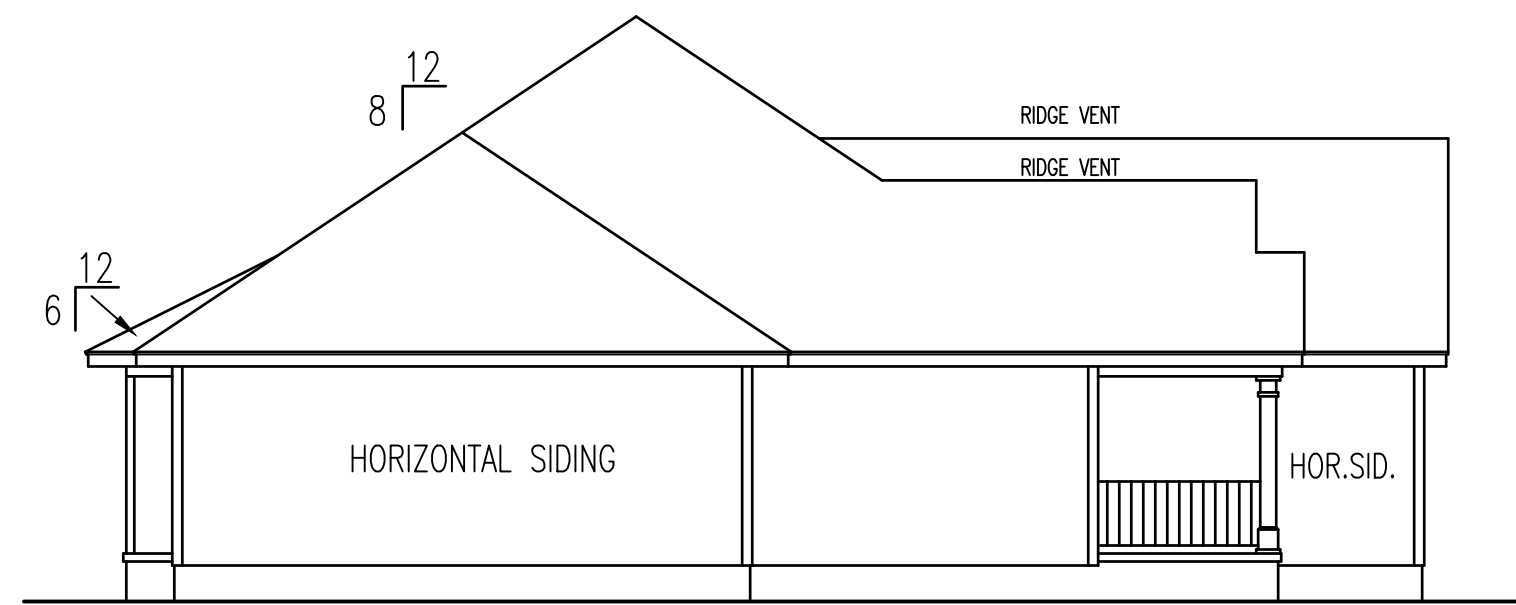
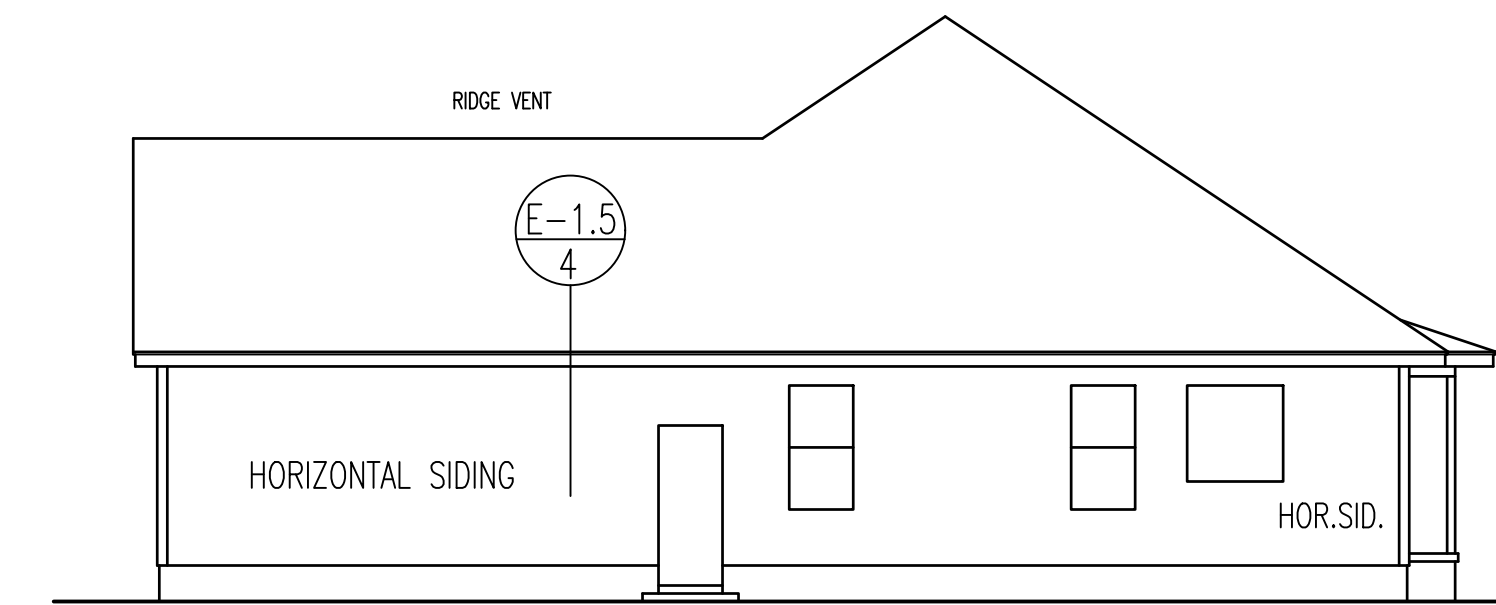


