



REVISIONS

06-19-22

CORRECTION PLAT
DUNCAN'S
CROSSING
SUBDIVISION

PIN 0589-71-6222.000 &
0589-91-6866.000
SR 1253 (HOLDER ROAD)
UPPER LITTLE RIVER
TOWNSHIP
HARNETT COUNTY
NORTH CAROLINA

OWNER

BS LAND, LLC.
468 Shamal Road
Angier, North Carolina 27501
Phone: (919) 589-5845

CLIENT

WELLONS
CONSTRUCTION,
INC.
PO Box 780
Dunn, North Carolina 28335
Phone: (919) 892-6630

PROJECT INFORMATION

SURVEYED BY:	CLIFF
DRAWN BY:	SEAN
CHECKED BY:	JIMMY
PROJECT NUMBER:	1871

DRAWING SCALE

HORIZONTAL: 1"=100'

DATE SURVEYED

JUNE 10, 2022

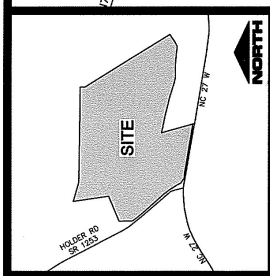
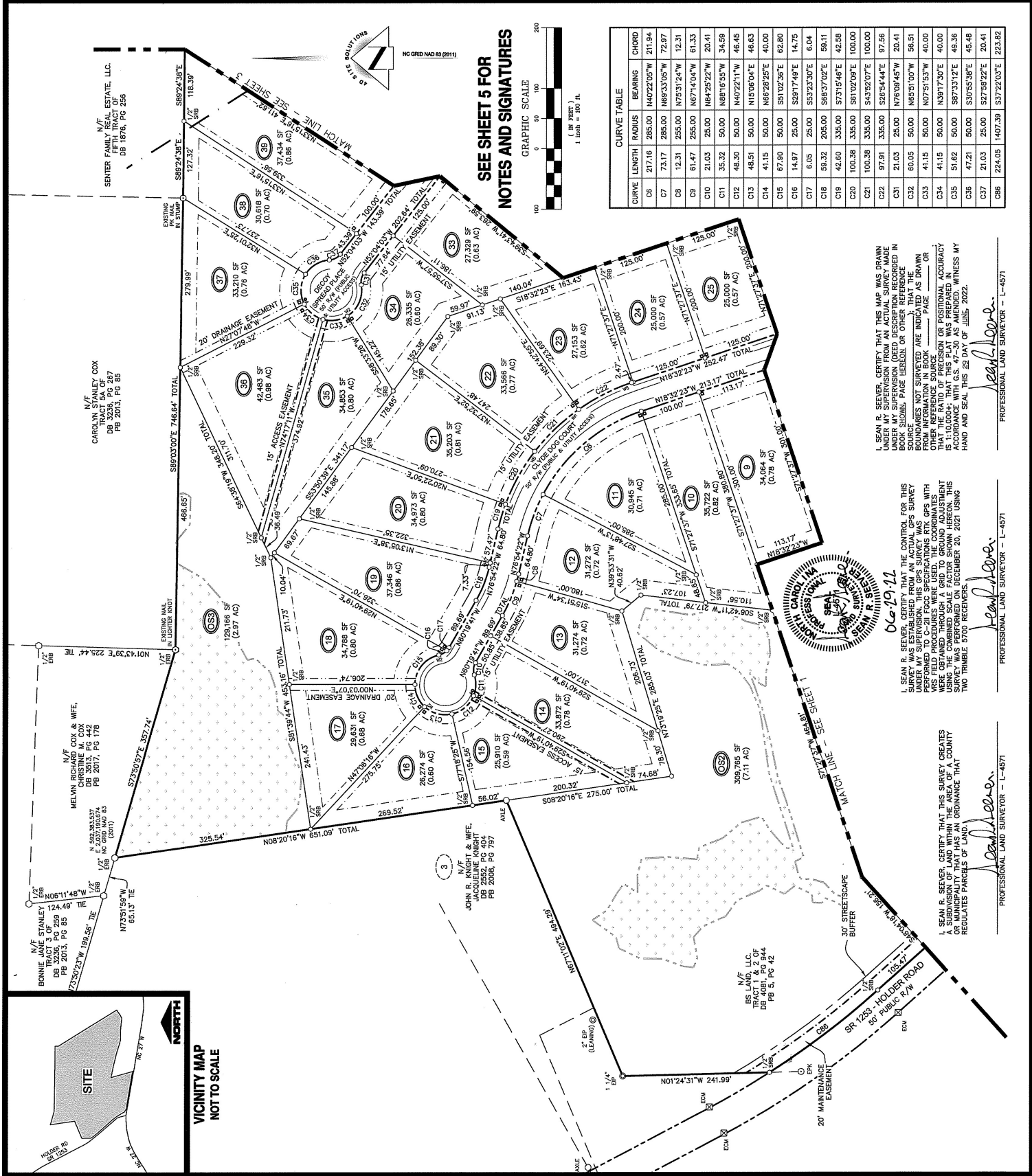
SHEET NUMBER

