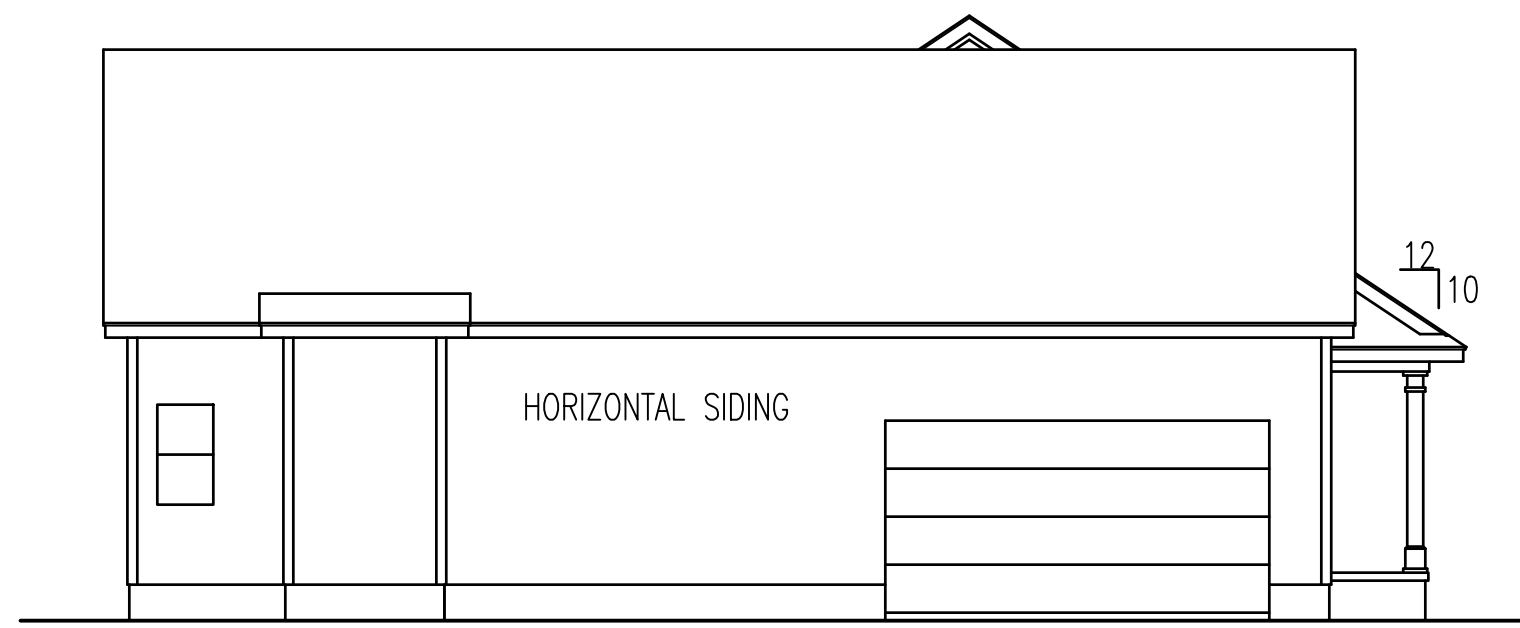




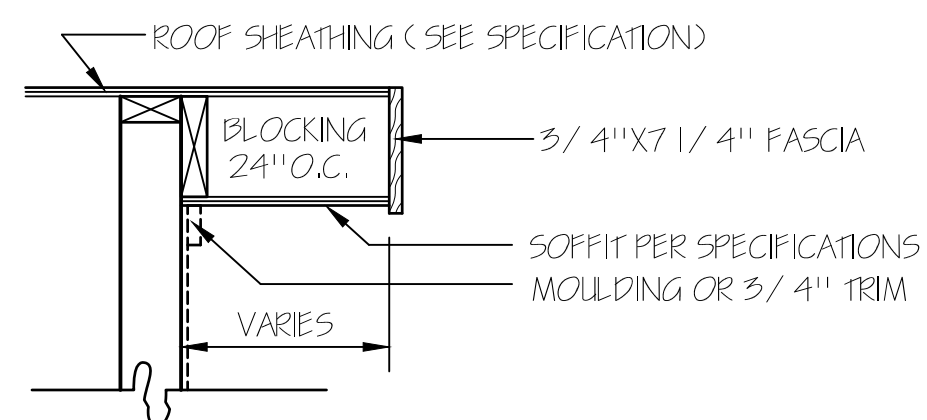
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

