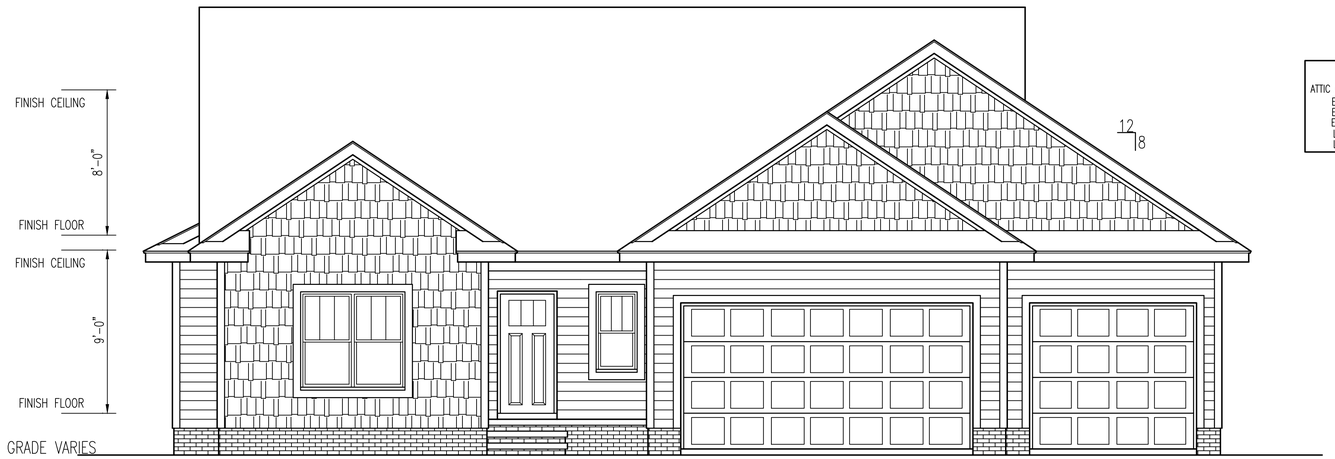


FRONT ELEVATION

SCALE:1/4"=1'-0"

ATTIC VENTILATION CALCULATIONS

ATTIC AREA 1 SQ.FT.(AREA VENTILATION REQUIRED 1/300 SQ.FT.)

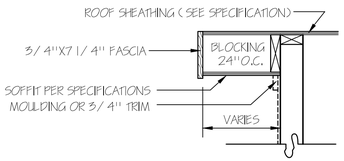
EACH FT. BASE GABLE LOUVER @ SQ.FT. NET FREE AREA

EACH FT. BASE GABLE LOUVER @ SQ.FT. NET FREE AREA

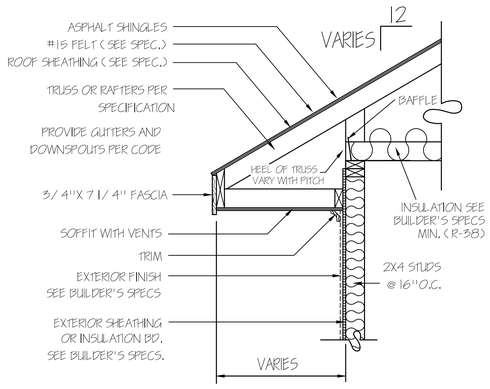
EACH LOUVER @ SQ.FT. NET FREE AREA

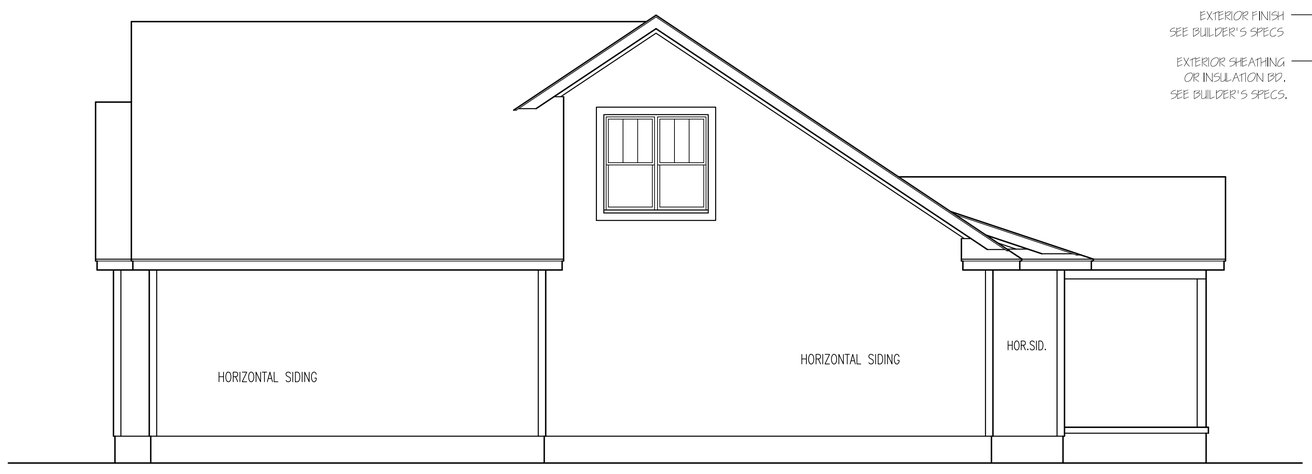
LIN.FT. EAVE VENT @ 11 SQ.IN./FT.= SQ.FT.NET FREE AREA

LIN.FT. RIDGE VENT @ 18 SQ.IN./FT.= SQ.FT.NET FREE AREA



RAKE DETAIL FOR GABLE ENDS





RIGHT ELEVATION

SCALE:1/4"=1'-0"

NOTICE TO CONTRACTOR
All construction must comply with current NC Building Codes and is subject to field inspection and verification.

APPROVED
Limited building only review
Permit holder responsible for full compliance with the code

04/17/2023

Harnett COUNTY NORTH CAROLINA

TM DESIGNS
RESIDENTIAL PLANS BY TINA MCFADDEN
(910) 354-4736 TMDESIGNS2016@GMAIL.COM

EXCLUSIVE RESIDENCE DESIGN FOR:
WATERMARK HOMES
LOT: 97 SOUTH CREEK
NAME: SWEETSPIRE

TM DESIGNS WILL NOT BE LIABLE FOR ANY ERRORS NOT BROUGHT TO THEIR ATTENTION PRIOR TO THE START OF CONSTRUCTION. WHILE EVERY EFFORT WAS MADE IN THE PREPARATION OF THESE DRAWINGS AND DIMENSIONS TO AVOID ERRORS THE OWNER AND / OR BUILDER SHALL VERIFY ALL DIMENSIONS, DETAILS, LOCAL AND STATE CODES.

I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2018 INTERNATIONAL BUILDING CODES

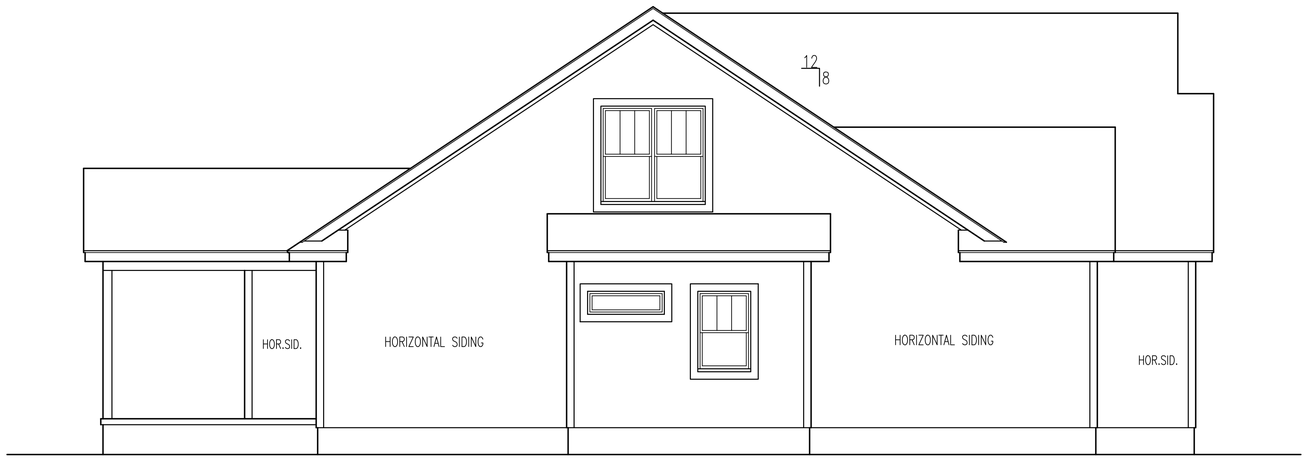
THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE RELEED