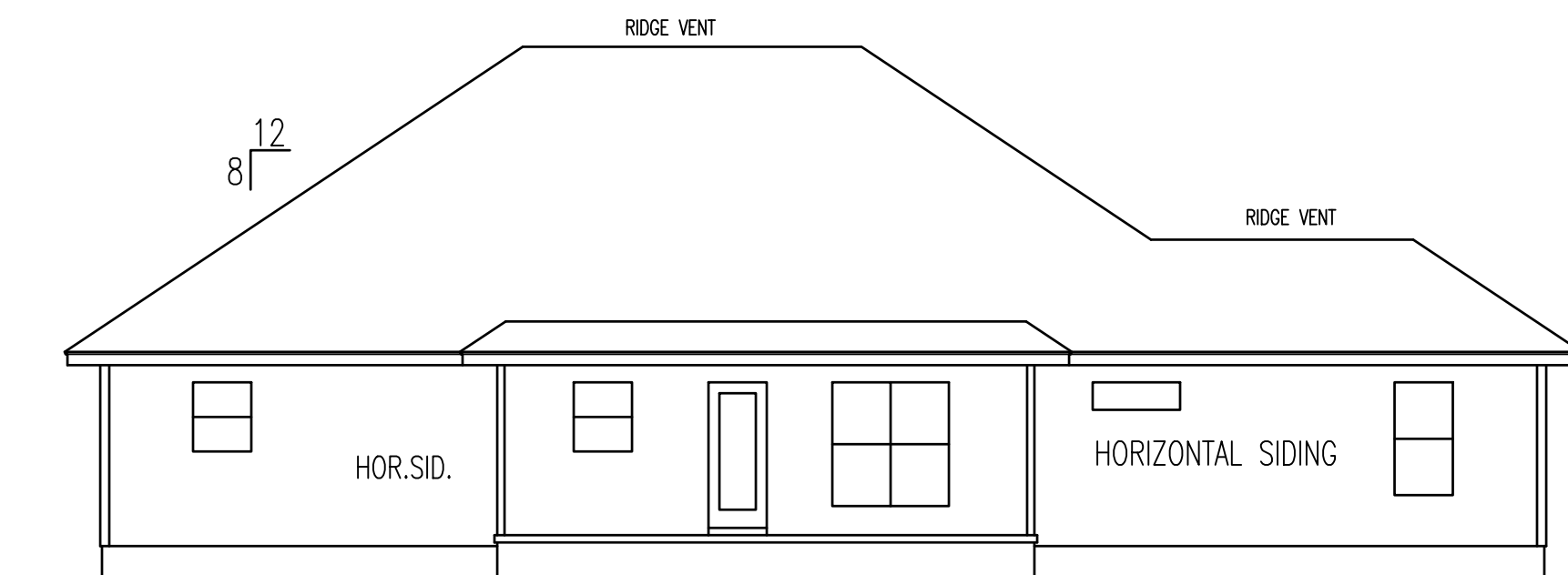
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