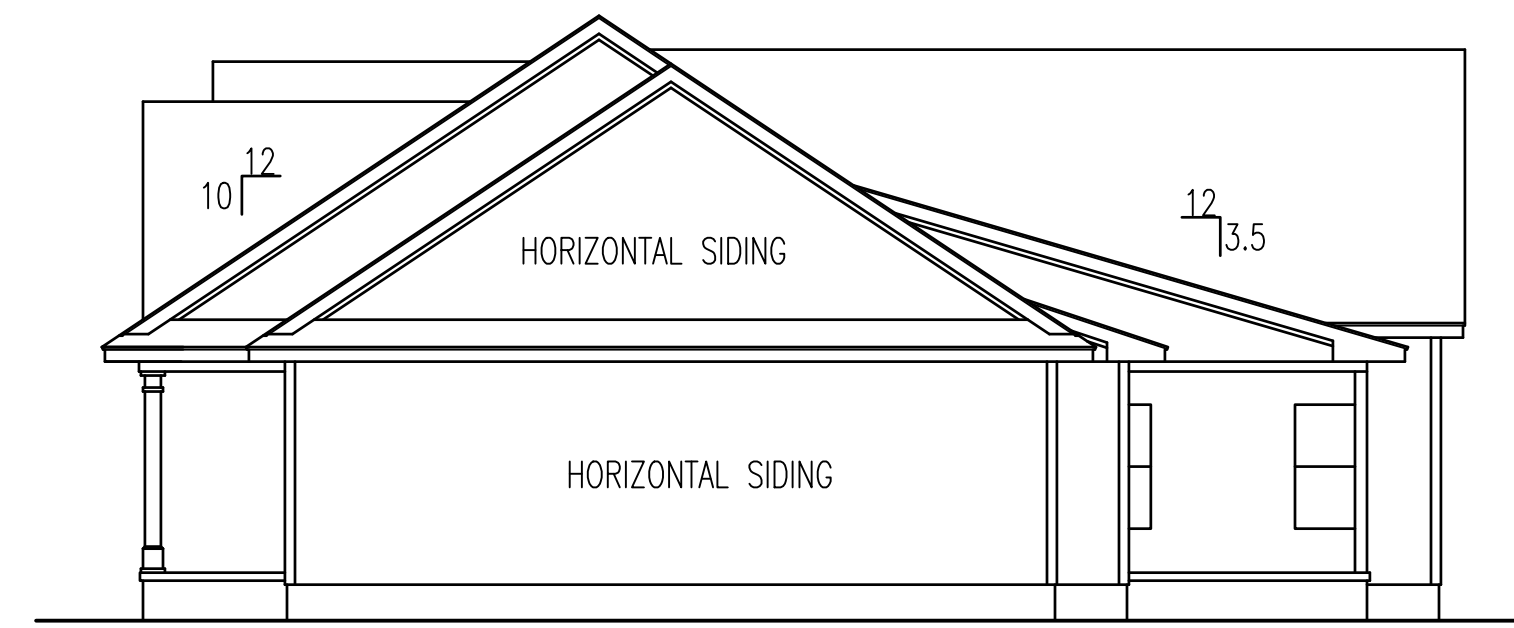
ATTIC VENTILATION CALCULATIONS	
ATTIC AREA	306.4 SQ.FT. (AREA VENTILATION REQUIRED 20.4 SQ.FT.)
EACH	1 FT. BASE GABLE LOUVER @ 1 SQ.FT. NET FREE AREA
EACH	1 FT. BASE GABLE LOUVER @ 1 SQ.FT. NET FREE AREA
EACH	1 FT. BASE GABLE LOUVER @ 1 SQ.FT. NET FREE AREA
99	LIN.FT. EAWE VENT @ 11 SQ.IN./FT. = 7.8 SQ.FT. NET FREE AREA
105	LIN.FT. RIDGE VENT @ 18 SQ.IN./FT. = 13.1 SQ.FT. NET FREE AREA



