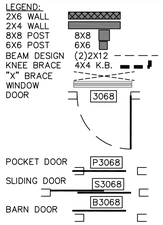
NOTE: DIMENSIONS ARE MEASURED TO ROUGH WALL FACES ON WALLS AND CENTER-LINE ON PIERS, WINDOWS AND DOORS, UNLESS OTHERWISE NOTED.

LEGEND:



"SJ" – SINGLE JOIST
"DJ" – DOUBLE JOIST
"TJ" – TRIPLE JOIST

FOUNDATION NOTES:

RIM BANDS TO BE (2)2X10 SPF #2, OR EQUAL
GIRDERS TO BE (3)2X10 SPF #2, UNLESS NOTED OTHERWISE ("UNO")

CONCRETE BLOCK PIER SIZE SHALL BE:

HOLLOW MASONRY	SOLID MASONRY	SIZE
<32" HIGH	<5' HIGH	8X16
<48" HIGH	<9' HIGH	12X16
<64" HIGH	<12' HIGH	16X16

ALL FOOTINGS TO BE 24"X36"X8" THICK CONCRETE FOOTINGS

CONTINUOUS WALL FOOTING:
DEPTH: 8" MINIMUM UP TO 2-1/2 STORIES
10" MINIMUM UP TO 3 STORIES

WIDTH: 16" MINIMUM WIDTH FOR CONTINUOUS FOOTING UP TO 2 STORY HOME, CONVENTIONAL LIGHT DUTY CONSTRUCTION
18" MINIMUM WIDTH FOR CONTINUOUS FOOTING UP TO 3 STORY HOME, CONVENTIONAL LIGHT DUTY CONSTRUCTION

CONTRACTOR TO PROVIDE AT MINIMUM 2" FOOTING PROJECTION BEYOND CMU OR BRICK FOUNDATION WALLS.

FOOTING PROJECTION SHALL NOT EXCEED THE FOOTING THICKNESS.

ASSUMES SOIL BEARING CAPACITY OF 2,000 PSF, CONTRACTOR TO VERIFY SITE CONDITIONS AND CONTACT SOIL ENGINEER IF MARGINAL OR UNSTABLE SOILS EXIST. ALL NC BUILDING CODE REQUIREMENTS FOR FOUNDATION HEIGHT, BACKFILL AND FROST PROTECTION TO BE OBSERVED,

ATTACH SILL PLATES VIA $\frac{1}{2}$" DIAMETER ANCHOR BOLTS 6' OC OR $\frac{5}{8}$" DIAMTER ANCHOR BOLT 8' OC AND 12" FROM END OF EACH PLATE. MINIMUM TWO (2) BOLTS PER PLATE. BOLTS SHALL EXTEND INTO FOOTING OR FULLY GROUTED MASONRY 7", MINIMUM. BOLT SHALL BE PLACED IN MIDDLE 3RD OF SOLE PLATE.

IF NOT SPECIFICALLY PRESCRIBED WITHIN THIS PLAN SET CONTRACTOR TO FOLLOW THE THEN CURRENT NC RESIDENTIAL BUILDING CODE.

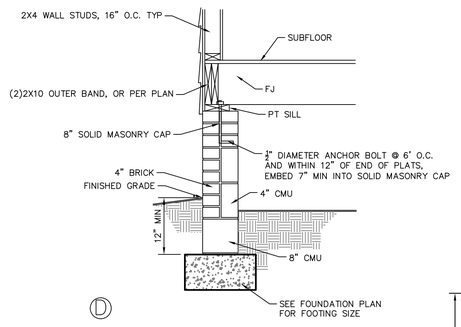
CRAWL SPACE SHALL BE VENTILATED PER SECTION R408. IF CONTRACTOR PROPOSES TO SEAL THE CRAWL SPACE FOLLOW SECTION R409 OF THE NC BUILDING CODE. VENTS SHOWN AS TYPICAL LOCATIONS, CONTRACTOR TO VERIFY LOCATION MEETS OR EXCEEDS CODE.

THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE 1 SF FOR EACH 150 SF OF CRAWL SPACE AREA. 1,588 SF OF CRAWL SPACE / 150 SF = 11 SF VENTILATION REQUIRED

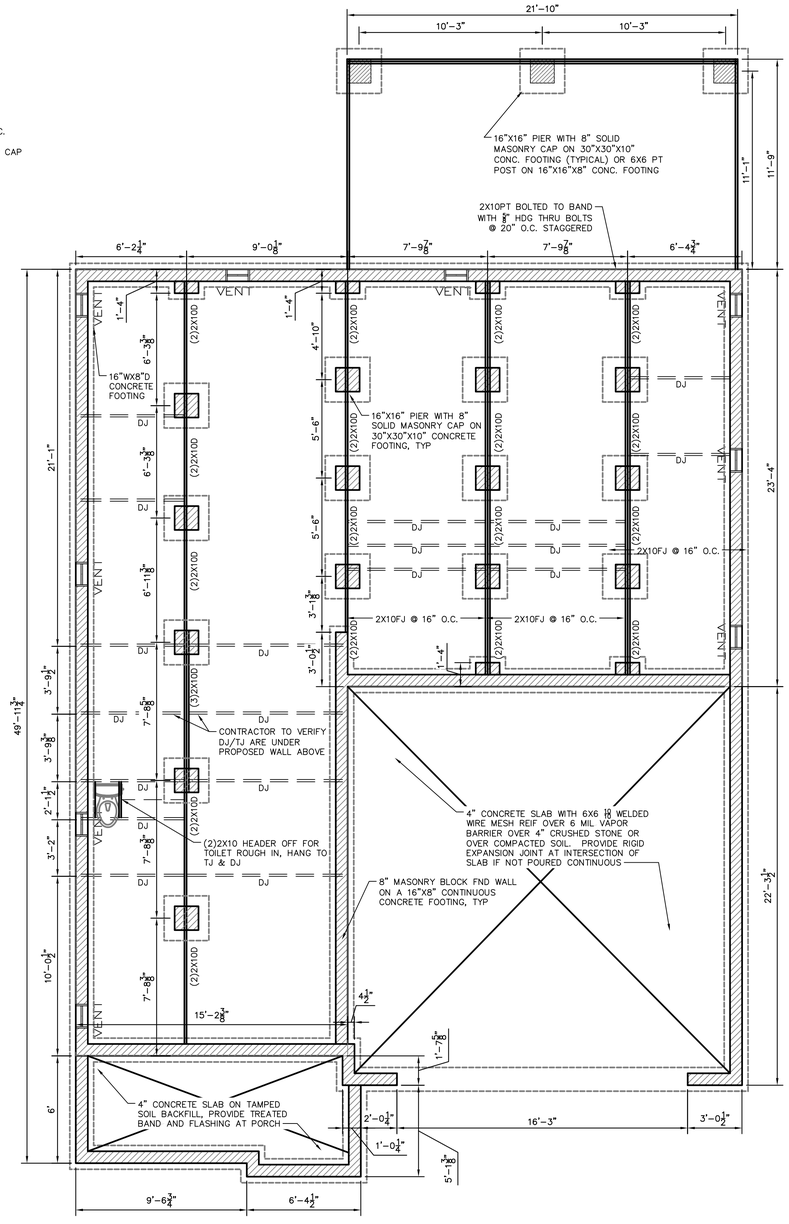
GENERAL NOTES:

1. CONSTRUCTION OF SITE TO BEGIN AFTER BUILDING PERMIT AND ALL OTHER APPLICABLE PERMITS HAVE BEEN ISSUED.
2. CONTRACTOR TO FOLLOW ALL NORTH CAROLINA AND LOCAL BUILDING CODES. PLAN DESIGNED UNDER NC RESIDENTIAL CODE 2018 EDITION (2015 IRC).
3. FLOOR TRUSS AND ROOF TRUSS BY OTHERS, FLOOR TRUSSES ASSUMED TO BE 16". SHOULD FLOOR TRUSS DESIGN REQUIRE GREATER HEIGHT STAIR DESIGN ALTERATIONS MAY BE REQUIRED.
4. PROVIDE A MINIMUM OF (2) KING STUDS ON EACH SIDE OF HEADERS OR BEAMS.
5. ALL INTERIOR & EXTERIOR DOORS & WINDOW HEADERS LESS THAN 8'-0" SPAN TO HAVE (2)2X10 HEADERS, UNLESS OTHERWISE STATED. HEADERS GREATER THAN 8'0" SHALL BE AS SPECIFIED ON THE STRUCTURAL SHEET.
6. ALL CONCRETE SHALL BE 3,000 PSI, MINIMUM, REINFORCED WITH FIBER MESH, PER BUILDING CODE.
7. CONTRACTOR TO VERIFY BASE FLOOD ELEVATION AND REQUIRE CLEARANCE TO FINISH FLOOR ELEVATION OR LOWEST STRUCTURAL MEMBER REQUIRED FOR THE SITE AND MEETING LOCAL FLOOD ELEVATION CODES, ADJUSTMENT TO THE OVERALL BUILDING HEIGHT, ROOF SLOPE, AND/OR WALL HEIGHTS MAY BE NECESSARY TO MEET FLOOD CODES.
8. CHANGES TO THESE PLANS TO BE MADE BY THE ENGINEER ONLY. CHANGES SHOULD BE MADE AT THE RISK OF THE PARTY CHANGING ONLY WITHOUT CONSULTING THE ENGINEER FIRST. THIS PLAN IS TO ONLY BE USED TO CONSTRUCT THE PARKER BEACH HOUSE.
9. ALL LUMBER TO BE OF SOUTHERN PINE #2 OR BETTER.
10. ALL AREAS NOT SPECIFICALLY SPELLED OUT WITHIN THESE PLANS SHALL MEET OR EXCEED THE THEN CURRENT NC BUILDING CODE SPECIFICATIONS.
11. ALL BEAMS SHOWN ARE FOR FLOOR ABOVE.
12. ALL HEADERS NOT SPECIFICALLY NOTED SHALL BE MINIMUM (2)2X10 WHERE LOAD BEARING.
13. WINDOW AND DOOR LABELS: 3068, MEANS 3'0" WIDE BY 6'8" TALL.
14. ALL DIMENSIONS ARE TO OUTSIDE OF FRAMING MATERIALS, NOT ACCOUNTING FOR SHEATHING, SIDING, SHEETROCK, OR ANY WALL COVERINGS.
15. STAIRS SHOWN DESIGNED FOR CODE COMPLIANCE. FRAMER TO ENSURE RISE AND RUN IS WITHIN ALLOWABLE CODE LIMITATIONS.
16. DESIGN LOADS USED, SHOWN IN ORDER: LIVE LOAD, DEAD LOAD & DEFLECTION:
    - 16.1. ROOMS, STAIRS, NON BEDROOMS: 40 PSF, 10 PSF, L/360
    - 16.2. LIVE LOAD IN BED ROOMS: 30 PSF, 10 PSF, L/360
    - 16.3. ATTIC WITH STORAGE: 20 PSF, 10 PSF, L/360
    - 16.4. ATTIC WITH PERMANENT STAIRS: 40 PSF, 10 PSF, L/360
    - 16.5. DECKS: 40 PSF, 15 PSF, L/360
    - 16.6. EXTERIOR BALCONIES: 60 PSF, 15 PSF, L/360
    - 16.7. HAND OR GUARD RAILINGS: 200 LBS OF FORCE
    - 16.8. SNOW LOAD: 20 PSF
    - 16.9. WIND LOAD: 115 MPH VULT, VASD 89 MPH
17. ALLOWABLE SOIL BEARING PRESSURE ASSUMED TO BE 2,000 PSF. THE CONTRACTOR MUST CONTACT A GEOTECHINCAL ENGINEER AND THE STRUCTURAL ENGINEER SHOULD THE SUBSURFACE CONDITIONED ENCOUNTERED ARE LESS THAN ADEQUATE.
18. AREAS ADJACENT TO THE FOUNDATION MUST PROVIDE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE.
19. COMMON BEAM DESIGN MINIMUM REQUIREMENTS:
    - 19.1. LAMINATED VENEER LUMBER ("LVL"): Fb=2600 PSI, Fv=285 PSI, E=1.9X10 PSI
    - 19.2. PARALLEL STRAND LUMBER ("PSL"): Fb=2900 PSI, Fv=290 PSI, E=2.0X10 PSI
    - 19.3. LAMINATED STRAND LUMBER ("LSL"): Fb=2250 PSI, Fv=400 PSI, E=1.55X10 PSI
20. ALL STRUCTURAL CONNECTIONS TO BE MADE PER THE PLAN, TRUSS/BEAM DESIGN (DBO), PER BUILDING CODE OR PER MANUFACTURES RECOMMENDATIONS IF NOT SPECIFICALLY CALLED OUT HERE-IN.
21. LVL BEAMS, UNO, SHALL HAVE 3" BEARING ON BOTH SIDES OF BEAM AT MINIMUM.
22. REBAR SHALL BE DEFORMED STEEL, MEET ASTM615 GRADE 60 REQUIREMENTS.
23. CONTRACTOR TO VERIFY WITH WINDOW/DOOR MANUFACTURE EGRESS REQUIREMENTS ARE MET WITH SPECIFIC WINDOW SIZE.
24. KITCHEN CABINETRY AND VANITY LAYOUTS SHOWN HERE ARE SUGGESTED. CONTRACTOR TO VERITY WITH CABINET DESIGNER EXACT LOCATION OF PLUMBING, APPLIANCE UTILITIES AND OTHER DESIGN CRITERIA. CONTRACTOR TO VERIFY RANGE HAS APPROPRIATE HOOD THAT IS VENTED OR NON-VENTED.

