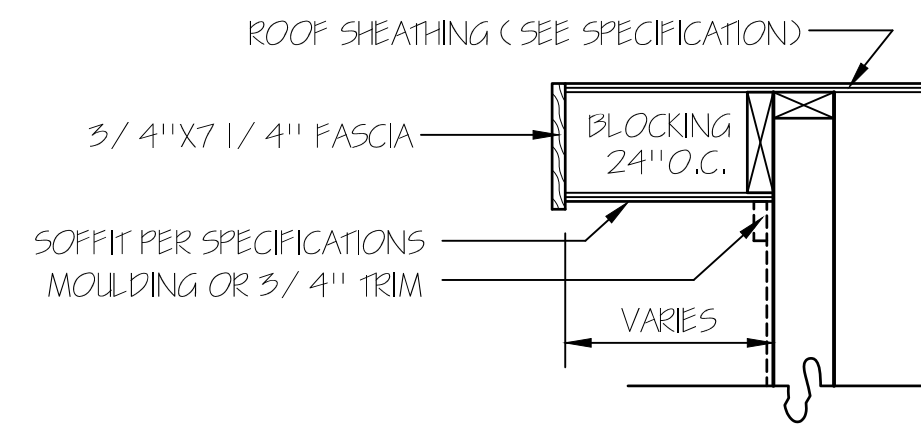
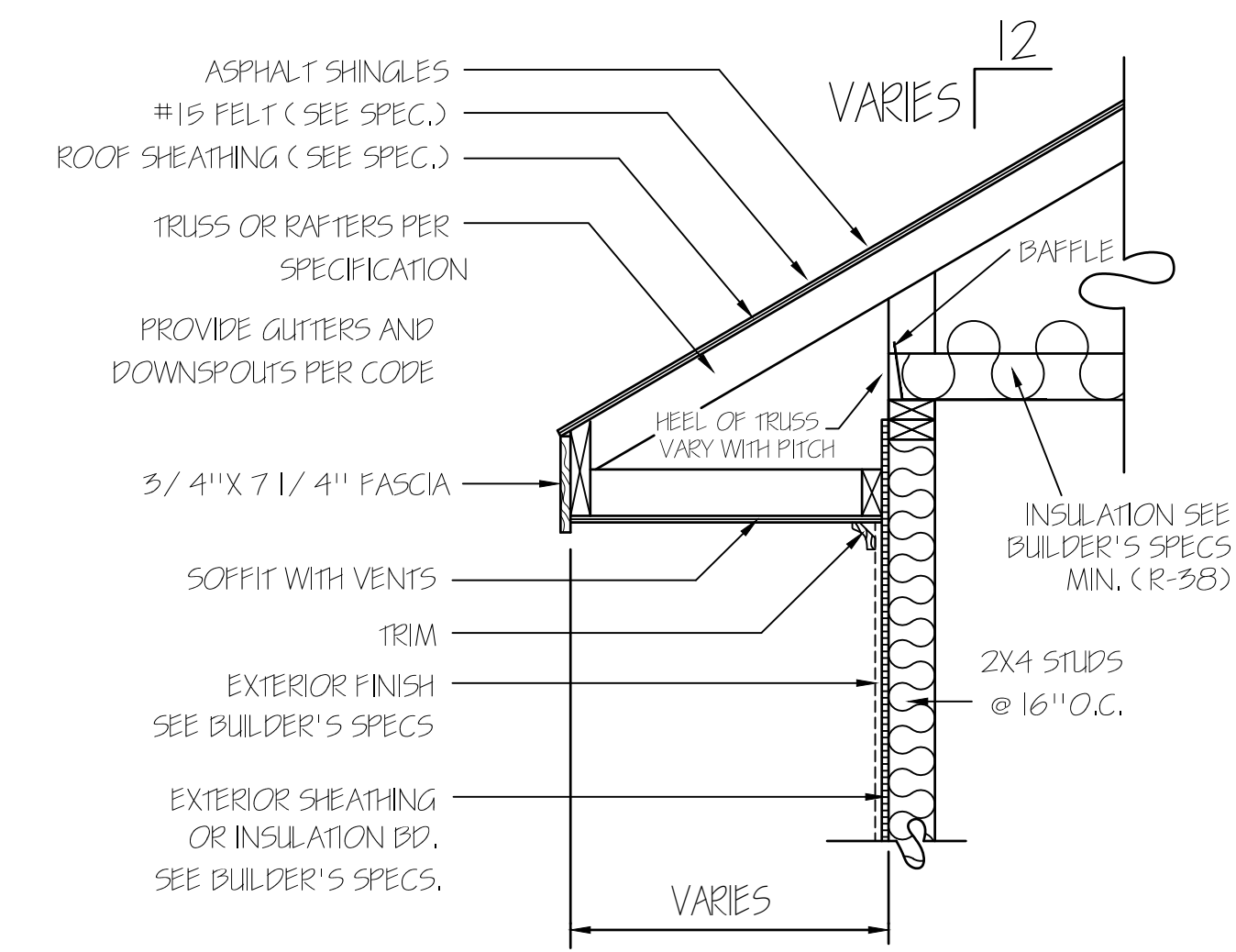
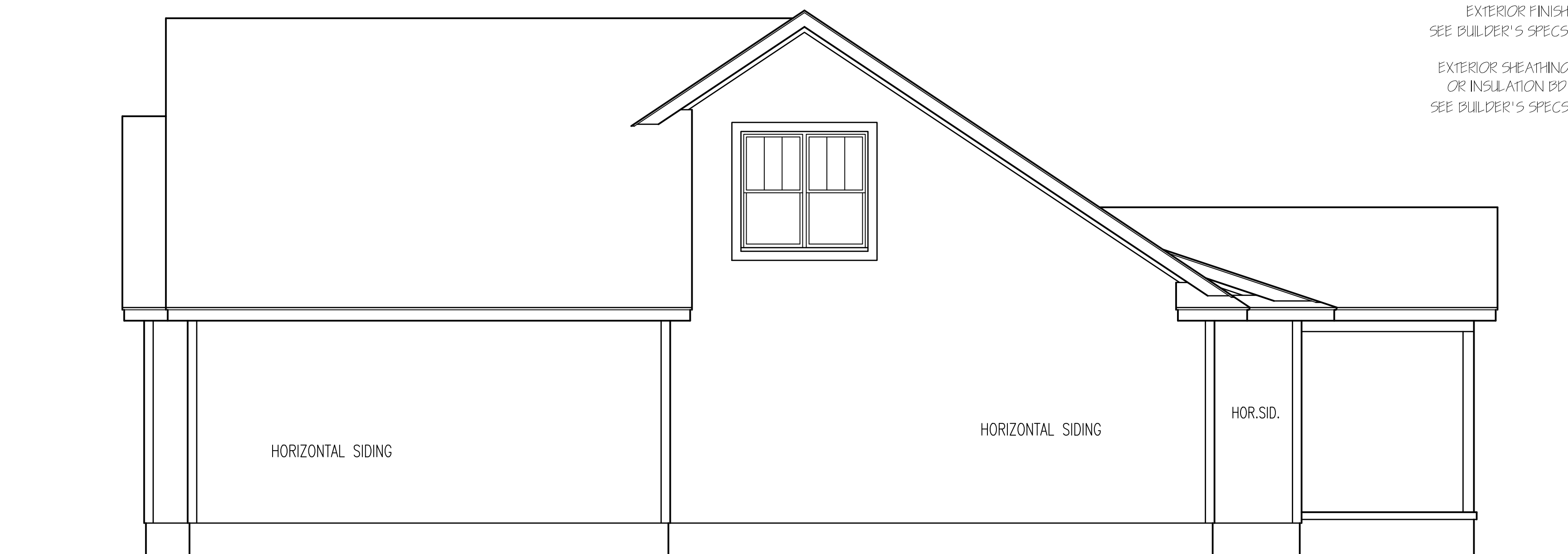


