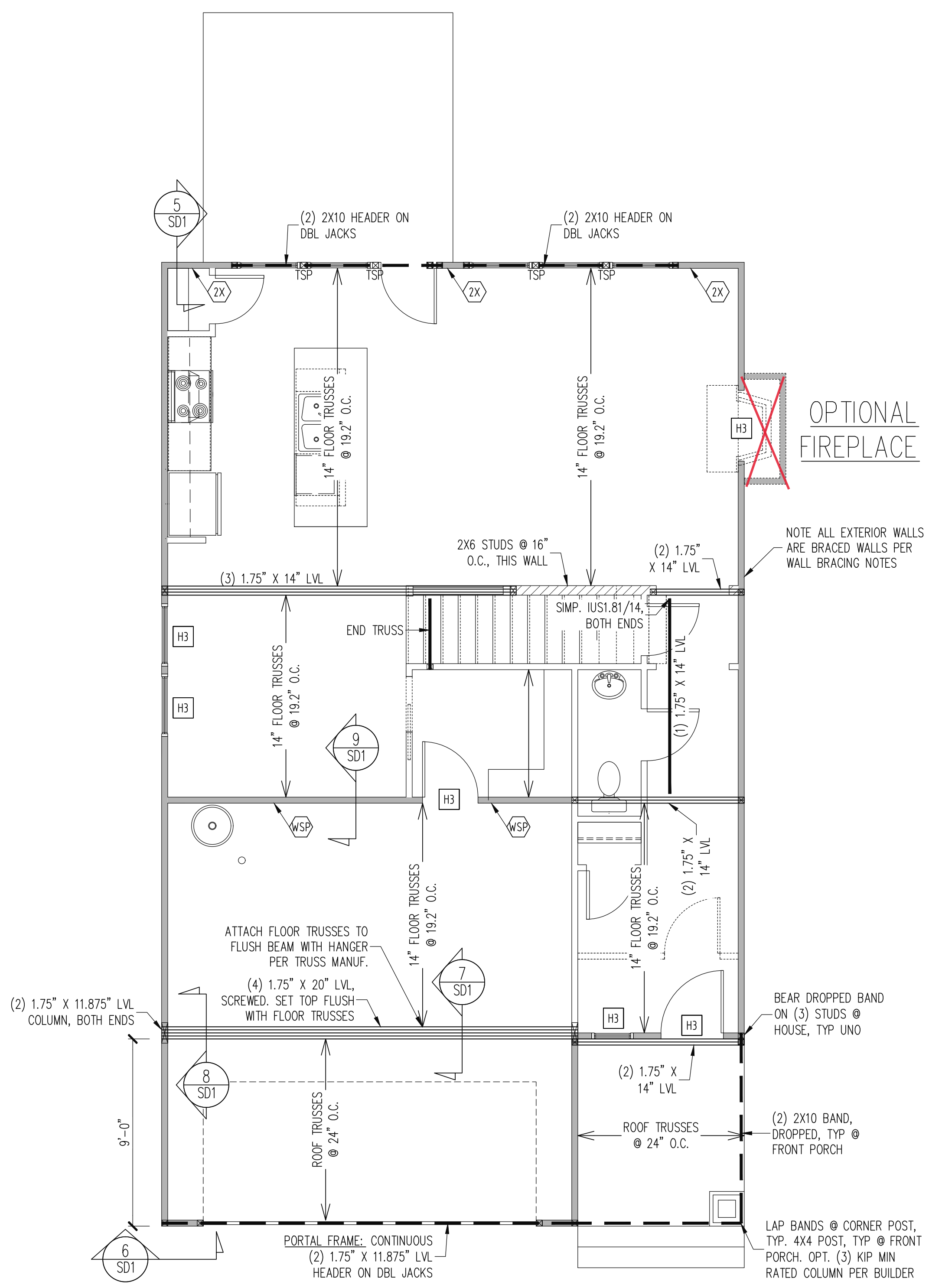
SHEET NO.  
 S3  
 3 of 7



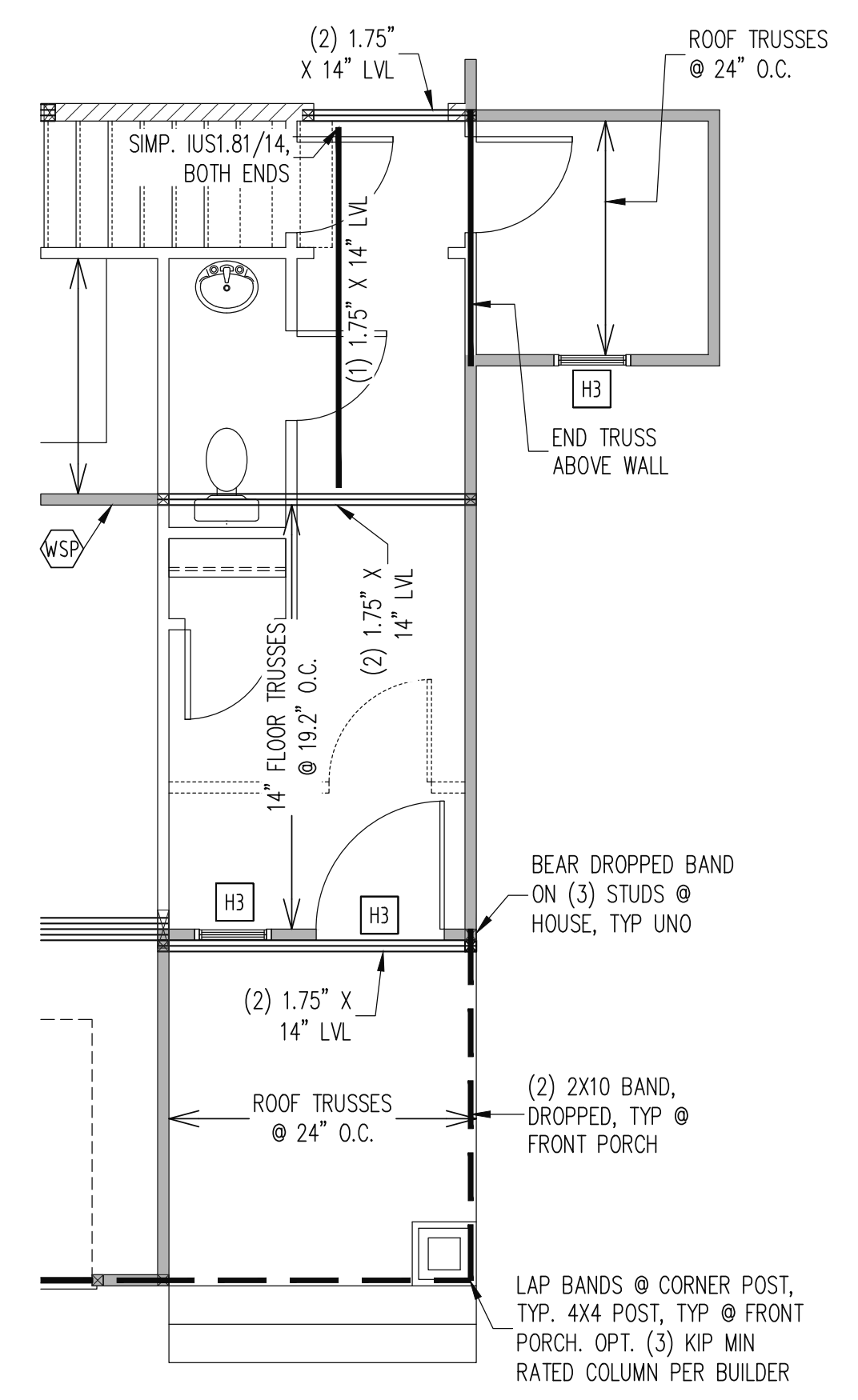
**OPTIONAL MESSY KITCHEN/POWER PANTRY**



**OPTIONAL WINDOWS FOR CAFE**



**CRAFTSMAN**



**OPTIONAL POCKET OFFICE**

### WALL BRACING

FIRST FLOOR ONLY

CS - ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

SHADED WALLS:

WSP ONE SIDE OF INTERIOR WALL OR INSIDE OF EXTERIOR WALL WITH 3/8" MIN. THICKNESS WOOD STRUCTURAL PANELING. ATTACH WSP TO STUD WALL WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

GB INTERIOR BRACED WALL. 1/2" GB SECURED PER TABLE R602.10.2 OF THE 2012 NCRBC. (FASTENERS @ 7" O.C.) BOTH SIDES OF WALL, OR (FASTENERS @ 4" O.C.) ONE SIDE OF WALL AT STAIRS

2X SHEATH BOTH SIDES OF STUD WALL WITH 7/16 APA RATED OSB, NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.