PLAN NUMBER
BG22-A07F

1A | GARAGE | R | F
DATE: 4/10/22

REAR ELEVATION

SCALE:1/4"=1'-0"



LEFT ELEVATION

SCALE:1/4"=1'-0"

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WATERMARK HOMES

LOT: 97 SOUTH CREEK

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PLAN NUMBER

BG22-A07F

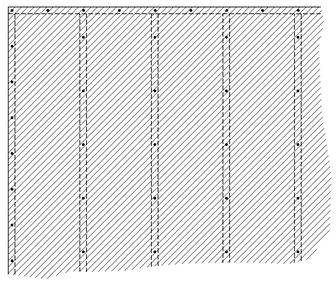
1B | GARAGE R F

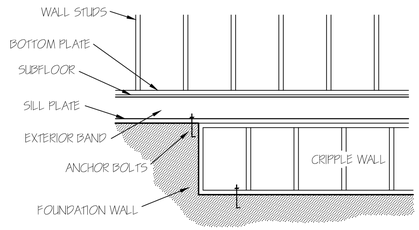
DATE: 4/10/22

EXERIOR WALLS (2) 2X10 HEADERS		
CLEAR SPAN FOR HEADER	NUMBER OF STUDS JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	
UNLESS NOTED OTHER WISE		

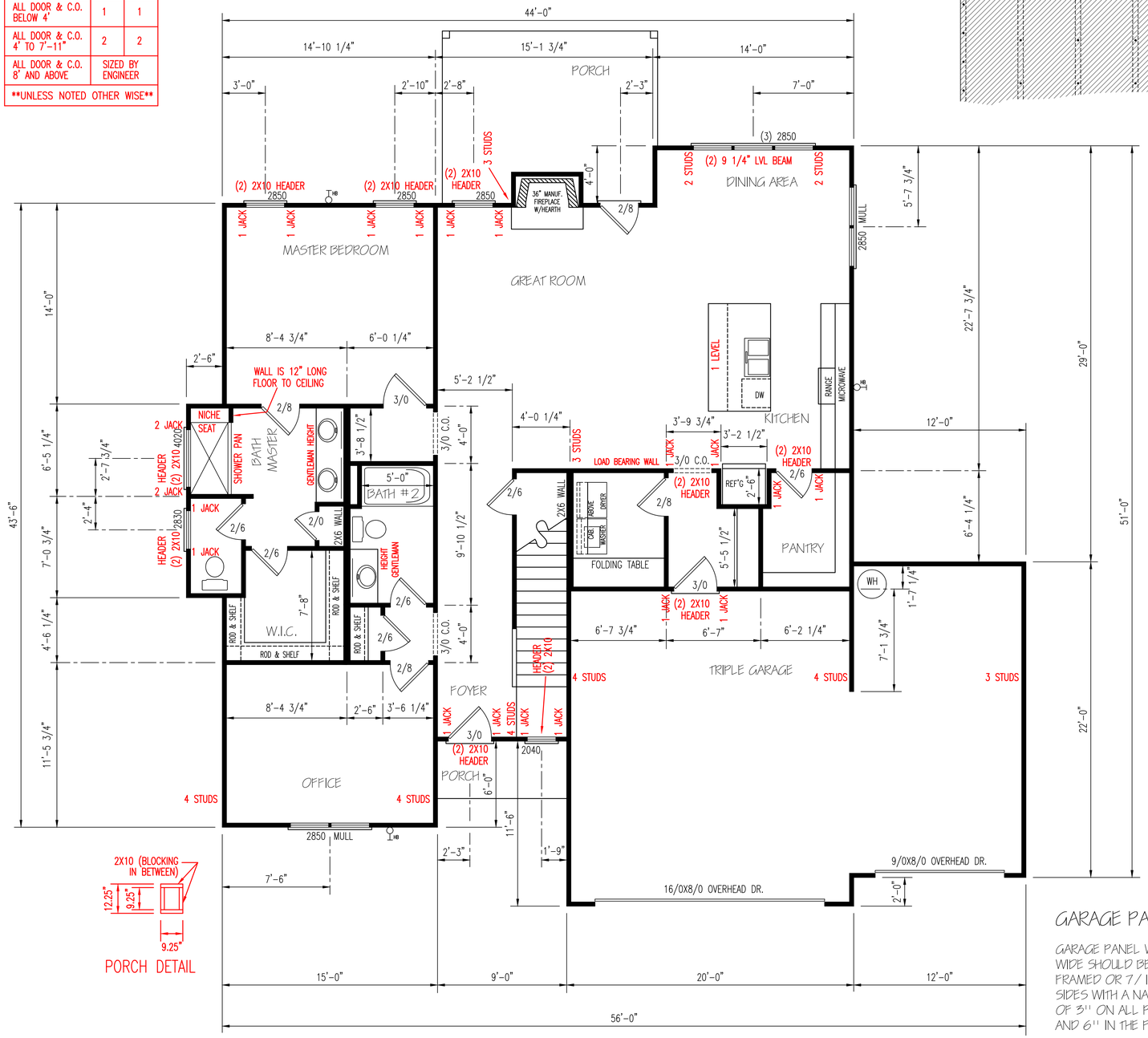
EXTERIOR WALL TO BE FULLY SHEATHED WITH 7/16" OSB. NAILING PATTERN TO BE 8" ON ALL EDGES AND 12" IN FIELD, WITH 8d NAILS.

BRACING METHOD





FOUNDATION CRIPPLE WALLS SHALL BE FRAMED OF STUDS NOT SMALLER THAN THE STUDDING ABOVE. WHEN EXCEEDING 4 FT. IN HEIGHT, SUCH WALLS SHALL BE FRAMED OF STUDS HAVING THE SIZE REQUIRED FOR AN ADDITIONAL STORY.
CRIPPLE WALLS WITH A STUD HEIGHT LESS THAN 14 INCHES SHALL BE CONTINUOUSLY SHEATHED ON ONE SIDE WITH WOOD STRUCTURAL PANELS FASTENED TO BOTH THE TOP AND BOTTOM PLATES IN ACCORDANCE WITH TABLE R602.3(3), OR CRIPPLE WALLS SHALL BE CONSTRUCTED OF SOLID BLOCKING.



NOTE:
CEILINGS ARE 9'-0" UNLESS NOTED.
SET WINDOWS @ 7'-4" UNLESS NOTED.

ENERGY TABLE
U-FACTOR OF WINDOWS .30
CLIMATE ZONE 3
INSULATION: WALLS 15
CEILING 38
FLOORS 19

PORCH DETAIL

GARAGE PANEL WALL

GARAGE PANEL WALLS UNDER 24" WIDE SHOULD BE EITHER PORTAL FRAMED OR 7/16" OSB ON BOTH SIDES WITH A NAILING PATTERN OF 3" ON ALL PANEL EDGES AND 6" IN THE FIELD.

FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

HEATED AREA
1ST FL 1624 SQ FT
2ND FL 629 SQ FT
TOTAL 2253 SQ FT

OTHER AREAS
GARAGE 724 SQ FT
F.PORCH 36 SQ FT
R.PORCH 179 SQ FT

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WATERMARK HOMES
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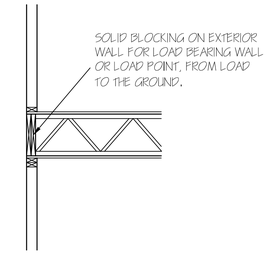
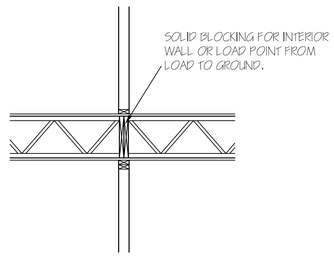
THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE RELISED