ATTIC VENTILATION CALCULATIONS			
ATTIC AREA	SQ.FT. (AREA VENTILATION REQUIRED)	SQ.FT. NET FREE AREA	SQ.FT.
EACH FT. BASE GABLE LOUVER @		SQ.FT. NET FREE AREA	
EACH FT. BASE GABLE LOUVER @		SQ.FT. NET FREE AREA	
EACH		SQ.FT. NET FREE AREA	
LN.FT. EAVE VENT @ 1 SQ.IN./FT.=		SQ.FT. NET FREE AREA	
LN.FT. RIDGE VENT @ 18 SQ.IN./FT.=		SQ.FT. NET FREE AREA	

FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RAKE DETAIL FOR GABLE ENDS



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

EXCLUSIVE RESIDENCE DESIGN FOR:
WATERMARK HOMES

TM DESIGNS
RESIDENTIAL PLANS BY TINA MCFADDEN
(910) 354-4736 TMDDESIGNS2016@GMAIL.COM

LOT: 97 SOUTH CREEK

NAME: SWEETSPIRE

© 2022 COPYRIGHT ALL RIGHTS RESERVED

TM DESIGNS WILL NOT BE LIABLE FOR ANY ERRORS NOT BROUGHT TO THEIR ATTENTION PRIOR TO THE START OF CONSTRUCTION. WHILE EVERY EFFORT WAS MADE IN THE PREPARATION OF THESE DRAWINGS AND DIMENSIONS TO AVOID ERRORS THE OWNER AND/OR BUILDER SHALL VERIFY ALL DIMENSIONS, DETAILS, LOCAL AND STATE CODES.

I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2018 INTERNATIONAL BUILDING CODES

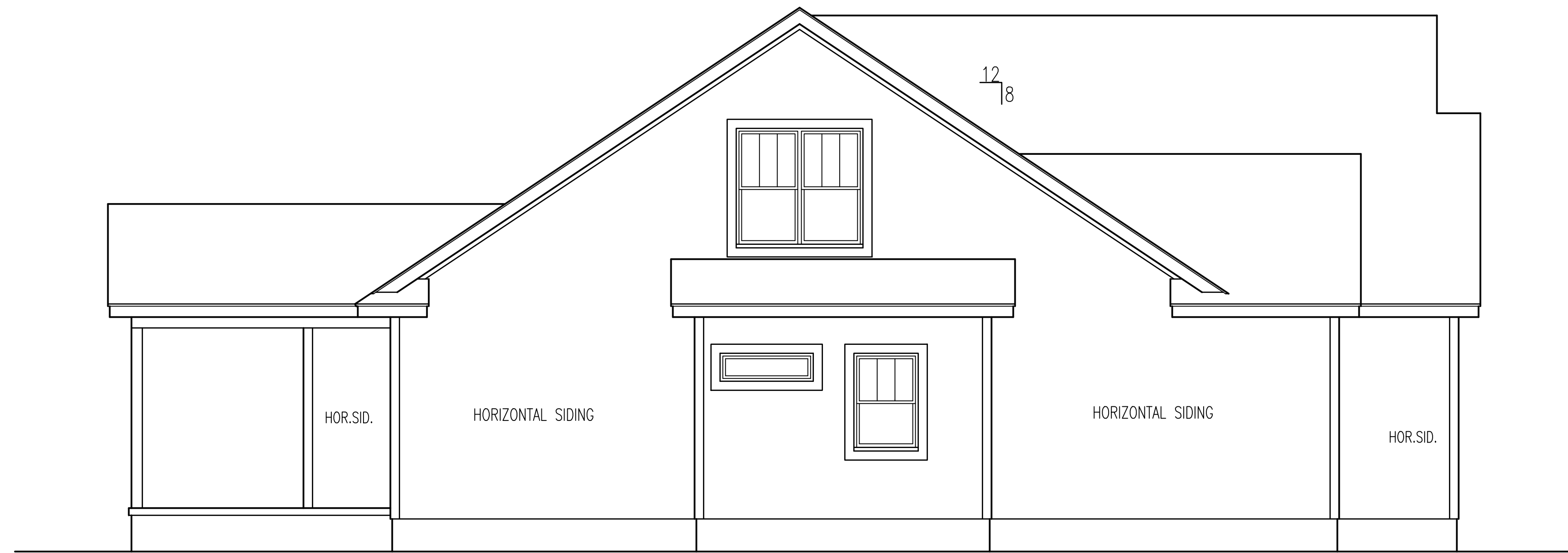
THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED

PLAN NUMBER
BG22-A07F

1 A	GARAGE	R	F
	DATE:	4/10/22	



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

T M DESIGNS

RESIDENTIAL PLANS BY TINA MCFADDEN
(910) 354-4736 TMDESIGNS2016@GMAIL.COM

EXCLUSIVE RESIDENCE DESIGN FOR:
WATERMARK HOMES

LOT: 97 SOUTH CREEK

NAME: SWEETSPIRE

© 2022 COPYRIGHT ALL RIGHTS RESERVED

T M DESIGNS WILL NOT BE LIABLE FOR ANY ERRORS NOT BROUGHT TO THEIR ATTENTION PRIOR TO THE START OF CONSTRUCTION. WHILE EVERY EFFORT WAS MADE IN THE PREPARATION OF THESE DRAWINGS AND DIMENSIONS TO AVOID ERRORS THE OWNER AND / OR BUILDER SHALL VERIFY ALL DIMENSIONS, DETAILS, LOCAL AND STATE CODES.

