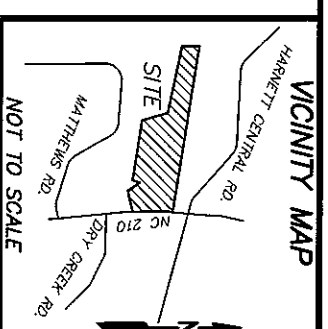


CURVE TABLE

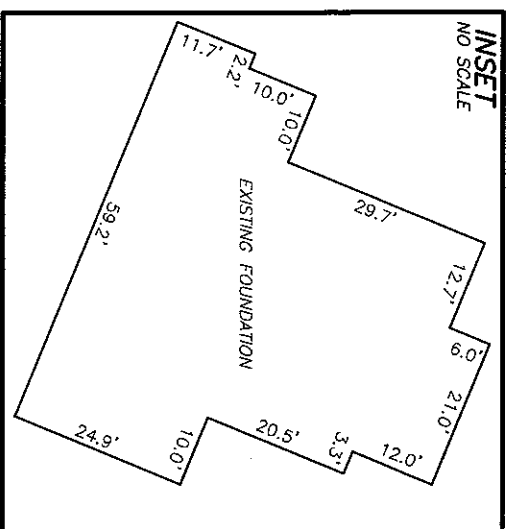
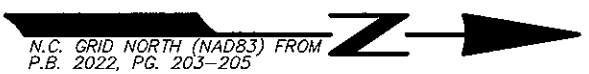
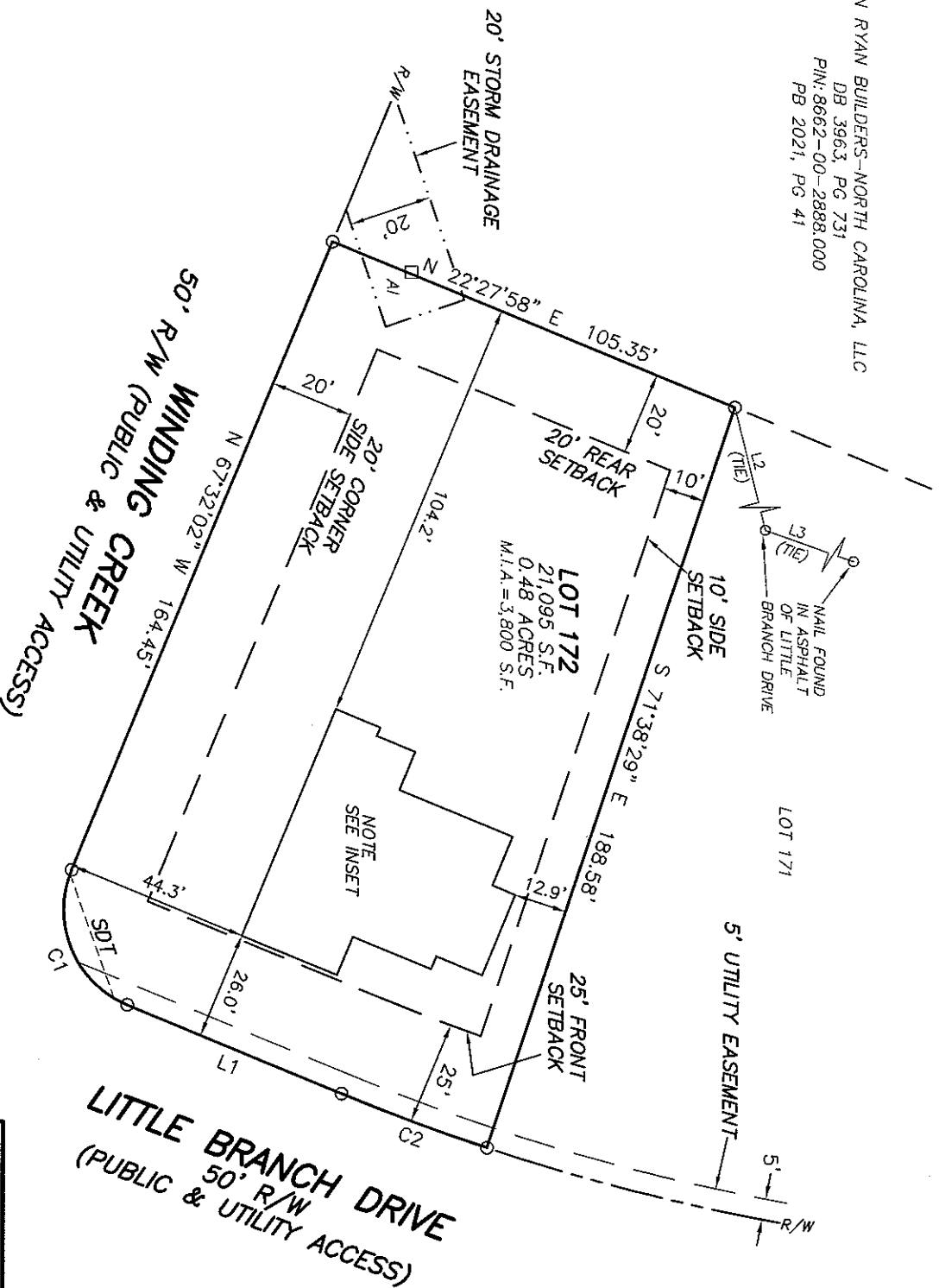
CURVE	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BRG
C1	90°00'00"	25.00'	39.27'	35.36'	25.00'	S 67°27'58" W
C2	406°26"	525.00'	37.63'	37.63'	18.83'	S 20°24'45" W