EXTERIOR WALL DETAIL:
NOT TO SCALE



FOUNDATION PLAN:
SCALE $\frac{1}{4}$"=1'



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1ST FLOOR:	1,157 SF
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GARAGE:	492 SF
2ND FLOOR:	1,614 SF

TOTAL CONDITIONED: 2,771 SF

NOTE – AREAS TAKEN FROM LINE WORK IN AUTOCAD OUTSIDE OF FRAMING MEMBERS.

CLIENT:
GEMESTONE HOMES

THE EMERALD
SINGLE FAMILY HOME DESIGN

DATE: 11/22/2022

REV:	DATE:

NORTH CAROLINA PROFESSIONAL SEAL 43250 ENGINEER ATHAN M. PARKER

NOT APPROVED FOR CONSTRUCTION

SHEET:
FOUNDATION & FLOOR SYSTEM PLAN

SHEET NUMBER:
1 OF 4

NOTE: DIMENSIONS ARE MEASURED TO ROUGH WALL FACES ON WALLS AND CENTER-LINE ON PIERS, WINDOWS AND DOORS, UNLESS OTHERWISE NOTED.

LEGEND:

2X6 WALL
2X4 WALL
8X8 POST 8X8
6X6 POST 6X6
BEAM DESIGN (2)2X12
KNEE BRACE 4X4 K.B.
"X" BRACE
WINDOW
DOOR 3068
POCKET DOOR P3068
SLIDING DOOR S3068
BARN DOOR B3068