I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2018 INTERNATIONAL BUILDING CODES

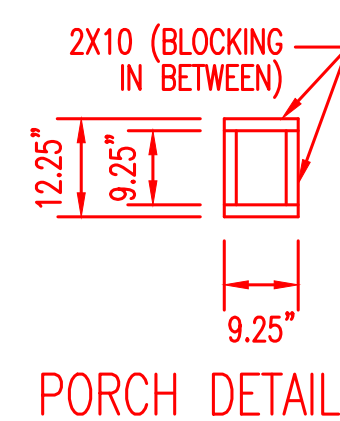
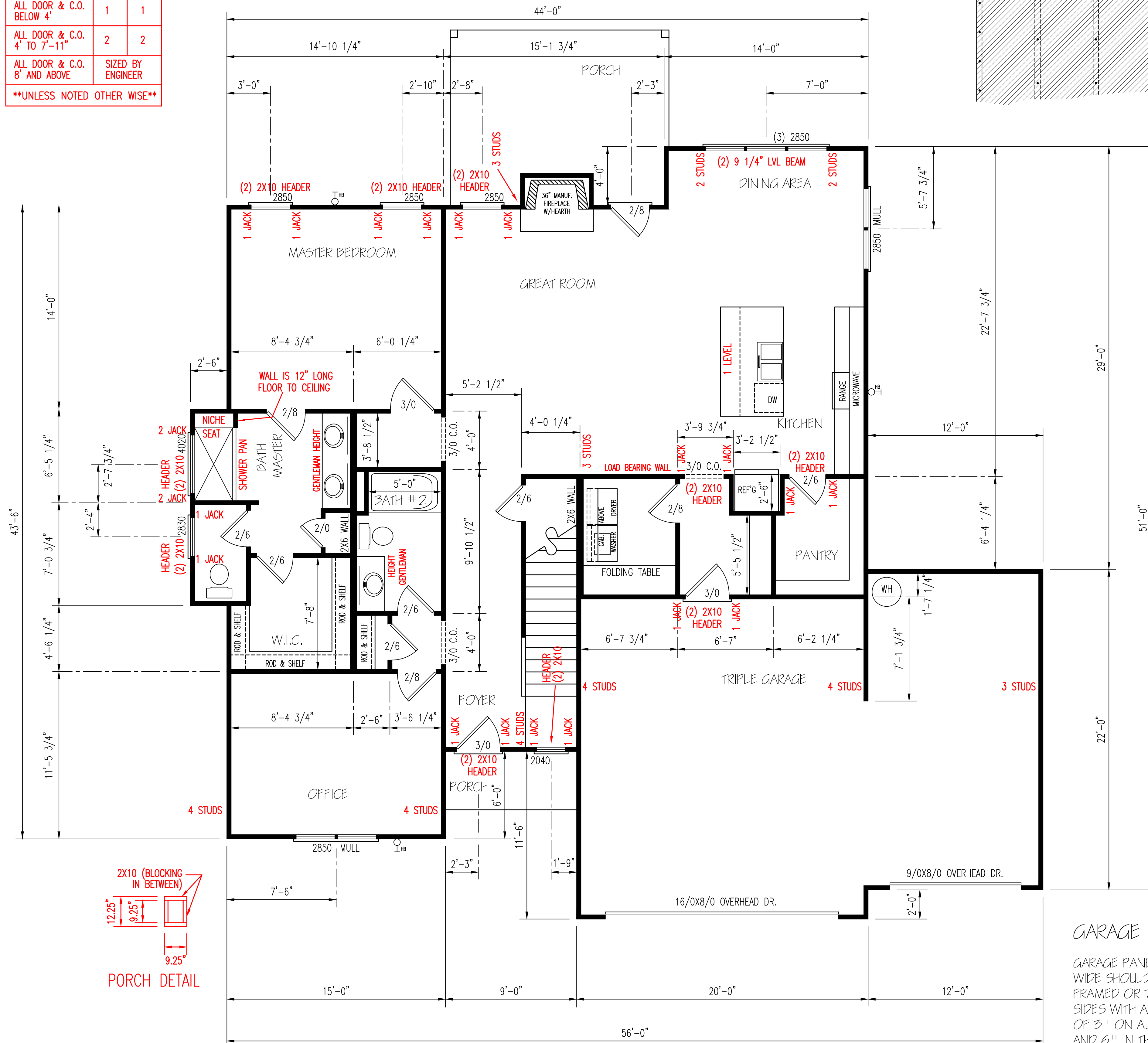
THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED

PLAN NUMBER
BG22-A07F

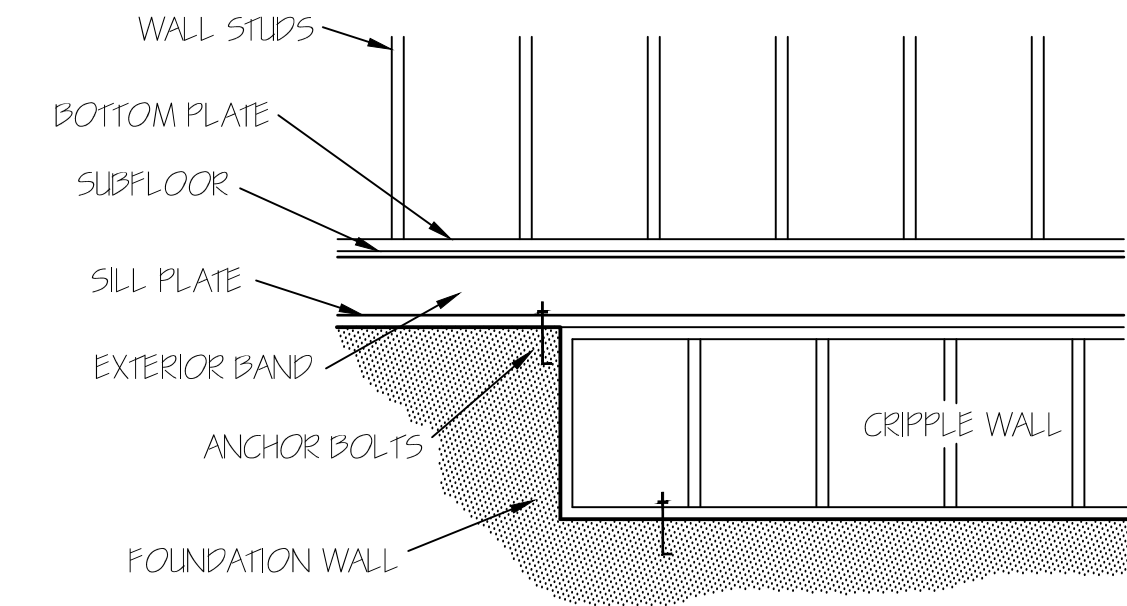
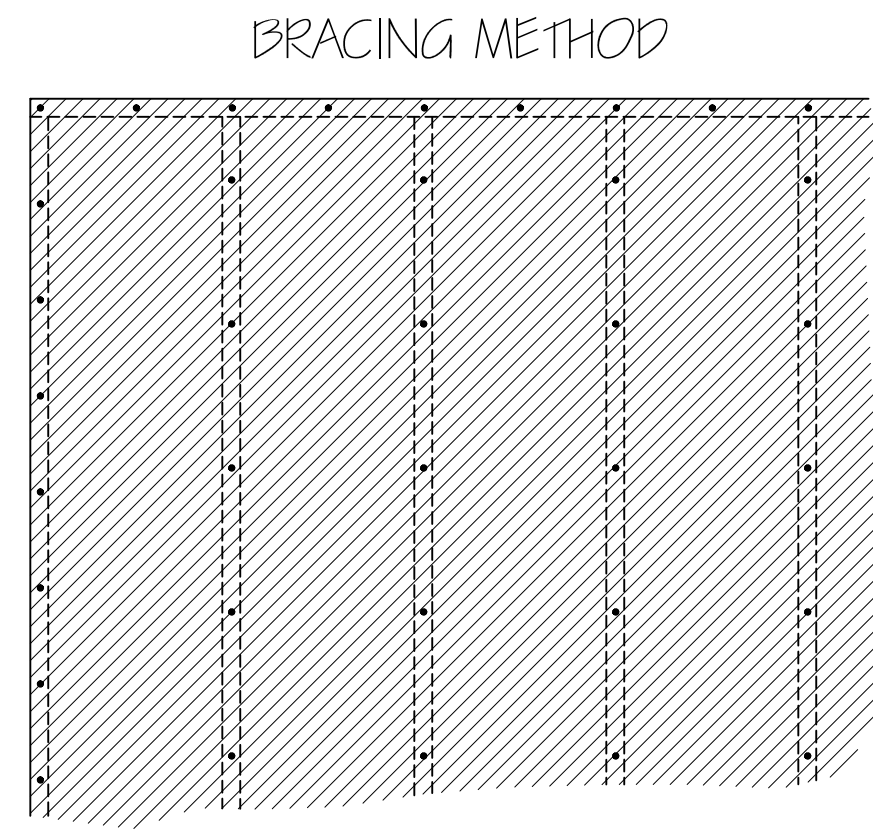
1 B	GARAGE	R	F
	DATE: 4/10/22		

EXTERIOR WALLS (2) 2X10 HEADERS		
CLEAR SPAN FOR HEADER	NUMBER OF STUDS	
	JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	

UNLESS NOTED OTHER WISE



EXTERIOR WALL TO BE FULLY SHEATHED WITH 7/16" OSB. NAILING PATTERN TO BE 8" ON ALL EDGES AND 12" IN FIELD, WITH 8d NAILS.



FOUNDATION CRIPPLE WALLS SHALL BE FRAMED OF STUDS NOT SMALLER THAN THE STUDS ABOVE. WHEN EXCEEDING 4 FT. IN HEIGHT, SUCH WALLS SHALL BE FRAMED OF STUDS HAVING THE SIZE REQUIRED FOR AN ADDITIONAL STORY. CRIPPLE WALLS WITH A STUD HEIGHT LESS THAN 14 INCHES SHALL BE CONTINUOUSLY SHEATHED ON ONE SIDE WITH WOOD STRUCTURAL PANELS FASTENED TO BOTH THE TOP AND BOTTOM PLATES IN ACCORDANCE WITH TABLE B602.5K1D. OR CRIPPLE WALLS SHALL BE CONSTRUCTED OF SOLID BLOCKING.

ENERGY TABLE
 UFACTOR OF WINDOWS .30
 CLIMATE ZONE 3
 INSULATION: WALLS 15
 CEILING 38
 FLOORS 19

NOTE:
 CEILINGS ARE 9'-0"
 UNLESS NOTED.
 SET WINDOWS @ 7'-4"
 UNLESS NOTED.

FIRST FLOOR PLAN

HEATED AREA

1ST FL	1624	SQ FT
2ND FL	629	SQ FT
TOTAL	2253	SQ FT

OTHER AREAS

GARAGE	724	SQ FT
F.PORCH	36	SQ FT
R.PORCH	179	SQ FT

GARAGE PANEL WALL

GARAGE PANEL WALLS UNDER 24" WIDE SHOULD BE EITHER PORTAL FRAMED OR 7/16" OSB ON BOTH SIDES WITH A NAILING PATTERN OF 3" ON ALL PANEL EDGES AND 6" IN THE FIELD.