2 OF 5

SEE SHEET 5 FOR
NOTES AND SIGNATURES

GRAPHIC SCALE
1 inch = 100 ft.

CURVE	LENGTH	RADIUS	BEARING	CHORD
C6	27.116	285.00	M40°22'05"W	211.94
C7	73.717	285.00	M68°33'05"W	72.97
C8	12.31	255.00	M75°31'24"W	12.31
C9	61.47	255.00	M67°14'04"W	61.33
C10	21.03	25.00	M84°25'22"W	20.41
C11	35.32	50.00	M81°16'55"W	34.59
C12	48.30	50.00	M40°22'11"W	46.45
C13	48.51	50.00	M15°08'04"E	46.63
C14	41.15	50.00	M65°28'25"E	40.00
C15	67.90	50.00	M81°02'36"E	62.80
C16	14.97	25.00	S29°17'49"E	14.75
C17	6.05	25.00	S53°23'30"E	6.04
C18	58.32	205.00	S65°37'02"E	59.11
C19	42.60	335.00	S73°15'46"E	42.59
C20	100.38	335.00	S81°02'09"E	100.00
C21	100.38	335.00	S43°52'07"E	100.00
C22	97.91	335.00	S28°54'44"E	97.56
C31	21.03	25.00	M76°09'45"W	20.41
C32	60.05	50.00	M65°10'05"W	56.51
C33	41.15	50.00	M07°51'53"W	40.00
C34	41.15	50.00	M39°17'30"E	40.00
C35	51.62	50.00	S07°55'38"E	49.36
C36	47.21	50.00	S30°55'38"E	45.48
C37	21.03	25.00	S57°58'22"E	20.41
C98	224.05	1407.38	S37°22'03"E	223.82



I, SEAN R. SEEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT ACCURATELY REPRESENTS THE ACTUAL SURVEY. I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF NORTH CAROLINA. MY EXPIRES ON 06-19-22.

I, SEAN R. SEEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY PERFORMED TO C-20I GPS SPECIFICATIONS WITH GPS WITH WRS FIELD PROCEDURES WERE USED. THE COORDINATES USING THE COMBINED SCALE AND SHOWN HEREON SURVEY WAS RECEIVED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS.

