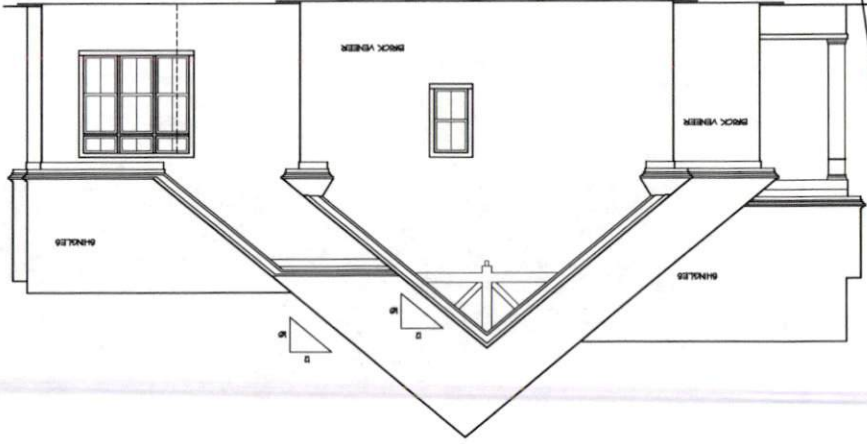
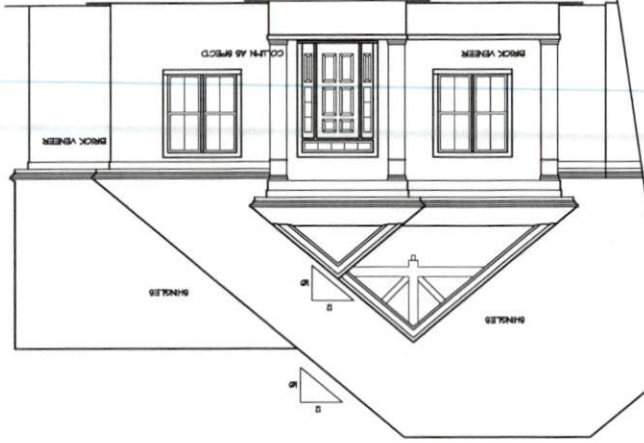


BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT TIME OF CONSTRUCTION.
 ALL CONSTRUCTION SHALL CONFORM TO THE 2018 EDITION OF THE NC STATE BUILDING CODE.
 CODES GOVERN OVER DRAWINGS.
 DIMENSIONS GOVERN OVER SCALE.
 VERIFY ALL MECHANICAL REQUIREMENTS BEFORE FRAMING.
 YANCANNON DESIGNS DOES NOT ASSUME LIABILITY FOR ANY DEVIATION OF OR CONSTRUCTION METHODS OF THESE PLANS.

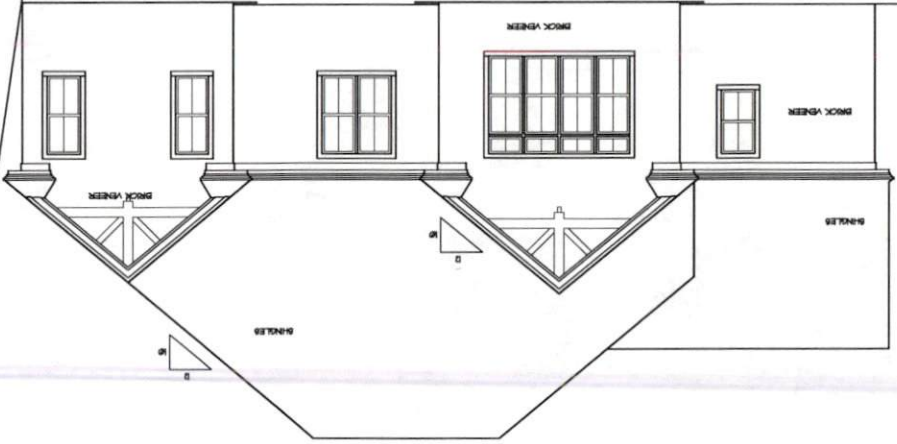
RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



