

# The Parker



1 Drone Front Elevation

Area Schedule	
Name	Area
Heated	
1st Floor	1645 SF
	1645 SF
Unheated	
Front Porch	192 SF
Garage	400 SF
Screened Porch	96 SF
	688 SF
Under Roof	2333 SF

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Sec-Crawl/Block	Typical Wall Section

CONTRACTOR AND BUILDER SHALL REVIEW ENTIRE PLAN TO VERIFY CONFORMANCE WITH ALL CURRENT APPLICABLE CODES IN EFFECT AT TIME OF CONSTRUCTION. BY USING THESE DRAWINGS FOR CONSTRUCTION IT IS UNDERSTOOD THAT CONFORMANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE BUILDER AND CONTRACTOR.

The Parker - Master Plan Set

Cover Sheet

Lot #:

Address:  
260 A D Hall Rd.  
Sanford, NC 27332  
Community:

Last Revision Date:  
4-14-23

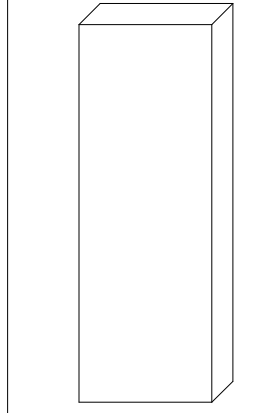
Sheet #:  
Pg0



① Front Elevation  
1/8" = 1'-0"



② Rear Elevation  
1/8" = 1'-0"



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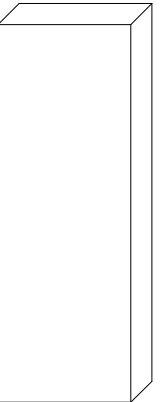
Front & Rear Elevations

Lot #: \_\_\_\_\_  
Job #: \_\_\_\_\_

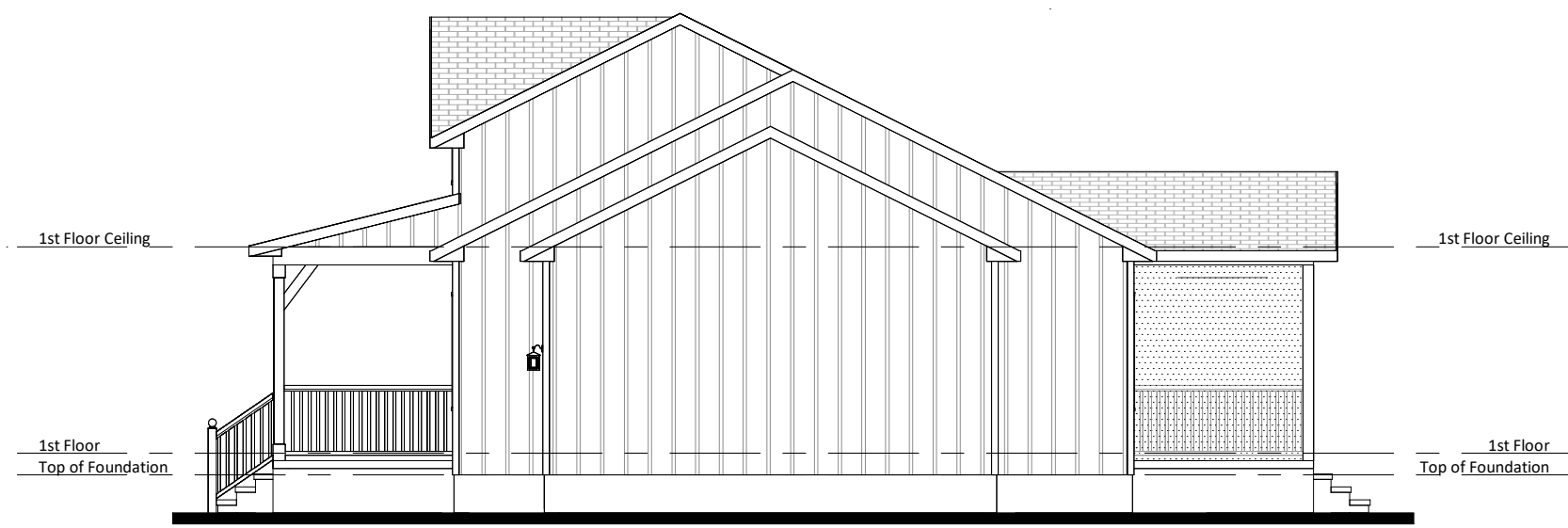
Address: 260 A D Hall Rd.  
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Community: \_\_\_\_\_