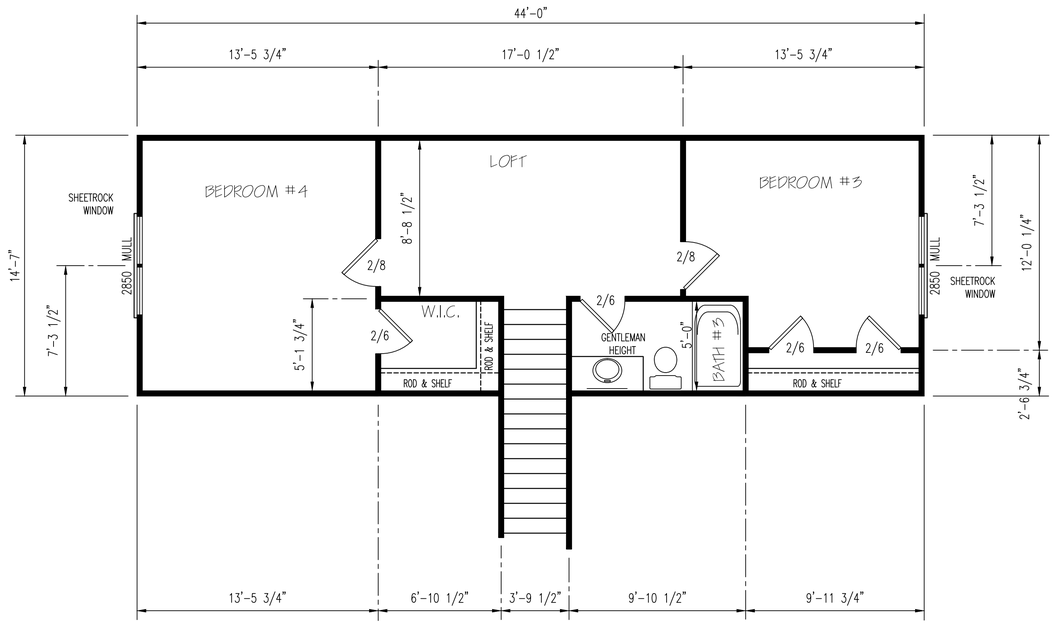
PLAN NUMBER
BG22-A07

2 A | GARAGE | R | F
DATE: 4/10/22





EXERIOR WALLS (2) 2X10 HEADERS		
CLEAR SPAN FOR HEADER	NUMBER OF STUDS JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	
UNLESS NOTED OTHER WISE		



SECOND FLOOR PLAN

SCALE:1/ 4"=1'-0"

TM DESIGNS

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WATERMARK HOMES

LOT: 97 SOUTH CREEK

NAME: SWEETSPIRE

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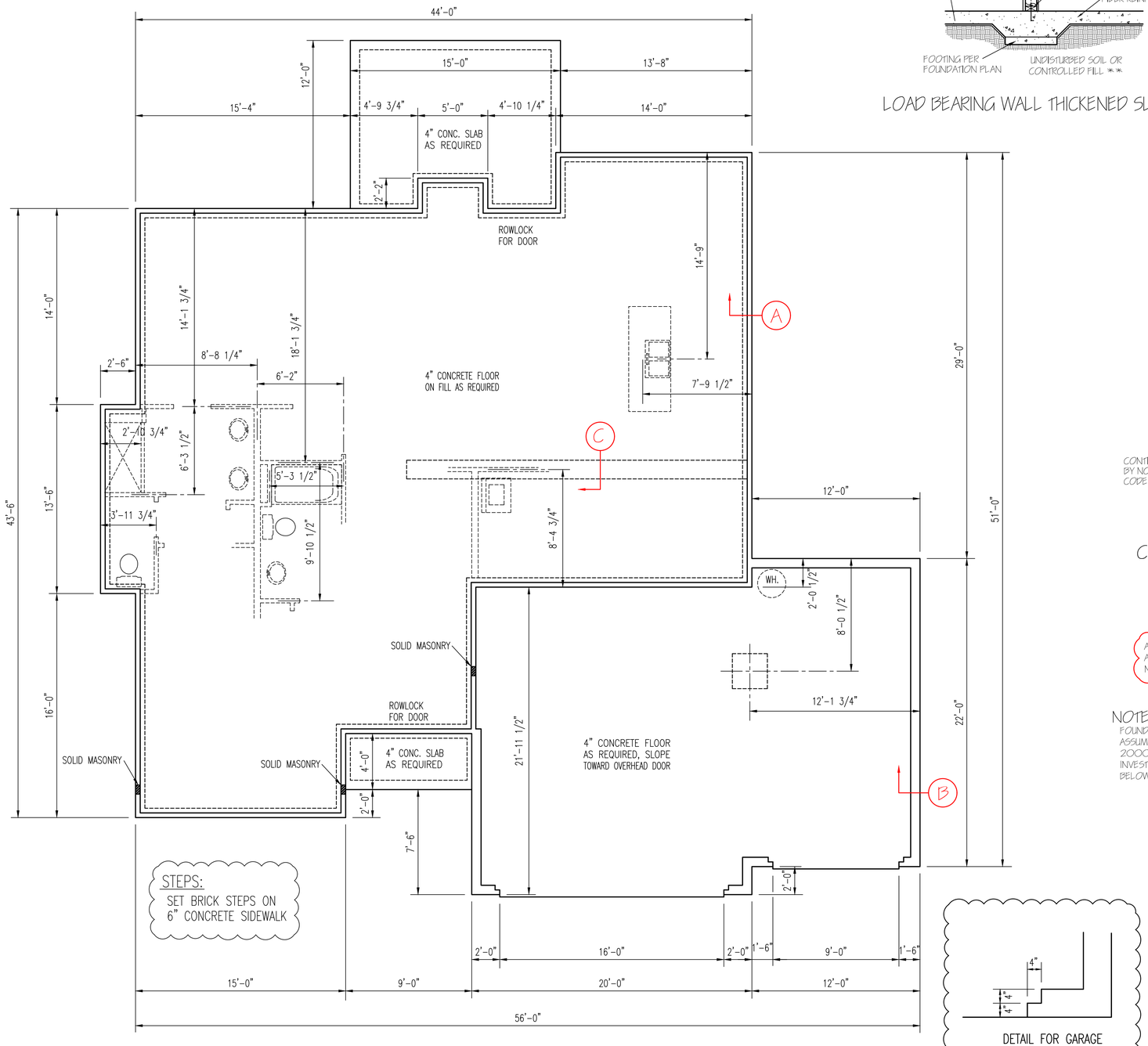
PLAN NUMBER
BG22-A07

2 B | GARAGE | R | F

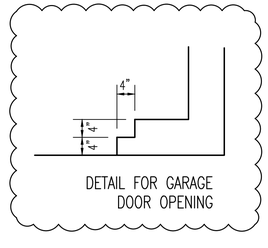
DATE: 4/10/22

WALL ANCHOR OPTIONS

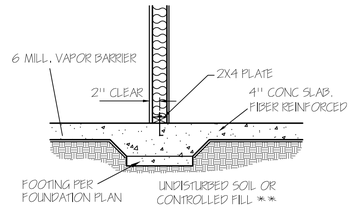
USE ANCHOR BOLTS
ANCHOR BOLTS: 1/ 2'' DIA. BOLTS AT 6'-0'' O.C.
AND NOT MORE THAT 12'' FROM CORNERS, EMBEDDED
MIN. 7'' INTO FOUNDATION. USE A MIN. OF 2 BOLTS
PER EACH STUD WALL



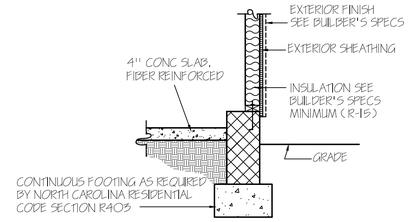
STEPS:
SET BRICK STEPS ON
6" CONCRETE SIDEWALK



DETAIL FOR GARAGE DOOR OPENING

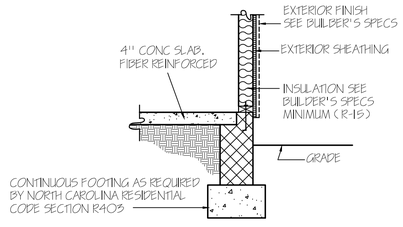


LOAD BEARING WALL THICKENED SLAB — C



NOTE:
PERIMETER INSUL. MAY EXTEND HORIZ. UNDER SLAB 24'' OR VERTICAL 24'' BELOW SLAB FLOOR

GARAGE WALL — B



NOTE:
PERIMETER INSUL. MAY EXTEND HORIZ. UNDER SLAB 24'' OR VERTICAL 24'' BELOW SLAB FLOOR

CONCRETE SLAB FLOOR — A

ALL FOUNDATION WALLS HAVE A 16'' X 8'' FOOTING UNLESS NOTED OTHERWISE.

NOTE:
FOUNDATION DETAILS SHOWN ARE BASED ON ASSUMED SOIL BEARING CAPACITY OF 2000 PSF. LOCAL SITE CONDITIONS MUST BE INVESTIGATED. ALL FOOTING TO BE LOCATED BELOW FROST DEPTH.