LINE TABLE	
LINE	BEARING DISTANCE
L1	S 22°27'58" W 56.25'
L2	N 75°50'30" E 220.54'
L3	N 19°30'32" E 128.92'



REFERENCES:
 1. D.B. 4188, PG. 96
 P.I.N. 0652-90-6167.000
 P.I.D. 110662 0027 77
 RESTRICTIVE COVENANTS:
 2. D.B. 4072, PG. 220

DAN RYAN BUILDERS-NORTH CAROLINA, LLC
 DB 3963, PG 731
 P.I.N.-8662-00-2888.000
 PB 2021, PG 41



SETBACKS
 FRONT-25'
 SIDE-10'
 REAR-20'
 CORNER SIDE-20'

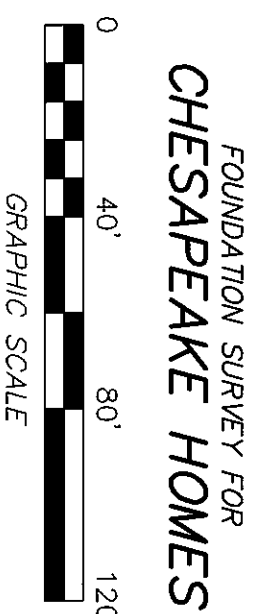
LEGEND
 (SDI)-SIGHT DISTANCE TRIANGLE
 (AI)-AREA INLET

- NOTES:
1. ALL EASEMENTS, RIGHTS OF WAY AND BOUNDARY INFORMATION TAKEN FROM P.B. 2022, PG 203-205 UNLESS OTHERWISE NOTED.
 2. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN DONE BY ROBINSON & PLANTE, P.C.
 3. THE PROJECT IS WITHIN THE WS IV WATERSHED. THE MAXIMUM IMPERVIOUS AREA PER LOT IS 3,800 SF.

**PRELIMINARY PLAT- NOT FOR RECORDATION,
 CONVEYANCE, OR SALE**

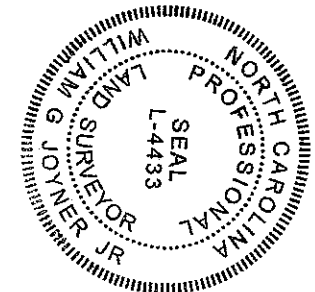
LOT 172 THE FARM AT NELLIS CREEK
 PHASE 1
 164 LITTLE BRANCH DRIVE
 HARNETT COUNTY
 LILLINGTON, N.C. 27546

REFERENCE: PLAT BOOK 2022 PAGE 203-205.



FILE: ENGL01172RD

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION. DESCRIPTION RECORDED IN REFERENCES AS SHOWN. THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN THIS MAP MEET THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.16000). THIS 8th DAY OF DECEMBER, 2023.



ROBINSON & PLANTE PC
 LAND SURVEYING
 C-2687
 970 TRINITY ROAD
 RALEIGH NC, 27607
 PHONE (919) 859-6030
 FAX (919) 859-6032

DATE: 12-7-23 SCALE: 1"=40'