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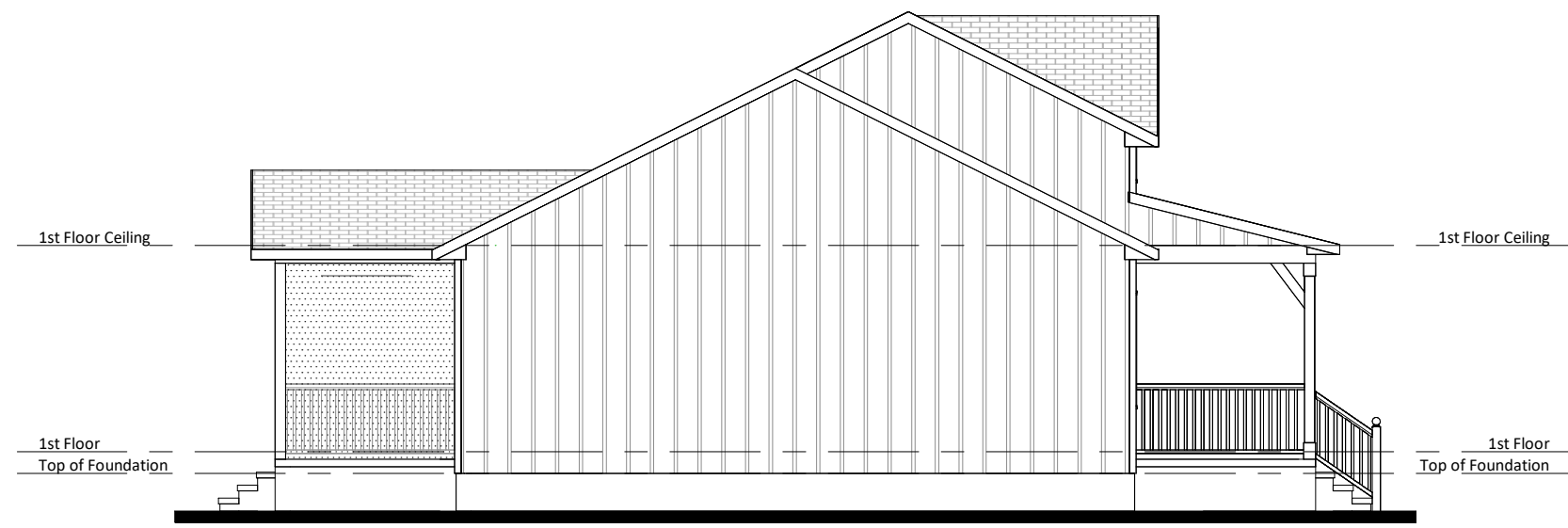
Sheet #:  
Pg1



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① Right Elevation  
1/8" = 1'-0"



② Left Elevation  
1/8" = 1'-0"