I, SEAN R. SEEVER, CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE JURISDICTION OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

Seaver
PROFESSIONAL LAND SURVEYOR - L-4571

Seaver
PROFESSIONAL LAND SURVEYOR - L-4571

Seaver
PROFESSIONAL LAND SURVEYOR - L-4571



REVISIONS
06-19-22

PROJECT NAME
CORRECTION PLAT
DUNCAN'S
CROSSING
SUBDIVISION

PIN 0539-71-6223.000 &
0539-61-6366.000
SR 1253 (HOLDER ROAD)
UPPER LITTLE RIVER
TOWNSHIP
HARNETT COUNTY
NORTH CAROLINA

OWNER
BS LAND, LLC.
488 Standal Road
Angier, North Carolina 27501
Phone: (919) 638-5845

CLIENT
WELLONS
CONSTRUCTION,
INC.
PO Box 730
Dunn, North Carolina 28635
Phone: (919) 692-6880

PROJECT INFORMATION

SURVEYED BY:	CLIFF
DRAWN BY:	SEAN
CHECKED BY:	JIMMY
PROJECT NUMBER:	1671

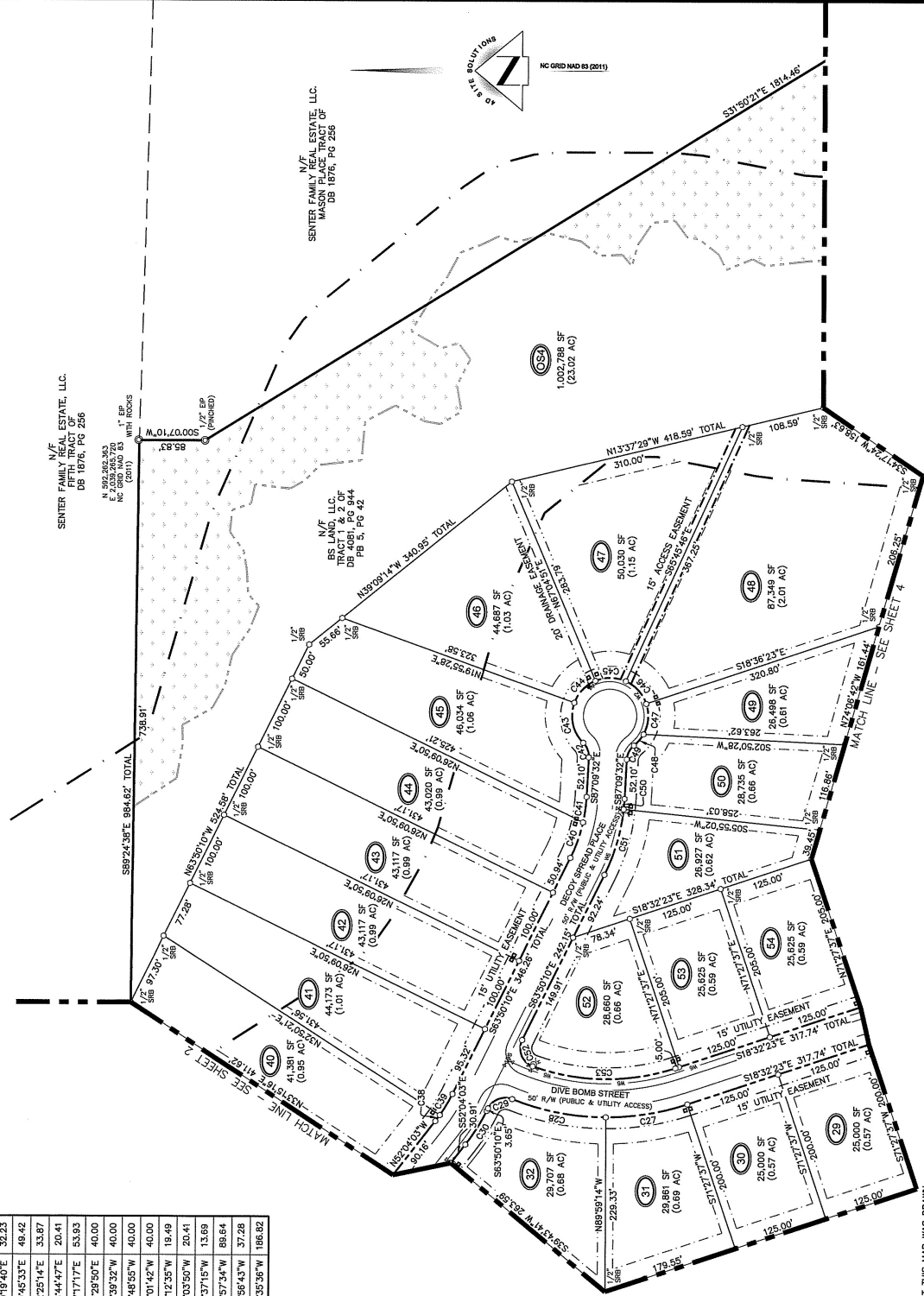
DRAWING SCALE
HORIZONTAL: 1"=100'

