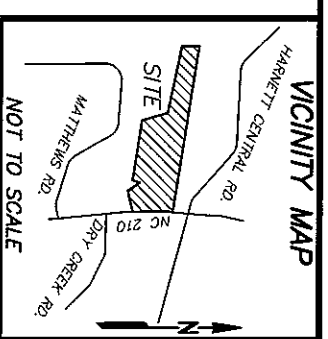


**CURVE TABLE**

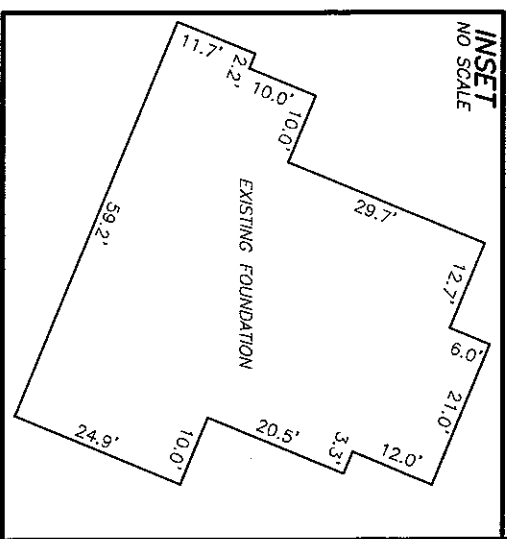
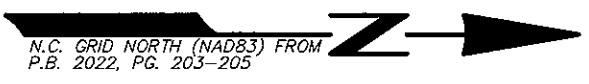
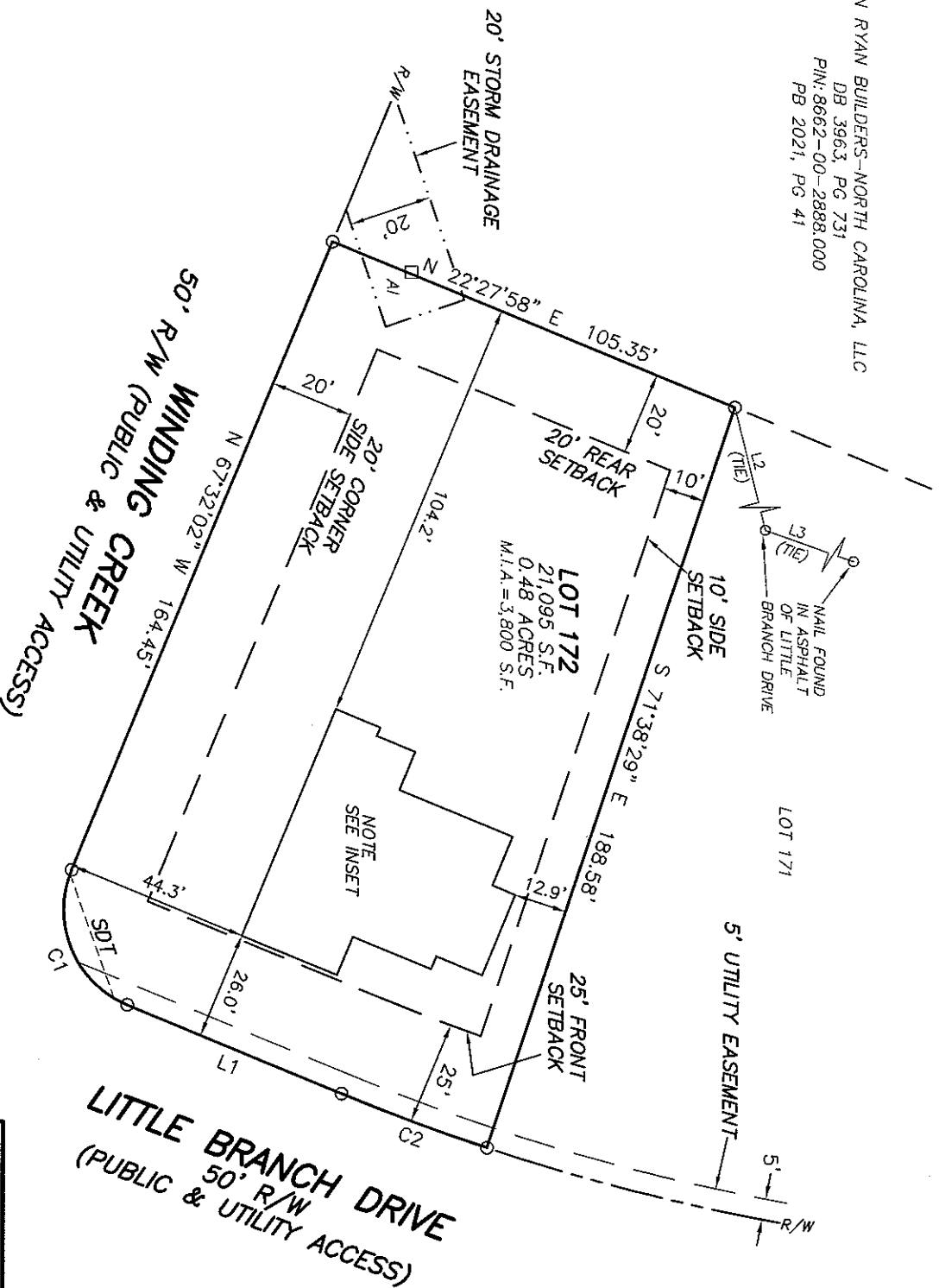
CURVE	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BRG
C1	90°00'00"	25.00'	39.27'	35.36'	25.00'	S 67°27'58" W
C2	406°26"	525.00'	37.63'	37.63'	18.83'	S 20°24'45" W