The Parker - Master Plan Set

Side Elevations

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Address:  
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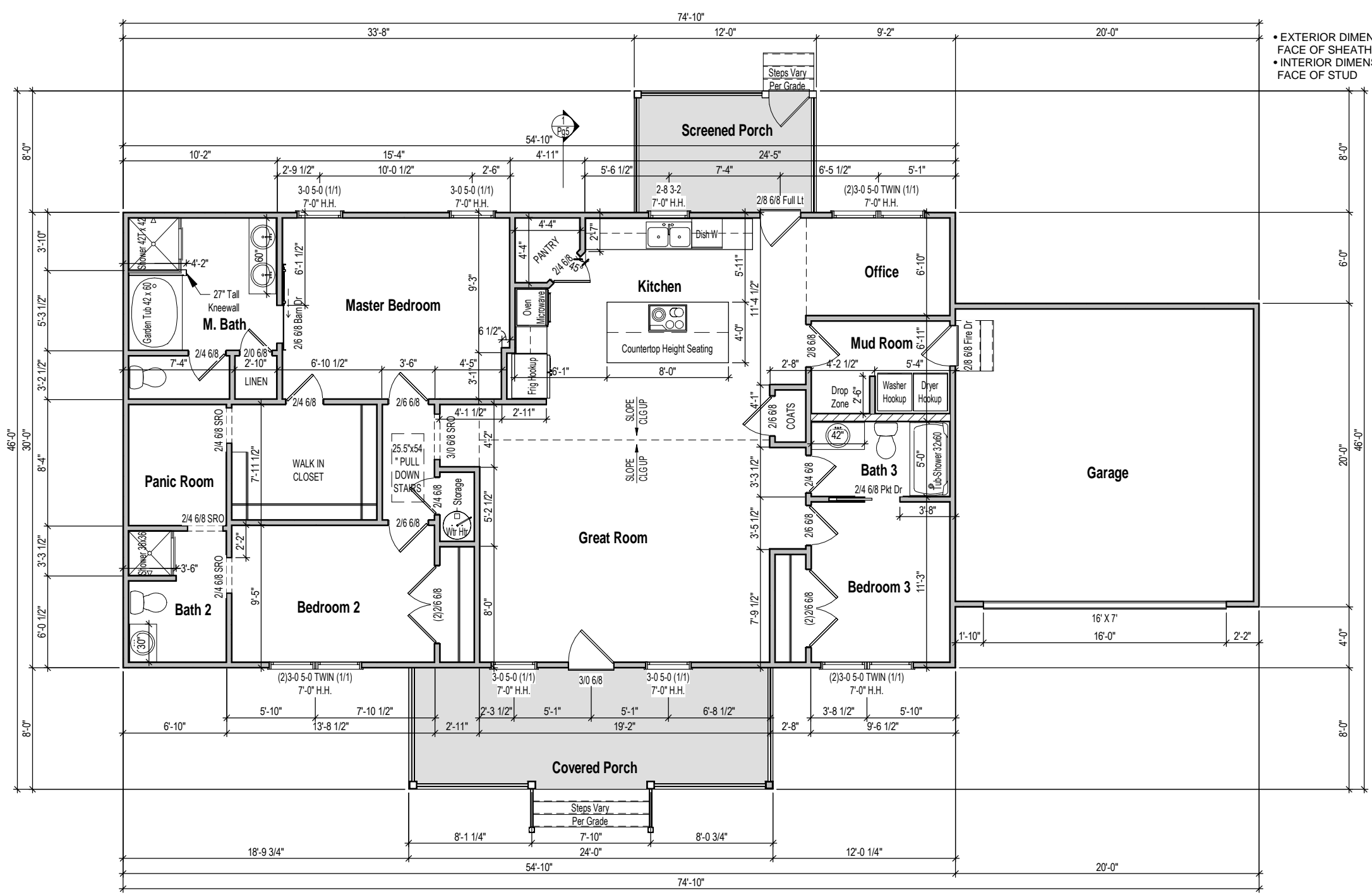
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Pg2

Wall Stud Size  
 — = 2x4  
 // = 2x6



• EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING  
 • INTERIOR DIMENSIONS ARE TO FACE OF STUD

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The Parker - Master Plan Set