BUILDER PERMITTED TO SUBSTITUTE INTERIOR OSB SHEATHING WITH THERMO-PLY RED PROTECTIVE SHEATHING. REFERENCE TECHNICAL EVALUATION REPORT COL#P-108 PROVIDED BY DRJ ENGINEERING, LLC AND SEALED BY RYAN DEXTER, P.E.

NOTES:  
 -PROVIDED CONTINUOUS SHEATHING = 176' MIN.

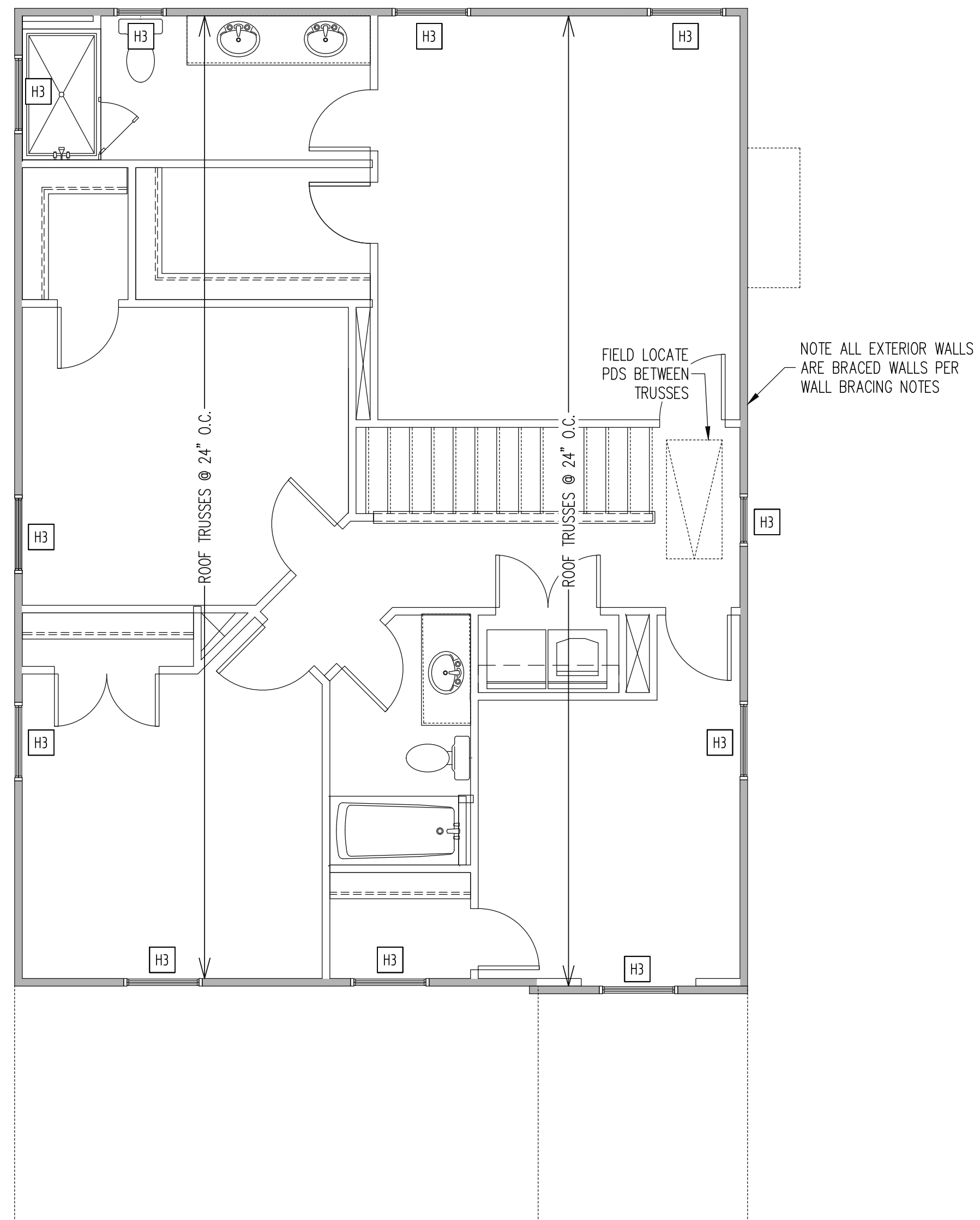
### HEADER SCHEDULE

H1 SINGLE 2X4 TURNED FLAT (A)  
 H2 (2) 2X4'S ON SINGLE JACKS (B)  
 H3 (2) 2X10'S ON SINGLE JACKS (C)  
 H4 (2) 1.75" X 9.25" LVL'S ON DBL JACKS  
 H5 (3) 2X10'S ON SINGLE JACKS

(A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.  
 (B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.  
 (C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.

NOTES:  
 -HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.

1ST FLOOR FRAMING PLAN  
 WALLS AND CEILING: 1/4" = 1'-0"

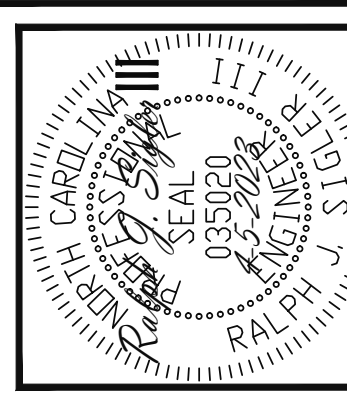


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WALL BRACING	
SECOND FLOOR ONLY	
CS - ALL EXTERIOR STUD WALLS, EXTERIOR SIDE, ARE TO BE CONTINUOUSLY SHEATHED WITH 7/16 APA RATED OSB NAILED TO STUDS WITH 8d NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. IN PANEL FIELD.	
SHADED WALLS: <div style="border-bottom: 1px solid black; width: 100%; height: 10px;"></div>	
NOTES: -PROVIDED CONTINUOUS SHEATHING = 131' MIN.	
HEADER SCHEDULE	
H1	SINGLE 2X4 TURNED FLAT (A)
H2	(2) 2X4'S ON SINGLE JACKS (B)
H3	(2) 2X10'S ON SINGLE JACKS (C)
H4	(1) 1.75" X 9.25" LVL'S ON DBL JACKS
H5	(3) 2X10'S ON SINGLE JACKS
(A) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPENING 38" MAX.	
(B) TYPICAL FOR INTERIOR NON LOAD BEARING WALLS ONLY, ROUGH OPNG 38" TO 74" MAX.	
(C) TYPICAL FOR ALL CONDITIONS NOT LISTED IN (A) OR (B) UNO.	
NOTES: -HEADERS IN NON LOAD BEARING INTERIOR WALLS ARE NOT LABELED.	

2ND FLOOR FRAMING PLAN  
4 BEDROOM  
WALLS AND CEILING 1/4" = 1'-0"

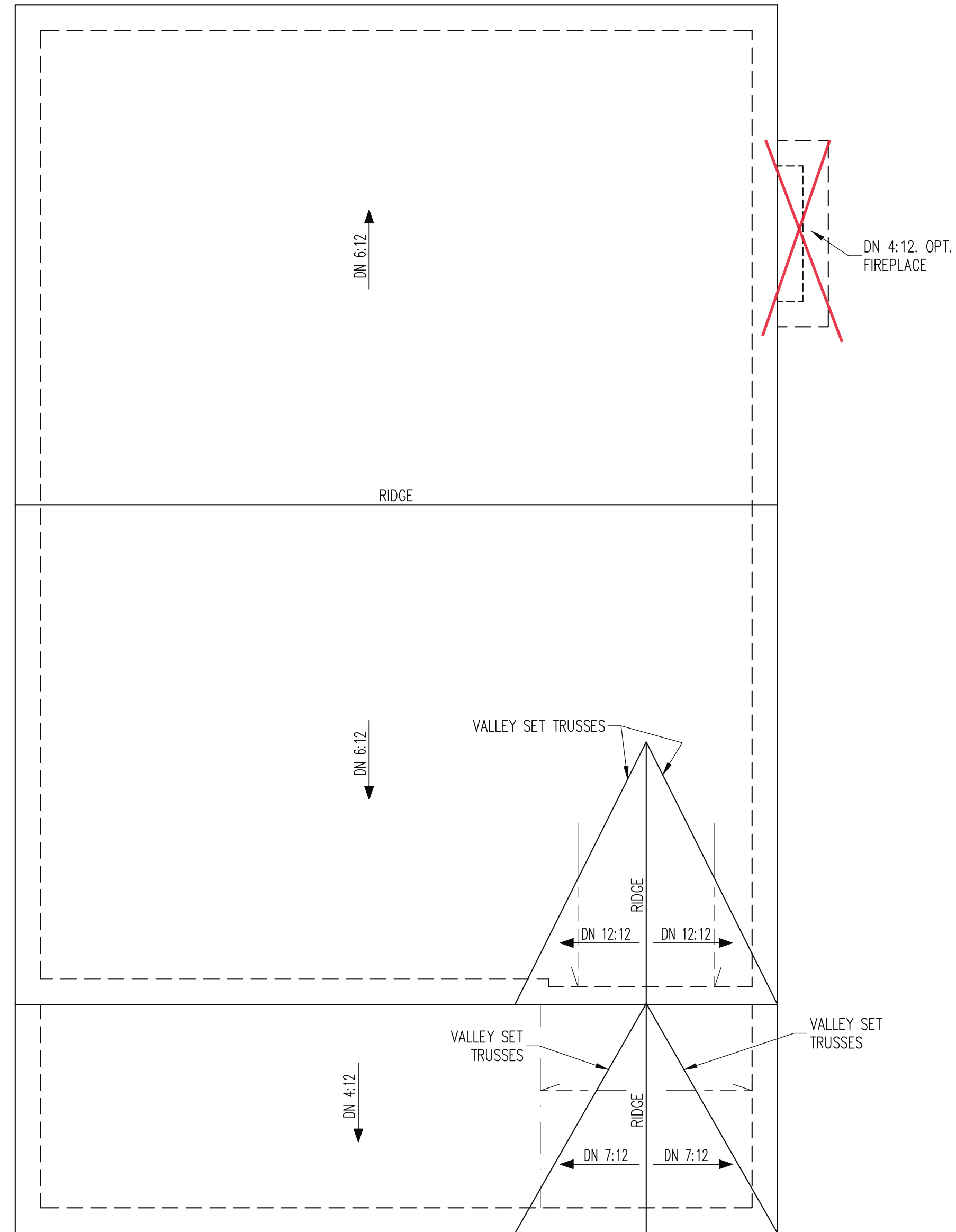
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SCOPE: STRUCTURAL ADDENDUM LEFT HAND	NEW HOME INC	
	STRUCTURAL ADDENDUM	
	LEFT HAND	
REV #	REF PROJ #	DATE