FOUNDATION PLAN

SCALE:1/4"=1'-0"

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WATERMARK HOMES
LOT: 97 SOUTH CREEK
NAME: SWEETSPIRE

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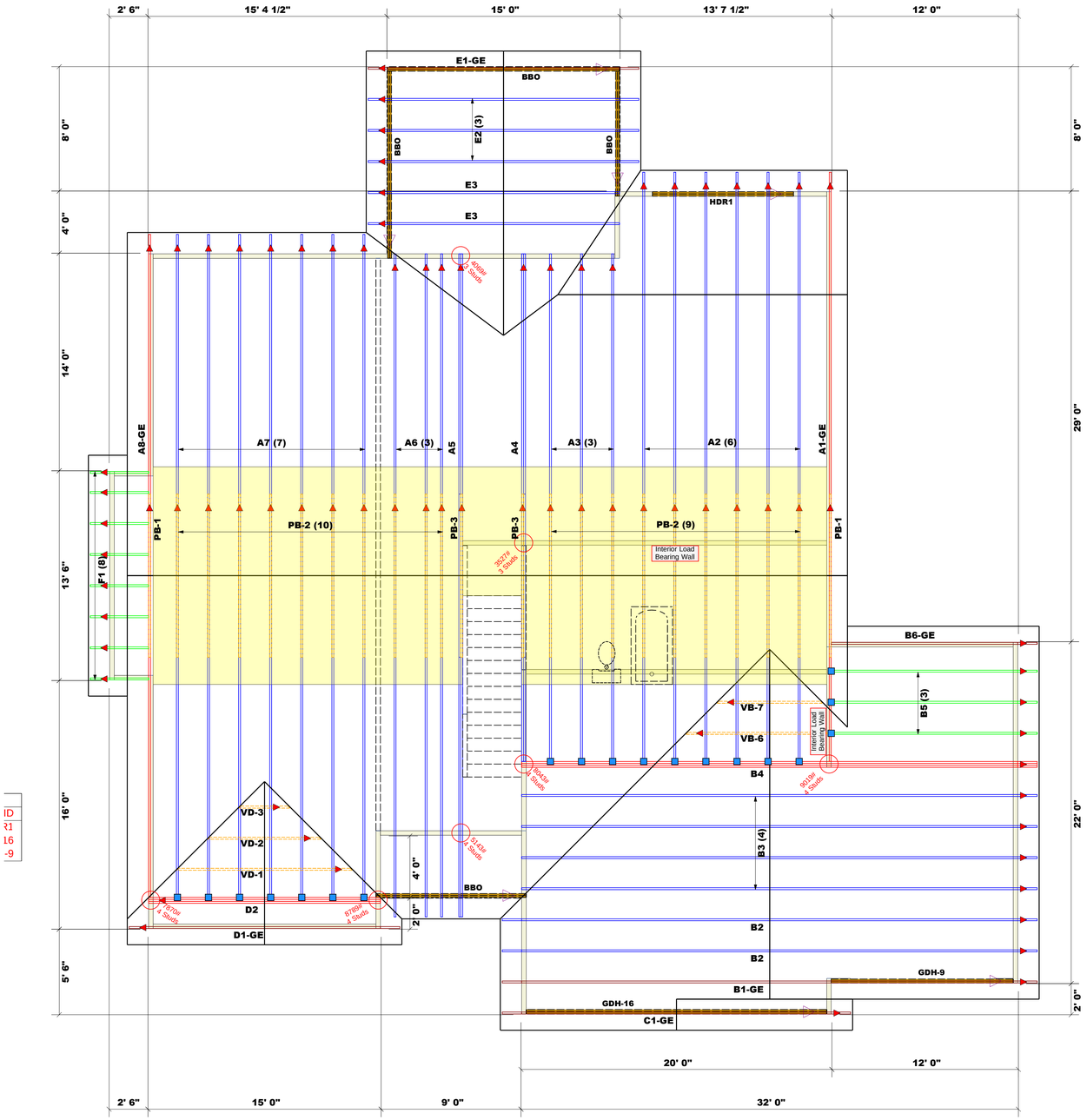
PLAN NUMBER
BG22-A07

3 | GARAGE | R | F
DATE: 4/10/22



Truss Placement Plan
SCALE: 1/4" = 1'-0"

Connector Information					Nail Information	
Sym	Product	Manuf	Qty	Supported Member	Header	Truss
	HUS26	USP	19	Varies	16d/3-1/2"	16d/3-1/2"

Plumbing Drop Notes
1. Plumbing drop locations shown are NOT exact. 2. Contractor to verify ALL plumbing drop locations prior to setting Floor Trusses. 3. Adjust spacing as needed not to exceed 24"oc.

Dimension Notes
1. All exterior wall to wall dimensions are to face of sheathing unless noted otherwise 2. All interior wall dimensions are to face of frame wall unless noted otherwise 3. All exterior wall to truss dimensions are to face of frame wall unless noted otherwise

Roof Area = 3356.1 sq.ft.
Ridge Line = 99.63 ft.
Hip Line = 0 ft.
Horiz. OH = 128.34 ft.
Raked OH = 224.95 ft.
Decking = 115 sheets

All Walls Shown Are Considered Load Bearing

▲ = Indicates Left End of Truss
(Reference Engineered Truss Drawing)
Do Not Erect Trusses Backwards

Beam Schedule					
PlotID	Length	Product	Plies	Net Qty	Fab Type
HDR1	10' 0"	1-3/4"x 9-1/4" LVL Kerto-S	2	2	FF
GDH-16	20' 0"	1-3/4"x 11-7/8" LVL Kerto-S	2	2	FF
GDH-9	12' 0"	2x12 SP No.2	2	2	FF

comTech
ROOF & FLOOR TRUSSES & BEAMS
Reilly Road Industrial Park
Fayetteville, N.C. 28309
Phone: (910) 864-8787
Fax: (910) 864-4444

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design drawings for the building component to truss placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSI-B1 and BCSI-B3 produced by the truss delivery package or online @ sbcindustry.com