1st Floor Plans

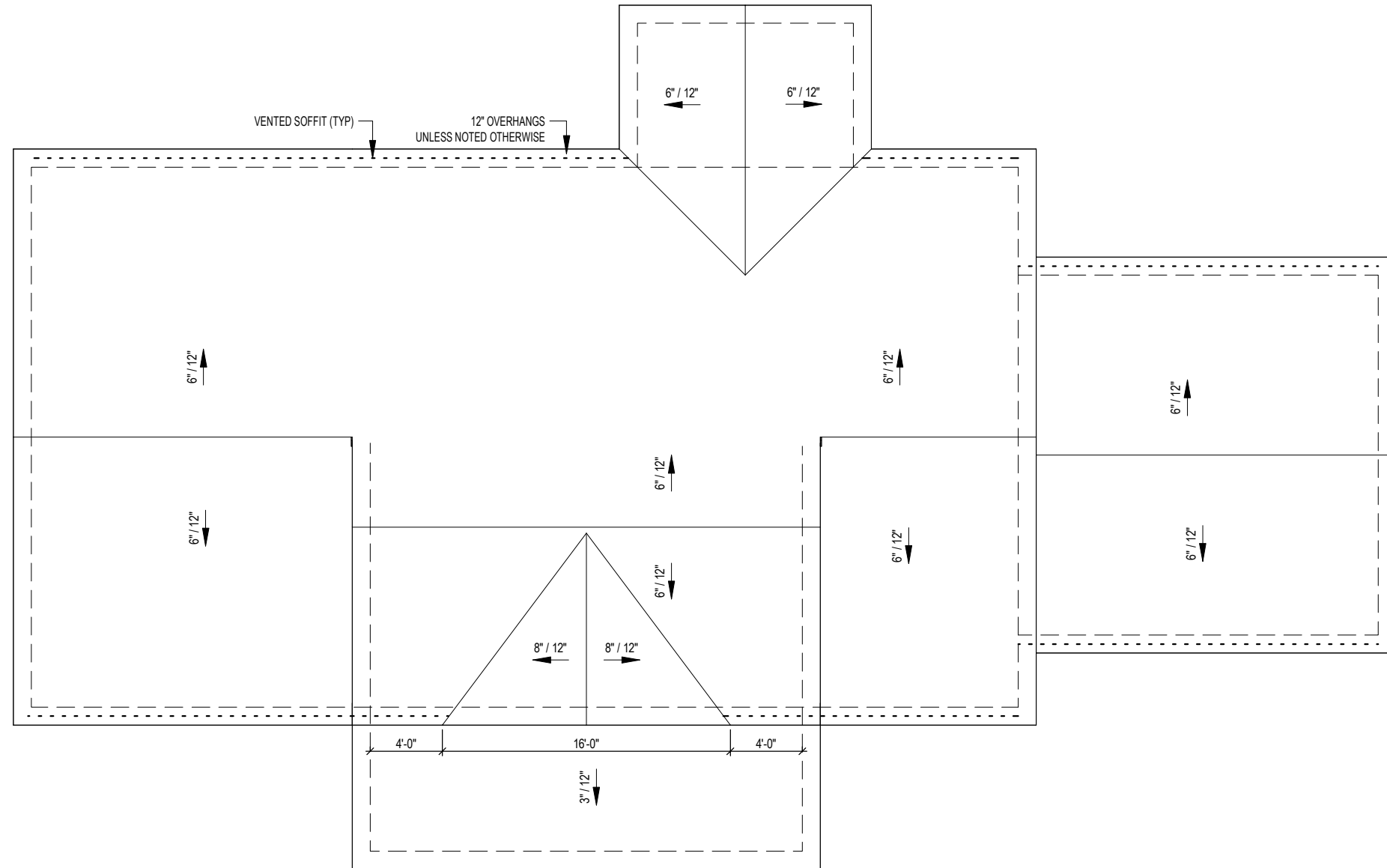
1 1st Floor Plan  
 1/8" = 1'-0"

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 Address: 260 A D Hall Rd.  
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- CALCS BASED ON THE FOLLOWING VALUES
- Ridge Vents = 15 in<sup>2</sup> of net free area per linear foot
  - Roof Vents = 50 in<sup>2</sup> of net free area per unit
  - Soffit Vents = 6 in<sup>2</sup> of net free area per square foot