Plan No. 2324-10REV

A-1
SHEET

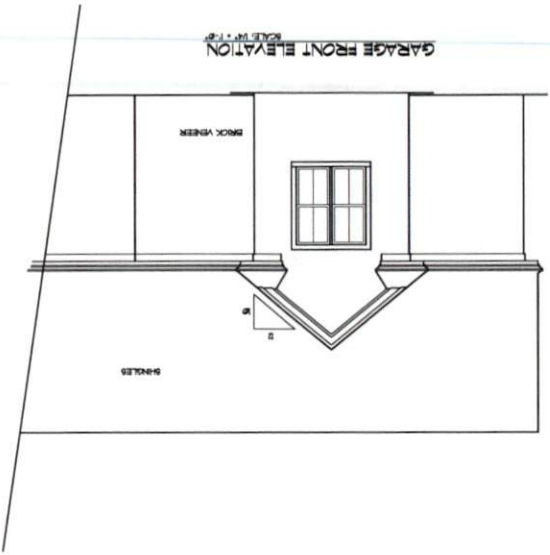
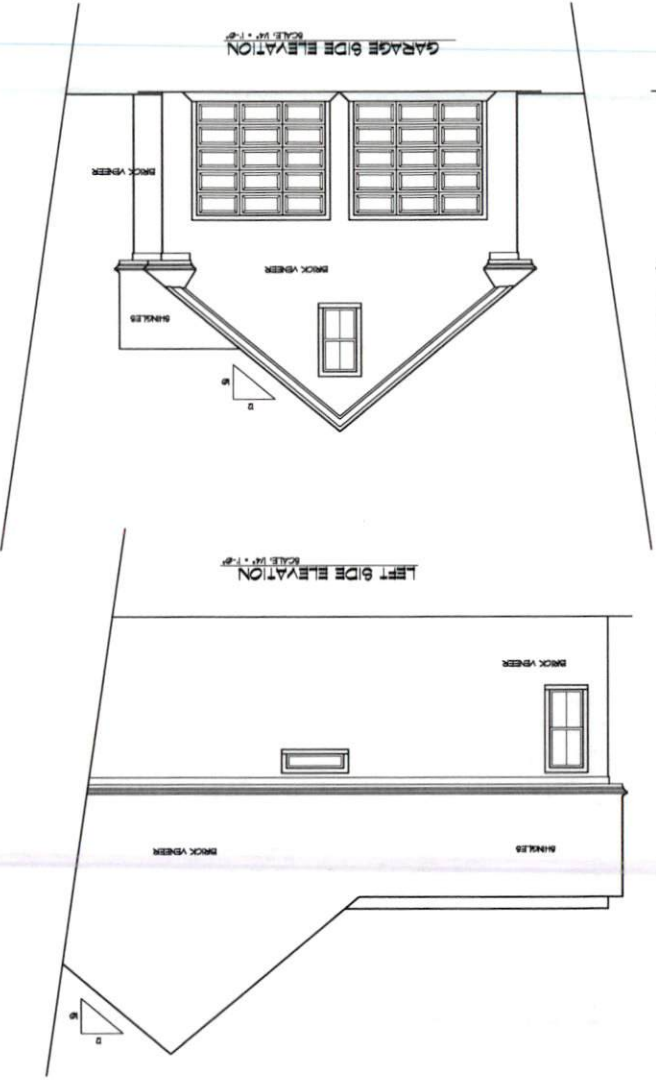
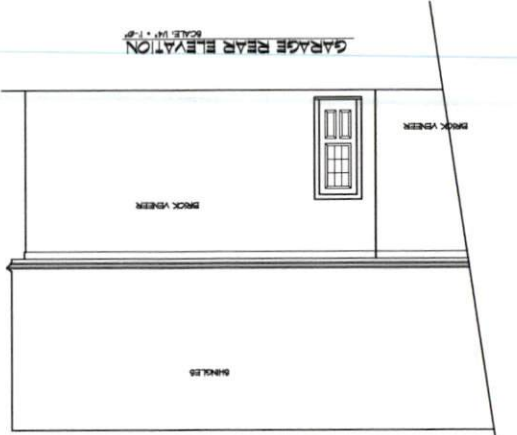
REVISIONS:
 DRAWN BY: LBY
 DATE: 04/23/23

YANCANNON DESIGNS

CUSTOM HOME PLANS
 18041-VANNOVA, NC - 27811-4734

Scott/Linda Blackwelder

BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT TIME OF CONSTRUCTION.
 ALL CONSTRUCTION SHALL CONFORM TO THE 2018 EDITION OF THE NC STATE BUILDING CODE.
 CODES GOVERN OVER DRAWINGS.
 DIMENSIONS GOVERN OVER SCALE.
 VERIFY ALL MECHANICAL REQUIREMENTS BEFORE FINISHING.
 YANCANNON DESIGN DOES NOT ASSUME LIABILITY FOR ANY DEVIATION OF OR CONSTRUCTION METHODS OF THESE PLANS.