ENG: RJS/MEB
DATE 4-5-2023
PLAN BRUNSWICK
PROJECT NO. 23-65-081 LH
SHEET NO. S4 4 of 7



CRAFTSMAN

**FRAMING NOTES**  
 ROOF ONLY  
 -ROOF TRUSSES PER MANU. TYPICAL U.N.O.  
 -ATTACH TRUSSES WITH SIMP. H2.5A OR HGR PER TRUSS MANU. TYP.  
 -VERIFY ALL KNEEWALL HEIGHTS, ROOF PITCHES, AND ARCHITECTURAL OVERHANGS PRIOR TO CONSTRUCTION

**TRUSS UPLIFT CONNECTORS**  
 EXPOSURE B, 120 MPH, ANY PITCH  
 24" O.C. MAX ROOF TRUSS SPACING

TRUSSES SHALL BE ATTACHED TO SUPPORT WALL FOR UPLIFT RESISTANCE. CONTINUOUS OSB WALL SHEATHING BELOW PROVIDES CONTINUOUS UPLIFT RESISTANCE TO FOUNDATION. ALL TRUSSES SUPPORTED BY INTERMEDIATE SUPPORT WALLS, KNEEWALLS OR BEAMS SHALL BE ATTACHED TO SUPPORTING MEMBER PER SCHEDULE BELOW.

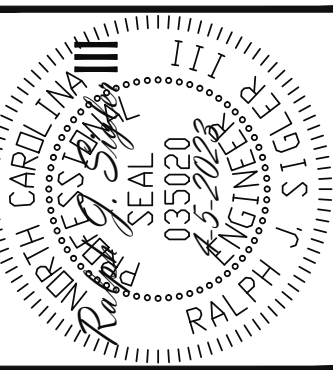
ROOF SPAN IS MEASURED HORIZONTALLY BETWEEN FURTHEST SUPPORT POINTS.

ROOF SPAN UP TO 18'	CONNECTOR NAILING PER TABLE 602.3(1) NCRBC 2018 EDITION
OVER 18'	(1) SIMPSON H2.5A HURRICANE CLIP TO DBL TOP PLATE OR BEAM

**ROOF FRAMING PLAN**

1/4" = 1'-0"