1 Roof Plan  
1/8" = 1'-0"

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Roof Plan

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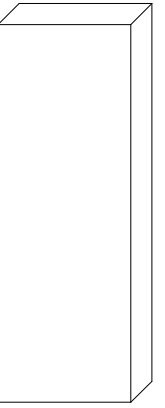
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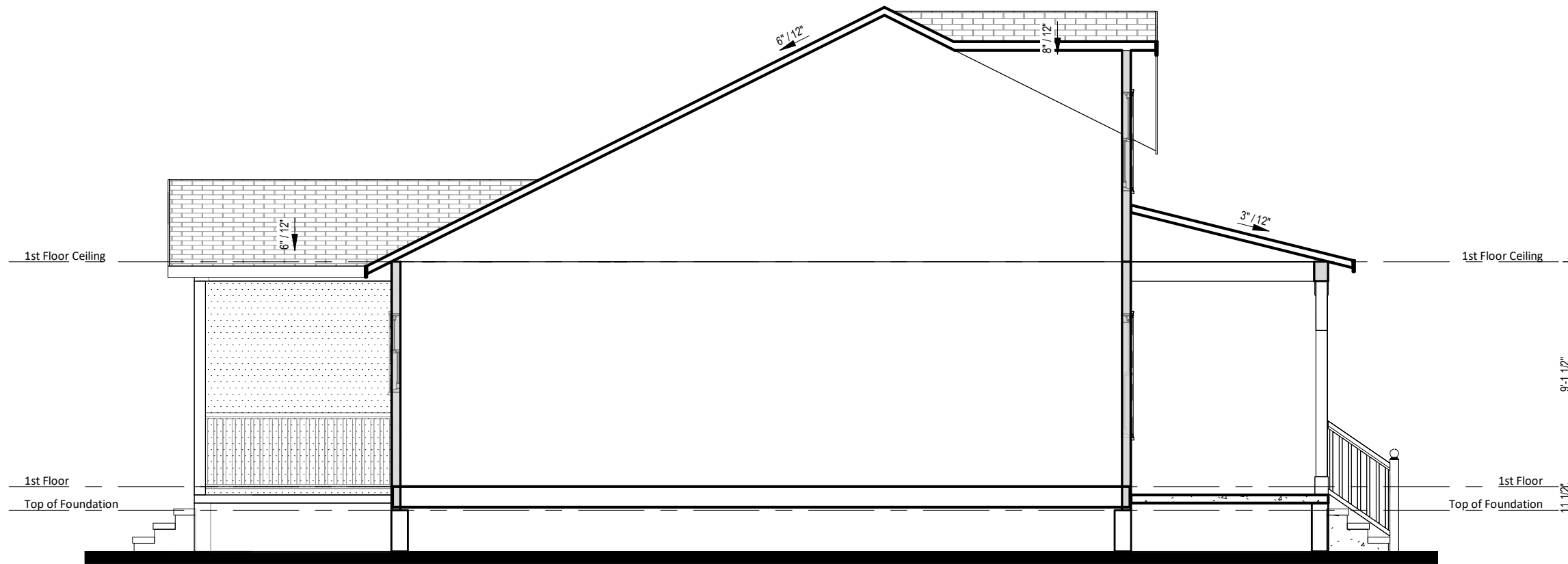
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Pg4



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1 Building Section  
3/16" = 1'-0"