DATE SURVEYED
JUNE 10, 2022

SHEET NUMBER
3

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C27	106.47	335.00	N09°15'48"W	108.00
C28	125.75	335.00	N10°45'58"E	125.01
C29	37.24	25.00	N21°09'30"W	33.89
C30	52.38	255.00	S07°57'07"E	52.28
C38	9.85	205.00	S52°28'36"E	9.84
C39	32.26	205.00	S59°19'40"E	32.23
C40	49.54	205.00	S70°45'33"E	49.42
C41	33.91	205.00	S92°25'14"E	33.87
C43	21.03	25.00	N68°44'47"E	20.41
C43	95.96	50.00	N77°17'17"E	53.93
C44	41.15	50.00	S46°28'50"E	40.00
C46	41.15	50.00	S00°39'32"W	40.00
C47	41.15	50.00	S77°48'55"W	40.00
C48	19.62	50.00	N50°12'35"W	19.49
C49	21.03	25.00	N63°03'50"W	20.41
C50	13.69	255.00	N85°37'15"W	13.69
C51	90.11	255.00	N73°57'34"W	89.64
C52	42.08	25.00	S67°26'43"W	37.28
C53	190.34	285.00	S00°35'36"W	188.92



SEE SHEET 5 FOR
NOTES AND SIGNATURES

GRAPHIC SCALE
1 inch = 100 ft.



I, SEAN R. SEVER, CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN HARNETT COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

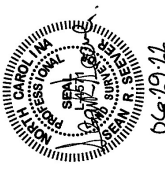
Sean R. Sever
PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY PERFORMED TO C-201 FDCG SPECIFICATIONS. THE GPS WITH VRS FIELD PROCEDURES WERE USED. THE COORDINATES WERE OBTAINED FROM THE NAD 83 DATUM. THIS SURVEY WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS.

Sean R. Sever
PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY. BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK PAGE OR THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10,000. THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY HAND AND SEAL THIS 22 DAY OF JUNE, 2022.