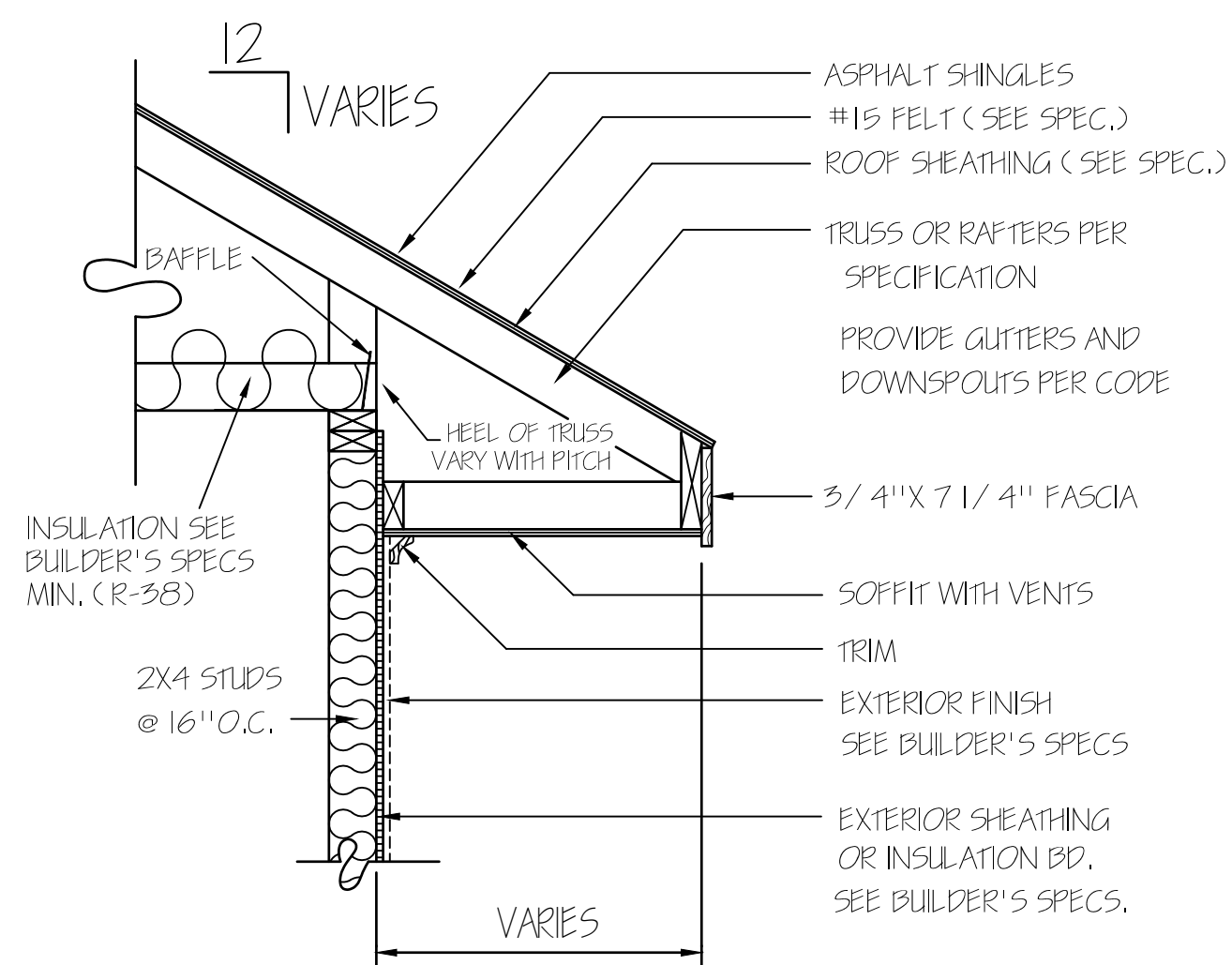
LEFT ELEVATION



RAKE DETAIL FOR GABLE ENDS



RIGHT ELEVATION

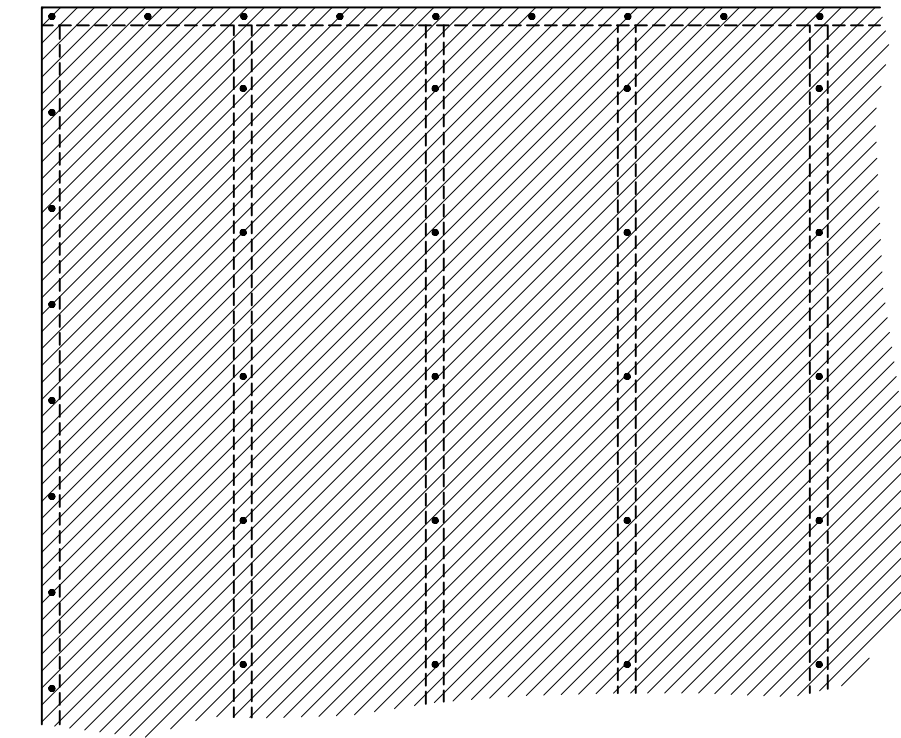


REAR ELEVATION

SCALE: 1/8" = 1'-0"