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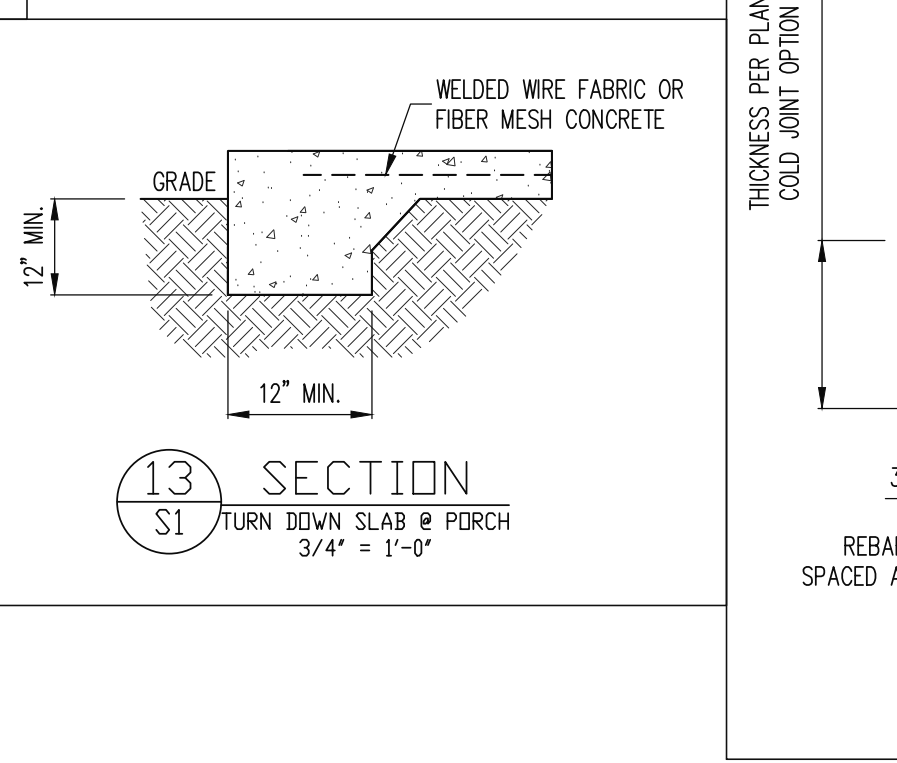
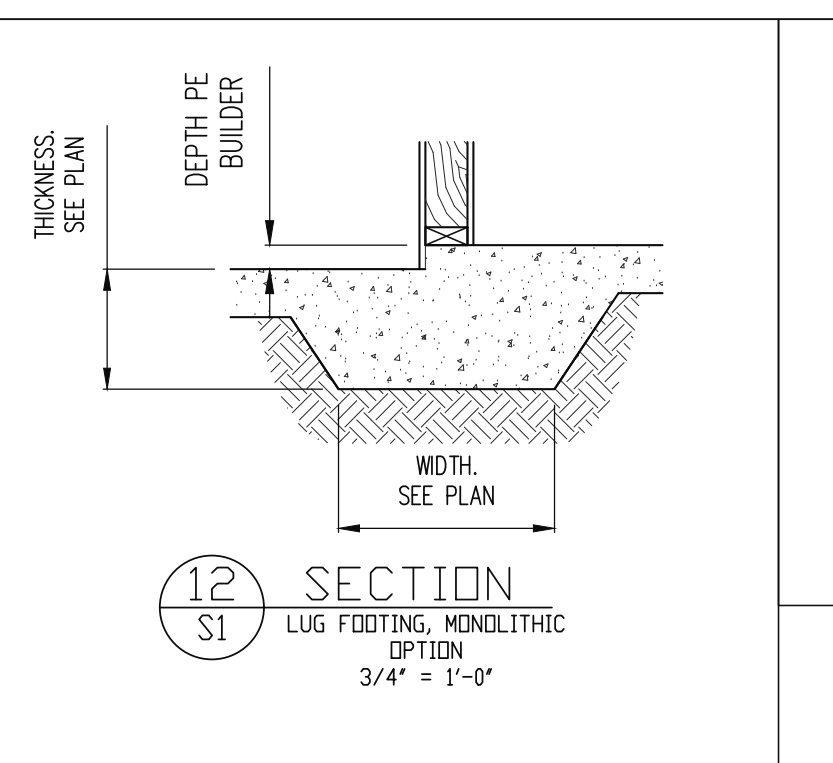
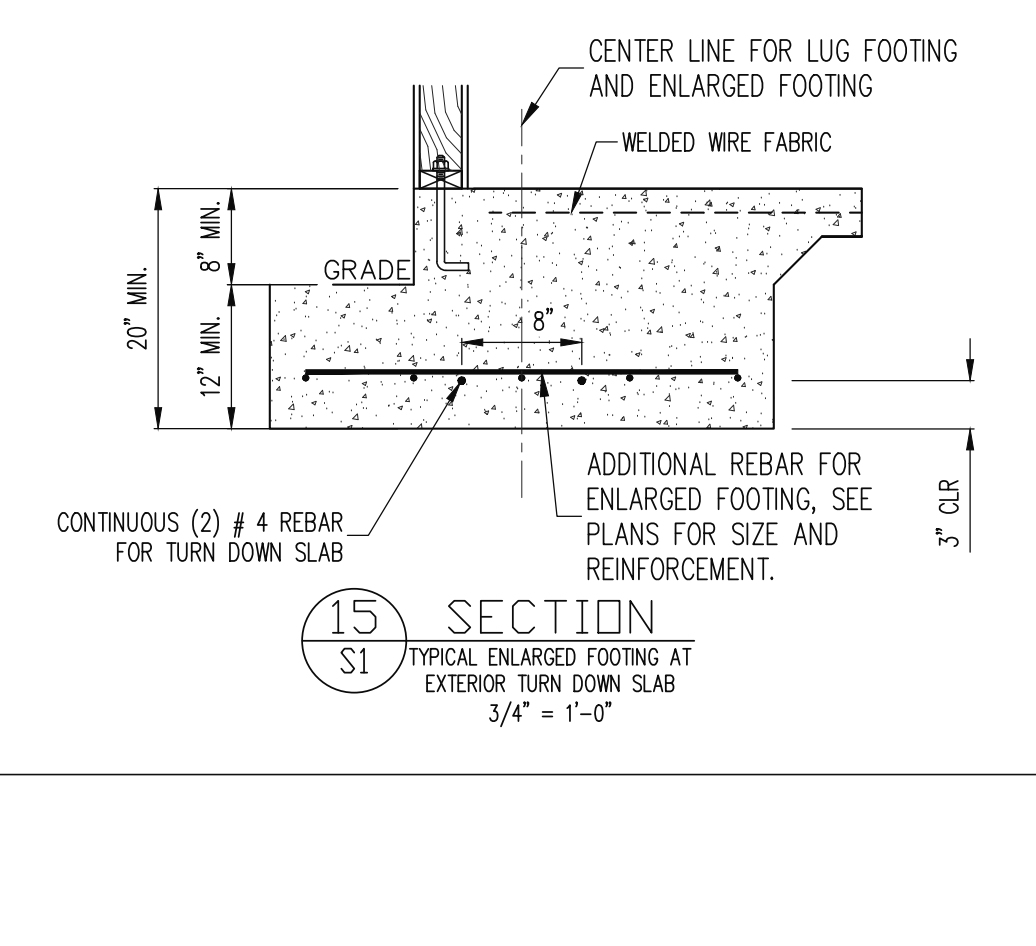
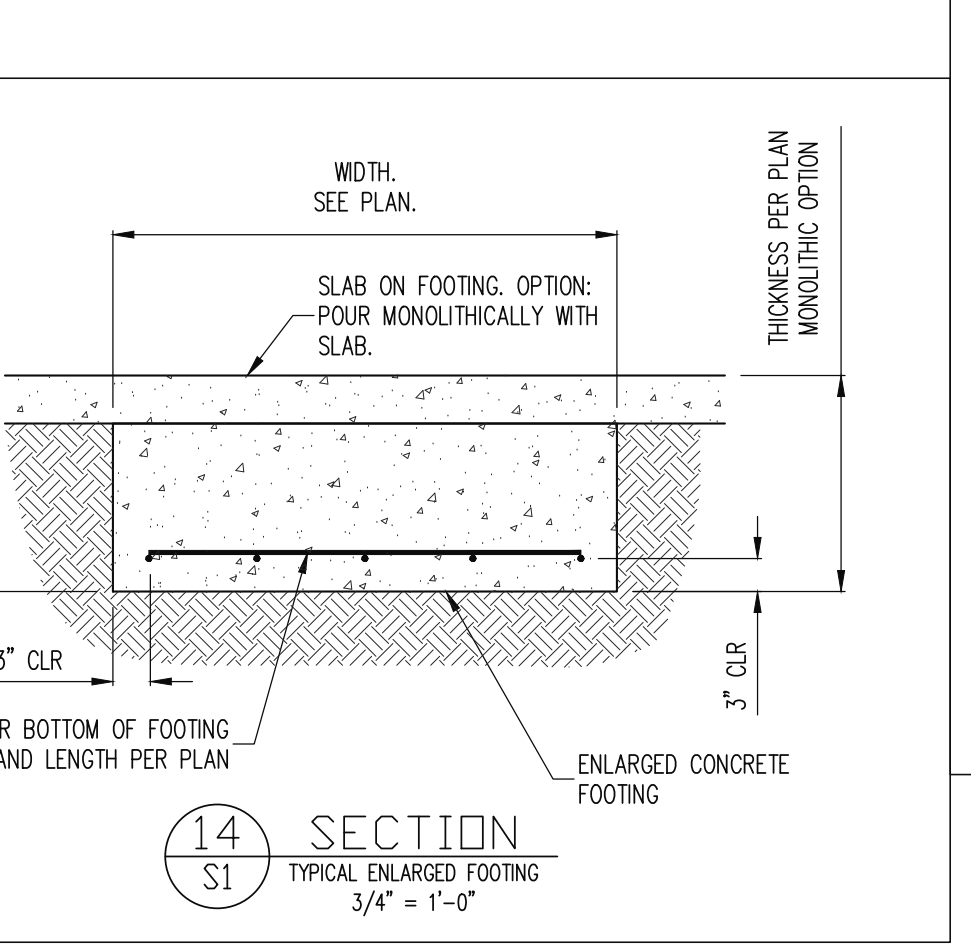
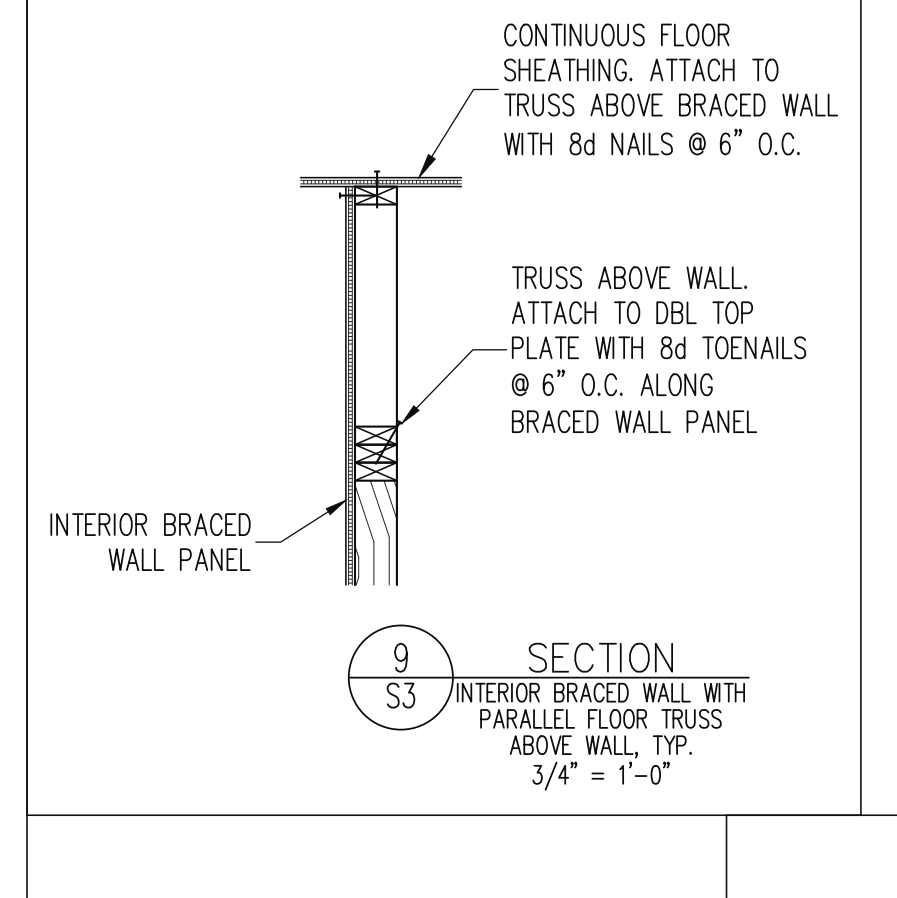
