

VICINITY MAP (NTS)

I, hereby certify that the development depicted herein has been granted final approval from Harnett County E-911 Addressing, Environmental Health, Planning, Public Utilities, and the Department of Transportation. This plat is subject to any and all regulations, ordinances, rules and regulations in the Harnett County Register of Deeds which apply as of the date below.

E-911 Addressing - 24

Public Utilities (Not for Construction) - *to be installed*  
 NCOOT - *Shoreline*  
 Date *12-1-22*  
 Subdivision Administrator *Shoreline*

CERTIFICATE OF OWNERSHIP, DEDICATION AND JURISDICTION

I, HEREBY CERTIFY THAT I AM (THE ARE) THE OWNER(S) OR AGENT OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH ALL (YOUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING SETBACK LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED, ALL OF THE LAND SHOWN HEREON IS WITHIN THE SUBDIVISION JURISDICTION OF HARNETT COUNTY EXCEPT:

OWNER: *Robert T. Dewar*  
 THE PARCEL ID. NUMBER: *3R*  
 OWNER: *Mitchell & Jessica Drosin*  
 DATE: *12/1/2022*

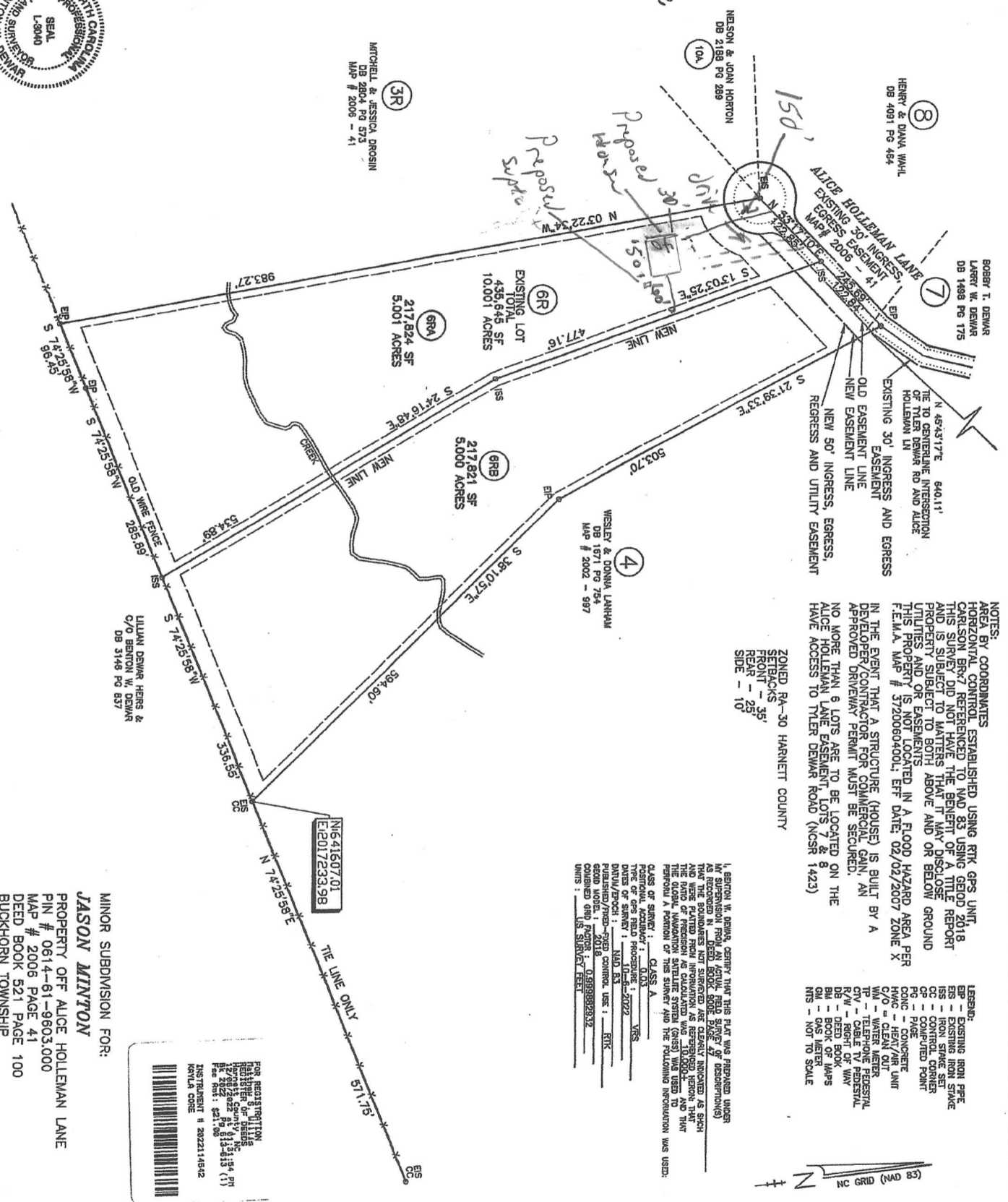
RENEW OFFICER'S CERTIFICATE OF OWNERSHIP, DEDICATION AND JURISDICTION OF NORTH CAROLINA  
 COUNTY OF *Harnett*  
 I, *Benton W. Dewar*, Renew Officer of *Harnett* County, CERTIFY THAT THE MAP OR PLAN TO WHICH THIS CERTIFICATION IS ATTACHED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.  
 REVERSE OFFICER'S SIGNATURE: *Benton W. Dewar*  
 DATE: *12/1/2022*