ENERGY TABLE
 FACTOR OF WINDOWS .30
 CLIMATE ZONE 3
 INSULATION: WALLS 15
 CEILING 38
 FLOORS 19

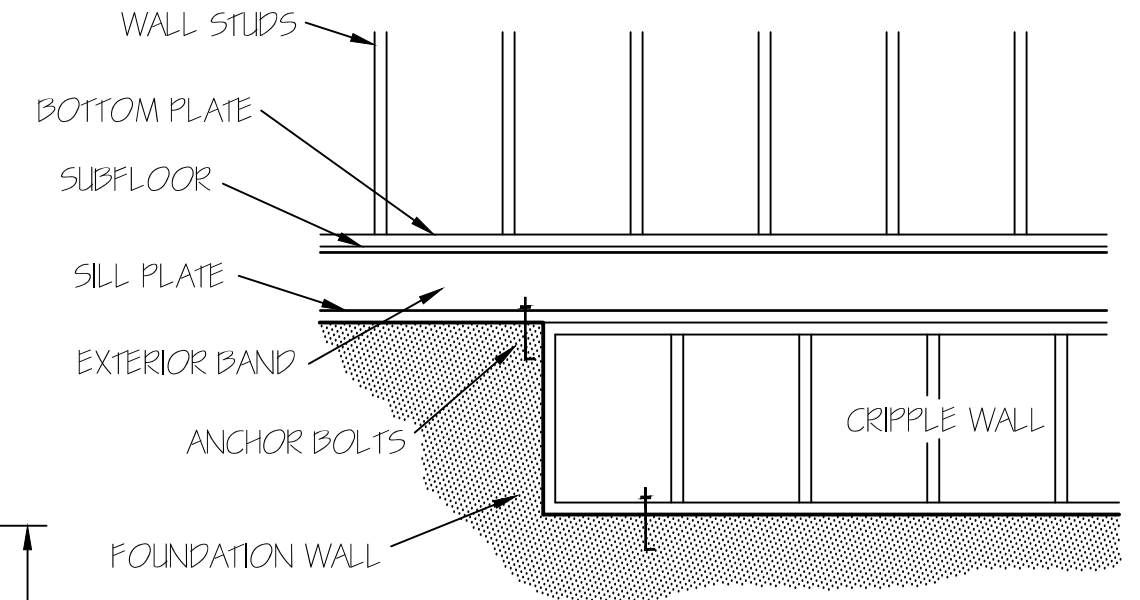
BRACING METHOD



EXTERIOR WALLS (2) 2X10 HEADERS	NUMBER OF STUDS	
	JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	

****UNLESS NOTED OTHER WISE****

EXTERIOR WALL TO BE FULLY SHEATHED WITH 7/16" OSB. NAILING PATTERN TO BE 8" ON ALL EDGES AND 12" IN FIELD, WITH 8d NAILS.



FOUNDATION CRIPPLE WALLS SHALL BE FRAMED OF STUDS NOT SMALLER THAN THE STUDDING ABOVE. WHEN EXCEEDING 4 FT. IN HEIGHT, SUCH WALLS SHALL BE FRAMED OF STUDS HAVING THE SIZE REQUIRED FOR AN ADDITIONAL STORY. CRIPPLE WALLS WITH A STUD HEIGHT LESS THAN 14 INCHES SHALL BE CONTINUOUSLY SHEATHED ON ONE SIDE WITH WOOD STRUCTURAL PANELS FASTENED TO BOTH THE TOP AND BOTTOM PLATES IN ACCORDANCE WITH TABLE B6C2.5(1), OR CRIPPLE WALLS SHALL BE CONSTRUCTED OF SOLID BLOCKING.

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

HEATED AREA

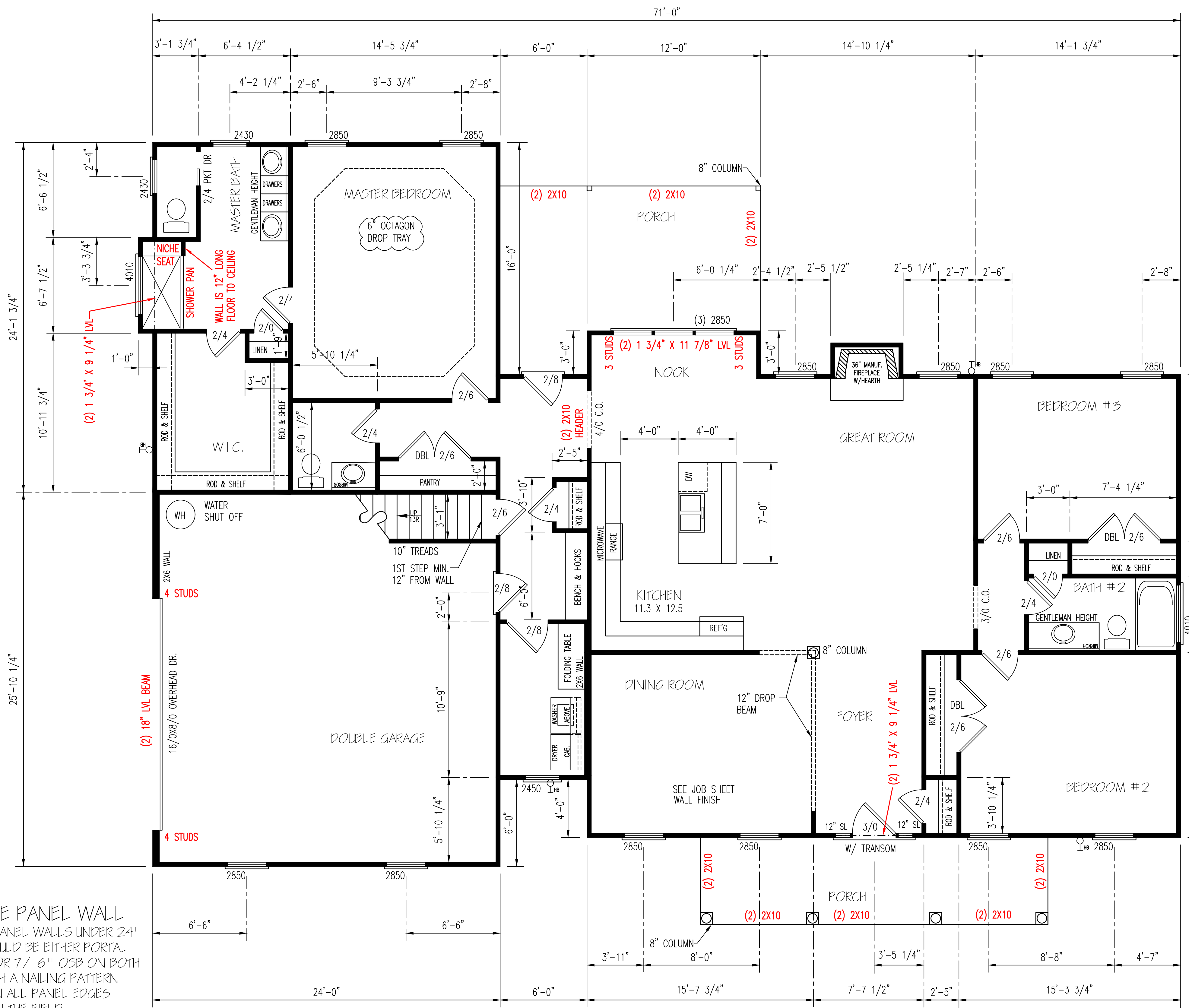
1ST FL	2111	SQ FT
2ND FL	348	SQ FT
TOTAL	2459	SQ FT