Plan No. 2324-107REV

SHEET
 A-2

REVISIONS:
 DRAWN BY: JMW
 CHECKED BY: JMW
 DATE: 04/23

YANCANNON DESIGNS
 CUSTOM HOME PLANS
 ROSELAND, VIRGINIA, NC • (800) 477-7374

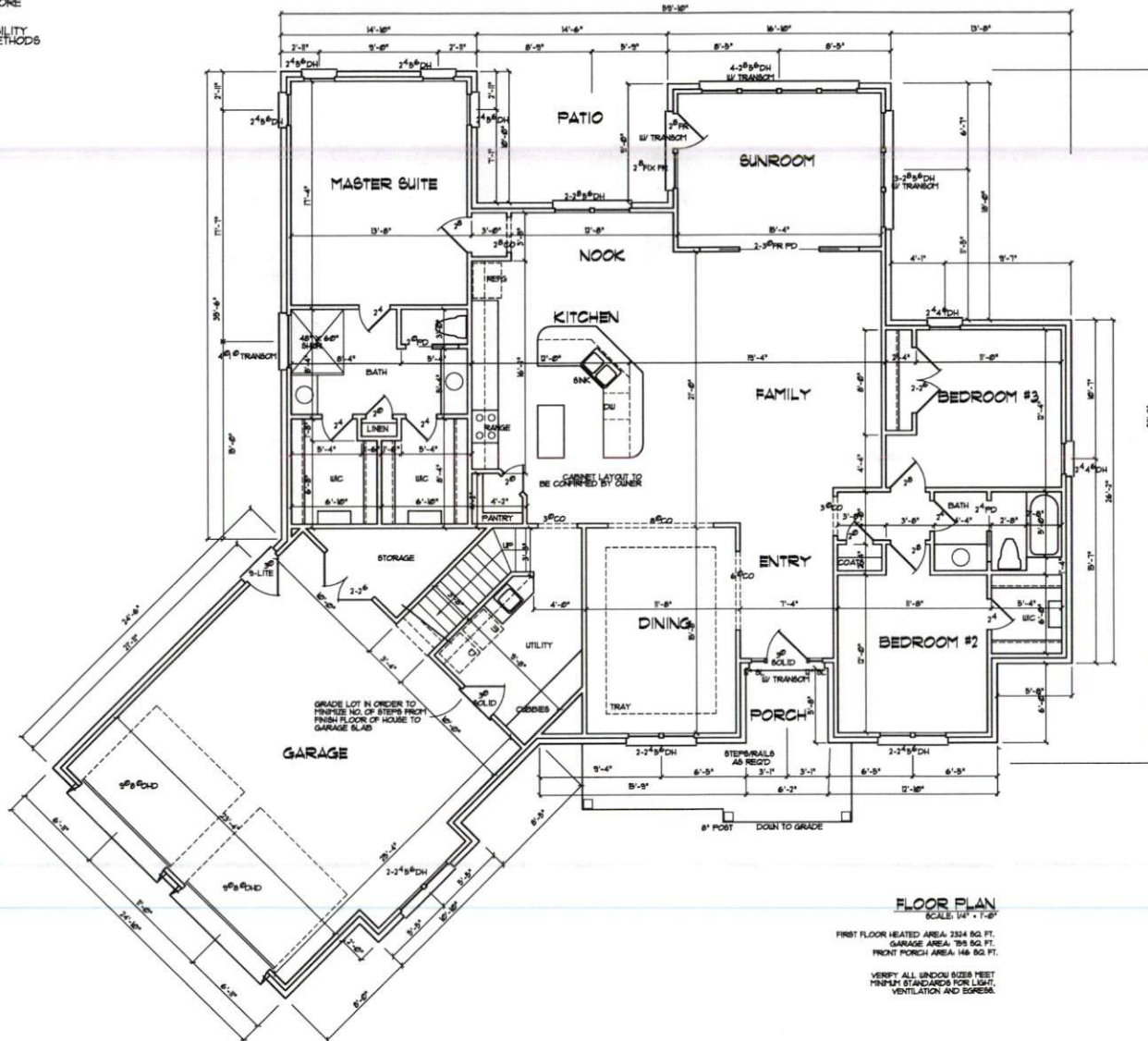
Scott/Linda Blackwelder

BUILDER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT TIME OF CONSTRUCTION.

ALL CONSTRUCTION SHALL CONFORM TO THE 2018 EDITION OF THE NC STATE BUILDING CODE. CODES GOVERN OVER DRAWINGS. DIMENSIONS GOVERN OVER SCALE.

VERIFY ALL MECHANICAL REQUIREMENTS BEFORE FRAMING.

VINCANNON DESIGNS DOES NOT ASSUME LIABILITY FOR ANY DEVIATION OF OR CONSTRUCTION METHODS OF THESE PLANS.