Sean R. Sever
PROFESSIONAL LAND SURVEYOR - L-4571



REVISIONS
06-19-21

PROJECT NAME CORRECTION PLAT DUNCAN'S CROSSING SUBDIVISION

PIN 0639-71-8223.000 &
0639-81-8366.000
SR 1293 (HOLDER ROAD)
UPPER LITTLE RIVER
TOWNSHIP
HARNETT COUNTY
NORTH CAROLINA

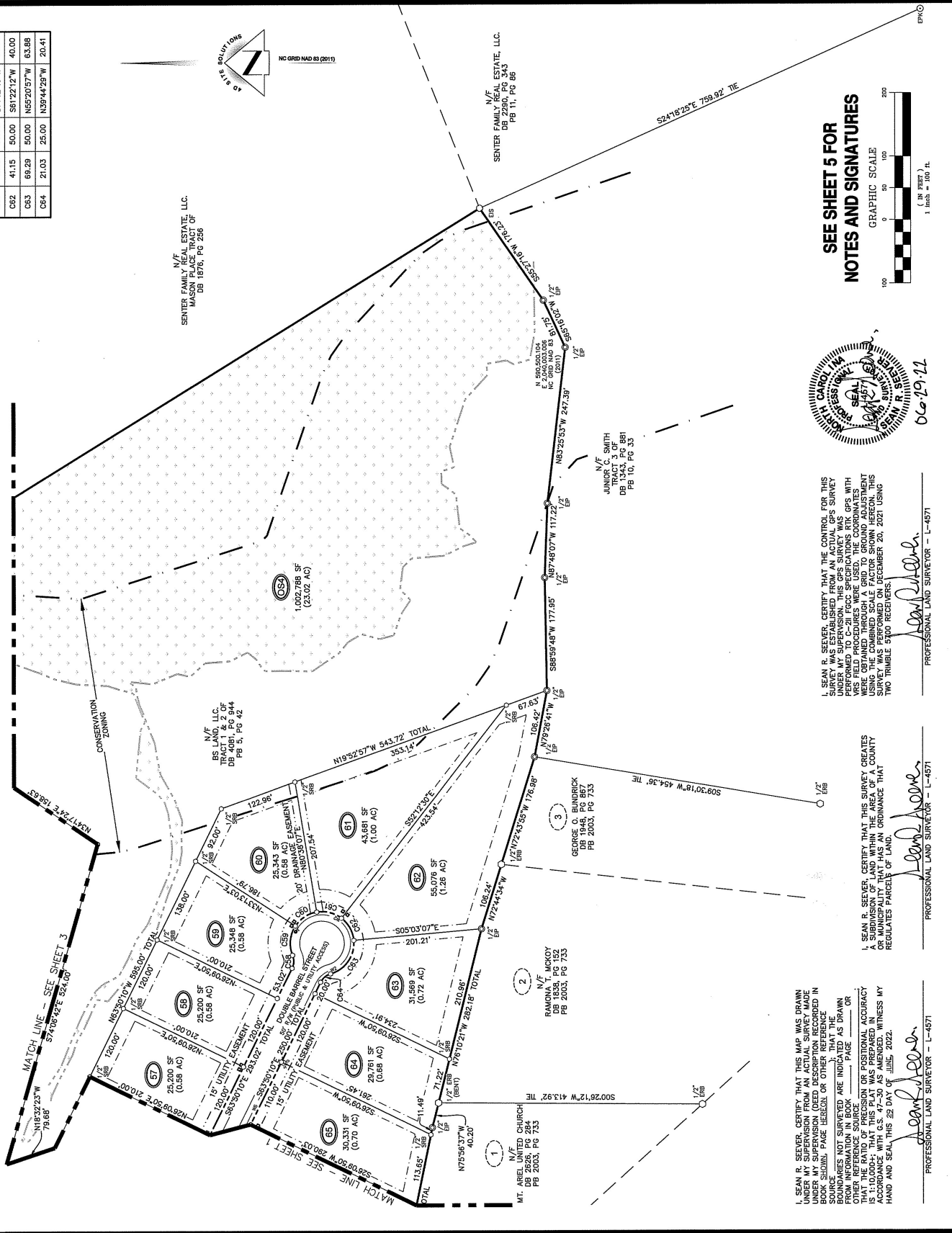
OWNER
BS LAND, LLC.
468 Starnel Road
Angier, North Carolina 27501
Phone: (919) 892-8805

CLIENT
**WELLONS
CONSTRUCTION,
INC.**
PO Box 790
Dunn, North Carolina 28335
Phone: (919) 892-6630

PROJECT INFORMATION
SURVEYED BY: CLIFF
DRAWN BY: SEAN
CHECKED BY: JIMMY
PROJECT NUMBER: 1871

DRAWING SCALE
HORIZONTAL: 1"=100'
DATE SURVEYED
JUNE 10, 2022
SHEET NUMBER
4 OF 5

CURVE TABLE			
CURVE	LENGTH	RADIUS	BEARING
C58	21.03	25.00	S87°55'52"E
C59	48.21	50.00	S84°24'15"E
C60	41.38	50.00	S33°04'25"E
C61	41.15	50.00	S1°12'49"W
C62	41.15	50.00	S81°22'12"W
C63	66.29	50.00	N52°20'57"W
C64	21.03	25.00	N39°44'25"W