LINE TABLE	
LINE	BEARING DISTANCE
L1	S 22°27'58" W 56.25'
L2	N 75°50'30" E 220.54'
L3	N 19°30'32" E 128.92'



REFERENCES:  
 1. D.B. 4188, PG. 96  
 P.N. 0652-90-6167.000  
 P.I.D. 110662 0027 77  
 RESTRICTIVE COVENANTS:  
 2. D.B. 4072, PG. 220

DAN RYAN BUILDERS-NORTH CAROLINA, LLC  
 DB 3963, PG 731  
 P.N.-8662-00-2888.000  
 PB 2021, PG 41



**SETBACKS**  
 FRONT-25'  
 SIDE-10'  
 REAR-20'  
 CORNER SIDE-20'

**LEGEND**  
 (SDI)-SIGHT DISTANCE TRIANGLE  
 (AI)-AREA INLET

- NOTES:
1. ALL EASEMENTS, RIGHTS OF WAY AND BOUNDARY INFORMATION TAKEN FROM P.B. 2022, PG 203-205 UNLESS OTHERWISE NOTED.
  2. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN DONE BY ROBINSON & PLANTE, P.C.
  3. THE PROJECT IS WITHIN THE WS IV WATERSHED. THE MAXIMUM IMPERVIOUS AREA PER LOT IS 3,800 SF.

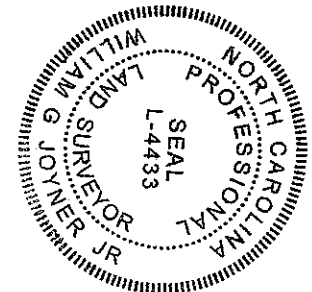
**PRELIMINARY PLAT- NOT FOR RECORDATION,  
 CONVEYANCE, OR SALE**

LOT 172 THE FARM AT NELLIS CREEK  
 PHASE 1  
 164 LITTLE BRANCH DRIVE  
 HARNETT COUNTY  
 LILLINGTON, N.C. 27546

REFERENCE: PLAT BOOK 2022 PAGE 203-205.



I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION. DESCRIPTION RECORDED IN REFERENCES AS SHOWN. THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN THAT THE RATIO OF PRECISION IS 1:10,000. AND THAT THIS MAP MEET THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.16000). THIS 8th DAY OF DECEMBER, 2023.



**ROBINSON & PLANTE PC**  
 LAND SURVEYING  
 C-2687  
 970 TRINITY ROAD  
 RALEIGH NC, 27607  
 PHONE (919) 859-6030  
 FAX (919) 859-6032

DATE: 12-7-23 SCALE: 1"=40'

FILE: ENGL01172RD