"SJ" – SINGLE JOIST
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4. PROVIDE A MINIMUM OF (2) KING STUDS ON EACH SIDE OF HEADERS OR BEAMS.
5. ALL INTERIOR & EXTERIOR DOORS & WINDOW HEADERS LESS THAN 8'-0" SPAN TO HAVE (2)2X10 HEADERS, UNLESS OTHERWISE STATED. HEADERS GREATER THAN 8'0" SHALL BE AS SPECIFIED ON THE STRUCTURAL SHEET.
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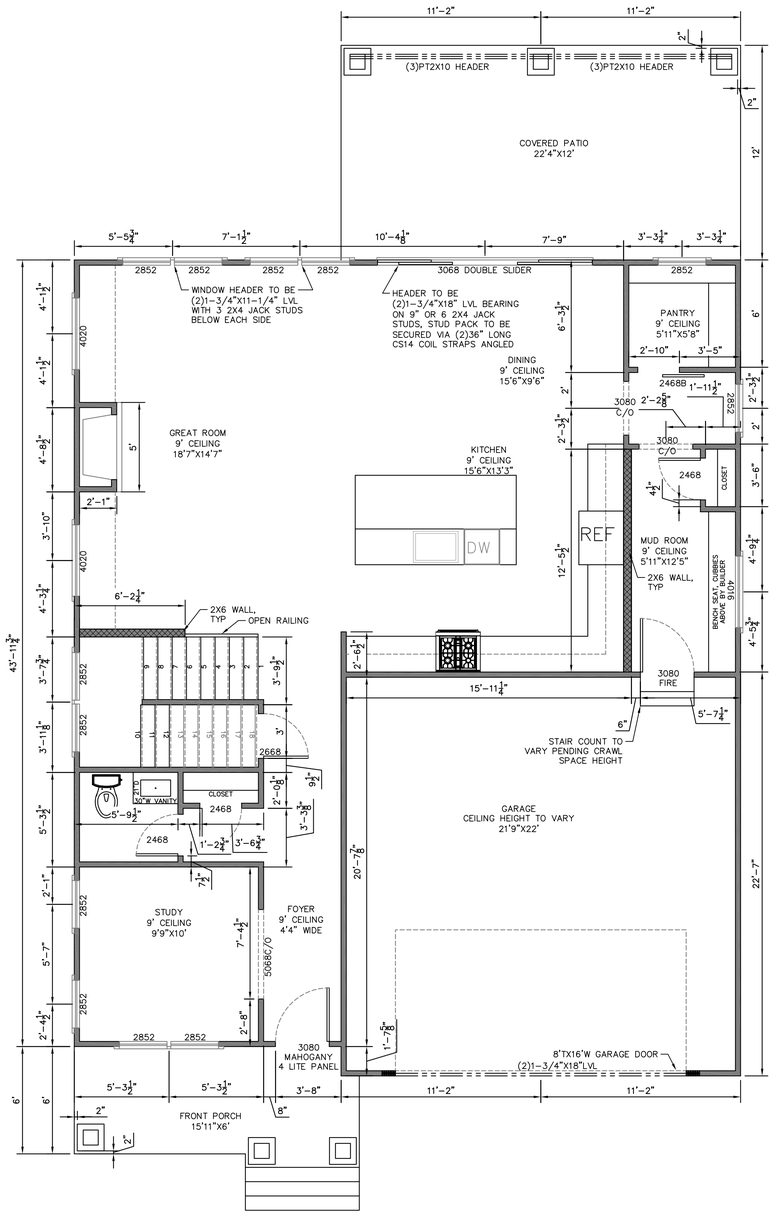
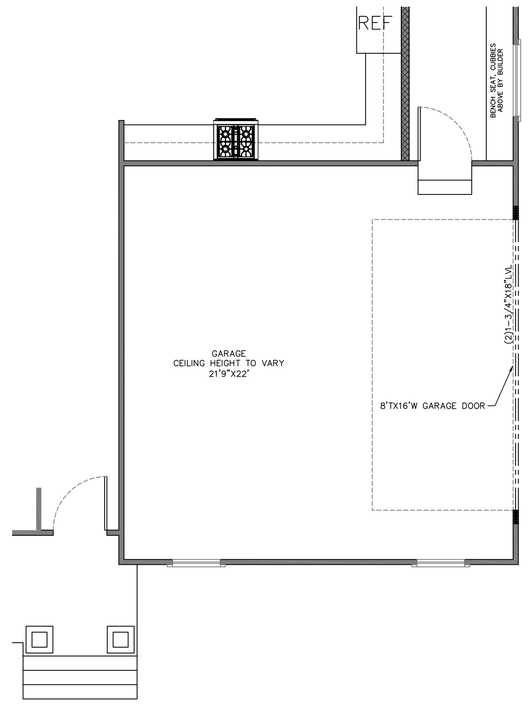
25. CONTRACTOR TO VERIFY ROUGH OPENING SIZE FOR ALL WINDOWS AND DOORS PRIOR TO FRAMING.
26. CONTRACTOR TO VERIFY TRUSS DESIGN AND LOAD BEARING MEMBERS SUPPORT TRUSS DESIGN.

FIRST FLOOR PLAN VIEW
SCALE 1/4"=1'



OPTIONAL SIDE LOAD GARAGE PLAN VIEW
SCALE 1/4"=1'



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athan.parker@ampdengineering.com
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1ST FLOOR:	1,157 SF
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GARAGE:	492 SF
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CLIENT:
GEMESTONE HOMES

THE EMERALD
SINGLE FAMILY HOME DESIGN

DATE: 11/22/2022

NOT APPROVED FOR CONSTRUCTION

NORTH CAROLINA PROFESSIONAL SEAL 43250 ENGINEER ATHAN M. PARKER

REV:	DATE:

SHEET:
1ST FLOOR

SHEET NUMBER:
2 OF 4

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LEGEND:

2X6 WALL	
2X4 WALL	
8X8 POST	8X8
6X6 POST	6X6
BEAM DESIGN	(2)2X12
KNEE BRACE	4X4 K.B.
"X" BRACE	
WINDOW	
DOOR	3068
POCKET DOOR	P3068
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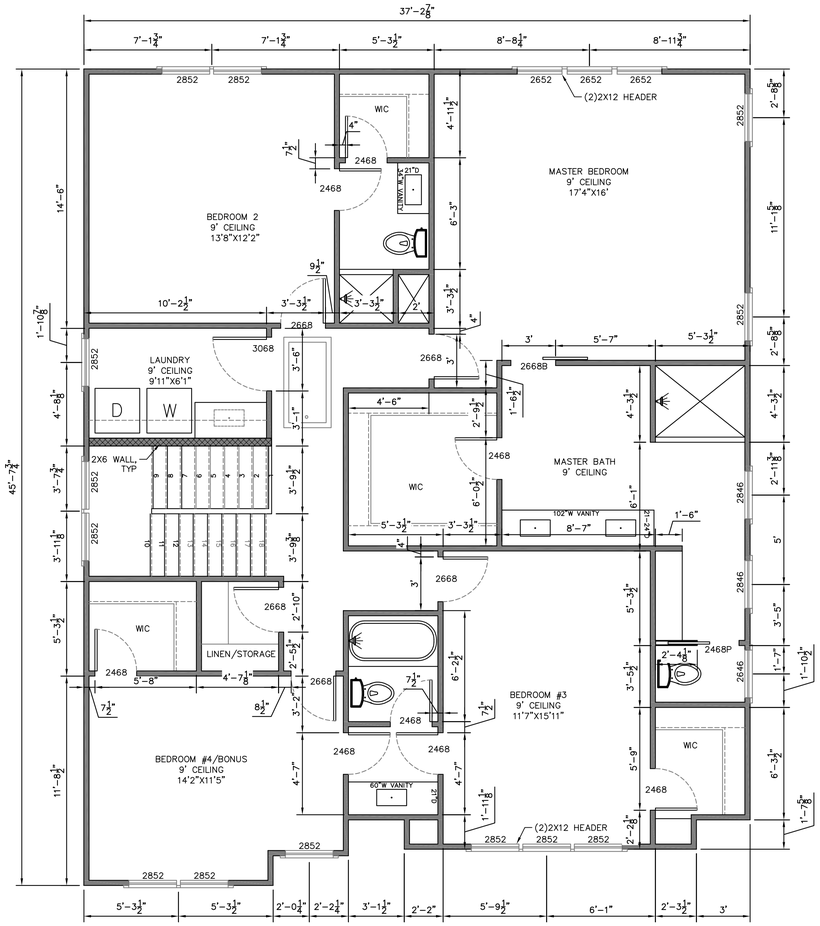
SECOND FLOOR PLAN VIEW
SCALE $\frac{1}{4}$"=1'



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THE EMERALD
SINGLE FAMILY HOME DESIGN

DATE: 11/22/2022

REV:	DATE:

SHEET:
2ND FLOOR

SHEET NUMBER:
3 OF 4

NOT APPROVED FOR CONSTRUCTION

NORTH CAROLINA PROFESSIONAL SEAL 43250 ENGINEER NATHAN M. PARKER

FRONT ELEVATION
SCALE $\frac{1}{4}$"=1'

LEFT ELEVATION
SCALE $\frac{1}{4}$"=1'

REAR ELEVATION
SCALE $\frac{1}{4}$"=1'

RIGHT ELEVATION
SCALE $\frac{1}{4}$"=1'

NOT APPROVED FOR CONSTRUCTION

AMP'D ENGINEERING, PLLC
FIRM LICENSE NO P-1532
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HOME AREAS:

1ST FLOOR:	1,157 SF
FRONT PORCH:	99 SF
REAR PORCH:	268 SF
GARAGE:	492 SF
2ND FLOOR:	1,614 SF

TOTAL CONDITIONED: 2,771 SF

NOTE – AREAS TAKEN FROM LINE WORK IN AUTOCAD OUTSIDE OF FRAMING MEMBERS.

CLIENT:
GEMESTONE HOMES

THE EMERALD

SINGLE FAMILY HOME DESIGN

DATE: 11/22/2022

REV:	DATE:

SHEET:
ELEVATIONS

SHEET NUMBER:
4 OF 4