N/F
SENER FAMILY REAL ESTATE, LLC.
DR 1875, PG 258

N/F
SENER FAMILY REAL ESTATE, LLC.
DR 1875, PG 258

N/F
JUNIOR C. SMITH
TRACT 3 OF
DB 1343, PG 881
PB 10, PG 33

GEORGE W. WILKINSON
DB 1549, PG 887
PB 2003, PG 733

RAMONA V. WICKOY
DB 1838, PG 152
PB 2003, PG 733

MT. AREL UNITED CHURCH
N/F
PB 2003, PG 733

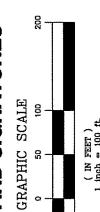


I, SEAN R. SEEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY PERFORMED TO C-200 PRECISION SPECIFICATIONS BY GPS WITH VERIFIED PROCEDURES WERE USED. THE COORDINATES WERE OBTAINED THROUGH A GRID TO GROUND ADJUSTMENT SURVEY WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS.

I, SEAN R. SEEVER, CERTIFY THAT THIS SURVEY CREATES AN EASEMENT IN HARNETT COUNTY OR MUNICIPALITY THAT HAS AN ORIGINANCE THAT REGULATES PARCELS OF LAND.

I, SEAN R. SEEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE IN BOOK SHOWING PAGE RECORD OR OTHER REFERENCE SOURCE. THE SURVEY ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK, PAGE, CASE OR OTHER REFERENCE SOURCE. THAT THE RATIO OF PRECISION WAS PROFESSIONAL ACCURACY ACCORDANCE WITH G.S. 47-50 AS AMENDED. WITNESS MY HAND AND SEAL THIS 22 DAY OF JUNE, 2022.

SEE SHEET 5 FOR
NOTES AND SIGNATURES



06-19-21

PROFESSIONAL LAND SURVEYOR - L-4871

PROFESSIONAL LAND SURVEYOR - L-4871

PROFESSIONAL LAND SURVEYOR - L-4871



4Dsite solutions
Civil Engineering / Land Surveying
100 Chicago Drive, Suite 102, Fayetteville, NC 28404
Office: 910-486-8777 | Fax: 910-486-8777 | www.4dsite.com



06-19-22

REVISIONS

STATE OF NORTH CAROLINA
COUNTY OF HARNETT

I, Sean R. Seever, REVIEW OFFICER OF HARNETT COUNTY, CERTIFY THAT THE MAP OR FLAT TO WHICH THIS CERTIFICATE IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

DATE: 7-5-22
Sean R. Seever
REGISTERED OFFICER

HARNETT COUNTY, NORTH CAROLINA
FILED FOR REGISTRATION ON THE 5th DAY OF JULY AT 11:55 (AM/PM) AND DULY RECORDED IN MAP BOOK 1117 AT PAGE 318-322
Matthew S. Willis
Blaine Kaula B. Carrel Deputy
REGISTER OF DEEDS OF HARNETT COUNTY

DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS

PROPOSED SUBDIVISION ROAD
CONSTRUCTION STANDARDS CERTIFICATION
APPROVED Lee L. Hines Jr. P.E.
DISTRICT ENGINEER

DATE: 7-5-22

ACCEPTED FOR THE NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS

BY: Lee R. Hines Jr. P.E.
DISTRICT ENGINEER
DATE: 7-5-22

CERTIFICATE OF OWNERSHIP AND DEDICATION
I, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF HARNETT COUNTY, NORTH CAROLINA, SUBJECT TO RECORDATION OF THIS SUBDIVISION WITH MY FREE CONSENT. I ESTABLISH MINIMUM BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED. FURTHERMORE, I HEREBY DEDICATE ALL WATER LINES TO THE COUNTY OF HARNETT.

DATE: 7-5-22
Bradly Skelton
OWNER'S SIGNATURE
BS LAND, LLC.