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

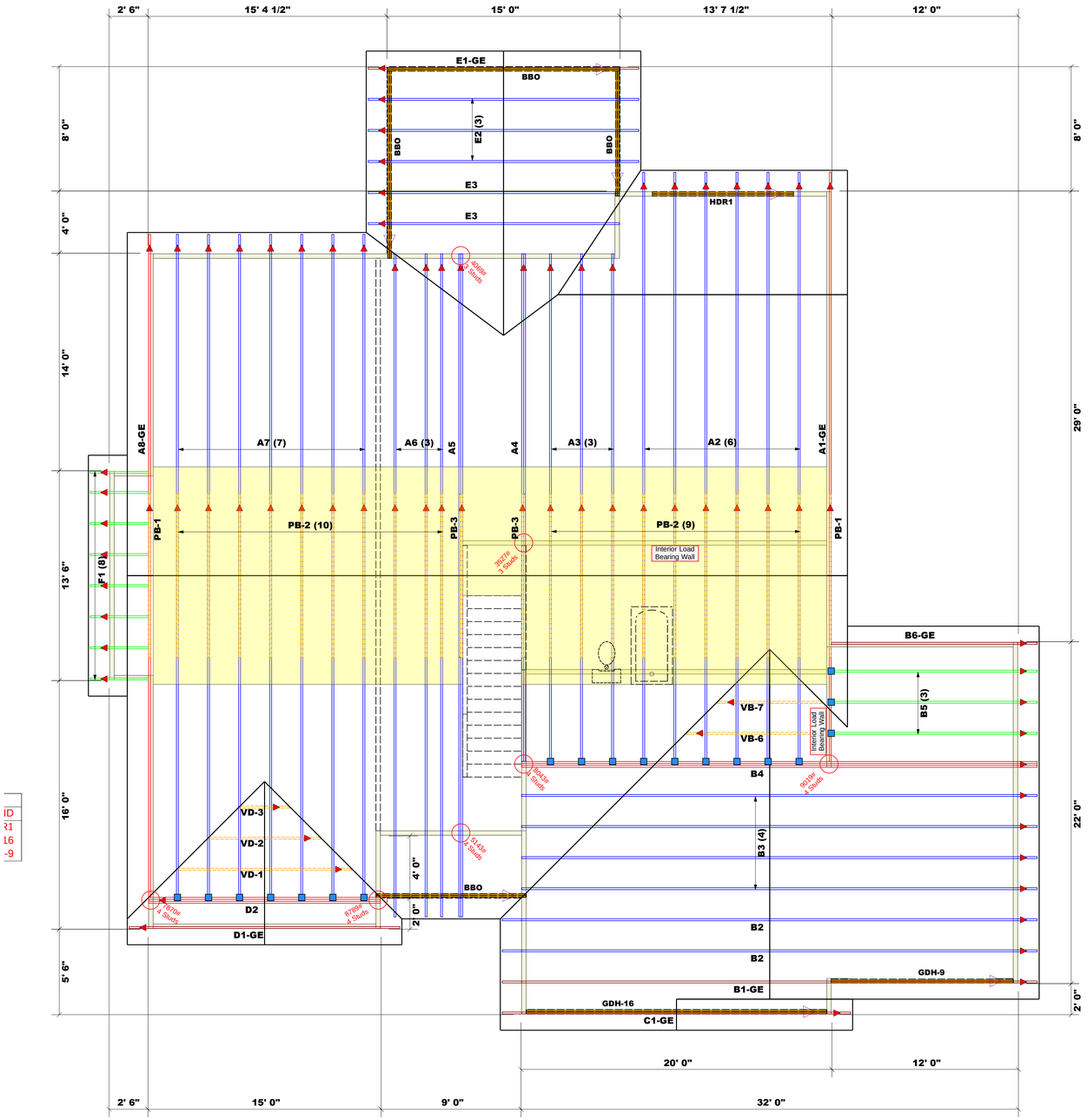
Signature _____
Anthony Williams

COUNTY	Harnett County
ADDRESS	Lot 97 South Creek / Lillington, NC
MODEL	Roof
DATE REV.	4/4/23
DRAWN BY	Anthony Williams
SALESMAN	Anthony Williams

BUILDER	Watermark Homes
JOB NAME	Lot 97 South Creek
PLAN	Sweetspire
SEAL DATE	Plan Date: 4/10/22
QUOTE #	NA
JOB #	J0423-1503

LOAD CHART FOR JACK STUDS
(BASED ON TABLES R502.5(1) & (3))
NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADER/GIRDER

END REACTION (LBS)	REQ'D STUDS FOR (2) 2 X 6 HEADER	END REACTION (LBS)	REQ'D STUDS FOR (3) 2 X 6 HEADER	END REACTION (LBS)	REQ'D STUDS FOR (4) 2 X 6 HEADER
1700	1	2550	1	3400	1
3400	2	5100	2	6800	2
5100	3	7650	3	10200	3
6800	4	10200	4	13600	4
8500	5	12750	5	17000	5
10200	6	15300	6		
11900	7				
13600	8				
15300	9				



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ADDRESS	Lot 97 South Creek / Lillington, NC
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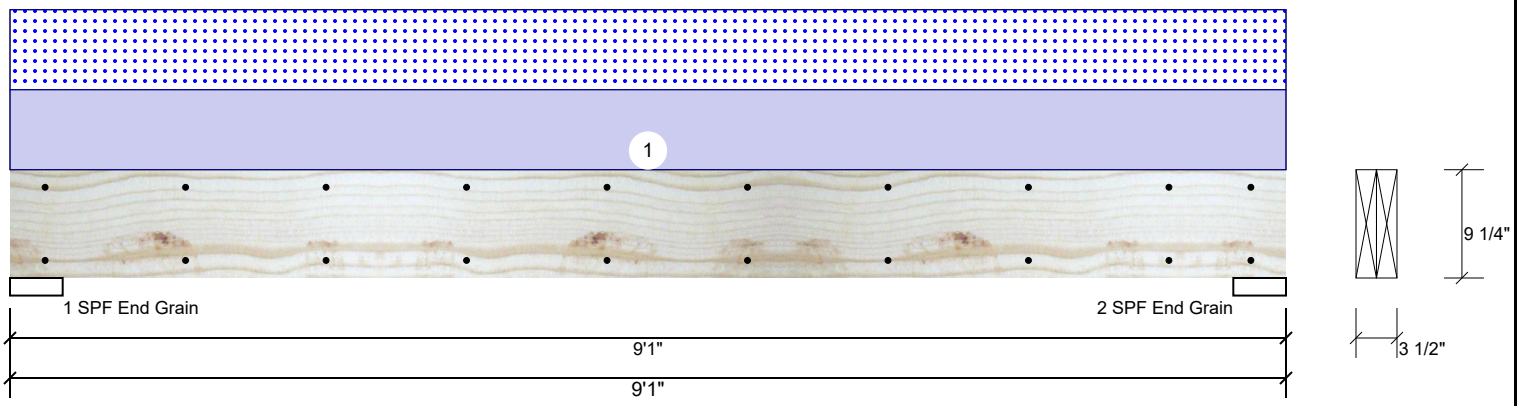
8500	5	12750	5	17000	5
10200	6	15300	6		
11900	7				
13600	8				
15300	9				

Client:	Watermark	Date:	4/4/2023
Project:		Input by:	Anthony Williams
Address:		Job Name:	Sweetspire
		Project #:	J0423-1503

HDR1 Kerto-S LVL 1.750" X 9.250" 2-Ply - PASSED

Level: Level



Member Information

Type:	Girder	Application:	Floor
Plies:	2	Design Method:	ASD
Moisture Condition:	Dry	Building Code:	IBC/IRC 2015
Deflection LL:	480	Load Sharing:	No
Deflection TL:	360	Deck:	Not Checked
Importance:	Normal - II		
Temperature:	Temp <= 100°F		

Reactions UNPATTERNED lb (Uplift)

Brg	Direction	Live	Dead	Snow	Wind	Const
1	Vertical	0	1472	1440	0	0
2	Vertical	0	1472	1440	0	0

Bearings

Bearing	Length	Dir.	Cap.	React D/L lb	Total	Ld. Case	Ld. Comb.
1 - SPF End Grain	4.500"	Vert	22%	1472 / 1440	2912	L	D+S
2 - SPF End Grain	4.500"	Vert	22%	1472 / 1440	2912	L	D+S

Analysis Results

Analysis	Actual	Location	Allowed	Capacity	Comb.	Case
Moment	5734 ft-lb	4'6 1/2"	14423 ft-lb	0.398 (40%)	D+S	L
Unbraced	5734 ft-lb	4'6 1/2"	8438 ft-lb	0.680 (68%)	D+S	L
Shear	2183 lb	7'11 1/4"	7943 lb	0.275 (27%)	D+S	L
LL Defl inch	0.089 (L/1138)	4'6 9/16"	0.211 (L/480)	0.422 (42%)	S	L
TL Defl inch	0.180 (L/563)	4'6 9/16"	0.282 (L/360)	0.640 (64%)	D+S	L

Design Notes

1. Provide support to prevent lateral movement and rotation at the end bearings. Lateral support may also be required at the interior bearings by the building code.
2. Fasten all plies using 2 rows of 10d Box nails (.128x3") at 12" o.c. Maximum end distance not to exceed 6".
3. Refer to last page of calculations for fasteners required for specified loads.
4. Girders are designed to be supported on the bottom edge only.
5. Top loads must be supported equally by all plies.
6. Top must be laterally braced at end bearings.
7. Bottom must be laterally braced at end bearings.
8. Lateral slenderness ratio based on single ply width.

ID	Load Type	Location	Trib Width	Side	Dead 0.9	Live 1	Snow 1.15	Wind 1.6	Const. 1.25	Comments
1	Uniform			Top	317 PLF	0 PLF	317 PLF	0 PLF	0 PLF	A2
	Self Weight				7 PLF					

Notes

Calculated Structured Designs is responsible only of the structural adequacy of this component based on the design criteria and loadings shown. It is the responsibility of the customer and/or the contractor to ensure the component suitability of the intended application, and to verify the dimensions and loads.