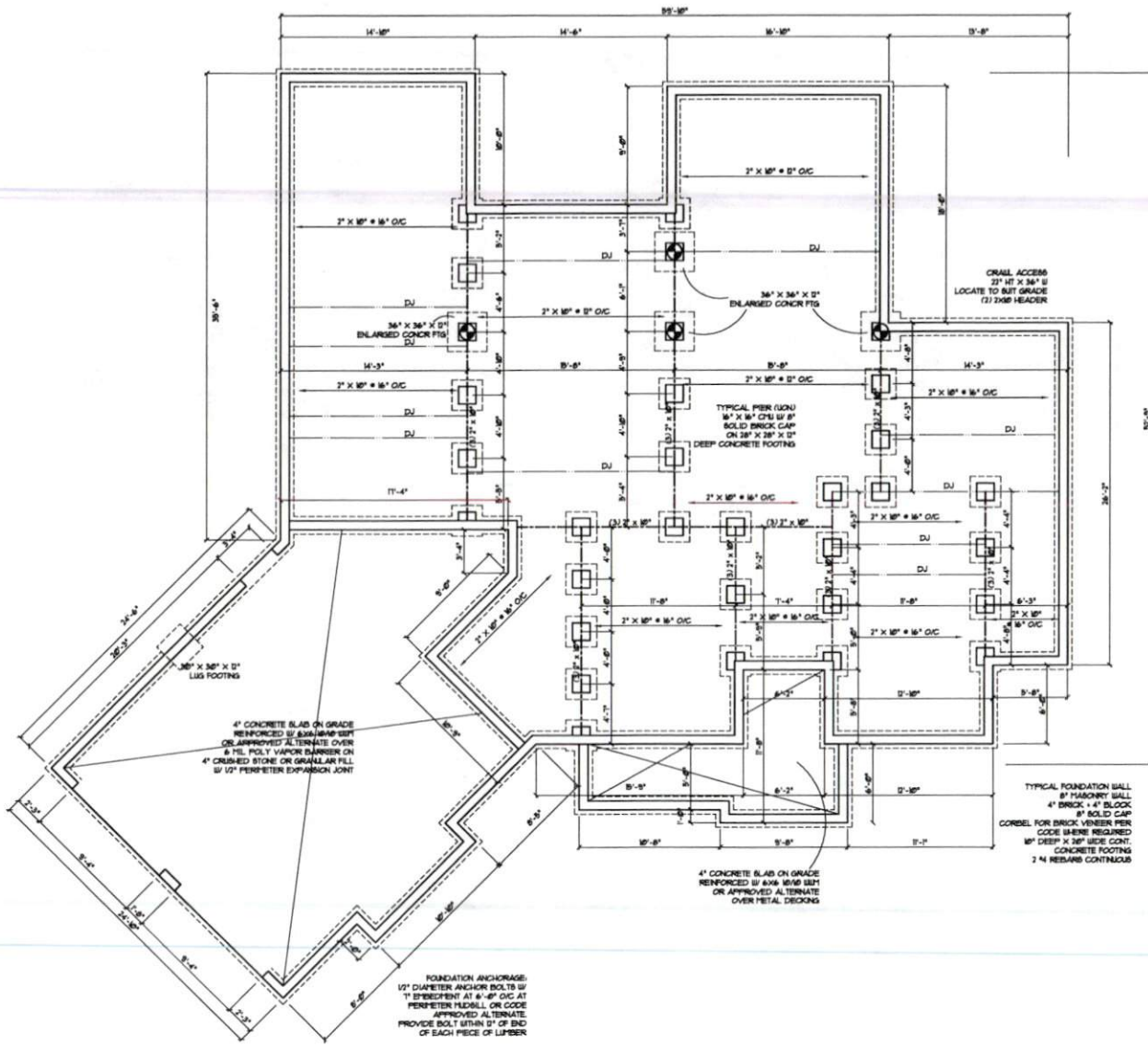
Scott/Linda Blackwelder
387 Ballard Road
Fuquay Varina, NC

VINCANNON DESIGNS
CUSTOM HOME PLANS
10011 VARNNA, NC - 27054-4713-114

DRAWN BY: LRV
CHKD BY: LRV
DATE: 04/14/23
REVISIONS:

SHEET
A-3

Plan No. 2324-10REV



GENERAL FOUNDATION NOTES

1. THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
2. EXTERIOR WALL FOOTING WHERE NOTED TO BE 20" X 16" 3000 PSI STRUCTURAL CONCRETE UNLESS OTHERWISE NOTED. CONCRETE TO BE PREPARED AND PLACED IN ACCORDANCE WITH ACI 318. FOR FOUNDATION WALL HEIGHT, THICKNESS AND SHEAR/DEVELOPMENT, REFER TO STATE AND LOCAL BUILDING CODES. NOTE: ASSUMED SOIL BEARING CAPACITY=2000 PSF. CONTRACTOR MUST VERIFY CONDITIONS AND CONTACT SOIL ENGINEER IF UNUSUAL OR UNUSABLE SOILS ARE ENCOUNTERED.
3. FOOTINGS TO BE ON UNINSULATED EXTERIOR A MIN. OF 12" BELOW FINISH GRADE OR AS OTHERWISE DIRECTED BY LOCAL INSPECTOR.
4. FOUNDATION DRAINAGE SHALL BE IN ACCORDANCE WITH SECTION 1905 OF THE CODE "FOUNDATION DRAINAGE".
5. THE FOUNDATION SHALL BE "TIED" IN ACCORDANCE WITH SECTION 1905 OF THE CODE "FOUNDATION INTERPROOFING AND DRAINAGE".
6. THIS FOUNDATION DESIGN IS VALID FOR 115 MPH WIND ZONES ONLY.
7. FOUNDATION WALLS SHALL BE 8" BLOCK UNLESS NOTED OTHERWISE.
8. (D) IN BARS IN FOOTINGS RUN CONTINUOUSLY.

