

ABBREVIATIONS

ACC.	= ACCESS
BWL.	= BRACED WALL LINE
BWP.	= BRACED WALL PANEL
C.O.	= CASSED OPENING
C.J.	= CEILING JOIST
CLOS.	= CLOSET
COL.	= COLUMN
COMP.	= COMPOSITION
CONC.	= CONCRETE
CONT.	= CONTINUOUS
C.M.A.	= CARBON MONOXIDE ALARM
C.M.U.	= CONCRETE MASONRY UNIT
D.H.	= DOUBLE HUNG
DIA.	= DIAMETER
D.J.	= DOUBLE JOIST
DN.	= DOWN
EKH.	= EXHAUST
EXT.	= EXTERIOR
F.L.J.	= FLOOR JOIST
FTG.	= FOOTING
G.F.I.	= GROUND FAULT INTERRUPTER
H.B.	= HOSE BIB
LVL.	= LAMINATED VENEER LUMBER
M.O.	= MASONRY OPENING
MAS.	= MASONRY
MAX.	= MAXIMUM
M.C.	= MEDICINE CABINET
MTL.	= METAL
MIN.	= MINIMUM
O.C.	= ON CENTER
OSB	= ORIENTED STRAND BOARD
PERF.	= PERFORATED
REC.	= RECESSED
REINF.	= REINFORCED
SCR.	= SCREENED
S.D.	= SMOKE DETECTOR
SEC.	= SECOND
SHWR.	= SHOWER
S.Y.P.	= SOUTHERN YELLOW PINE
S.P.F.	= SPRUCE/PINE/FIR
SUSP.	= SUSPENDED
TYP.	= TYPICAL
U.O.N.	= UNLESS OTHERWISE NOTED
WASH.	= WASHER
W.H.	= WATER HEATER
W.P.	= WEATHER PROOF
W.W.M.	= WELDED WIRE MESH
WDW. HT.	= WINDOW HEIGHT
WD.	= WOOD

SYMBOLS

—O—	= HOSE BIB
S	= SWITCH
S ₃	= 3-WAY SWITCH
⊙	= LIGHT FIXTURE
☐	= EXHAUST FAN & LIGHT
☑	= SMOKE DETECTOR
▽	= SHOWER HEAD
▲	= TELEPHONE JACK
⊖	= CONVENIENCE OUTLET
⊕	= 220 VOLT OUTLET
⊖	= GROUND FAULT INTERRUPTER
⊕	= CEILING FAN
☒	= CARBON MONOXIDE ALARM

GENERAL NOTES AND SPECIFICATIONS

COPYRIGHT

THIS PLAN IS PROTECTED UNDER THE FEDERAL COPYRIGHT ACT. REPRODUCTION IN WHOLE OR IN PART, INCLUDING DIRECT COPYING AND/OR PREPARATION OF DERIVATIVE WORKS, FOR ANY REASON WITHOUT THE PRIOR WRITTEN CONSENT FROM STANDARD HOMES PLAN SERVICE, INC. IS STRICTLY PROHIBITED.

ORIGINAL PURCHASE AGREEMENT

SEE ATTACHED CONSTRUCTION LICENSE FOR INVOICE NUMBER 13230.

BUILDING CODE INFORMATION

THIS PLAN HAS BEEN DRAWN TO CONFORM TO THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION (2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS, CURRENT EDITION) WITH AMENDMENTS UNLESS OTHERWISE NOTED. (SEE ATTACHMENTS)

PRIOR TO CONSTRUCTION

THE CONTRACTOR SHALL REVIEW THE PLAN(S) FOR THIS PARTICULAR BUILDING PROJECT TO ENSURE COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL CODES, CLIMATIC GEOGRAPHIC DESIGN CRITERIA, AND ANY OTHER PROVISIONS THAT MAY BE REQUIRED BY VA/FHA/RD.

THE CONTRACTOR SHALL VERIFY PLAN DIMENSIONS, STRUCTURAL COMPONENTS, AND GENERAL SPECIFICATIONS CONTAINED IN THIS SET OF PLANS AND REPORT ANY DISCREPANCIES TO STANDARD HOMES PLAN SERVICE, INC. FOR JUSTIFICATION OR CORRECTION BEFORE PROCEEDING WITH WORK ON HOUSE.

THE CONTRACTOR SHALL DETERMINE ROUGH OPENING SIZES FOR ALL BUILT-IN EQUIPMENT AND/OR FACILITIES AND ADJUST PLAN DIMENSIONS AS REQUIRED.