OTHER AREAS

GARAGE	611	SQ FT
F.PORCH	144	SQ FT
R.PORCH	198	SQ FT
STORAGE	302	SQ FT
TOTAL	1255	SQ FT

NOTE:
 CEILINGS ARE 9'-0"
 UNLESS NOTED.
 SET WINDOWS @
 7'-4" A.F.F.

GARAGE PANEL WALL
 GARAGE PANEL WALLS UNDER 24" WIDE SHOULD BE EITHER PORTAL FRAMED OR 7/16" OSB ON BOTH SIDES WITH A NAILING PATTERN OF 3" ON ALL PANEL EDGES AND 6" IN THE FIELD.



WATERMARK HOMES

EXCLUSIVE RESIDENCE DESIGN FOR:

NAME: PONDEROSA

LOT: 91 SOUTH CREEK

T M DESIGNS
 RESIDENTIAL PLANS BY TINA MCFADDEN
 (910) 354-4736 TMDDESIGNS2016@GMAIL.COM

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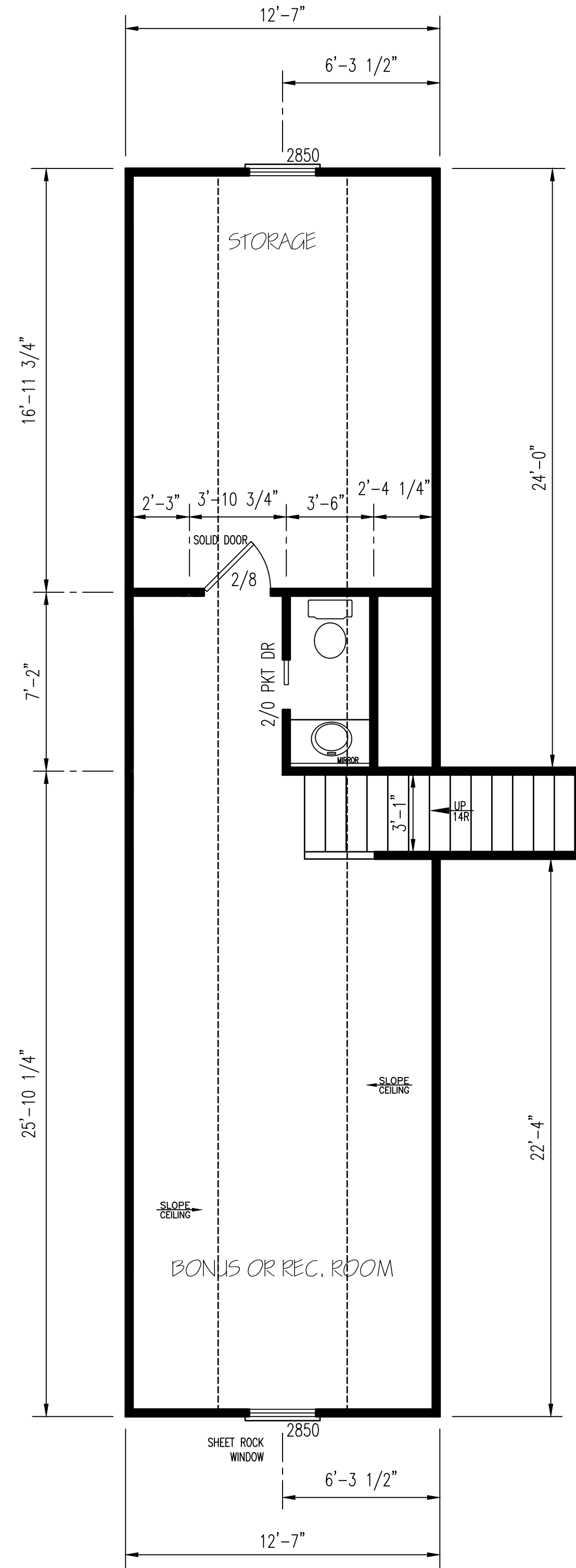
T M DESIGNS WILL NOT BE LIABLE FOR ANY ERRORS NOT BROUGHT TO THEIR ATTENTION PRIOR TO THE START OF CONSTRUCTION. WHILE EVERY EFFORT WAS MADE IN THE PREPARATION OF THESE DRAWINGS AND DIMENSIONS TO AVOID ERRORS THE OWNER AND/OR BUILDER SHALL VERIFY ALL DIMENSIONS, DETAILS, LOCAL AND STATE CODES.