(D) INDICATES POINT LOAD ABOVE

CRAWL SPACE VENTILATION

PROVIDE AT LEAST 16 SQ. FT. NET FREE VENTILATION AREA FOR EACH 160 SQ. FT. OF CRAWL SPACE
 CRAWL SPACE AREA:
 1334 / 8'6" = 154.8 SQ. FT. REQ.
 REDUCE REQUIRED AREA TO 140 SQ. FT. NET FREE VENTILATION AREA FOR EACH 1600 SQ. FT. OF CRAWL SPACE WITH APPROVED VAPOR BARRIER
 PROVIDE (1) VENT WITHIN 3'-0" OF EACH CORNER
 REFER TO MANUFACTURER SPECIFICATIONS FOR ACTUAL VENTS USED TO DETERMINE NUMBER OF VENTS REQUIRED

STRUCTURAL EVALUATION BY:

HOWERTON SERVICES, PLLC
 2513 COTWRIGHT BELL ROAD RALEIGH, NC 27614
 LICENSE P-1716

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- ANY REMARKS OR REVISIONS ON PLANS ARE TO BE BROUGHT TO IMMEDIATE ATTENTION OF THE ENGINEER. FAILURE TO DO SO SHALL VOID ENGINEER'S LIABILITY.
- DO NOT SCALE THESE DRAWINGS - ENGINEERING APPROVAL DATES 05/01/2024



S1 FOUNDATION
 1/4"=1'-0"

Plan No. 2324-10REV

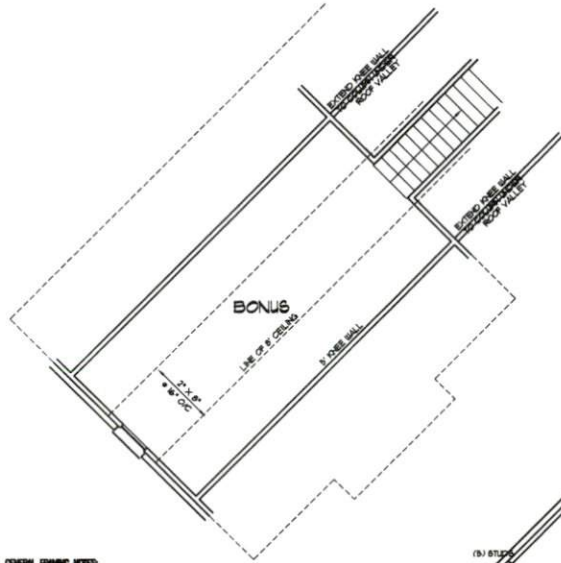
CONSTRUCTION EVALUATION BY:
 HOWERTON SERVICES, PLLC
 2513 COTWRIGHT BELL RD, RALEIGH, NC 27614

DESIGNER:
 HOWERTON SERVICES, PLLC
 2513 COTWRIGHT BELL RD, RALEIGH, NC 27614

SCOTT L. BLACKWELDER
 387 BALLARD ROAD
 FAYETTEVILLE, NC

DATE:
 04/14/23

S1



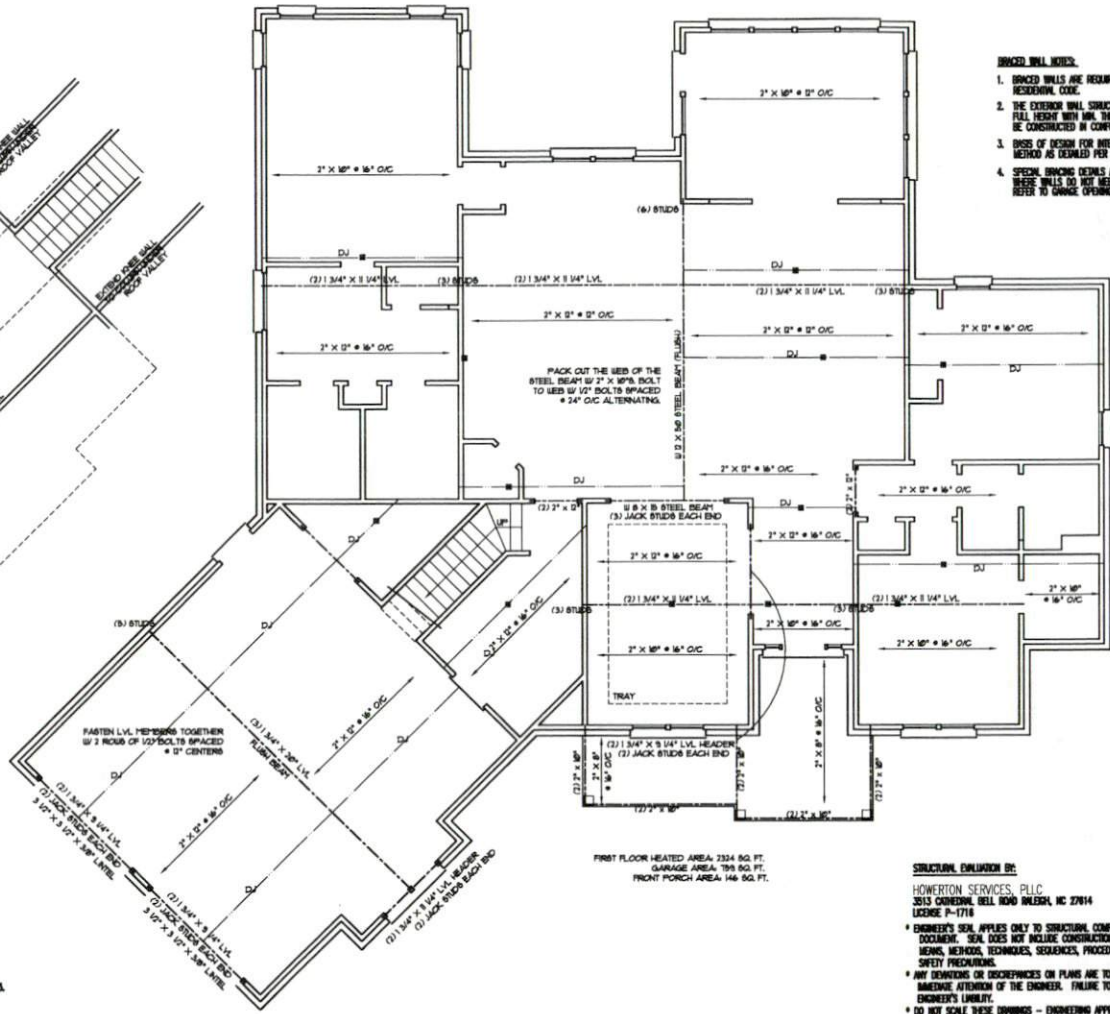
- GENERAL FINISH NOTES:**
- THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
 - GLAZING AREAS SHOWN ON THESE DESIGN DRAWINGS DO NOT EXCEED 15% OF THE GROSS AREA OF THE EXTERIOR WALLS. THIS STRUCTURE MEETS THE REQUIREMENTS OF 919.2.1, RESIDENTIAL BUILDING, TYPE I-A-1.
 - WALL CLADDING IS DESIGNED FOR A 26.1 psf OR GREATER POSITIVE/NEGATIVE PRESSURE.
 - ALL WALLS, FLOORS AND CEILINGS SHALL BE INSULATED IN ACCORDANCE WITH PART II, ENERGY CONSERVATION, CHAPTER 11, ENERGY EFFICIENCY OF THE CODE FOR ZONE 7. (TABLE R1901.2).
 - DESIGN CRITERIA:

	DEAD	LIVE
PRIMARY FLOOR	10 PSF	40 PSF
SECONDARY FLOOR	10 PSF	40 PSF
SLEEPING AREAS	10 PSF	30 PSF
ATIC	10 PSF	30 PSF
ROOF	10 PSF	30 PSF
WIND		100 MPH
 - REFLECTION LIMITS: FLOOR - 1/200 (LINE LOAD CASE); ROOF - 1/200
 - ALL HANGERS IN LOAD BEARING WALLS SHALL BE DOUBLE 2X10.
 - ALL WALLS ARE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.
 - FLOOR INSULATION = R-10, EXTERIOR = R-15 AND CEILING = R-30.
 - PROVIDE DOUBLE FLOOR JOISTS OR TRUSS UNDER WALLS ABOVE.

WALLS SUPPORT FOR HANGERS:
 HANGERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS IN ACCORDANCE WITH TABLE R602.7(1) OR R602.7(2). THE FULL-HEIGHT STUD ADJACENT TO EACH END OF THE HANGER SHALL BE END NAILED TO EACH END OF THE HANGER WITH FOUR-16D NAILS (3.5 INCHES X 0.135 INCHES). THE MINIMUM NUMBER OF FULL-HEIGHT STUDS AT EACH END OF A HANGER SHALL BE IN ACCORDANCE WITH TABLE R602.7.5.

TABLE R602.7.5
 MINIMUM NUMBER OF FULL-HEIGHT STUDS AT EACH END OF HANGERS IN EXTERIOR WALLS

HANGER SPAN	MINIMUM STUD SPACING (INCHES) PER TABLE R602.7(2)	
	16	24
LESS THAN/EQUAL TO 3'	1	1
4'	2	1
8'	3	2
12'	5	3
16'	6	4



FIRST FLOOR HEATED AREA: 2324 SQ. FT.
 GARAGE AREA: 199 SQ. FT.
 FRONT PORCH AREA: 146 SQ. FT.

- BRACED WALL NOTES:**
- BRACED WALLS ARE REQUIRED PER SECTION R602.10.1 2018 NCRC RESIDENTIAL CODE.
 - THE EXTERIOR WALL STRUCTURE SHALL BE CONTINUOUSLY SHEARED, FULL HEIGHT WITH MIN. THICKNESS 7/16" OSB. THESE WALLS SHALL BE CONSTRUCTED IN CONFORMANCE TO TYPE CS-WSP DETAILS.
 - DIAPHRAGM DESIGN FOR INTERIOR BRACE WALLS IS OPTION BOARD METHOD AS DETAILED PER CODE TABLE R602.10.2.
 - SPECIAL BRACING DETAILS ARE ILLUSTRATED IN THE CODE AND ALLOWED. THESE WALLS DO NOT MEET THE MINIMUM REQUIREMENTS FOR SUPPORT. REFER TO BRACE CHAIRS, FLOOR FINISH DETAILS.