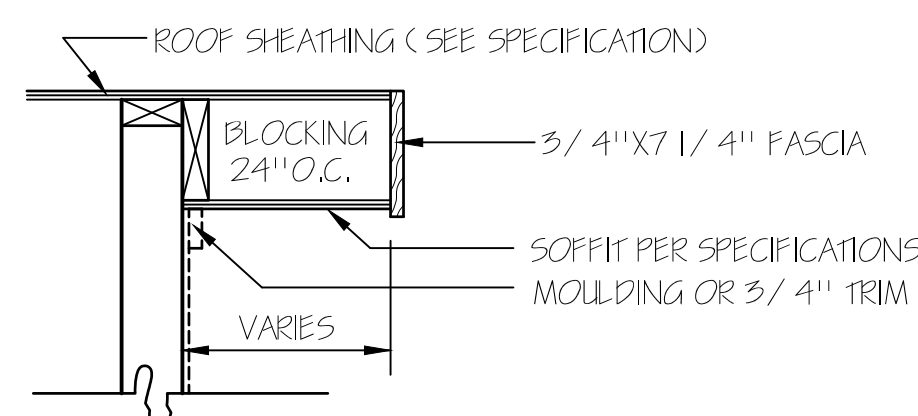
LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION
SCALE: 1/8" = 1'-0"



RAKE DETAIL FOR GABLE ENDS

T M DESIGNS

RESIDENTIAL PLANS BY TINA MCFADDEN
(910) 354-4736 TMDDESIGNS2016@GMAIL.COM

WATERMARK HOMES

LOT: 104 SOUTH CREEK

NAME: EUCALYPTUS

EXCLUSIVE RESIDENCE DESIGN FOR:

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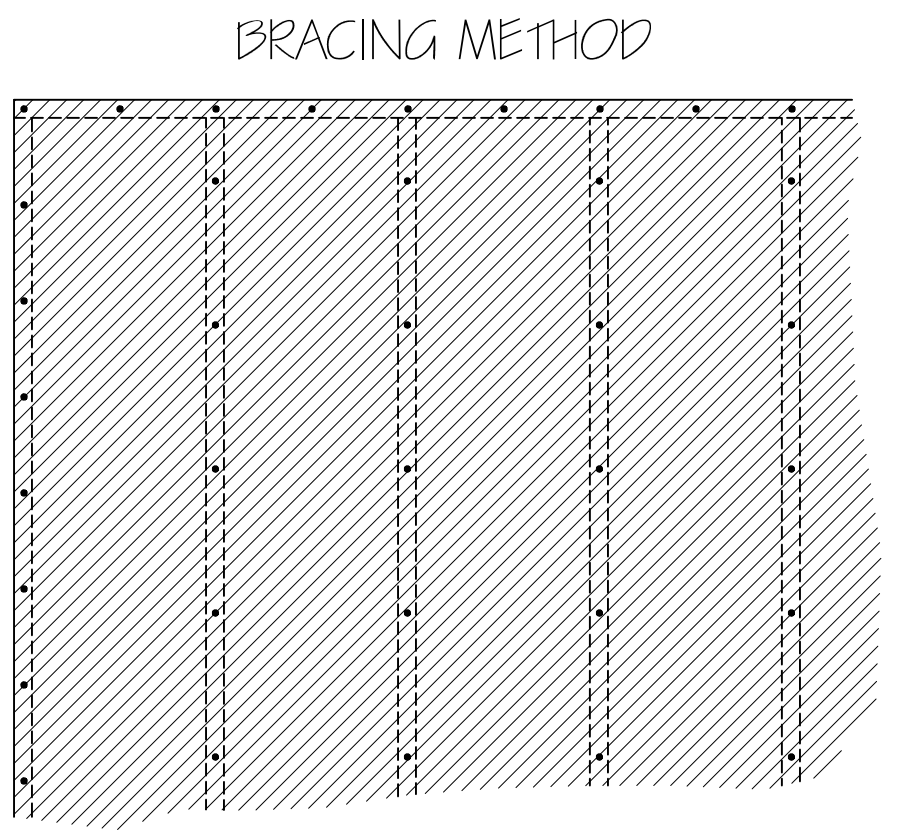
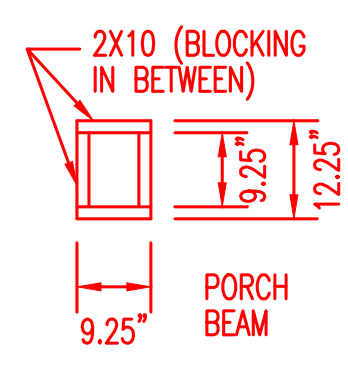
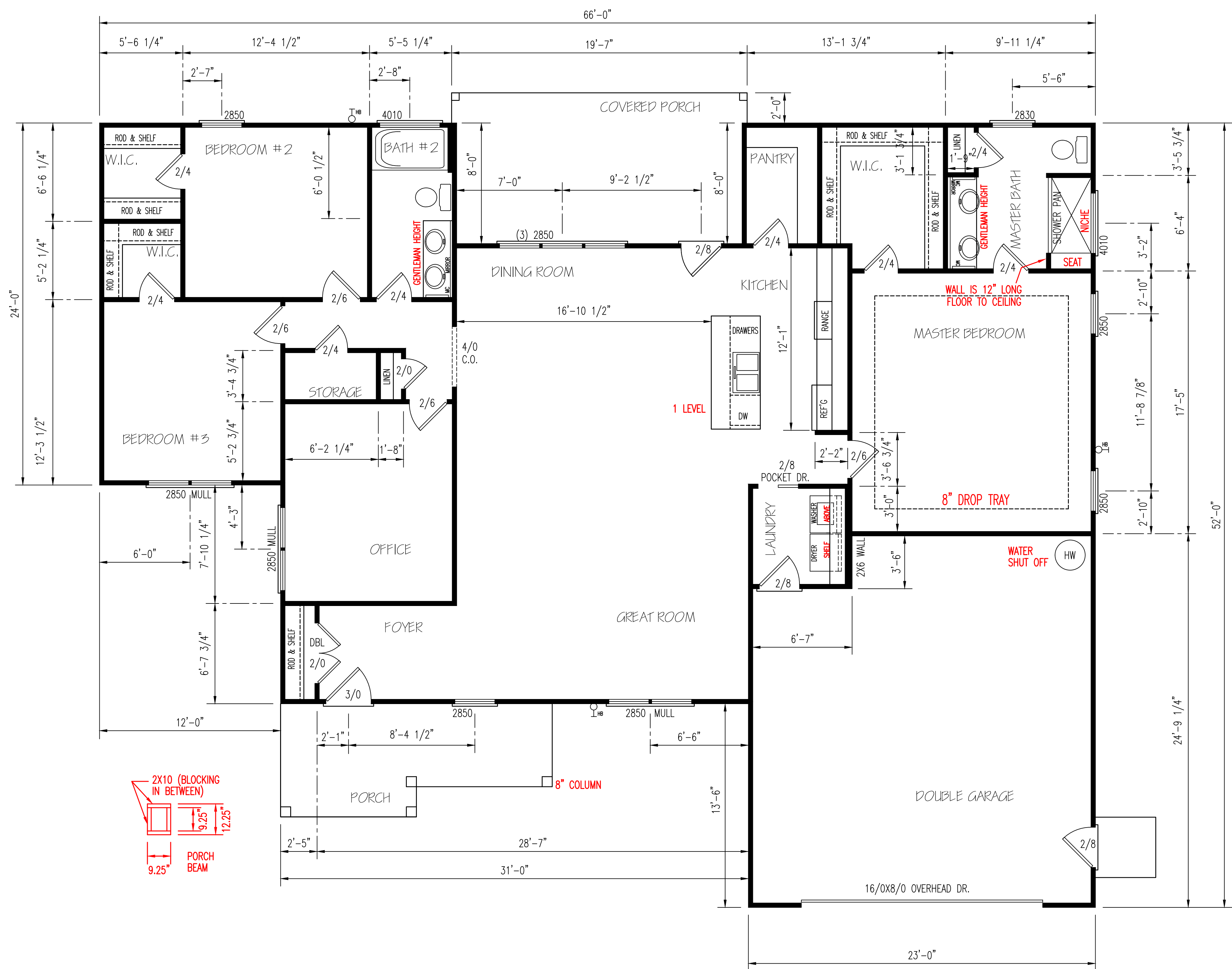
I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2012 INTERNATIONAL BUILDING CODES

THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED

PLAN NUMBER
R018-A01

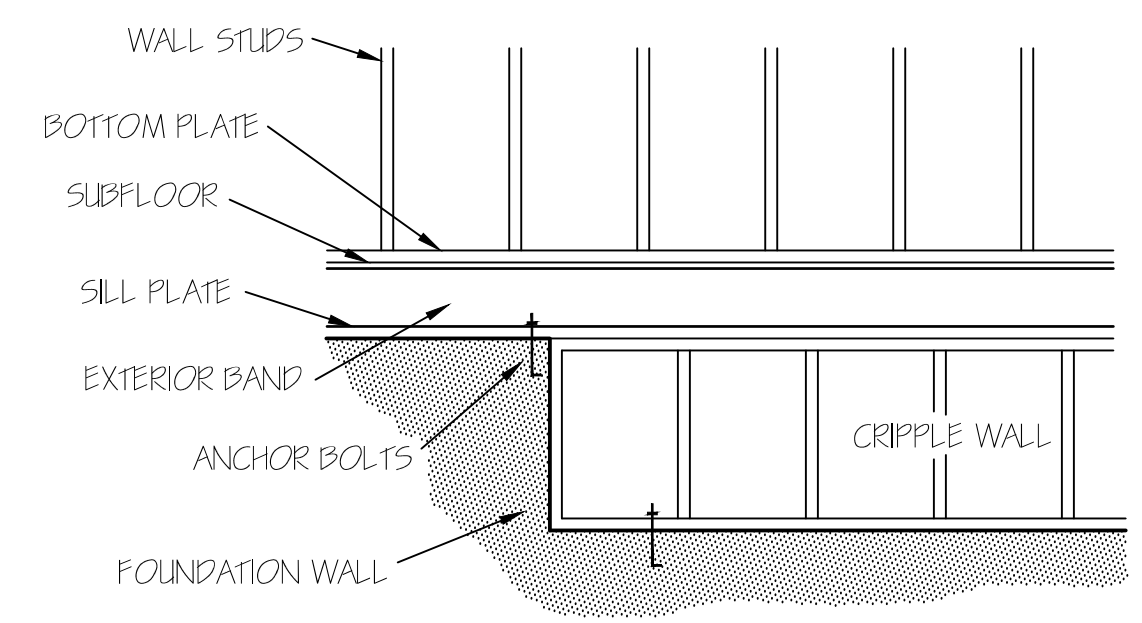
OPTION #1

1	GARAGE	R	F
	DATE:	11/4/20	



EXTERIOR WALL TO BE FULLY SHEATHED WITH 7/16\"/>

ENERGY TABLE
 UFACTOR OF WINDOWS .30
 CLIMATE ZONE 3
 INSULATION: WALLS 15
 CEILING 58
 FLOORS 19



FOUNDATION CRIPPLE WALLS SHALL BE FRAMED OF STUDS NOT SMALLER THAN THE STUDS ABOVE. WHEN EXCEEDING 4 FT. IN HEIGHT, SUCH WALLS SHALL BE FRAMED OF STUDS HAVING THE SIZE REQUIRED FOR AN ADDITIONAL STORY. CRIPPLE WALLS WITH A STUD HEIGHT LESS THAN 14 INCHES SHALL BE CONTINUOUSLY SHEATHED ON ONE SIDE WITH WOOD STRUCTURAL PANELS FASTENED TO BOTH THE TOP AND BOTTOM PLATES IN ACCORDANCE WITH TABLE R602.3(1), OR CRIPPLE WALLS SHALL BE CONSTRUCTED OF SOLID BLOCKING.

CLEAR SPAN FOR HEADER	NUMBER OF STUDS	
	JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	

UNLESS NOTED OTHER WISE

FLOOR PLAN
 SCALE: 1/4" = 1'-0"

HEATED AREA
 1986 SQ FT

OTHER AREAS
 GARAGE 540 SQ FT
 P.PORCH 117 SQ FT
 R.PORCH 191 SQ FT
 TOTAL 848 SQ FT

NOTE:
 CEILING ARE 9'-0"
 UNLESS NOTED.

GARAGE PANEL WALL

GARAGE PANEL WALLS UNDER 24" WIDE SHOULD BE EITHER PORTAL FRAMED OR 7/16" OSB ON BOTH SIDES WITH A NAILING PATTERN OF 3" ON ALL PANEL EDGES AND 6" IN THE FIELD.