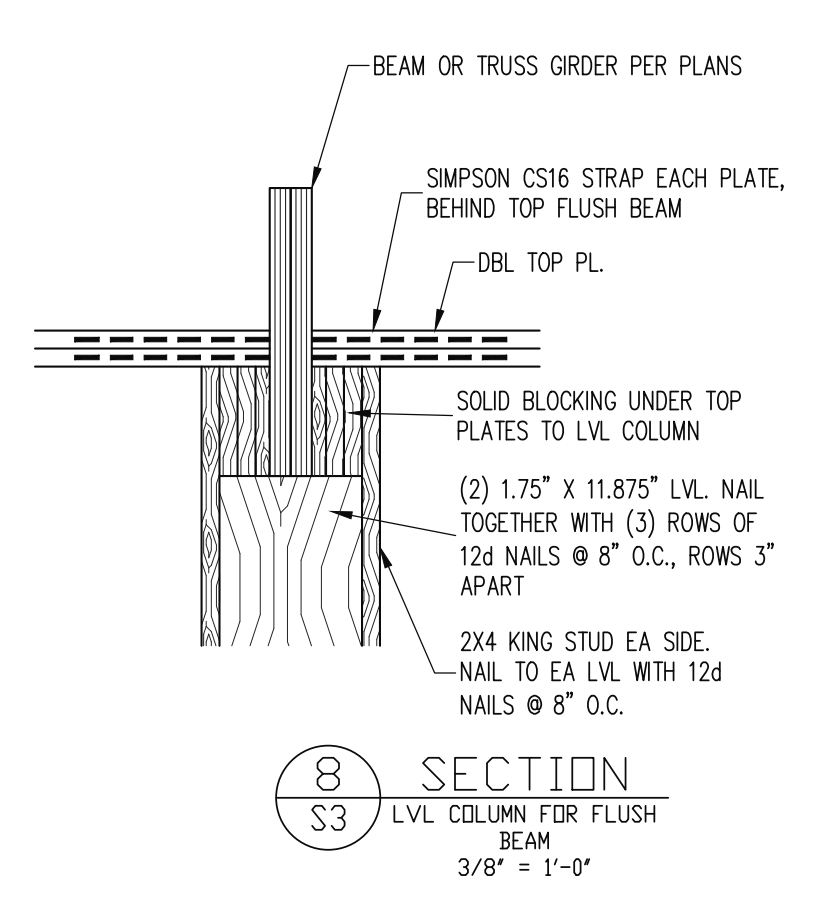
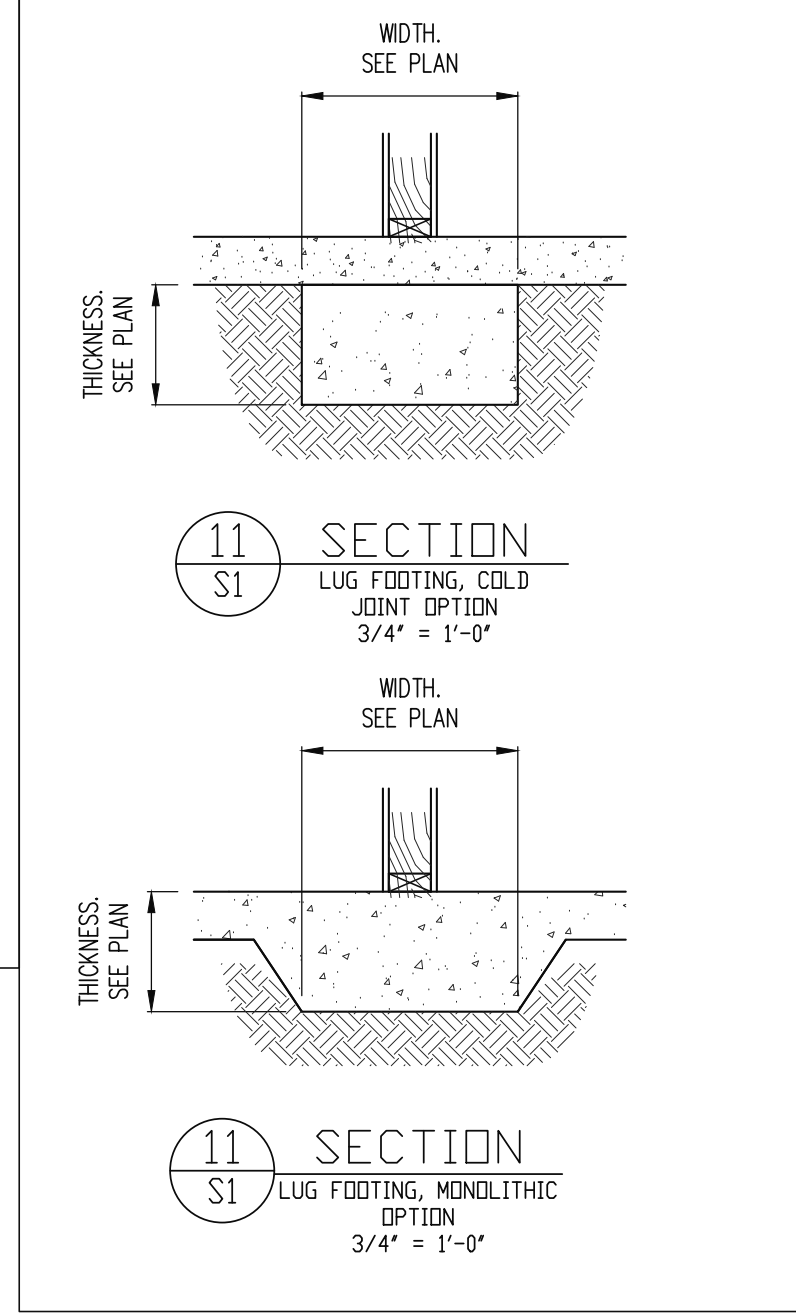
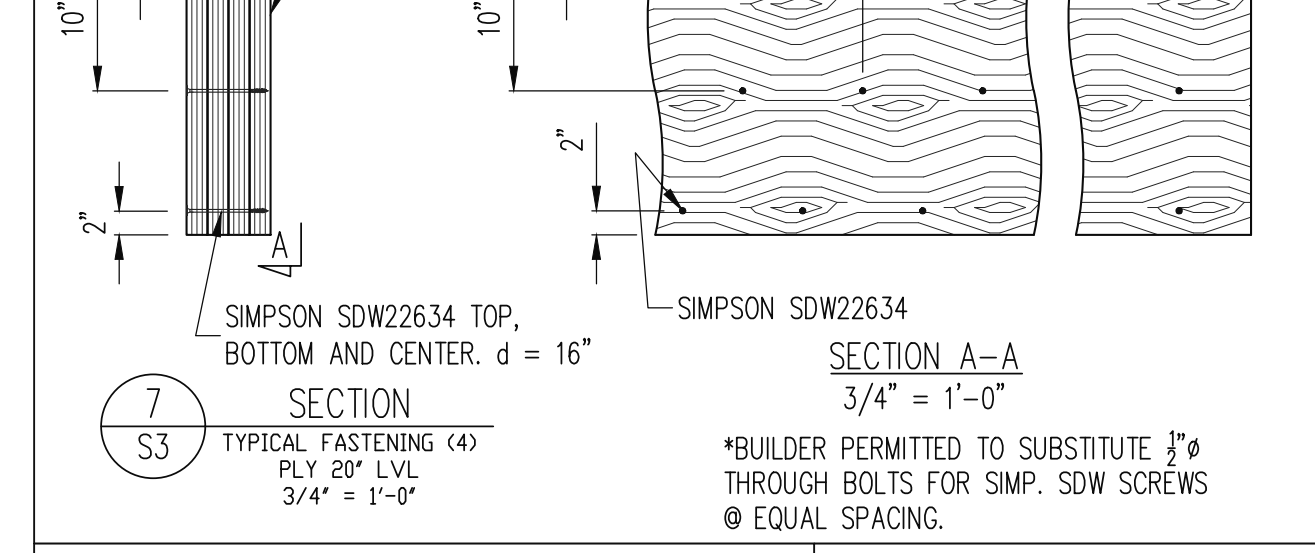
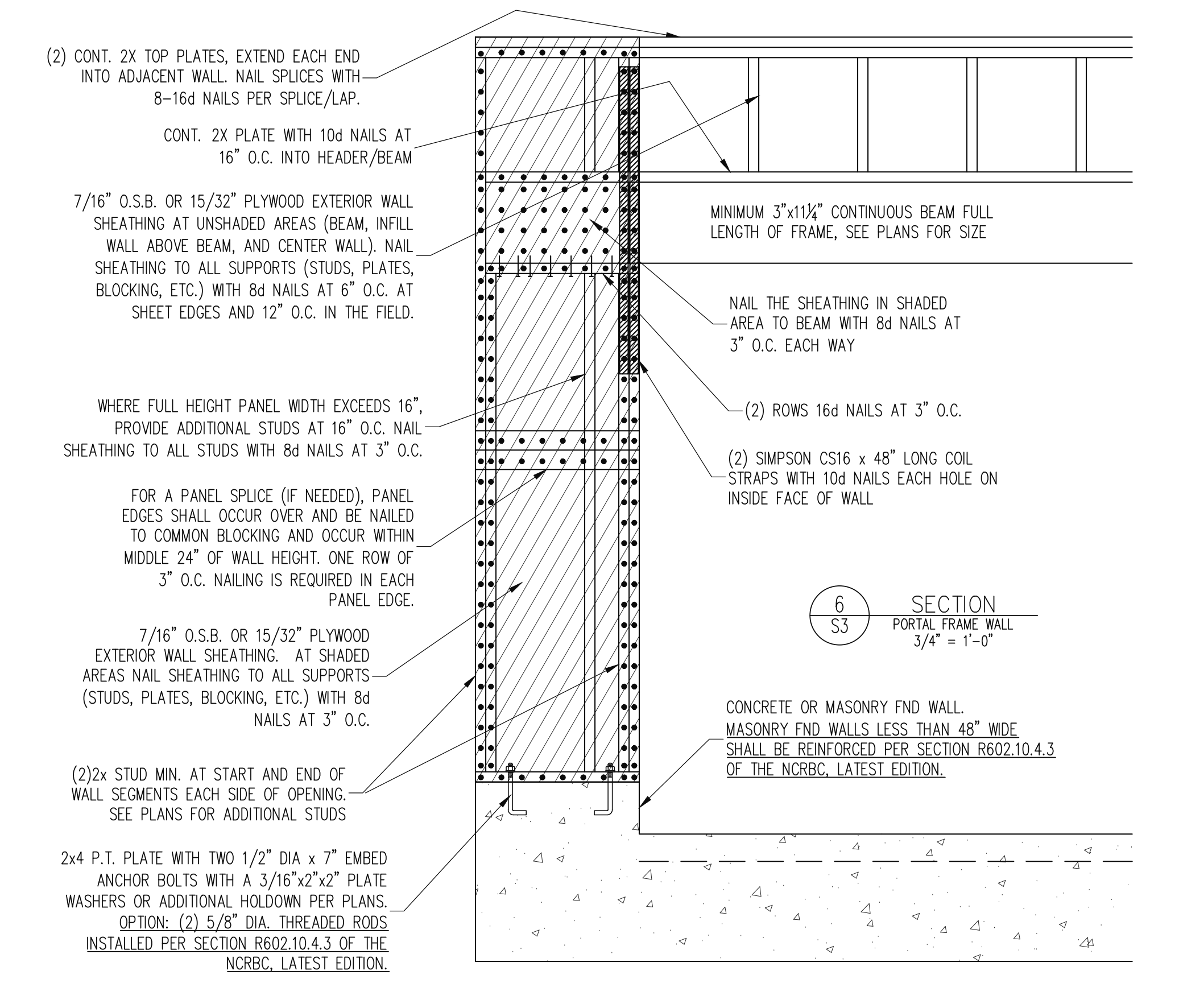
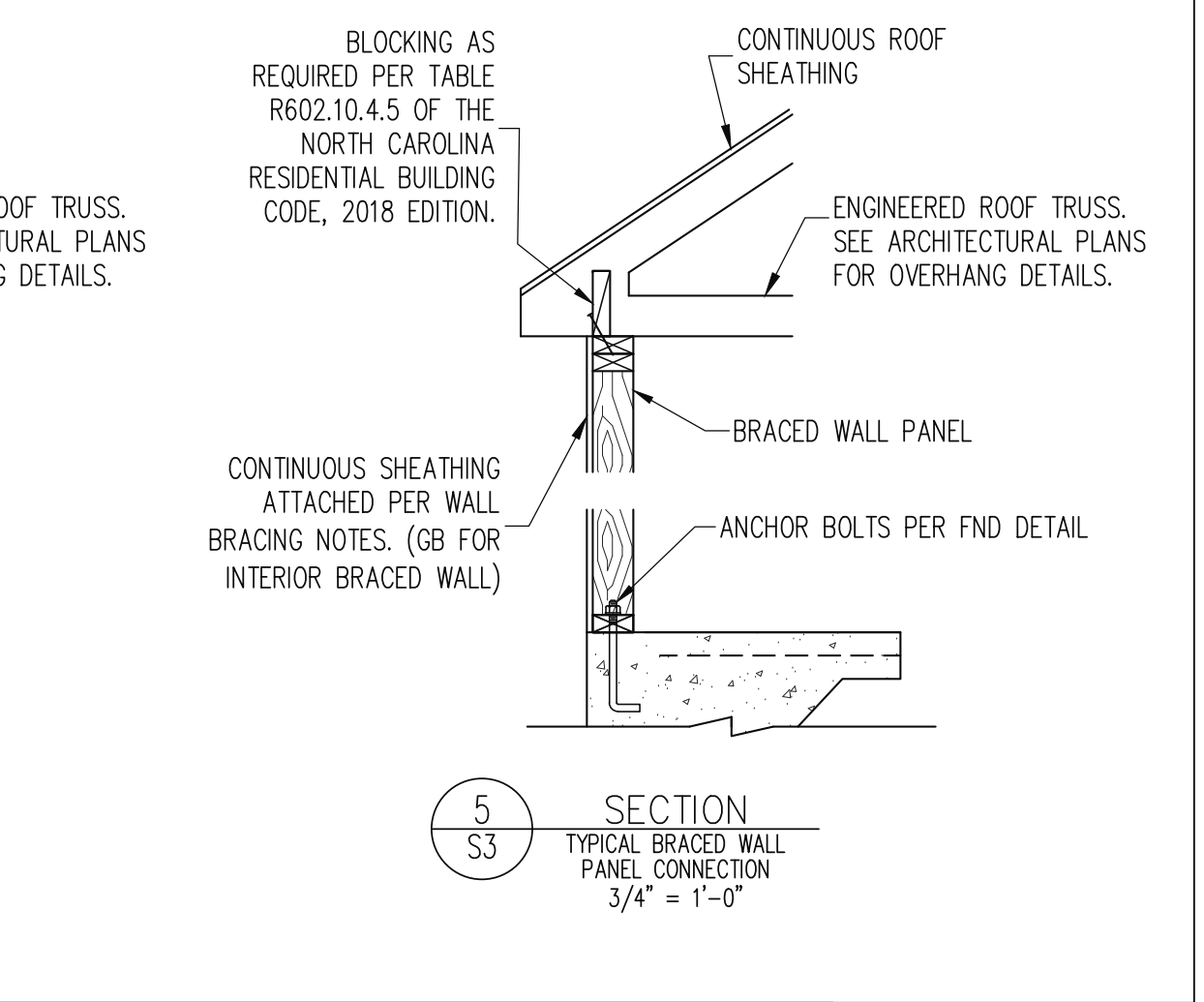
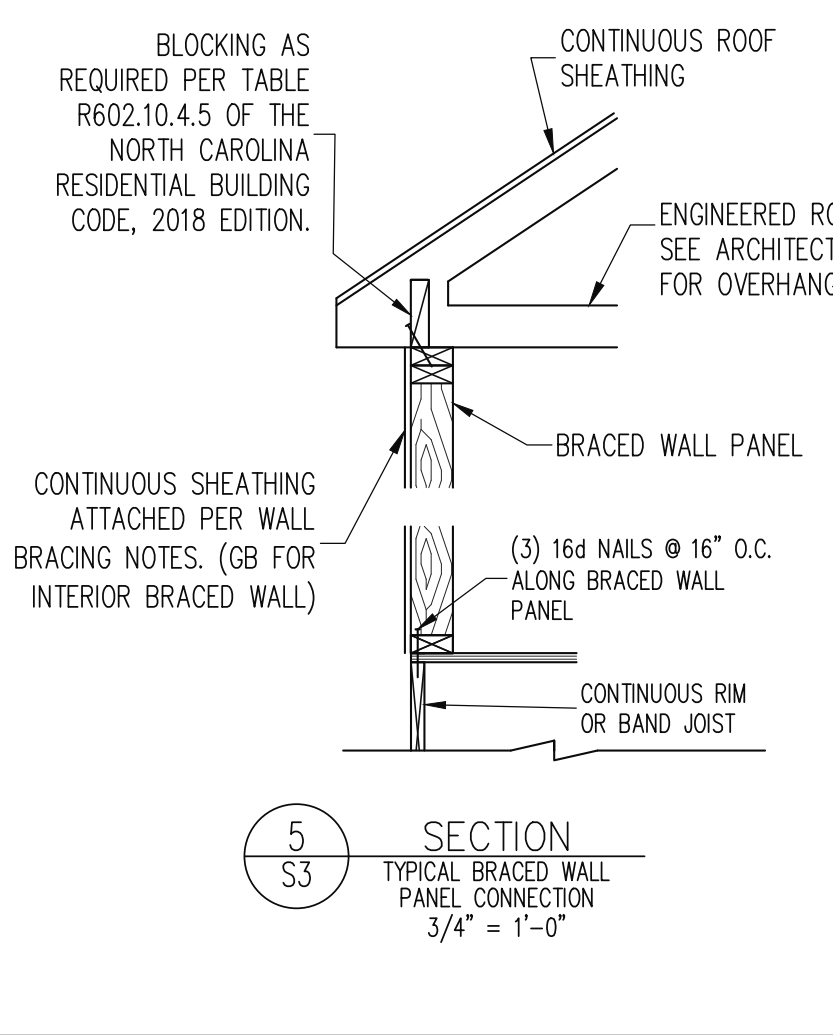