Lumber

1. Dry service conditions, unless noted otherwise
2. LVL not to be treated with fire retardant or corrosive chemicals

Handling & Installation

1. LVL beams must not be cut or drilled
2. Refer to manufacturer's product information regarding installation requirements, multi-ply fastening details, beam strength values, and code approvals
3. Damaged Beams must not be used
4. Design assumes top edge is laterally restrained
5. Provide lateral support at bearing points to avoid lateral displacement and rotation
6. For flat roofs provide proper drainage to prevent ponding

This design is valid until 11/3/2024

Manufacturer Info

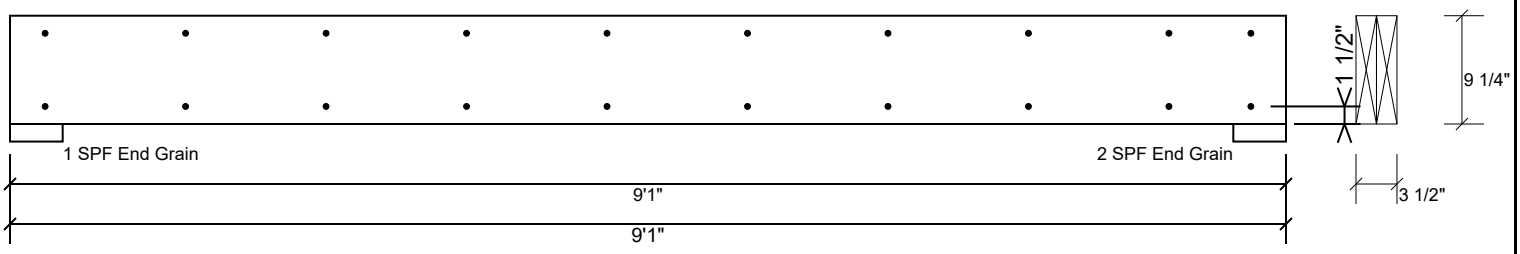
Metsä Wood
301 Merritt 7 Building, 2nd Floor
Norwalk, CT 06851
(800) 622-5850
www.metsawood.com/us

Comtech, Inc.
1001 S. Reilly Road, Suite #639
Fayetteville, NC
USA
28314
910-864-TRUS

Client:	Watermark	Date:	4/4/2023
Project:		Input by:	Anthony Williams
Address:		Job Name:	Sweetspire
		Project #:	J0423-1503

HDR1 Kerto-S LVL 1.750" X 9.250" 2-Ply - PASSED

Level: Level



Multi-Ply Analysis

Fasten all plies using 2 rows of 10d Box nails (.128x3") at 12" o.c.. Maximum end distance not to exceed 6".

Capacity	0.0 %
Load	0.0 PLF
Yield Limit per Foot	163.7 PLF
Yield Limit per Fastener	81.9 lb.
Yield Mode	IV
Edge Distance	1 1/2"
Min. End Distance	3"
Load Combination	
Duration Factor	1.00

Notes

Calculated Structured Designs is responsible only of the structural adequacy of this component based on the design criteria and loadings shown. It is the responsibility of the customer and/or the contractor to ensure the component suitability of the intended application, and to verify the dimensions and loads.

Lumber

1. Dry service conditions, unless noted otherwise
2. LVL not to be treated with fire retardant or corrosive chemicals

Handling & Installation

1. LVL beams must not be cut or drilled
2. Refer to manufacturer's product information regarding installation requirements, multi-ply fastening details, beam strength values, and code approvals
3. Damaged Beams must not be used
4. Design assumes top edge is laterally restrained
5. Provide lateral support at bearing points to avoid lateral displacement and rotation
6. For flat roofs provide proper drainage to prevent ponding

This design is valid until 11/3/2024

Manufacturer Info

Metsä Wood
301 Merritt 7 Building, 2nd Floor
Norwalk, CT 06851
(800) 622-5850
www.metsawood.com/us

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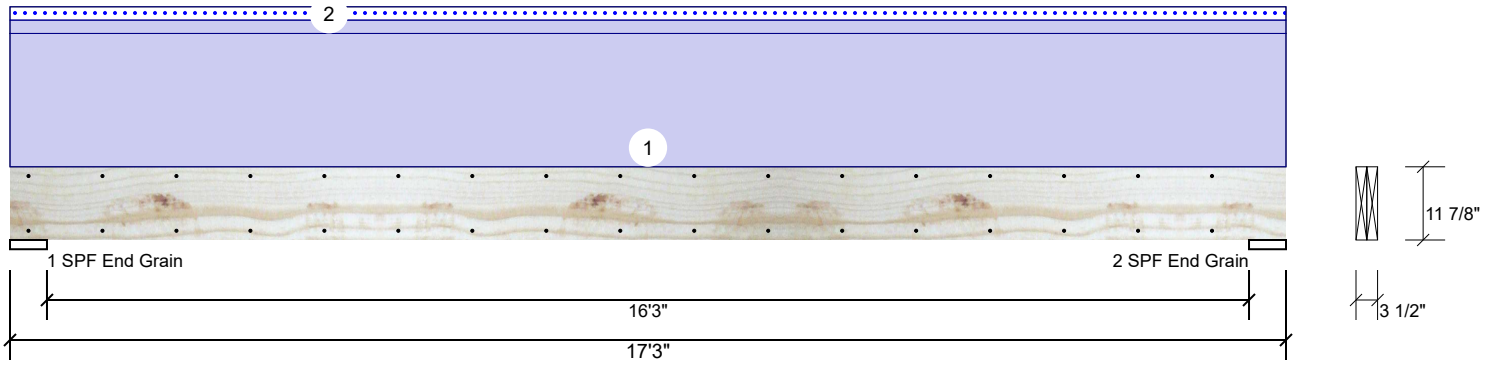
Client:	Watermark	Date:	4/4/2023
Project:		Input by:	Anthony Williams
Address:		Job Name:	Sweetspire
		Project #:	J0423-1503

GDH-16 Kerto-S LVL 1.750" X 11.875" 2-Ply - PASSED

Level: Level



Member Information

Type:	Girder	Application:	Floor
Plies:	2	Design Method:	ASD
Moisture Condition:	Dry	Building Code:	IBC/IRC 2015
Deflection LL:	480	Load Sharing:	No
Deflection TL:	360	Deck:	Not Checked
Importance:	Normal - II		
Temperature:	Temp <= 100°F		

Reactions UNPATTERNED lb (Uplift)

Brg	Direction	Live	Dead	Snow	Wind	Const
1	Vertical	0	1977	173	0	0
2	Vertical	0	1977	173	0	0

Bearings

Bearing	Length	Dir.	Cap.	React D/L lb	Total	Ld. Case	Ld. Comb.
1 - SPF End Grain	6.000"	Vert	12%	1977 / 173	2150	L	D+S
2 - SPF End Grain	6.000"	Vert	12%	1977 / 173	2150	L	D+S

Analysis Results

Analysis	Actual	Location	Allowed	Capacity	Comb.	Case
Moment	7683 ft-lb	8'7 1/2"	17919 ft-lb	0.429 (43%)	D	Uniform
Unbraced	8354 ft-lb	8'7 1/2"	8368 ft-lb	0.998 (100%)	D+S	L
Shear	1645 lb	15'9 1/8"	7980 lb	0.206 (21%)	D	Uniform
LL Defl inch	0.035 (L/5617)	8'7 9/16"	0.409 (L/480)	0.085 (9%)	S	L
TL Defl inch	0.436 (L/451)	8'7 9/16"	0.546 (L/360)	0.799 (80%)	D+S	L

Design Notes

1. Provide support to prevent lateral movement and rotation at the end bearings. Lateral support may also be required at the interior bearings by the building code.
2. Fasten all plies using 2 rows of 10d Box nails (.128x3") at 12" o.c. Maximum end distance not to exceed 6".
3. Refer to last page of calculations for fasteners required for specified loads.
4. Girders are designed to be supported on the bottom edge only.
5. Top loads must be supported equally by all plies.
6. Top must be laterally braced at a maximum of 11'5 3/4" o.c.
7. Bottom must be laterally braced at end bearings.
8. Lateral slenderness ratio based on single ply width.

ID	Load Type	Location	Trib Width	Side	Dead 0.9	Live 1	Snow 1.15	Wind 1.6	Const. 1.25	Comments
1	Uniform			Top	200 PLF	0 PLF	0 PLF	0 PLF	0 PLF	WALL
2	Uniform			Top	20 PLF	0 PLF	20 PLF	0 PLF	0 PLF	ROOF
	Self Weight				9 PLF					

Notes

Calculated Structured Designs is responsible only of the structural adequacy of this component based on the design criteria and loadings shown. It is the responsibility of the customer and/or the contractor to ensure the component suitability of the intended application, and to verify the dimensions and loads.