I, BENTON W. DEWAR, PROFESSIONAL LAND SURVEYOR No. 3340, CERTIFY THAT THIS SURVEY WAS MADE IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEYING ACT OF 1978 AND THE REGULATIONS OF THE BOARD OF LAND SURVEYORS THAT REGULATE THE PRACTICE OF LAND SURVEYING IN THIS STATE.



I, BENTON W. DEWAR, CERTIFY THAT THIS PLAN WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION DEED BOOK 521, PAGE 1022, MAP # 2022-013, THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS BROKEN LINES DRAWN FROM INFORMATION FOUND IN BOOK 521, PAGE 1022, THAT THE RATIO OF PRECISION OR POSITONAL ACCURACY AS CALCULATED IS 1:10,000. THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITHIN MY ORIGINAL SIGNATURE LICENSE NUMBER AND SENT THIS DAY OF *December*, A.D. 2022.

BENTON W. DEWAR, NCSRS - 3340



NOTES:  
 AREA BY COORDINATES  
 HORIZONTAL CONTROL ESTABLISHED USING RTK GPS UNIT  
 CHARLSON BRY, REFERENCED TO NAD 83 USING GEOID 2018  
 THIS SURVEY WAS MADE IN ACCORDANCE WITH THE REPORT  
 THIS IS SUBJECT TO THE BENEFIT OF A TITLE REPORT  
 PROPERTY SUBJECT TO BOTH ABOVE AND OR BELOW GROUND  
 UTILITIES AND OR EASEMENTS  
 THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER  
 F.E.M.A. MAP # 37200604001, EFF. DATE: 02/02/2007 ZONE X  
 IN THE EVENT THAT A STRUCTURE (HOUSE) IS BUILT BY A  
 DEVELOPER/CONTRACTOR FOR COMMERCIAL GAIN, AN  
 APPROVED DRIVEWAY PERMIT MUST BE SECURED.  
 NO MORE THAN 6 LOTS ARE TO BE LOCATED ON THE  
 ALICE HOLLEMAN LANE EASEMENT, LOTS 7 & 8  
 HAVE ACCESS TO TYLER DEWAR ROAD (NCSR 1423)

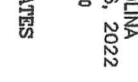
ZONED R-30 HARNETT COUNTY  
 SETBACKS  
 FRONT - 35'  
 REAR - 25'  
 SIDE - 10'

I, BENTON W. DEWAR, CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION DEED BOOK 521, PAGE 1022, MAP # 2022-013, THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS BROKEN LINES DRAWN FROM INFORMATION FOUND IN BOOK 521, PAGE 1022, THAT THE RATIO OF PRECISION OR POSITONAL ACCURACY AS CALCULATED IS 1:10,000. THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITHIN MY ORIGINAL SIGNATURE LICENSE NUMBER AND SENT THIS DAY OF *December*, A.D. 2022.

CERTIFICATE OF REGISTRATION BY REGISTER OF DEEDS  
 NORTH CAROLINA HARNETT COUNTY  
 FILED DATE *12/1/22* TIME *1:31 PM*  
 MAP NUMBER *2022-013*  
 BY: *Matthew S. Willis*  
 REGISTER OF DEEDS OF HARNETT COUNTY  
 By: *Kayla B. Gorb* - DPB

RECORDED IN MAP #2022-013 HARNETT COUNTY REG.

MINOR SUBDIVISION FOR:  
**JASON MINTON**  
 PROPERTY OFF ALICE HOLLEMAN LANE  
 PIN # 0614-61-9603.000  
 MAP # 2006 PAGE 41  
 DEED BOOK 521 PAGE 100  
 BUCKHORN TOWNSHIP  
 HARNETT COUNTY - NORTH CAROLINA  
 SCALE: 1" = 100' SEPTEMBER 26, 2022



BENTON W. DEWAR AND ASSOCIATES  
 PROFESSIONAL LAND SURVEYOR  
 5920 HONEYCUTT ROAD  
 HOLLY SPRINGS, NC 27540  
 PH. # (919) 662-9818  
 FAX # (919) 667-2255