DO NOT SCALE FROM BLUEPRINTS. REFER TO THE LABELED DIMENSIONS FOR ACTUAL MEASUREMENTS.

IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO PROVIDE FOR THE SERVICES OF A PROFESSIONAL ENGINEER IF REQUIRED BY THE BUILDING CODE OFFICIAL.

SHIPPING DATE :

STAMP MUST APPEAR IN RED. PLANS FOR WHICH A BUILDING PERMIT HAS NOT BEEN OBTAINED ONE YEAR FROM THE ABOVE DATE IS SUBJECT TO REVIEW BY STANDARD HOMES PLAN SERVICE, INC. A FEE MAY BE CHARGED FOR THIS SERVICE.

EXCAVATION

EXCAVATE TO UNDISTURBED SOIL. BOTTOM OF FOOTING SHALL EXTEND BELOW LOCAL FROST LINE AND TO A MINIMUM DEPTH OF 12" BELOW ADJACENT GRADE. (PRESUMED 2000 PSF SOIL BEARING CAPACITY).

EXPANSIVE, COMPRESSIVE OR SHIFTING SOILS SHALL BE REMOVED TO A DEPTH AND WIDTH SUFFICIENT TO ASSUME A STABLE MOISTURE CONTENT IN EACH ACTIVE ZONE.

FOUNDATION

PROVIDE 1/2" DIA. STEEL ANCHOR BOLTS 6"-0" O.C., 1'-0" MAX. FROM CORNERS AND 1'-0" MAX. FROM ENDS OF EACH PLATE SECTION, WITH 7" MIN. EMBEDMENT.

PROVIDE FOUNDATION WATERPROOFING AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.

SLOPE GRADE AWAY FROM FOUNDATION WALLS 6" MINIMUM WITHIN THE FIRST 10 FEET.

PROVIDE PRESSURE TREATED LUMBER FOR SILLS, PLATES, BANDS AND ANY LUMBER IN CONTACT WITH MASONRY.

PROVIDE APPROVED AND BONDED CHEMICAL SOIL TREATMENT AGAINST FINGUS, TERMITES AND OTHER HARMFUL INSECTS.

CRAWL SPACE

ALL GIRDER JOINTS AND ENDS OF GIRDERS SHALL REST ON SOLID BEARINGS. FILL CORES OF HOLLOW MASONRY TO FOOTING WITH CONCRETE. FILL TOP COURSE CORES OF EXTERIOR FOUNDATION WALL WITH CONCRETE.

FOOTINGS SHALL EXTEND 6" AND SHALL BE 12" THICK UNDER GIRDER PIERS.

CHIMNEY FOOTING SHALL EXTEND 12" MINIMUM BEYOND EACH SIDE AND SHALL BE AT LEAST 12" THICK.

BASEMENT

ALL GIRDER JOINTS SHALL BREAK ON COLUMN CENTER LINES (STAGGERED) AND ENDS OF GIRDERS SHALL REST ON SOLID MASONRY.

DOUBLE SILL AND USE LEDGER OVER ALL BASEMENT OPENINGS.

ALL BASE SASH SHALL BE 18/20 2-LT. 3'-3 7/8" X 1'-11 15/16" 3420 HB.

FRAMING

ALL FLOOR JOISTS, CEILING JOISTS, RAFTERS, GIRDERS, HEADERS, SILLS AND BEAMS SHALL BE NO. 2 SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

ALL LOAD BEARING WALLS SHALL BE STUD GRADE SPRUCE/PINE/FIR (S.P.F.) UNLESS OTHERWISE INDICATED.

DESIGN SPECIFICATIONS FOR LAMINATED VENEER LUMBER (LVL) BEAMS AND HEADERS :

GRADE : 2950Fb-2.0E
BENDING Fb : 2950
MOE : 2.0 X 10⁶
SHEAR Fv : 290

SUPPORT FOR HEADERS:

HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS IN ACCORDANCE WITH BUILDING CODE (SEE PLAN). THE FULL-HEIGHT STUD ADJACENT TO EACH END OF THE HEADER SHALL BE END NAILED TO EACH END OF THE HEADER WITH FOUR-16D NAILS. SEE TABLE BELOW.

MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS:

HEADER SPAN (FEET)	MAXIMUM STUD SPACING (INCHES)
3 FEET OR LESS	16
4 FT.	1
8 FT.	2
12 FT.	3
16 FT.	4

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA

ROOF LIVE LOAD (POUNDS PER SQUARE FOOT) : 20 PSF
ULTIMATE DESIGN WIND SPEED (MILES PER HOUR) : 120 MPH
NOMINAL DESIGN WIND SPEED : 93 MPH

EXPOSURE CATEGORY "B" UNLESS OTHERWISE NOTED
WINDOW DESIGN PRESSURE RATING : DP 25
COMPONENT AND CLADDING LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET OR LESS:

PRESSURE ZONE	115	120	130	140
ZONE 1	13.1, -14.0	14.2, -15.0	16.7, -18.0	19.4, -21.0
ZONE 2	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 3	13.1, -16.0	14.2, -18.0	16.7, -21.0	19.4, -24.0
ZONE 4	14.3, -15.0	15.5, -16.0	18.2, -19.0	21.2, -22.0
ZONE 5	14.3, -19.0	15.5, -20.0	18.2, -24.0	21.2, -28.0

ASSUMED MEAN ROOF HEIGHT: 15'-8"

SEISMIC CONDITION BY ZONE : ZONES A AND B

SUBJECT TO DAMAGE FROM WEATHERING : MODERATE

CLIMATE ZONES (UNLESS OTHERWISE NOTED): ZONES 3 AND 4

MINIMUM VALUES FOR ENERGY COMPLIANCE:
CEILING R-38; EXTERIOR WALLS R-15; FLOORS R-19
WINDOW U-FACTOR ≤ 0.35; RECOMMENDED SHGC ≤ 0.30

MISCELLANEOUS

LOCATE ALL CONVENIENCE OUTLETS ABOVE KITCHEN BASE CABINETS 42" ABOVE FINISHED FLOOR.

EMERGENCY EGRESS REQUIREMENTS

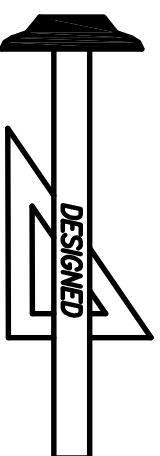
IT SHALL BE THE RESPONSIBILITY OF THE OWNER/BUILDER TO VERIFY CONFORMANCE WITH EGRESS REQUIREMENTS BASED ON SPECIFICATIONS PROVIDED BY WINDOW MANUFACTURER.

2018 NORTH CAROLINA RESIDENTIAL CODE

THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. THE NET CLEAR OPENING SHALL NOT BE LESS THAN 4.0 SQUARE FEET WHERE THE NET CLEAR OPENING HEIGHT SHALL BE AT LEAST 22 INCHES AND THE NET CLEAR OPENING WIDTH SHALL BE AT LEAST 20 INCHES. IN ADDITION, THE MINIMUM TOTAL GLASS AREA SHALL NOT BE LESS THAN 5.0 SQUARE FEET IN THE CASE OF A GROUND STORY WINDOW AND NOT LESS THAN 5.7 SQUARE FEET IN THE CASE OF A SECOND STORY WINDOW.

2015 INTERNATIONAL RESIDENTIAL CODE

THE REQUIRED EGRESS WINDOW FROM EVERY SLEEPING ROOM SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE FINISHED FLOOR. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET EXCEPT FLOOR OPENINGS SHALL HAVE A MINIMUM NET OPENING OF 5 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.



Standard Homes Plan Service, Inc.
7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526
(919)552-5677