TM DESIGNS
 RESIDENTIAL PLANS BY TINA MCFADDEN
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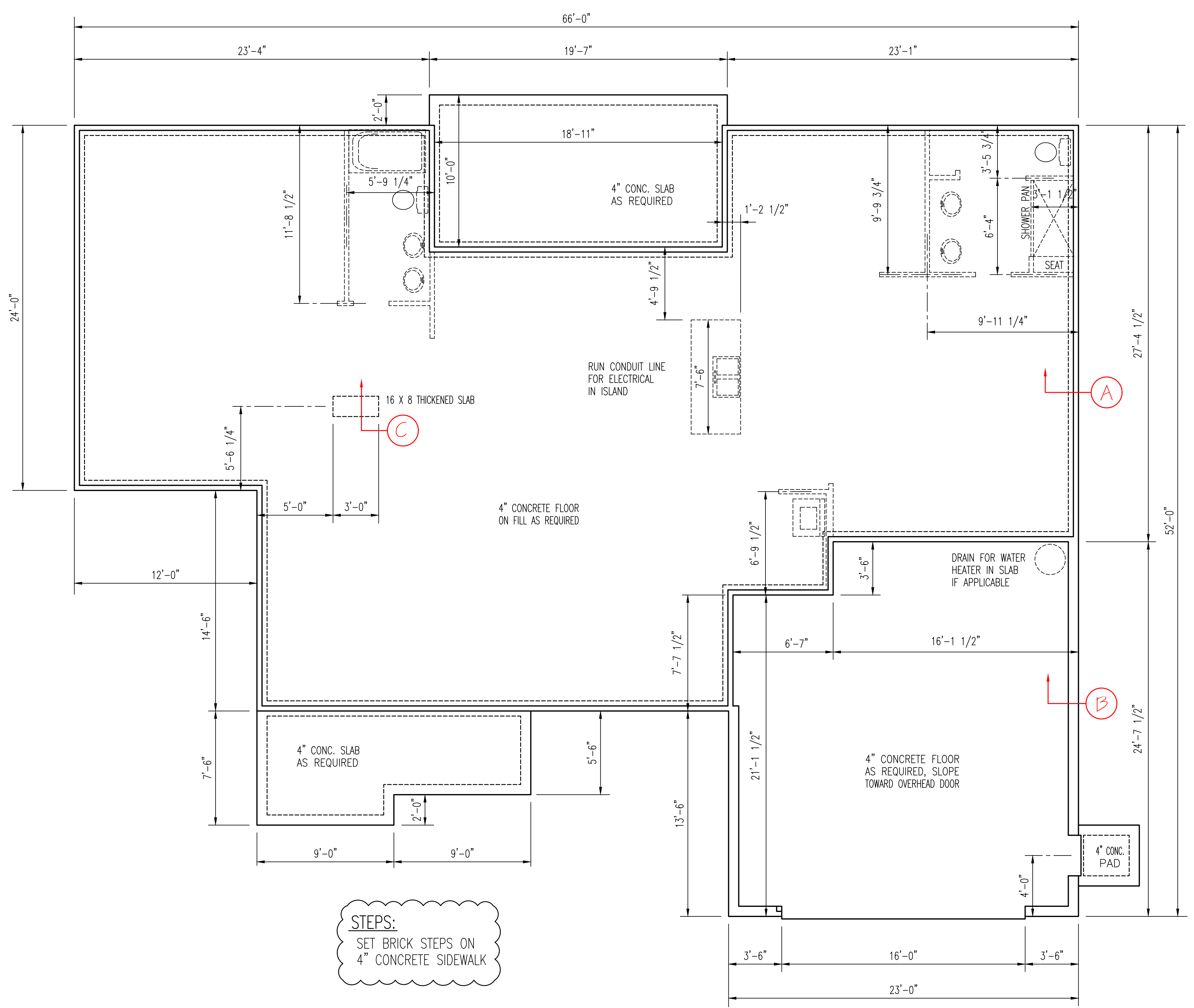
WATERMARK HOMES
 EXCLUSIVE RESIDENCE DESIGN FOR:

LOT: 104 SOUTH CREEK
 NAME: EUCALYPTUS

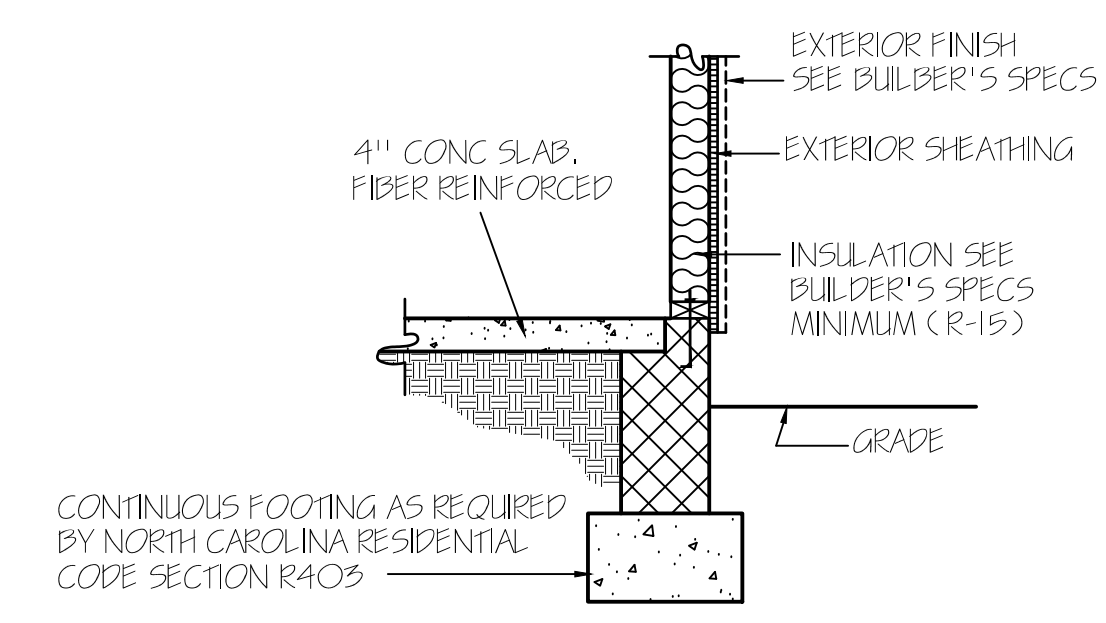
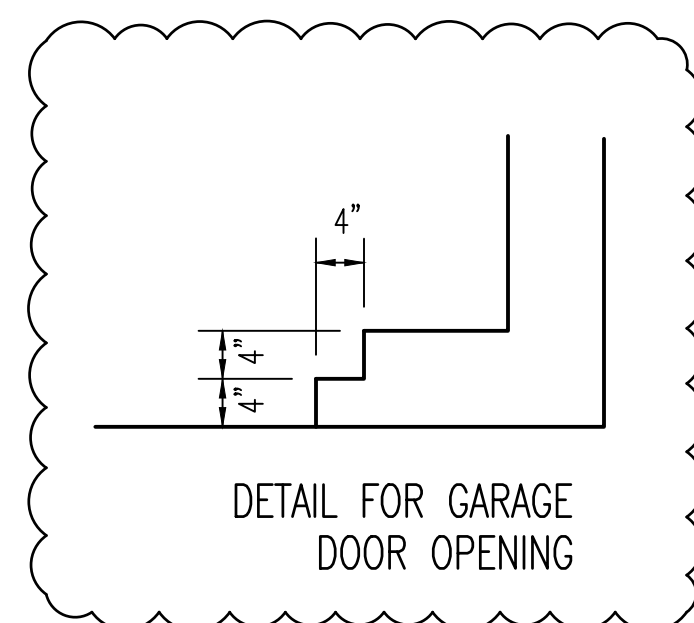
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 I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2012 INTERNATIONAL BUILDING CODES.
 THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT. NOT TO BE REUSED.