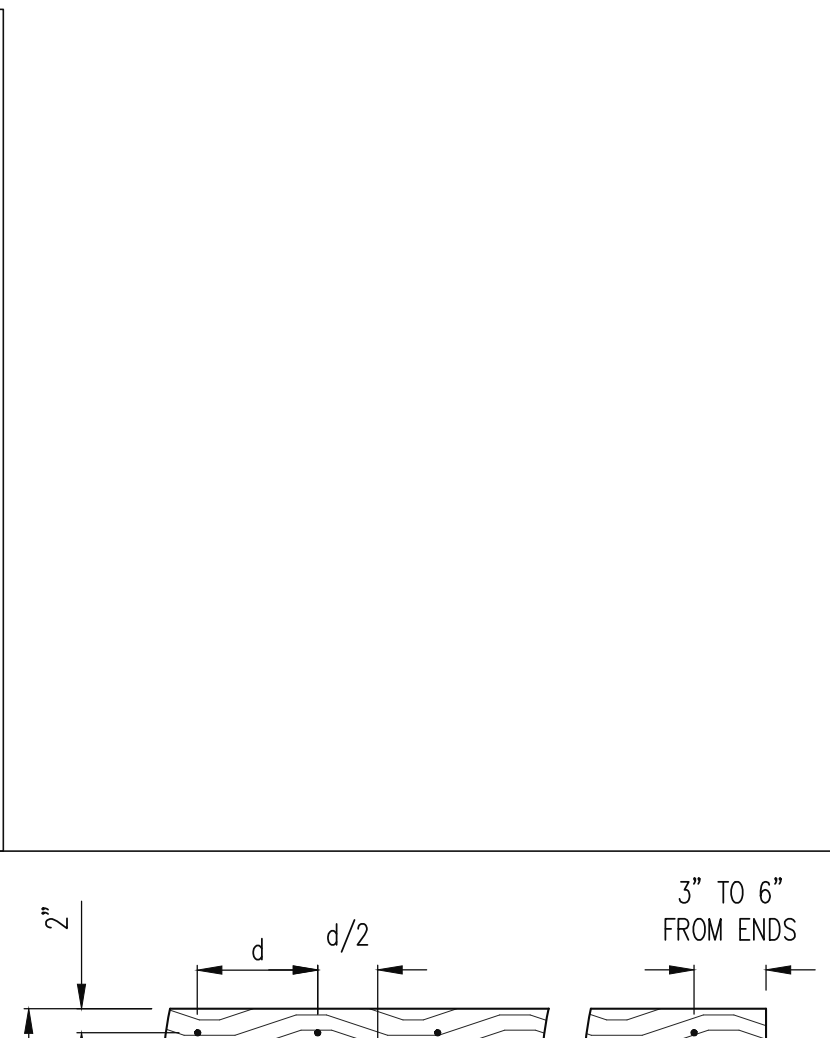
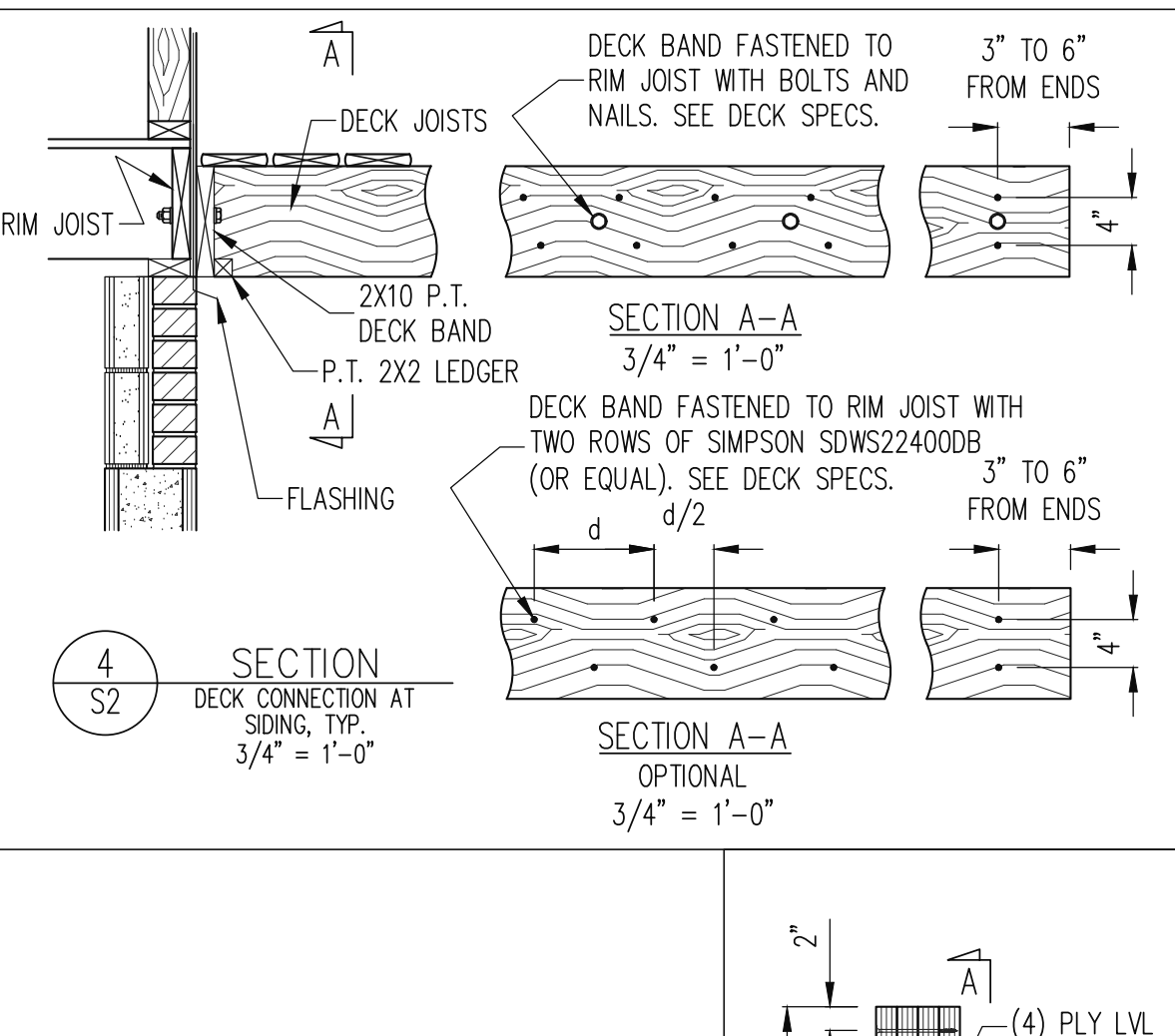
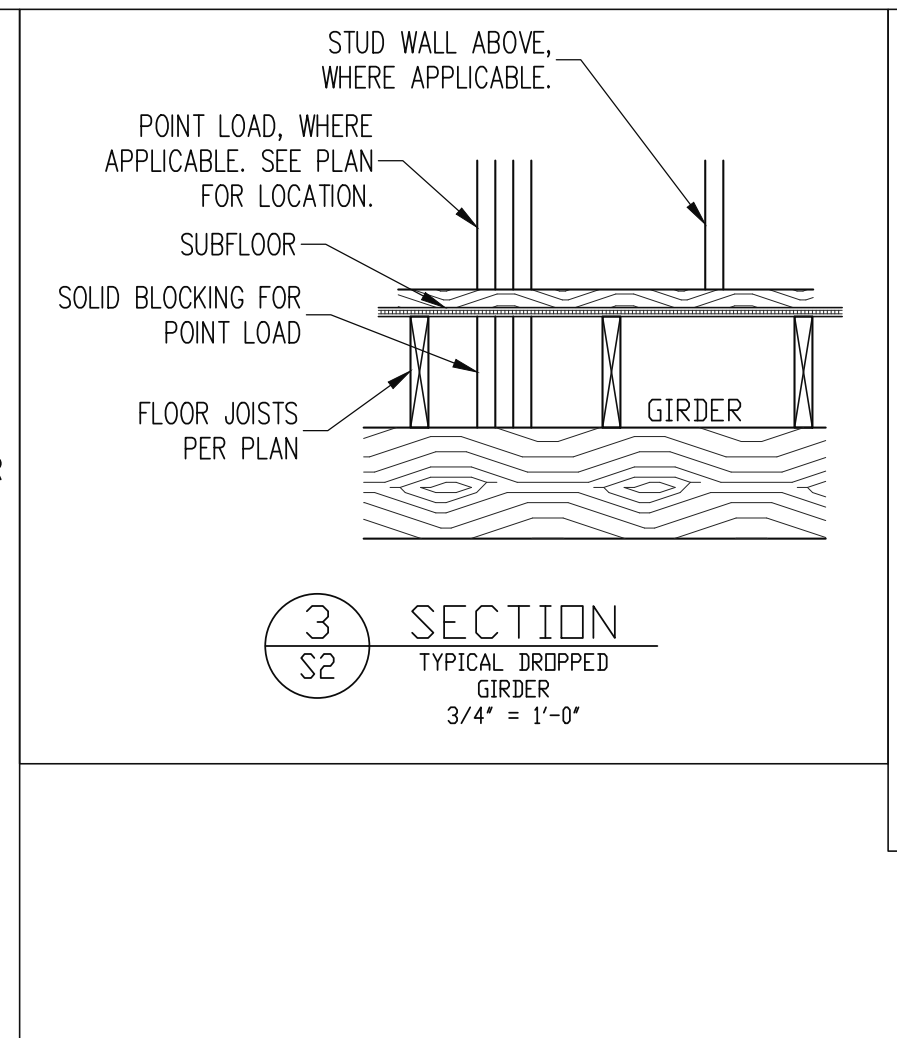
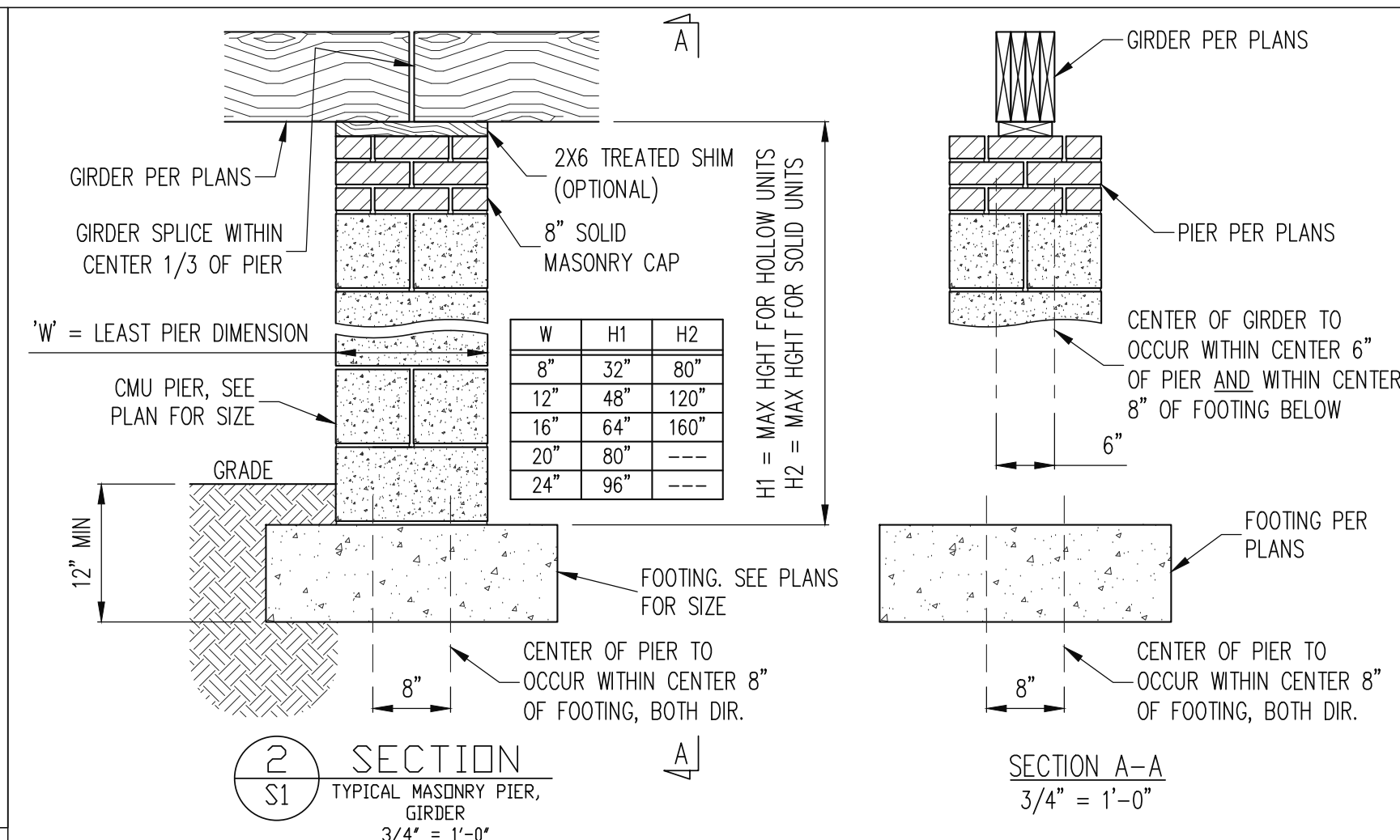
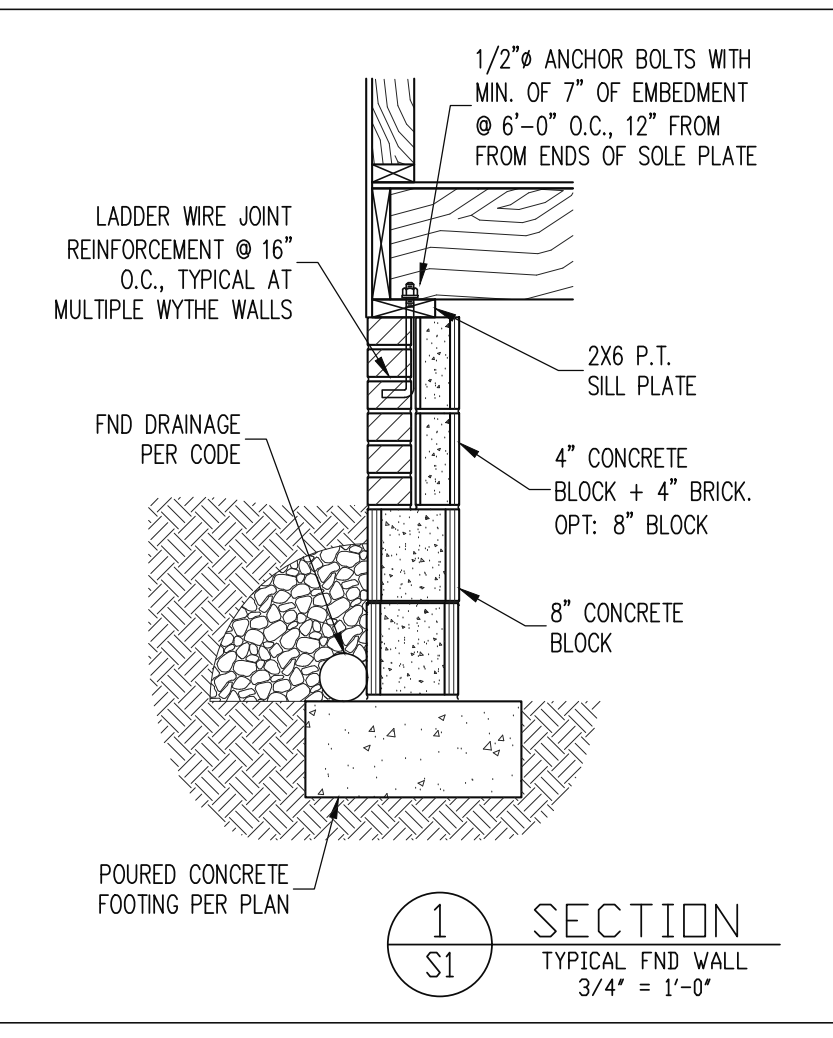
NEW HOME INC STRUCTURAL ADDENDUM LEFT HAND	REV #	REF PROJ #	DATE

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PLAN  
 BRUNSWICK

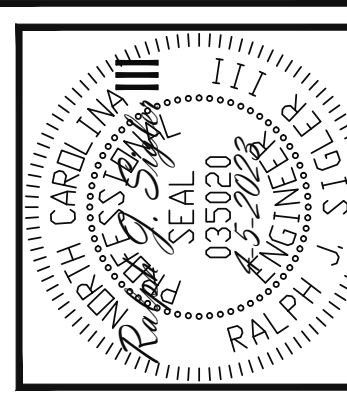
PROJECT NO.  
 23-65-081 LH

SHEET NO.  
 S5  
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NEW HOME INC	DATE
STRUCTURAL ADDENDUM	REV #
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SCOPE:	DATE

ENG: RJS/MEB  
DATE: 4-5-2023

PLAN  
BRUNSWICK

PROJECT NO.  
23-65-081 LH

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SD1  
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