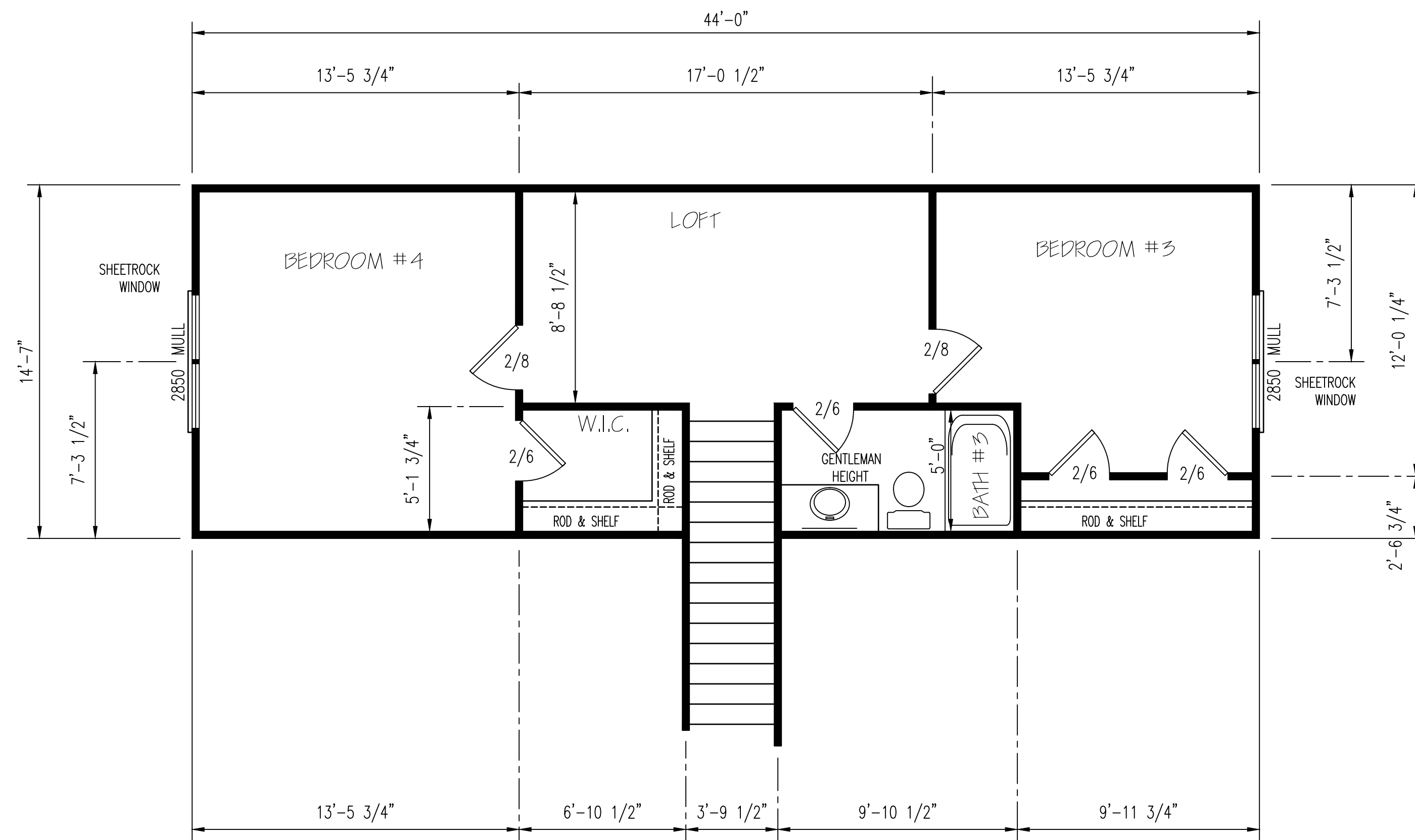
© 2022 COPYRIGHT ALL RIGHTS RESERVED

T M DESIGNS WILL NOT BE LIABLE FOR ANY ERRORS NOT BROUGHT TO THEIR ATTENTION PRIOR TO THE START OF CONSTRUCTION. WHILE EVERY EFFORT WAS MADE IN THE PREPARATION OF THESE DRAWINGS AND DIMENSIONS TO AVOID ERRORS THE OWNER AND/OR BUILDER SHALL VERIFY ALL DIMENSIONS, DETAILS, LOCAL AND STATE CODES.

I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2018 INTERNATIONAL BUILDING CODES

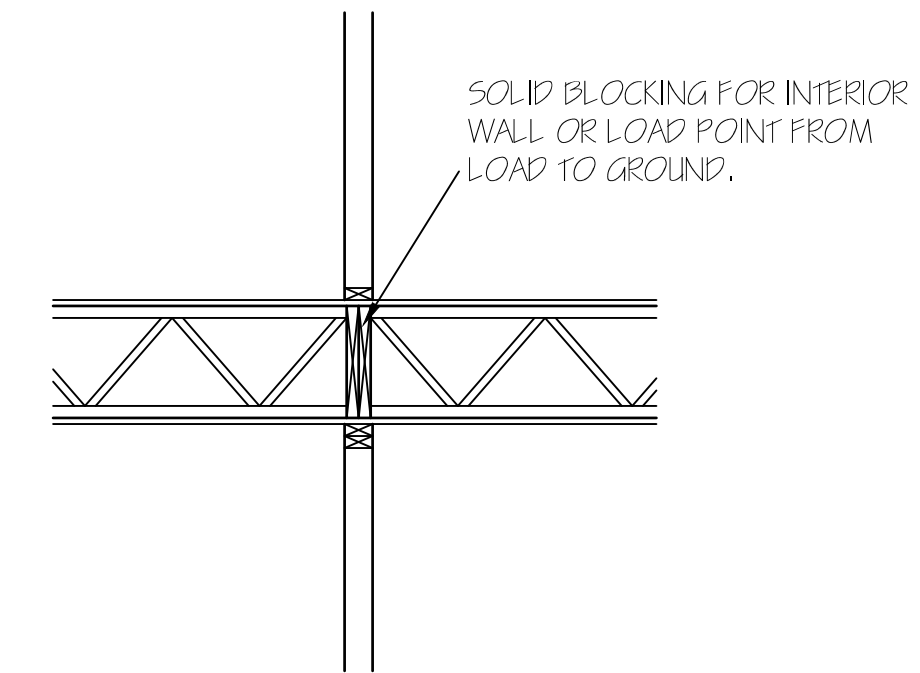
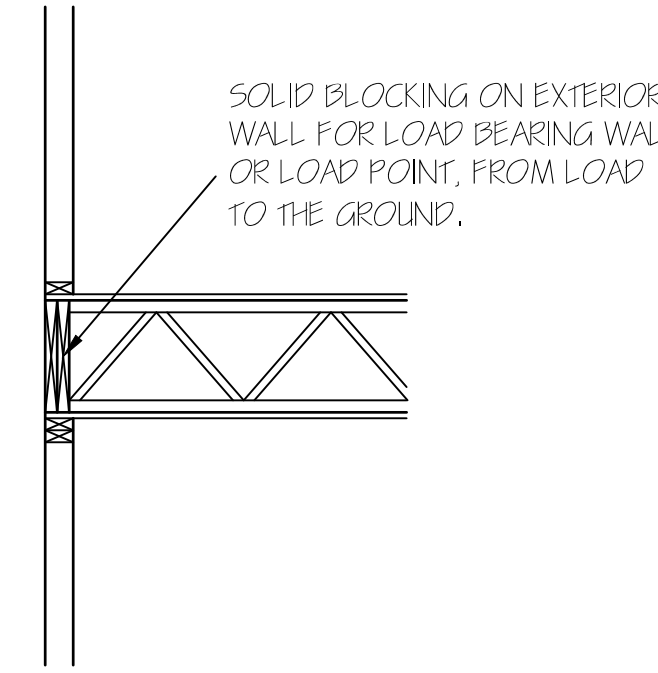
THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT. NOT TO BE REUSED

PLAN NUMBER
BG22-A07



EXTERIOR WALLS (2) 2X10 HEADERS		
CLEAR SPAN FOR HEADER	NUMBER OF STUDS	
	JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	
UNLESS NOTED OTHER WISE		

SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



EXCLUSIVE RESIDENCE DESIGN FOR:

WATERMARK HOMES

NAME: SWEETSPIRE

LOT: 97 SOUTH CREEK

© 2022 COPYRIGHT ALL RIGHTS RESERVED

TM DESIGNS WILL NOT BE LIABLE FOR ANY ERRORS NOT BROUGHT TO THEIR ATTENTION PRIOR TO THE START OF CONSTRUCTION, WHILE EVERY EFFORT WAS MADE IN THE PREPARATION OF THESE DRAWINGS AND DIMENSIONS TO AVOID ERRORS THE OWNER AND/OR BUILDER SHALL VERIFY ALL DIMENSIONS, DETAILS, LOCAL AND STATE CODES.