STRUCTURAL EVALUATION BY:
 HOWERTON SERVICES, PLLC
 2013 COWDRIE, HELL ROAD WELSH, NC 27814
 LICENSE P-1718

ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS OF THIS DOCUMENT. SEAL DOES NOT INCLUDE CONSTRUCTION REVIEW, MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS.

ANY REVISIONS OR DISCREPANCIES ON PLANS ARE TO BE BROUGHT TO IMMEDIATE ATTENTION OF THE ENGINEER. FAILURE TO DO SO WILL VOID ENGINEER'S LIABILITY.

DO NOT SCALE THESE DRAWINGS - ENGINEERING APPROVAL EXPRESSES 04/01/2024



S2 FIRST FLOOR FRAMING
 1/4"=1'-0"

Plan No. 2324-10REV

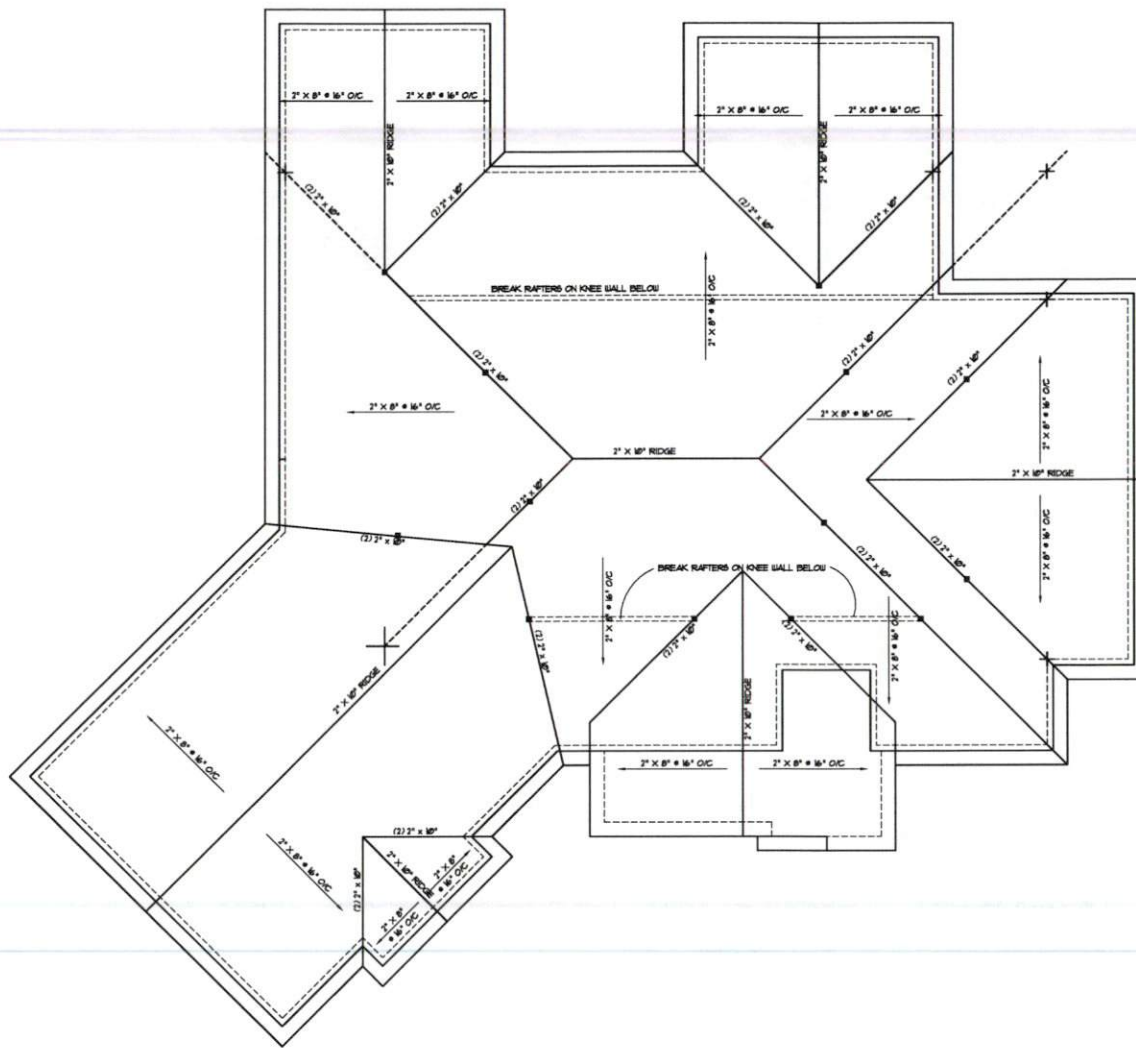
STRUCTURAL EVALUATION BY:
 HOWERTON SERVICES, PLLC
 2013 COWDRIE, HELL ROAD, WELSH, NC 27814

DESIGNED BY:
 HOWERTON SERVICES, PLLC

Scott/Linda Blackwelder
 387 Ballard Road
 Fuquay-Varina, NC

DATE:
 04/14/23

S2



GENERAL ROOF NOTES:

1. THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
2. ROOF CLADDING DESIGN VALUES (POSITIVE/NEGATIVE) SHALL BE AS FOLLOWS:
 45.5 $\frac{L}{50}$ FOR ROOF PITCHES FROM 0 $\frac{12}{12}$ TO 2.25 $\frac{12}{12}$
 34.5 $\frac{L}{50}$ FOR ROOF PITCHES FROM 2.25 $\frac{12}{12}$ TO 7 $\frac{12}{12}$
 21 $\frac{L}{50}$ FOR ROOF PITCHES FROM 7 $\frac{12}{12}$ TO 12 $\frac{12}{12}$
3. ALL ROOFING ELEMENTS SHALL MEET THE REQUIREMENTS OF CHAPTER 6 OF THE CODE.
4. ALL LUMBER SHALL BE #2 SPF OR BETTER. RAFTERS MAY BE FRIBER JOINED PER NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, AND MUST HAVE THE STRUCTURAL CERTIFICATION STAMPED ON THE MEMBER.
5. RAFTER SIZE, SPACING AND SPACING SHALL NOT EXCEED THE FOLLOWING:

SIZE	200	200	2X10
SPACING 12" O.C.	14'-0"	18'-0"	24'-10"
SPACING 16" O.C.	13'-0"	17'-0"	22'-5"
6. ALL RAFTERS TO BE 2X6 @ 16" O.C. #2 SPF UNLESS NOTED OTHERWISE.
7. 2-2X10 RIPS MAY BE SPACED WITH A MIN. 6'-0" OVERLAP.
8. PROVIDE DOUBLE RAFTER EACH SIDE OF DOMERS WITH DOUBLE HENKER.
9. ATTACH WALLS RAFTERS WITH HURRICANE CLIP SIMPSON "H-5" OR EQUIVALENT. PROVIDE DOUBLE OPPOSING RAFTERS WHERE NEEDED.
10. 2X6 RAFTERS @ CORNERS OR WALKED CEILING TO BE FLURRED DOWN 2" OR USE 2X10 RAFTERS FOR INSULATION PER CODE.
11. PROVIDE 2X4 COLLAR TIES EVERY SECOND RAFTER (TYPICAL)
12. PROVIDE 2X4 RAFTER TIES @ 32' O.C. (TYPICAL)
13. FRAME RAFTERS ON 2X4 PLATE ON TOP OF CEILING JOISTS UNLESS NOTED OTHERWISE.
14. SHIMMLES ASSIGNED TO BE 2X4 LB. FIBERGLASS, OR EQUAL. MINIMUM ROOF PITCH TO BE AS INDICATED ON ARCHITECTURAL PLAN SHEETS.
15. PROVIDE DOUBLE LAYER OF ROOF FELT WHERE ROOF PITCH IS LESS THAN 4 $\frac{12}{12}$.
16. THESE DESIGN DRAWINGS WERE PRODUCED BY HOWERTON SERVICES, PLLC ASSUMES NO LIABILITY FOR THE CORRECTNESS OF ARCHITECTURE, FEATURES, DIMENSIONS OR FEATURES.
17. ALL RIP DIMENSIONS AND WALLS SHALL BE DOUBLE 2X10 UNLESS NOTED OTHERWISE.
18. CONSTRUCTION IS RESPONSIBLE FOR REVIEWING DRAWINGS FOR COMPLETENESS PRIOR TO BEGINNING CONSTRUCTION.
19. VALLEY RAFTERS WITH SPANS LONGER THAN 16' SHALL BE 1.5X SUPPORTED AS NOTED. PROVIDE TEMPORARY SHIRT KNEE SUPPORT UNTIL ALL SHEETING AND RAFTER TIES/COLLARS ARE INSTALLED.
20. DO NOT SCALE THESE DRAWINGS. IF DISCREPANCIES ARE NOTED, CONTACT THE ENGINEER.

ATTIC SPACE VENTILATION

MAIN ROOF
 ATTIC AREA = 3279 SQ. FT.
 REQUIRED AREA = A/300 = 10.93 SQ. FT.

NOTE:
 ALL EAVES TO HAVE 2" CONTINUOUS SOFFIT VENT
 ALLOW 1" AIR SPACE ABOVE INSULATION FOR AIR FLOW

STRUCTURAL EVALUATION BY:

HOWERTON SERVICES, PLLC
 3513 COLUMBIAN BELL ROAD RALEIGH, NC 27614
 LICENSE # 7718

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- DO NOT SCALE THESE DRAWINGS - ENGINEERING APPROVAL EXPIRES 05/31/2024
- INDICATES (3) 2X4 SHIRT KNEE ON BEAM BELOW



S3 ROOF PLAN
 01 1/4"=1'-0"

Plan No. 2324-10REV

DATE: 04/14/23

STRUCTURAL ENGINEER BY:
 HOWERTON SERVICES, PLLC
 3513 COLUMBIAN BELL ROAD, RALEIGH, NC 27614

BUILDING DESIGN BY:
 VINCANNON DESIGNS

Scott L. Blackwelder
 387 Ballard Road
 Fuquay-Varina, NC

REVISION
 ROOF PLAN

DATE
 04/14/23

NO. 04/14/23
 S3