The Parker - Master Plan Set

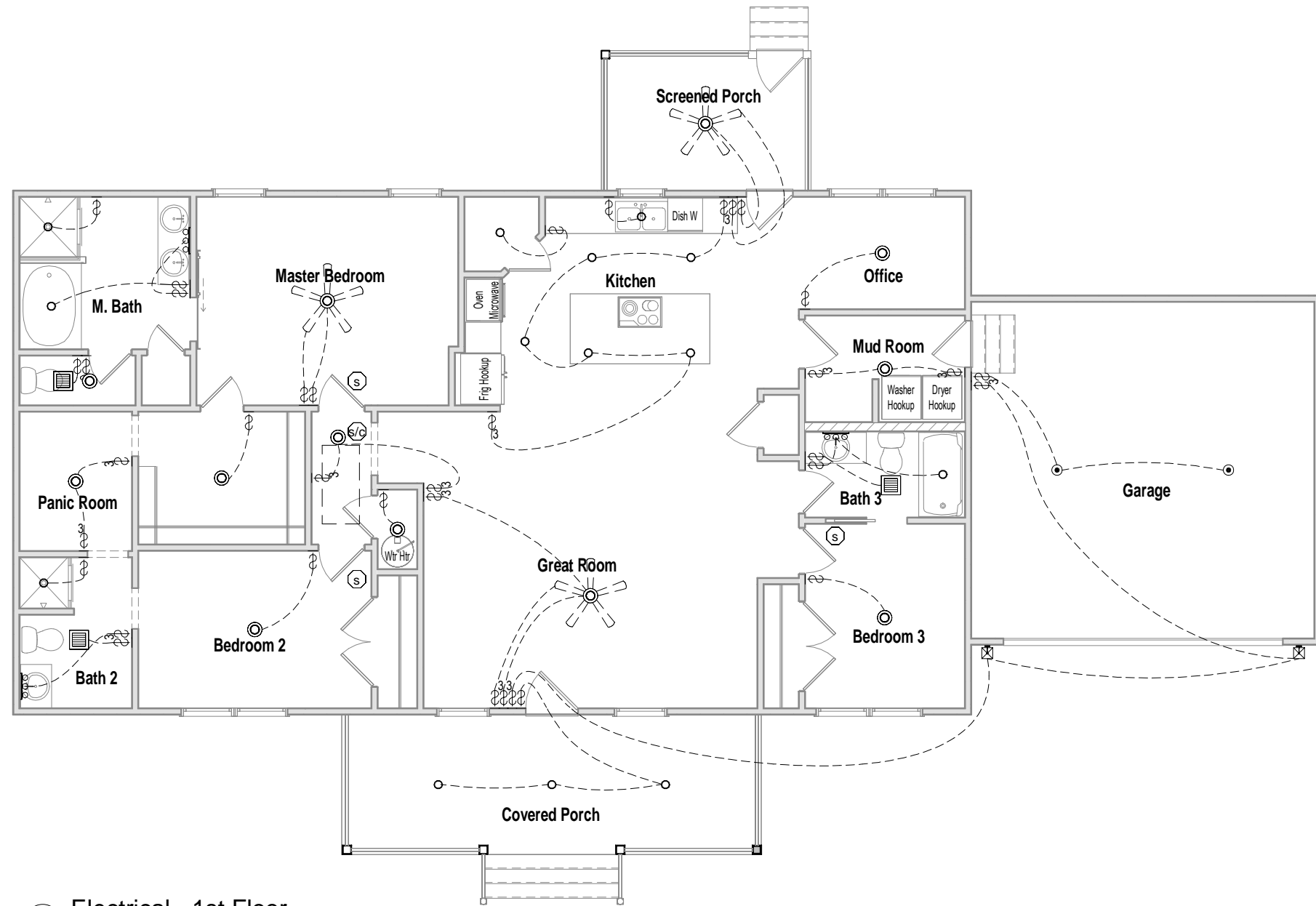
Building Section

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Pg5



1 Electrical - 1st Floor  
1/8" = 1'-0"

### ELECTRICAL LEGEND

WALL MOUNTED FIXTURES		CEILING MOUNTED FIXTURES	
OUTLET - 110V	TV OUTLET - TV	WALL LIGHT	GARAGE DOOR OPENER PREWIRE
OUTLET - 110V GROUND FAULT INTERRUPTER	OUTLET - PHONE	18" LIGHT BAR	SMOKE DETECTOR
OUTLET - 110V GROUND FAULT INTERRUPTER WATER PROOF	SWITCH - SINGLE POLE	COACH LIGHT - FRONT DOOR	FLUSH MOUNT
OUTLET - 220V	SWITCH - 3 WAY	COACH LIGHT - REAR DOOR	SURFACE CAN LIGHT
	SWITCH - 4 WAY	FLUSH MOUNT W-FAN PREWIRE	FLUORESCENT 4 - 2 LAMPS
			FLUORESCENT 2 - 1 LAMP