PLAN NUMBER
 RA18-AOI
OPTION #1

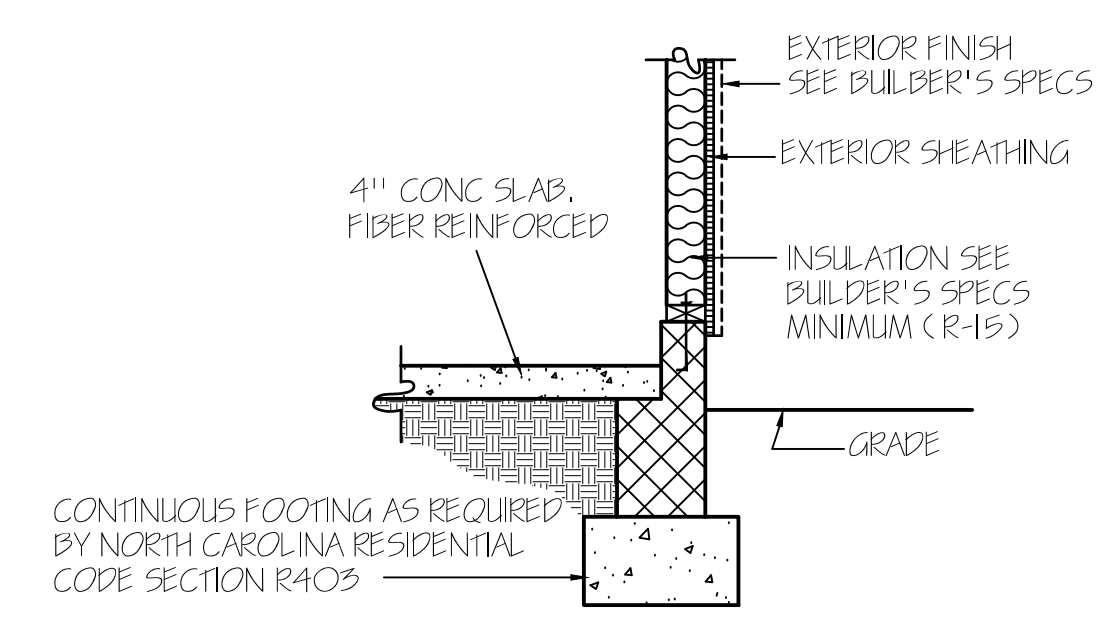
2	GARAGE	R F
	DATE:	11/4/20



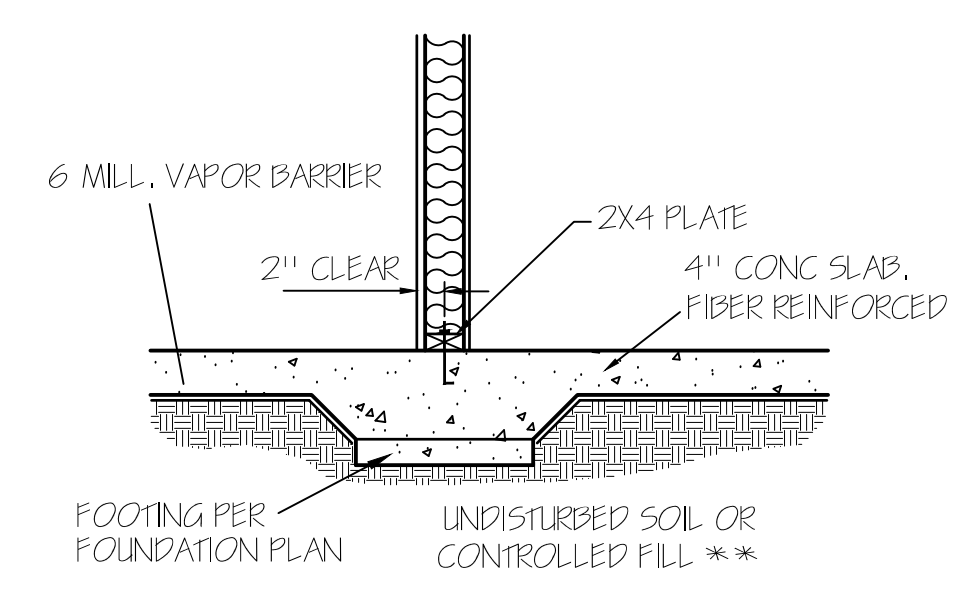
STEPS:
SET BRICK STEPS ON 4" CONCRETE SIDEWALK



CONCRETE SLAB FLOOR — (A)



GARAGE WALL — (B)



LOAD BEARING WALL THICKENED SLAB — (C)

WALL ANCHOR OPTIONS
USE ANCHOR BOLTS
ANCHOR BOLTS: 1/2" DIA. BOLTS AT 6'-0" O.C. AND NOT MORE THAN 12" FROM CORNERS, EMBEDDED MIN. 7" INTO FOUNDATION. USE A MIN. OF 2 BOLTS PER EACH STUD WALL.

NOTE:
FOUNDATION DETAILS SHOWN ARE BASED ON ASSUMED SOIL BEARING CAPACITY OF 2000 PSF. LOCAL SITE CONDITIONS MUST BE INVESTIGATED. ALL FOOTING TO BE LOCATED BELOW FROST DEPTH.

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