I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2018 INTERNATIONAL BUILDING CODES

THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED

PLAN NUMBER
 RG21-A01
 OPTION #6

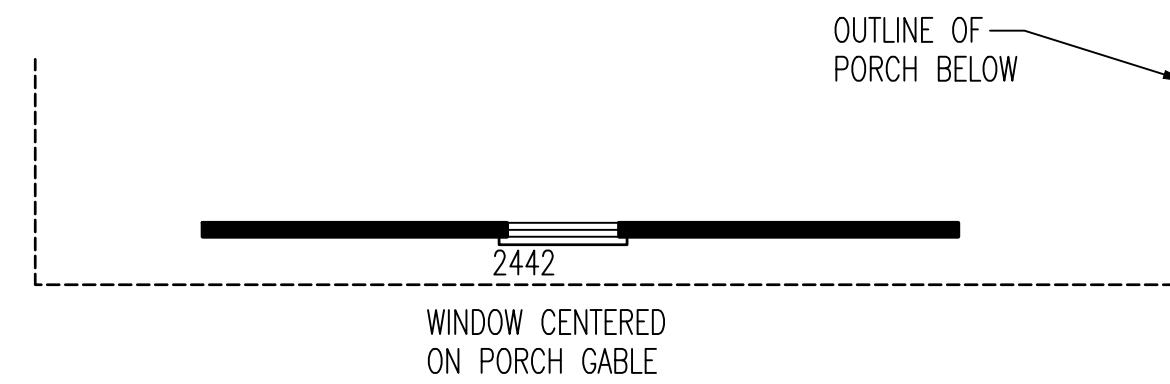
2	GARAGE	L	F
	DATE:	3/16/23	



EXTERIOR WALLS (2) 2X10 HEADERS		
CLEAR SPAN FOR HEADER	NUMBER OF STUDS	
	JACKS	KINGS
ALL DOOR & C.O. BELOW 4'	1	1
ALL DOOR & C.O. 4' TO 7'-11"	2	2
ALL DOOR & C.O. 8' AND ABOVE	SIZED BY ENGINEER	