I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2018 INTERNATIONAL BUILDING CODES

THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED

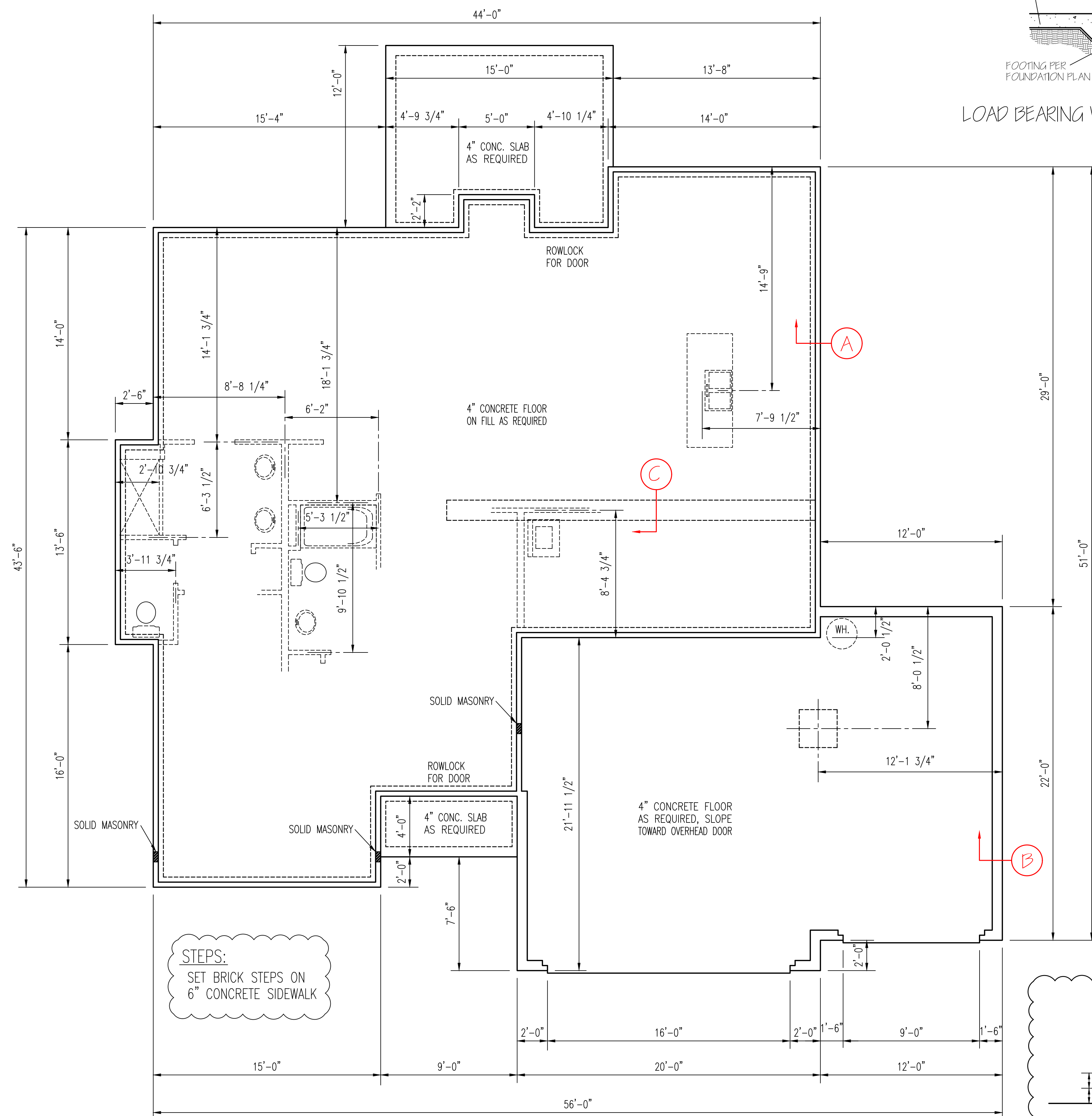
PLAN NUMBER
BG22-A07

2 B	GARAGE	R	F
	DATE:	4/10/22	

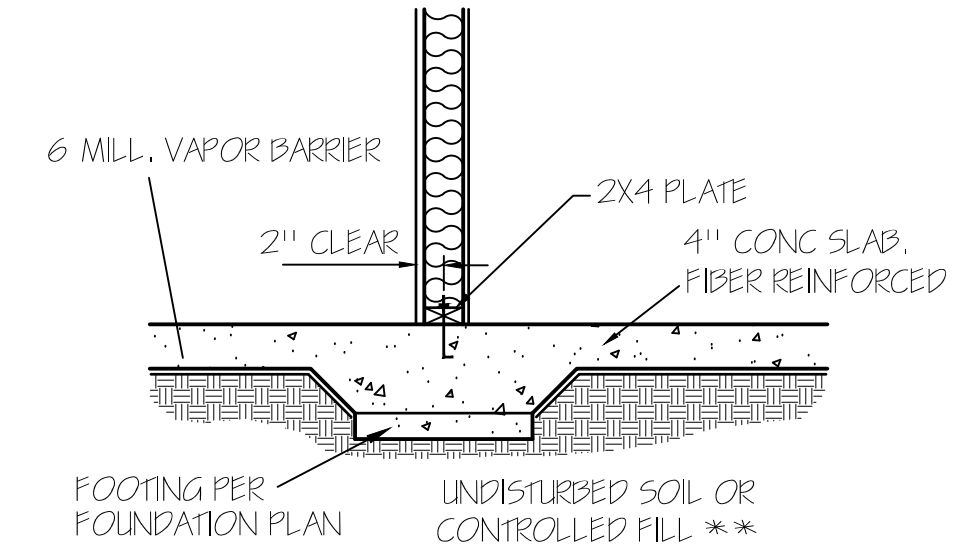
TM DESIGNS
RESIDENTIAL PLANS BY TINA MCFADDEN
(910) 354-4736 TMDDESIGNS2016@GMAIL.COM