Lumber

1. Dry service conditions, unless noted otherwise
2. LVL not to be treated with fire retardant or corrosive chemicals

Handling & Installation

1. LVL beams must not be cut or drilled
2. Refer to manufacturer's product information regarding installation requirements, multi-ply fastening details, beam strength values, and code approvals
3. Damaged Beams must not be used
4. Design assumes top edge is laterally restrained
5. Provide lateral support at bearing points to avoid lateral displacement and rotation
6. For flat roofs provide proper drainage to prevent ponding

This design is valid until 11/3/2024

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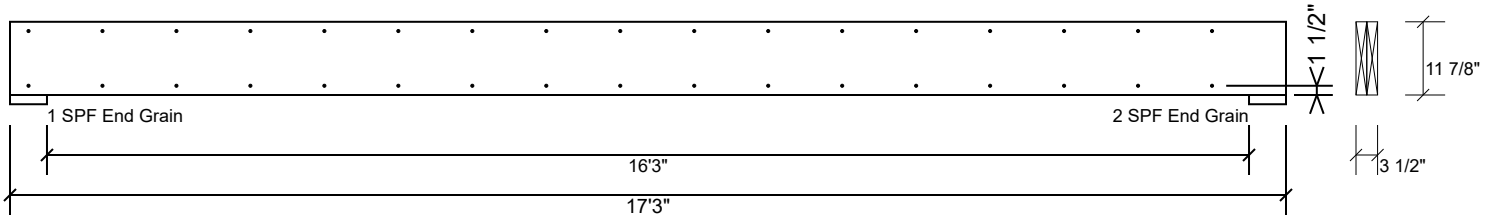
Project:		Input by:	Anthony Williams
Address:		Job Name:	Sweetspire
		Project #:	J0423-1503

GDH-16 Kerto-S LVL 1.750" X 11.875" 2-Ply - PASSED

Level: Level



Multi-Ply Analysis

Fasten all plies using 2 rows of 10d Box nails (.128x3") at 12" o.c.. Maximum end distance not to exceed 6".

Capacity	0.0 %
Load	0.0 PLF
Yield Limit per Foot	163.7 PLF
Yield Limit per Fastener	81.9 lb.
Yield Mode	IV
Edge Distance	1 1/2"
Min. End Distance	3"
Load Combination	
Duration Factor	1.00

Notes

Calculated Structured Designs is responsible only of the structural adequacy of this component based on the design criteria and loadings shown. It is the responsibility of the customer and/or the contractor to ensure the component suitability of the intended application, and to verify the dimensions and loads.

Lumber

1. Dry service conditions, unless noted otherwise
2. LVL not to be treated with fire retardant or corrosive chemicals

Handling & Installation

1. LVL beams must not be cut or drilled
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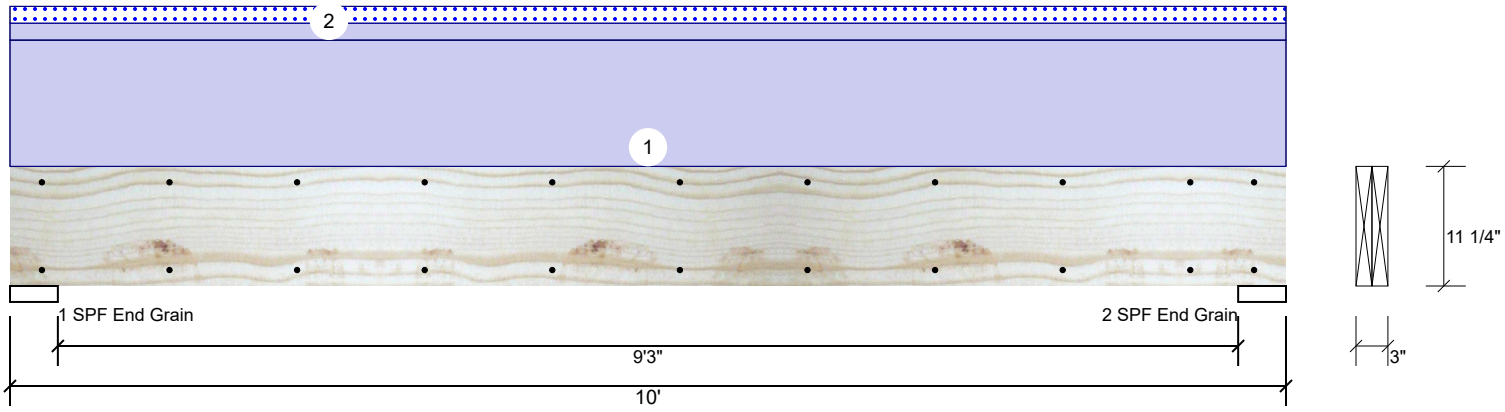
Client:	Watermark	Date:	4/4/2023
Project:		Input by:	Anthony Williams
Address:		Job Name:	Sweetspire
		Project #:	J0423-1503

GDH-9 SP #2 2.000" X 12.000" 2-Ply - PASSED

Level: Level



Member Information

Type:	Girder	Application:	Floor
Plies:	2	Design Method:	ASD
Moisture Condition:	Dry	Building Code:	IBC/IRC 2015
Deflection LL:	480	Load Sharing:	No
Deflection TL:	360	Deck:	Not Checked
Importance:	Normal - II		
Temperature:	Temp <= 100°F		

Reactions UNPATTERNED lb (Uplift)

Brg	Direction	Live	Dead	Snow	Wind	Const
1	Vertical	0	850	100	0	0
2	Vertical	0	850	100	0	0

Bearings

Bearing	Length	Dir.	Cap.	React D/L lb	Total	Ld. Case	Ld. Comb.
1 - SPF End Grain	4.500"	Vert	12%	850 / 100	950	L	D+S
2 - SPF End Grain	4.500"	Vert	12%	850 / 100	950	L	D+S

Analysis Results

Analysis	Actual	Location	Allowed	Capacity	Comb.	Case
Moment	1868 ft-lb	5'	3560 ft-lb	0.525 (52%)	D	Uniform
Unbraced	1868 ft-lb	5'	3100 ft-lb	0.602 (60%)	D	Uniform
Shear	627 lb	1'3 3/4"	3544 lb	0.177 (18%)	D	Uniform
LL Defl inch	0.007 (L/16128)	5'	0.234 (L/480)	0.030 (3%)	S	L
TL Defl inch	0.066 (L/1698)	5'	0.312 (L/360)	0.212 (21%)	D+S	L

Design Notes

1. Provide support to prevent lateral movement and rotation at the end bearings. Lateral support may also be required at the interior bearings by the building code.
2. Fasten all plies using 2 rows of 10d Box nails (.128x3") at 12" o.c. Maximum end distance not to exceed 6".
3. Refer to last page of calculations for fasteners required for specified loads.
4. Girders are designed to be supported on the bottom edge only.
5. Top loads must be supported equally by all plies.
6. Top must be laterally braced at end bearings.
7. Bottom must be laterally braced at end bearings.
8. Lateral slenderness ratio based on single ply width.

ID	Load Type	Location	Trib Width	Side	Dead 0.9	Live 1	Snow 1.15	Wind 1.6	Const. 1.25	Comments
1	Uniform			Top	150 PLF	0 PLF	0 PLF	0 PLF	0 PLF	WALL
2	Uniform			Top	20 PLF	0 PLF	20 PLF	0 PLF	0 PLF	ROOF

This design is valid until 11/3/2024

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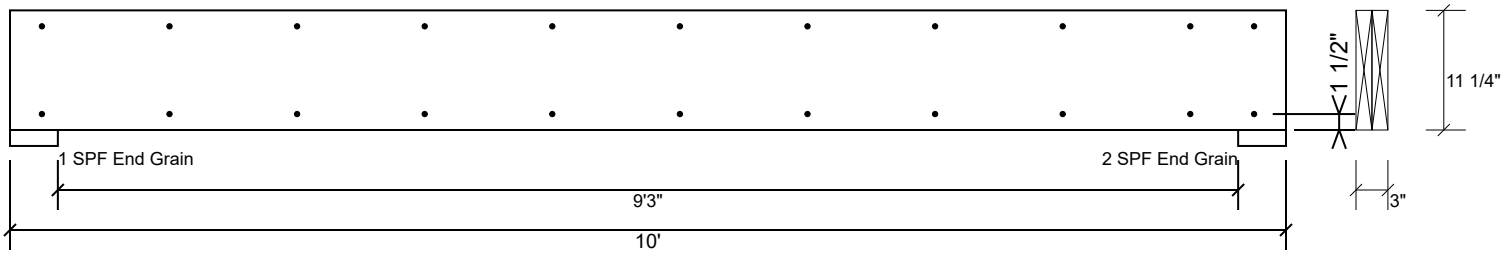
Project:		Input by:	Anthony Williams
Address:		Job Name:	Sweetspire
		Project #:	J0423-1503

GDH-9 SP #2 2.000" X 12.000" 2-Ply - PASSED

Level: Level



Multi-Ply Analysis

Fasten all plies using 2 rows of 10d Box nails (.128x3") at 12" o.c.. Maximum end distance not to exceed 6".