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Electrical 1st Floor

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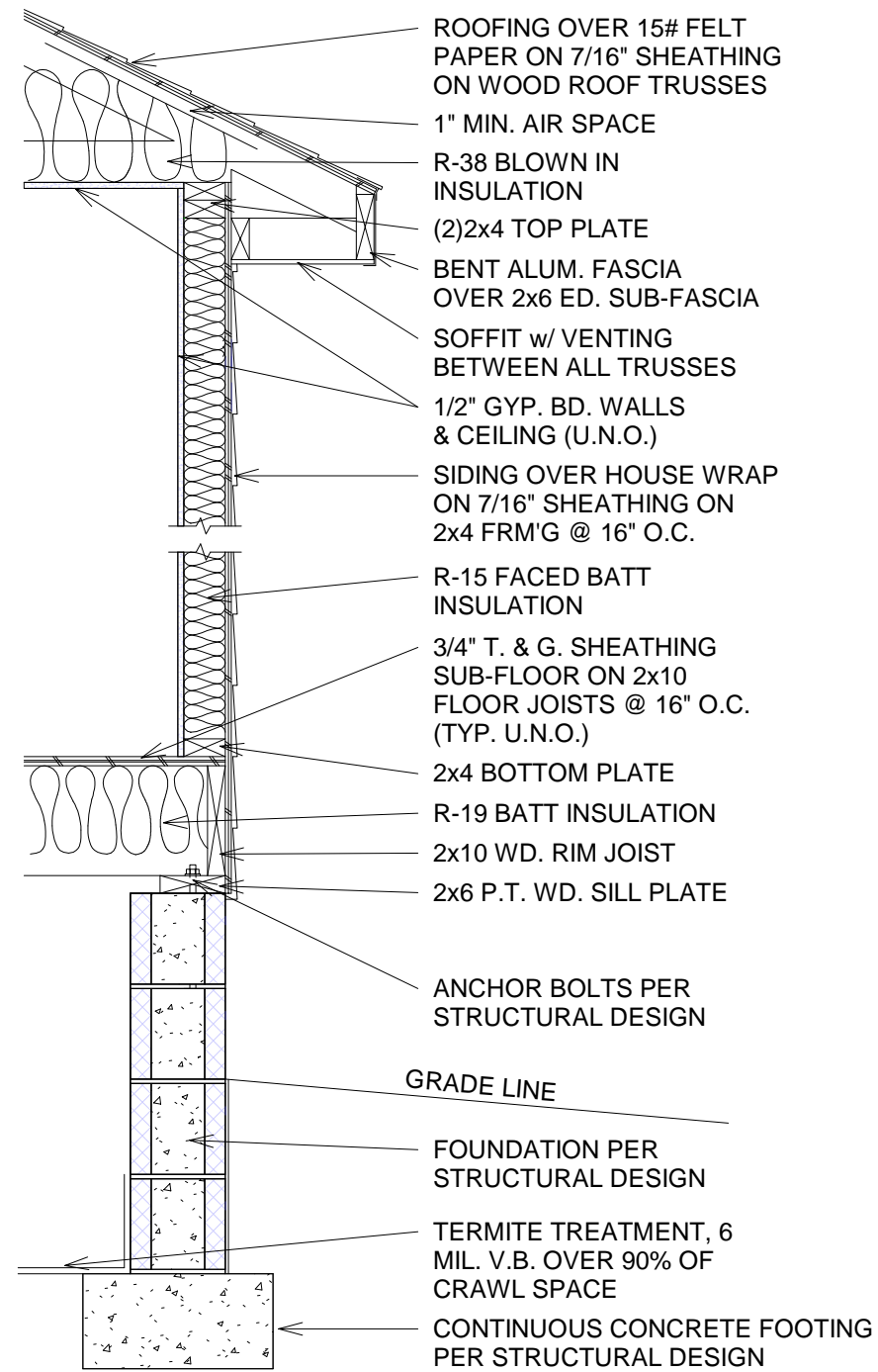
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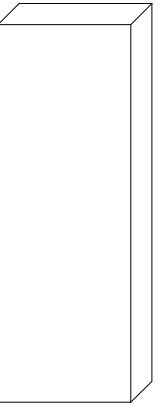
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Sheet #:

Pg6



1 Typical Wall Section - Block Fnd  
 1/64" = 1'-0"



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Typical Wall Section

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Sec-Crawl/Block