I HEREBY CERTIFY THAT STORMWATER CONVEYANCE AND CONTROL MEASURES HAVE BEEN COMPLETED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS AND SPECIFICATIONS TO THE BEST OF OUR ABILITIES. DUE CARE AND DILIGENCE WERE USED IN OBSERVATION AND MEASUREMENT OF THE PROPERTY AND THE CONSTRUCTION OF THE PERMIT AND OTHER SUPPORTING MATERIALS.

DATE: 7-5-22
Bradly Skelton
OWNER'S SIGNATURE
BS LAND, LLC.

PUBLIC PLAT DECLARATION

ALL ROADS IN THIS SUBDIVISION ARE HEREBY DECLARED TO BE PUBLIC ROADS. THE DESIGN RESPONSIBILITY FOR THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE SUBDIVISION OWNER. THE DESIGN OF ALL STREETS SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. BEFORE ANY STREETS ARE CONSTRUCTED, THE SUBDIVISION OWNER SHALL NOT RECOMMEND THAT THE N.C. DEPARTMENT OF STATE HIGHWAY SYSTEM, IF THE DISTRICT ENGINEER HAS NOT RECOMMENDED THAT THE COUNTY HAS ISSUED BUILDING PERMITS FOR THE REQUIRED PUBLIC ROAD IMPROVEMENTS BY THE SEVENTY-FIVE PERCENT (75%) OF THE LOTS SHOWN ON THIS SUBDIVISION MAP. THE DISTRICT ENGINEER MAKES SUCH A RECOMMENDATION AND FORMALLY NOTIFIES THE SUBDIVISION ADMINISTRATOR.

TOTAL AREA (BY COORDINATE COMPUTATION)
4,977,047 Sq. (107.37 AC)

PIN: 0539-71-6223.000 & 0539-81-8366.000

TOWNSHIP: UPPER LITTLE RIVER

LAND USE CLASSES: AGRICULTURAL & RURAL RESIDENTIAL
ENVIRONMENTALLY SENSITIVE

ZONING: RA-30 & CONSERVATION

35' FRONT
10' SIDE
25' REAR

TO VERIFY SETBACK INFORMATION
CONTACT THE HARNETT COUNTY
REGISTER OF DEEDS
PLANNING DEPARTMENT 910-653-7525

SOURCE OF TITLE
G.S. 47-30
HARNETT COUNTY
REGISTER OF DEEDS

I, SEAN R. SEEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY UNDER MY SUPERVISION. THIS GPS SURVEY WAS PERFORMED IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE PROFESSION. THE COORDINATES WERE OBTAINED THROUGH A GRID TO GROUND ADJUSTMENT SURVEY WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS.

DATE: 7-5-22
Sean R. Seever
PROFESSIONAL LAND SURVEYOR - L-4571

I, HEREBY CERTIFY THAT THE DEVELOPMENT DEPICTED HEREON HAS BEEN GRANTED FINAL APPROVAL BY THE HARNETT COUNTY PLANNING AND ZONING DEPARTMENT, ENVIRONMENTAL HEALTH, FIRE MARSHAL AND PUBLIC UTILITIES OF HARNETT COUNTY, NORTH CAROLINA, SUBJECT TO RECORDATION IN THE HARNETT COUNTY OFFICE OF REGISTER OF DEEDS WITHIN THIRTY DAYS OF THE DATE BELOW.

APPROVED: Sean R. Seever DATE: 7-5-22
DEVELOPMENT REVIEW CHAIRMAN

CERTIFICATE OF IMPROVEMENTS MAINTENANCE
I HEREBY CERTIFY THAT I ASSUME ALL FINANCIAL AND LEGAL RESPONSIBILITIES FOR THE MAINTENANCE AND IMPROVEMENT OF THE CROSSING SUBDIVISION UNTIL SUCH TIME THAT THEY ARE ACCEPTED FOR MAINTENANCE BY THE NCDOT.