Capacity	0.0 %
Load	0.0 PLF
Yield Limit per Foot	202.6 PLF
Yield Limit per Fastener	101.3 lb.
Yield Mode	IV
Edge Distance	1 1/2"
Min. End Distance	3"
Load Combination	
Duration Factor	1.00

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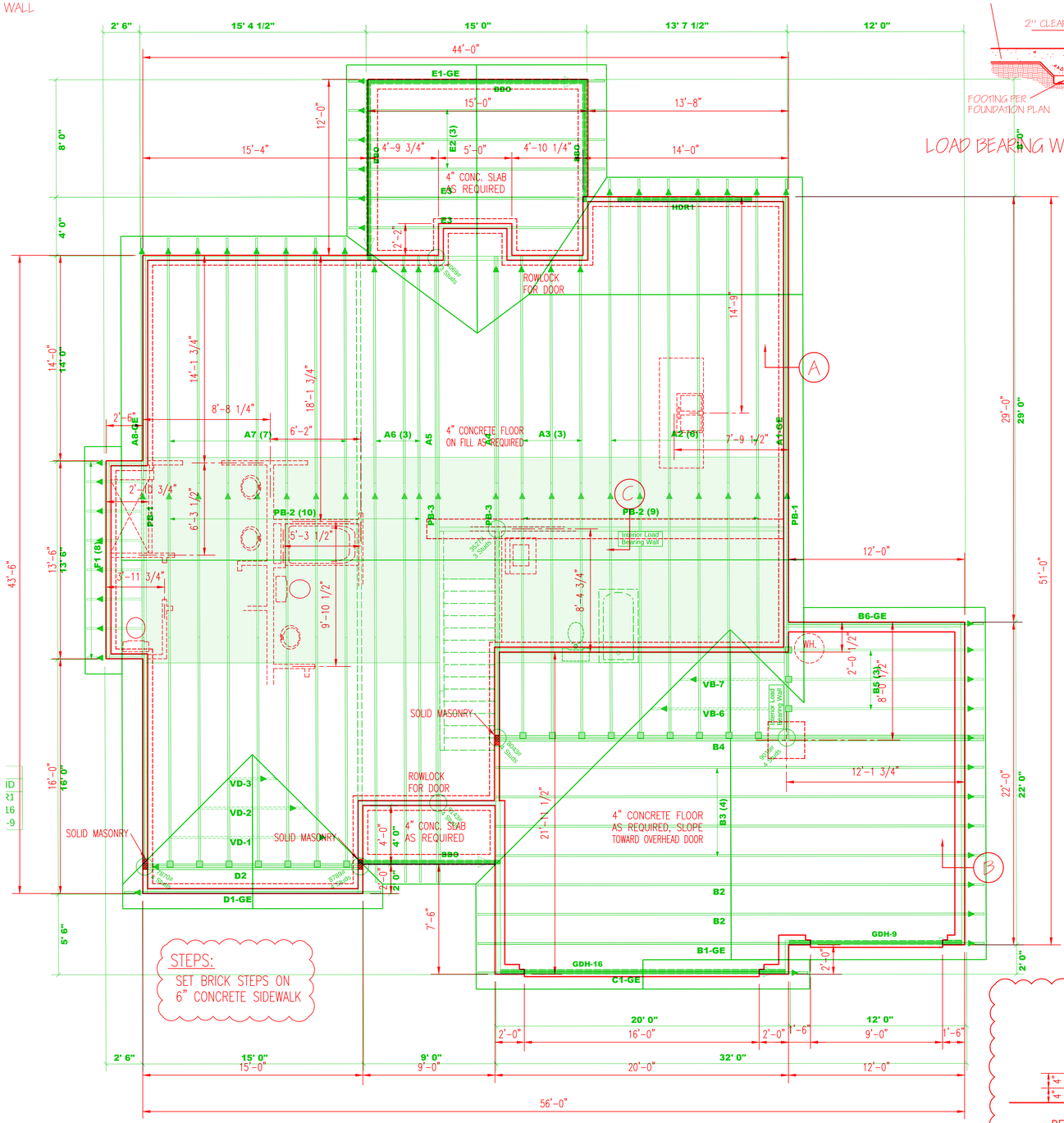
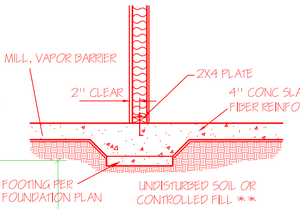
WALL ANCHOR OPTIONS

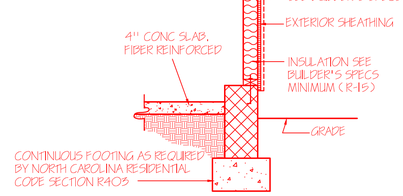
USE ANCHOR BOLTS
ANCHOR BOLTS: 1/ 2'' DIA. BOLTS AT 6'-0'' O.C.
AND NOT MORE THAT 12'' FROM CORNERS, EMBEDDED
MIN. 7'' INTO FOUNDATION. USE A MIN. OF 2 BOLTS
PER EACH STUD WALL



STEPS:
SET BRICK STEPS ON
6" CONCRETE SIDEWALK



LOAD BEARING WALL THICKENED SLAB — C



NOTE:
PERIMETER INSUL. MAY EXTEND HORIZ. UNDER SLAB
24" OR VERTICAL 24" BELOW SLAB FLOOR.

GARAGE WALL — B

Connector Information					Nail Information	
Sym	Product	Manuf	Qty	Supported Member	Header	Truss
	HUS26	USP	19	Varies	16d/3-1/2"	16d/3-1/2"

Plumbing Drop Notes
1. Plumbing drop locations shown are NOT exact.
2. Contractor to verify ALL plumbing drop locations prior to setting Floor Trusses.
3. Adjust spacing as needed not to exceed 24"oc.

Dimension Notes
1. All exterior wall to wall dimensions are to face of sheathing unless noted otherwise.
2. All interior wall dimensions are to face of framing unless noted otherwise.
3. Do not promote use of these dimensions for face of frame wall unless noted otherwise.

Roof Area = 3356.1 sq.ft.
Ridge Line = 99.63 ft
Hip Line = 0.0 ft.
Horiz. OH = 128.34 ft.
Raked OH = 224.95 ft.
Decking = 115 sheets

4" CONCRETE SLAB FLOOR — A

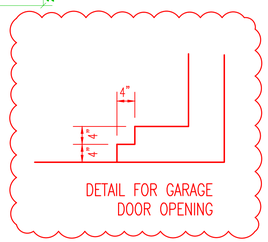
All Walls Shown Are Considered Load Bearing

▲ = Indicates Left End of Truss (Reference Engineered Truss Drawing) Do Not Erect Trusses Backwards

Beam Schedule					
PlotID	Length	Product	Plies	Net Qty	Fab Type
HDR1	10' 0"	1-3/4" x 9-1/4" LVL Kerto-S	2	2	FF
GDH-16	20' 0"	1-3/4" x 11-7/8" LVL Kerto-S	2	2	FF
GDH-9	12' 0"	2x12 SP No.2	2	2	FF

ASSUMED SOIL CONDITIONS ARE BASED ON 2000 PSF SOIL CAPACITY. ACTUAL SITE CONDITIONS MUST BE INVESTIGATED. ALL FOOTING TO BE LOCATED BELOW FROST DEPTH.

FOUNDATION PLAN
SCALE:1/4"=1'-0"



DETAIL FOR GARAGE DOOR OPENING

Truss Placement Plan
SCALE: 1/4" = 1'-0"

TM DESIGNS

RESIDENTIAL PLANS BY TINA MCFADDEN
(910) 354-4736 TMDESIGNS2016@GMAIL.COM

WATERMARK HOMES

LOT: 97 SOUTH CREEK

EXCLUSIVE RESIDENCE DESIGN FOR:
NAME: SWEETSPIRE

PLAN NUMBER
BG22-A07

3 | GARAGE | R | F
DATE: 4/10/22

COUNTY	Harnett County
ADDRESS	Lot 97 South Creek / Lillington, NC
BUILDER	Watermark Homes
JOB NAME	Lot 97 South Creek

LOAD CHA
(BASED O
NUMBER OF JACK

ENA (SF/FLOOR)	NUMBER OF STANDARD TRUSS HEADER
1700	1
3400	2
5100	3
6800	4
8500	5
10200	6
11900	7
13600	8
15300	9