WALL ANCHOR OPTIONS

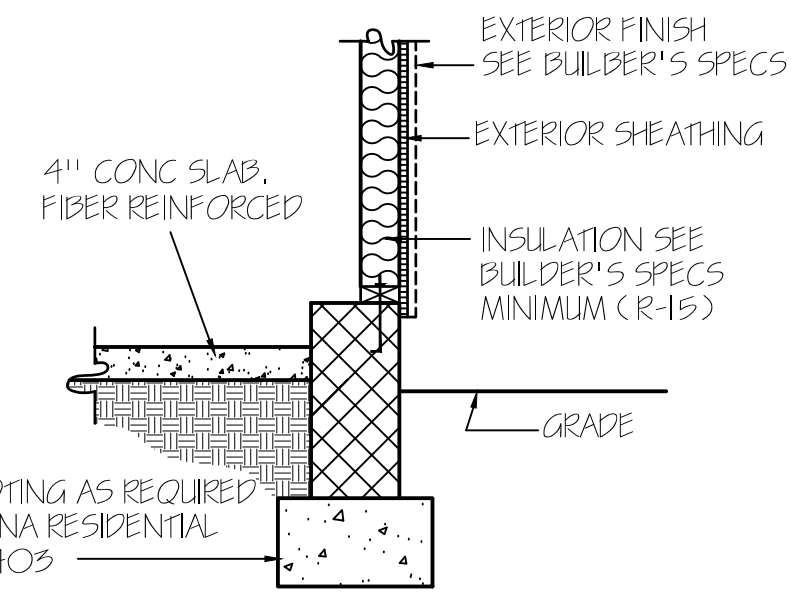
USE ANCHOR BOLTS
 ANCHOR BOLTS: 1/2" DIA. BOLTS AT 6'-0" O.C.
 AND NOT MORE THAN 12" FROM CORNERS, EMBEDDED
 MIN. 7" INTO FOUNDATION. USE A MIN. OF 2 BOLTS
 PER EACH STUD WALL



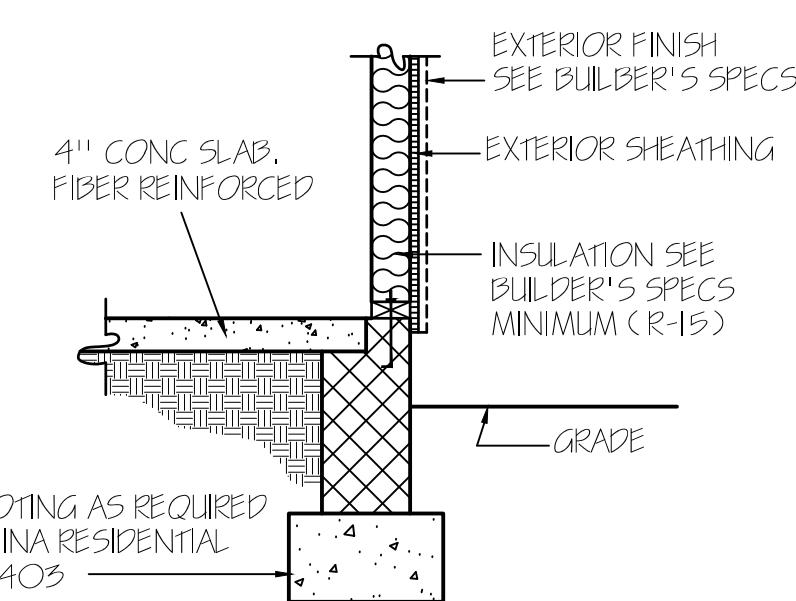
STEPS:
 SET BRICK STEPS ON
 6" CONCRETE SIDEWALK



LOAD BEARING WALL THICKENED SLAB — (C)



GARAGE WALL — (B)

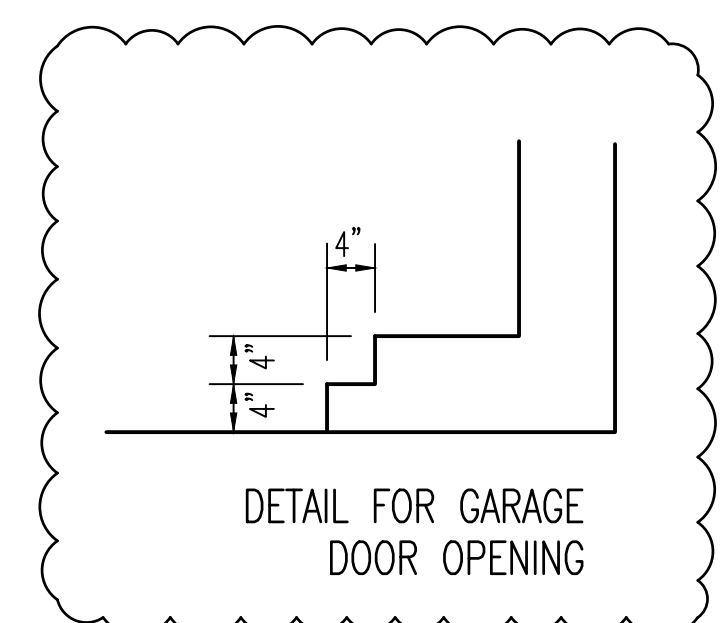


CONCRETE SLAB FLOOR — (A)

ALL FOUNDATION WALLS HAVE
 A 16" X 8" FOOTING UNLESS
 NOTED OTHERWISE.

NOTE:
 FOUNDATION DETAILS SHOWN ARE BASED ON
 ASSUMED SOIL BEARING CAPACITY OF
 2000 PSF. LOCAL SITE CONDITIONS MUST BE
 INVESTIGATED. ALL FOOTING TO BE LOCATED
 BELOW FROST DEPTH.

FOUNDATION PLAN
 SCALE: 1/4"=1'-0"



TM DESIGNS
 RESIDENTIAL PLANS BY TINA MCFADDEN
 (910) 354-4736 TMDDESIGNS2016@GMAIL.COM

WATERMARK HOMES
 EXCLUSIVE RESIDENCE DESIGN FOR:

NAME: SWEETSPIRE
 LOT: 97 SOUTH CREEK

© 2022 COPYRIGHT ALL RIGHTS RESERVED
 TM DESIGNS WILL NOT BE LIABLE FOR ANY ERRORS NOT BROUGHT TO THEIR ATTENTION PRIOR TO THE START OF CONSTRUCTION. WHILE EVERY EFFORT WAS MADE IN THE PREPARATION OF THESE DRAWINGS AND DIMENSIONS TO AVOID ERRORS THE OWNER AND/OR BUILDER SHALL VERIFY ALL DIMENSIONS, DETAILS, LOCAL AND STATE CODES.
 I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2018 INTERNATIONAL BUILDING CODES.
 THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT. NOT TO BE REUSED.