DATE: 7-5-22
Bradly Skelton
OWNER
BS LAND, LLC.

NOTES:

- 1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- 2. COMBINED SCALE FACTOR: 0.99987479
- 3. LOCALIZATION POINT N: 590.372796 E: 2.037550103
- 4. THE HORIZONTAL AND VERTICAL CONTROL FOR THIS SURVEY WERE ESTABLISHED BY THE HARNETT COUNTY REGISTER OF DEEDS.
- 5. LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION ON RECORD.
- 6. THIS SURVEY WAS DONE WITHOUT BENEFIT AND HAS BEEN OPENED BY THIS SURVEY. ON REFERENCE INFORMATION SHOWN HERE ON. OTHER DOCUMENTS OF RECORD ASSUMED BY THE SURVEYOR. THIS PROPERTY HAS NO RESPONSIBILITY TO EXIST BUT ARE UNKNOWN OR REFERENCED HERE ON, SUCH AS BUT NOT LIMITED TO HAZARDOUS WASTE MATERIALS, EASEMENTS, CEMETERIES, AND FLOOD AREAS.
- 7. THE FLOOD INSURANCE RATE, DATED OCTOBER 3, 2008.
- 8. WATER LINES ARE SHOWN USING INFORMATION PROVIDED BY HARNETT COUNTY CONCEPT STANDARDS.
- 9. THIS DEVELOPMENT WAS DESIGNED IN ACCORDANCE WITH COMPATIBILITY DESIGN CONCEPT STANDARDS.
- 10. PROPERTY IS LOCATED WITHIN ONE MILE OF A VOLUNTARY AGRICULTURAL DISTRICT PORTION OF PROPERTY IS LOCATED IN MSV CLASSIFICATION.
- 11. THE MAINTENANCE OF STREETS/SCAPE BUFFERS, OPEN SPACE, MAIL BOXES, STREET LIGHTS, AND OTHER IMPROVEMENTS SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.
- 12. SIGNS SHALL BE PLACED AT LEAST 20' FROM ALL INTERSECTION R/W'S AND A MINIMUM OF 10' FROM THE PROPERTY LINE.
- 13. AS WELL AS THE HARNETT COUNTY COMPREHENSIVE TRANSPORTATION PLAN AND THE HARNETT COUNTY GREENWAY PLAN.
- 14. ACCESS TO PRIVATE PROPERTY IS PROVIDED SUCH THAT THE COUNTY CAN MAINTAIN THE PUBLIC RIGHT OF WAY.
- 15. STREET LIGHTS ARE INSTALLED NOT MORE THAN 300' APART.
- 16. FIRE HYDRANTS ARE INSTALLED NO FURTHER THAN 500' FROM ANY STRUCTURE.
- 17. DOUBLE BARREL STREET: 1,885 LF
- 18. CLAYE DOG COURT: 1,141 LF
- 19. BROWN WINGS STREET: 736 LF
- 20. DECOY SPREAD PLACE: 885 LF

THIS CORRECTION PLAT HAS BEEN PREPARED AND RECORDED FOR THE SOLE PURPOSE OF ADDING THE OWNER'S NAME TO THE TITLE BLOCK AND DOES NOT OTHERWISE ALTER LINES OR CHANGE ANY OTHER ASPECTS OF THE PRIOR PLAT RECORDED IN PB 2022, PG 293.

I, SEAN R. SEEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE PROFESSION. THE COORDINATES WERE OBTAINED THROUGH A GRID TO GROUND ADJUSTMENT SURVEY WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS.

DATE: 7-5-22
Sean R. Seever
PROFESSIONAL LAND SURVEYOR - L-4571

DATE: 7-5-22

Sean R. Seever
REGISTERED OFFICER

DATE: 7-5-22

Bradly Skelton
OWNER'S SIGNATURE
BS LAND, LLC.

DATE: 7-5-22

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Sean R. Seever
REGISTERED OFFICER

DATE: 7-5-22

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