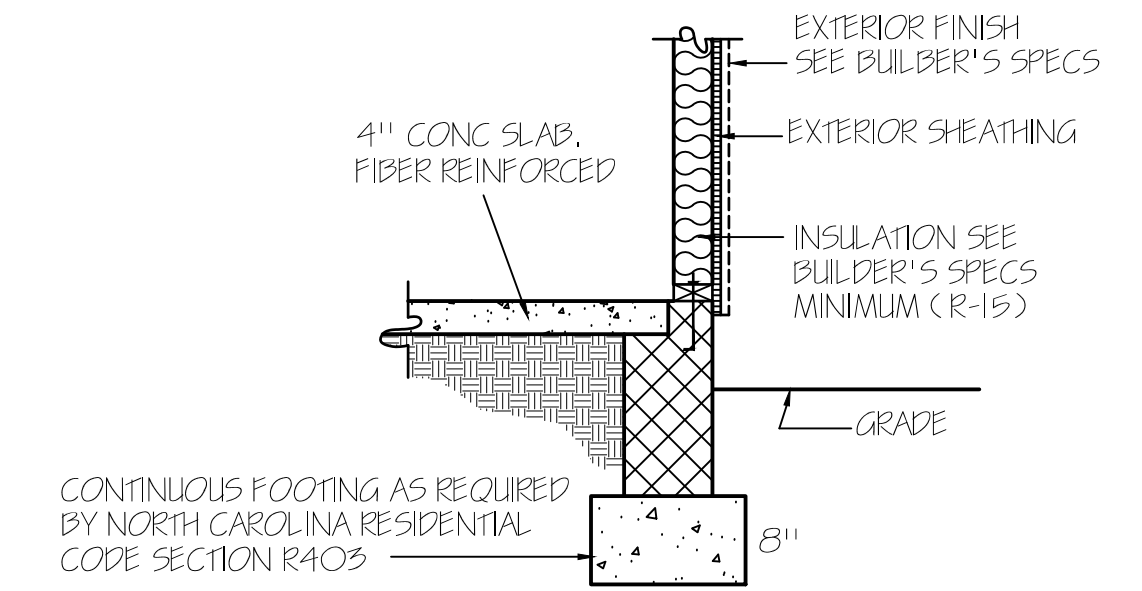
UNLESS NOTED OTHER WISE

SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



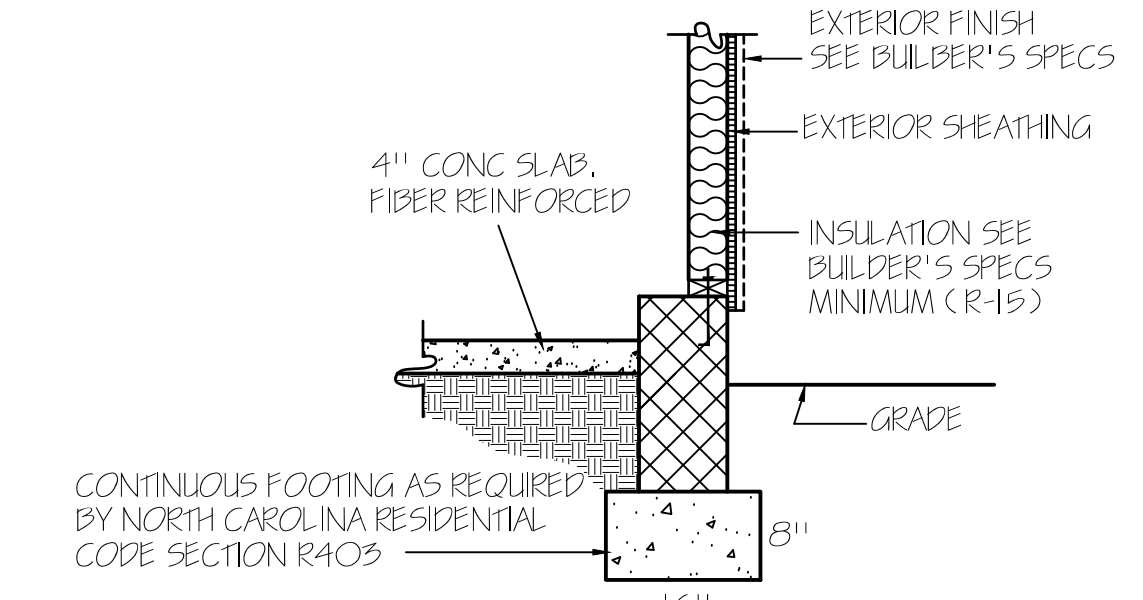
NOTE:
 FOUNDATION DETAILS SHOWN ARE BASED ON ASSUMED SOIL BEARING CAPACITY OF 2000 PSF. LOCAL SITE CONDITIONS MUST BE INVESTIGATED. ALL FOOTING TO BE LOCATED BELOW FROST DEPTH.

USE ANCHOR BOLTS
 ANCHOR BOLTS: 1/2" DIA. BOLTS AT 6'-0" O.C. AND NOT MORE THAN 12" FROM CORNERS, EMBEDDED MIN. 7" INTO FOUNDATION. USE A MIN. OF 2 BOLTS PER EACH STUD WALL



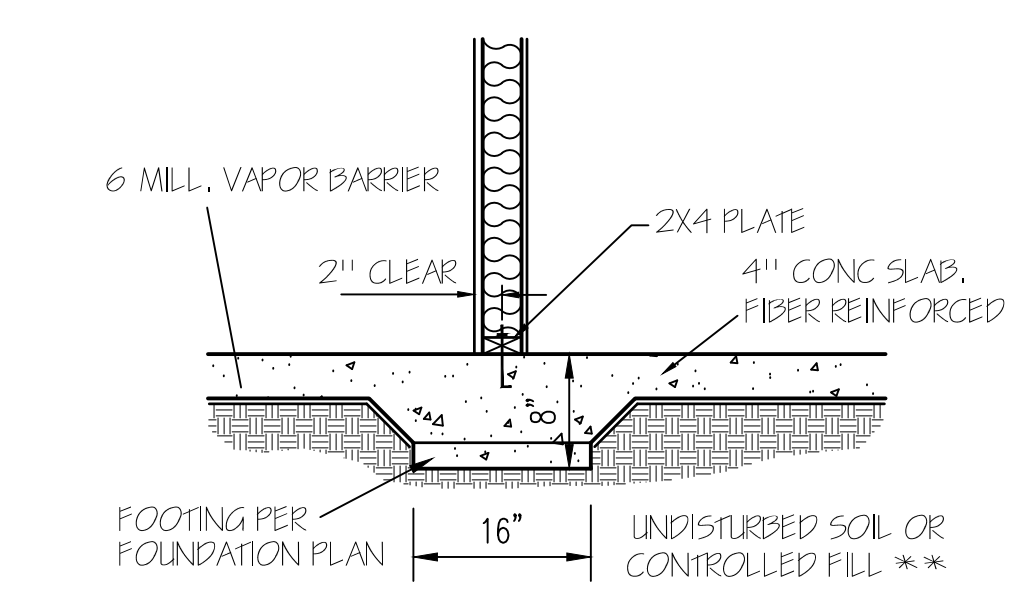
NOTE:
 PERIMETER INSL. MAY EXTEND HORIZ. UNDER SLAB 24" OR VERTICAL 24" BELOW SLAB FLOOR

CONCRETE SLAB FLOOR — (A)