PLAN NUMBER
BG22-A07

3	GARAGE	R	F
	DATE:	4/10/22	



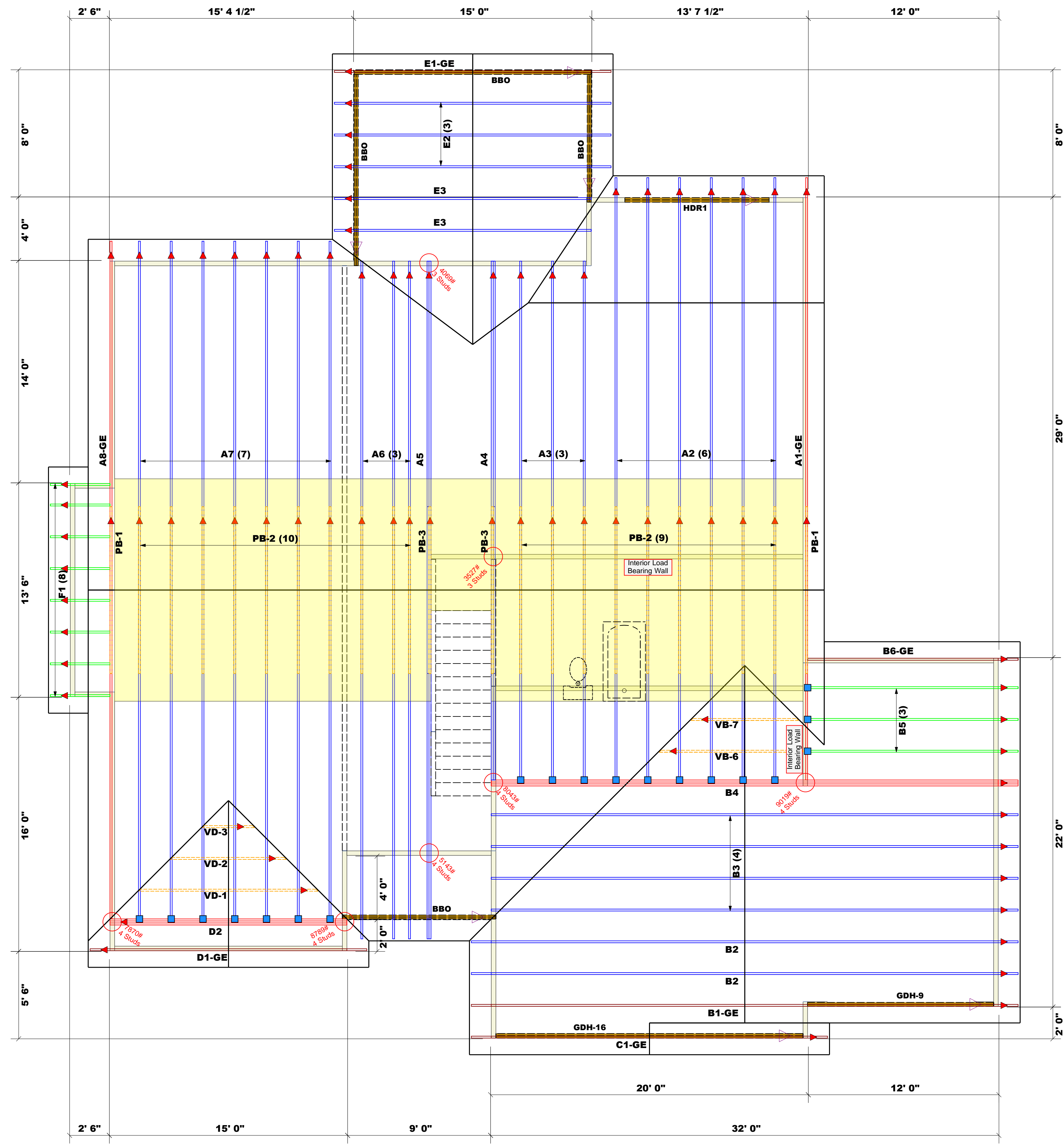
ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park
Fayetteville, N.C. 28309
Phone: (910) 864-8787
Fax: (910) 864-4444

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY.
These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. The individual design sheets for each truss design identified on the drawing are the responsibility of the building designer. The building designer is responsible for the design of the steel support structure including headers, beams, walls, and columns. It is the responsibility of the building designer to provide the necessary information to the truss designer. For general guidance regarding trussing, consult ICC-ES ECR-101 and ICC-ES ECR-102 provided with the truss delivery package or contact the truss designer.

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 1500#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 1500#.

Signature
Anthony Williams



Connector Information				Nail Information	
Sym	Product	Manuf	Qty	Supported Member	Header / Truss
■	HUS26	USP	19	Varies	16d/3-1/2" / 16d/3-1/2"

- Plumbing Drop Notes**
1. Plumbing drop locations shown are NOT exact.
 2. Contractor to verify ALL plumbing drop locations prior to setting Floor Trusses.
 3. Adjust spacing as needed not to exceed 24"oc.

- Dimension Notes**
1. All exterior wall to wall dimensions are to face of sheathing unless noted otherwise.
 2. All interior wall dimensions are to face of frame wall unless noted otherwise.
 3. All exterior wall to truss dimensions are to face of frame wall unless noted otherwise.

Roof Area = 3356.1 sq.ft.
Ridge Line = 99.63 ft.
Hip Line = 0 ft.
Horiz. OH = 128.34 ft.
Raked OH = 224.95 ft.
Decking = 115 sheets

All Walls Shown Are Considered Load Bearing

▲ = Indicates Left End of Truss
(Reference Engineered Truss Drawing)
Do Not Erect Trusses Backwards

Beam Schedule

PlotID	Length	Product	Plies	Net Qty	Fab Type
HDR1	10' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2	FF
GDH-16	20' 0"	1-3/4"x 11-7/8" LVL Kerto-S	2	2	FF
GDH-9	12' 0"	2x12 SP No.2	2	2	FF

16 11 10 9

Truss Placement Plan
SCALE: 1/4" = 1'-0"

COUNTY	Hammett County
ADDRESS	Lot 97 South Creek / Lillington, NC
MODEL	Roof
DATE REV.	4/4/23
DRAWN BY	Anthony Williams
SALESMAN	Anthony Williams

BUILDER	Watermark Homes
JOB NAME	Lot 97 South Creek
PLAN	Sweet'spire
SEAL DATE	Plan Date: 4/10/22
QUOTE #	NA
JOB #	J0423-1503

LOAD CHART FOR JACK STUDS

BASED ON TABLES 802.2.1 & 802.2.2

END REACTION (KIP)	REQ'D JACK STUWS FOR (1) BY BEAM	END REACTION (KIP)	REQ'D JACK STUWS FOR (1) BY BEAM
1700	1	2550	1
3400	2	5100	2
5100	3	7650	3
6800	4	10200	4
8500	5	12750	5
10200	6	15300	6
11900	7		
13600	8		
15300	9		