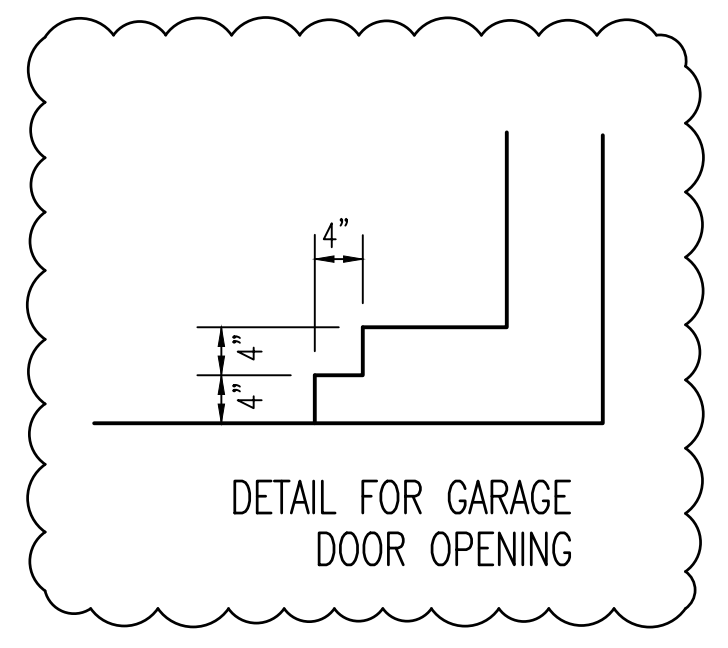
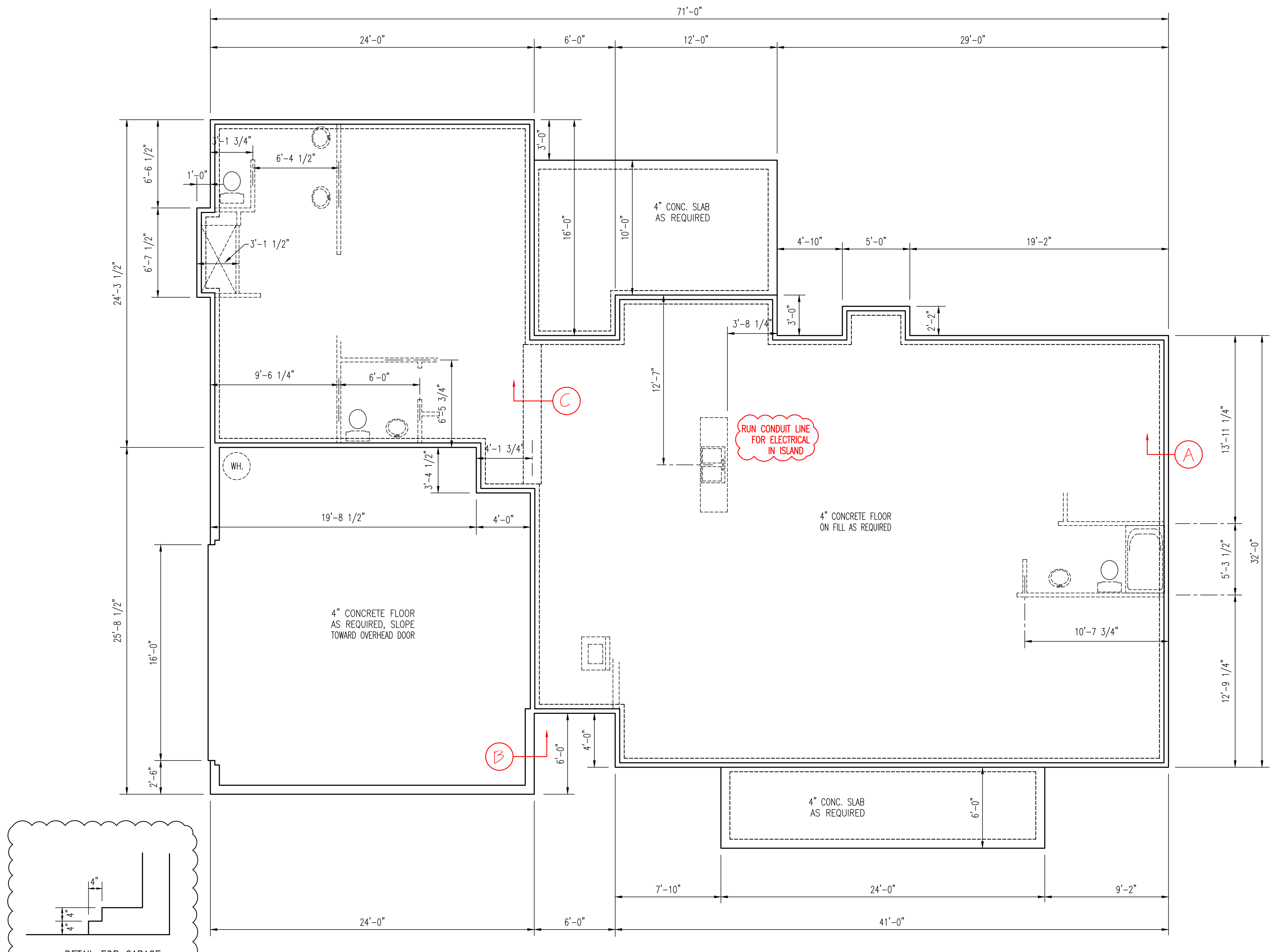
NOTE:
 PERIMETER INSL. MAY EXTEND HORIZ. UNDER SLAB 24" OR VERTICAL 24" BELOW SLAB FLOOR

GARAGE WALL — (B)



LOAD BEARING WALL THICKENED SLAB — (C)

FOUNDATION PLAN
 SCALE: 1/4"=1'-0"



STEPS:
 SET BRICK STEPS ON 6" CONCRETE SIDEWALK

TM DESIGNS
 RESIDENTIAL PLANS BY TINA MCFADDEN
 (910) 354-4736 TMDDESIGNS2016@GMAIL.COM

WATERMARK HOMES
 EXCLUSIVE RESIDENCE DESIGN FOR:
 LOT: 91 SOUTH CREEK
 NAME: PONDEROSA

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 PLAN NUMBER
 RG21-A01
 OPTION #6
 3 GARAGE L F
 DATE: 3/16/23