SEE HOME DESIGN PREVIEWS ONLINE AT WWW.STANDARDHOMES.COM

(919)552-5677



DESIGNED FOR
KEITH HARRIS

PLAN
CUSTOM

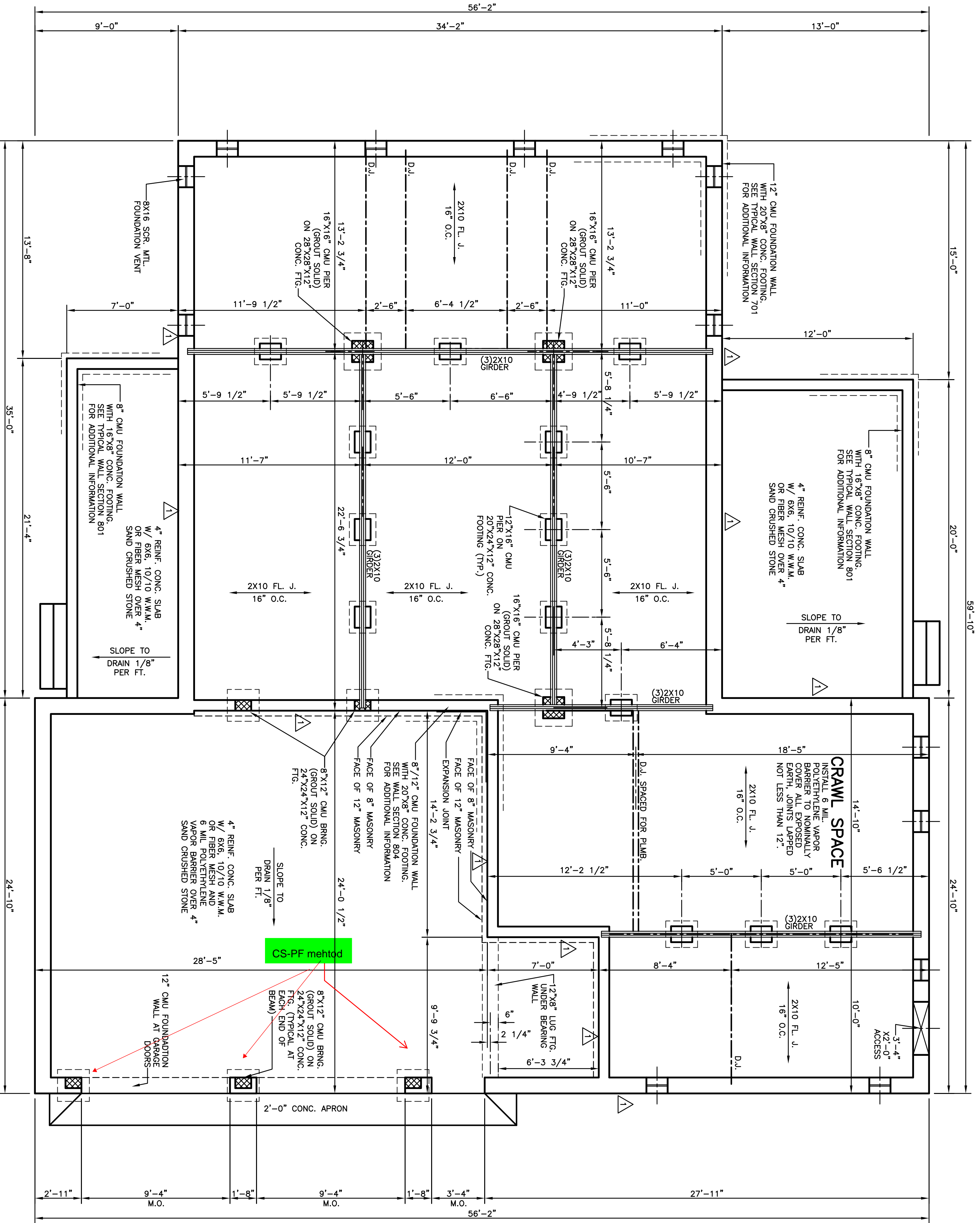
NO.
2634

MAT'L
BK.

SHOWN

SHEET
1 OF 8

03-14-23



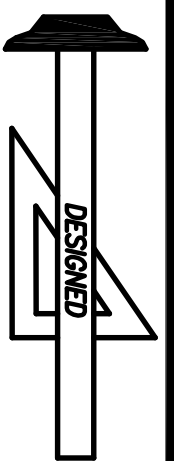
△ PROVIDE PRESSURE TREATED BAND JOIST AND GALVANIZED METAL FLASHING AT ALL LOCATIONS WHERE EITHER SOIL, BACKFILL MATERIAL, OR CONCRETE IS IN CONTACT WITH FLOOR FRAMING.

FOUNDATION VENTILATION REQUIREMENTS :
 1836 SQ. FT. --- 1500 = 1,222 SQ. FT. NET
 FREE AREA REQ'D.

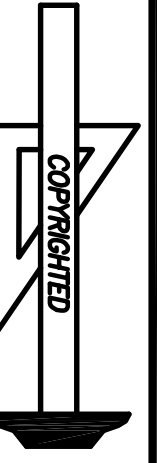
PROVIDE MINIMUM OF 3 VENTS WITH A MINIMUM OF 64 SQUARE INCHES NET FREE AREA PER VENT.

FOUNDATION PLAN

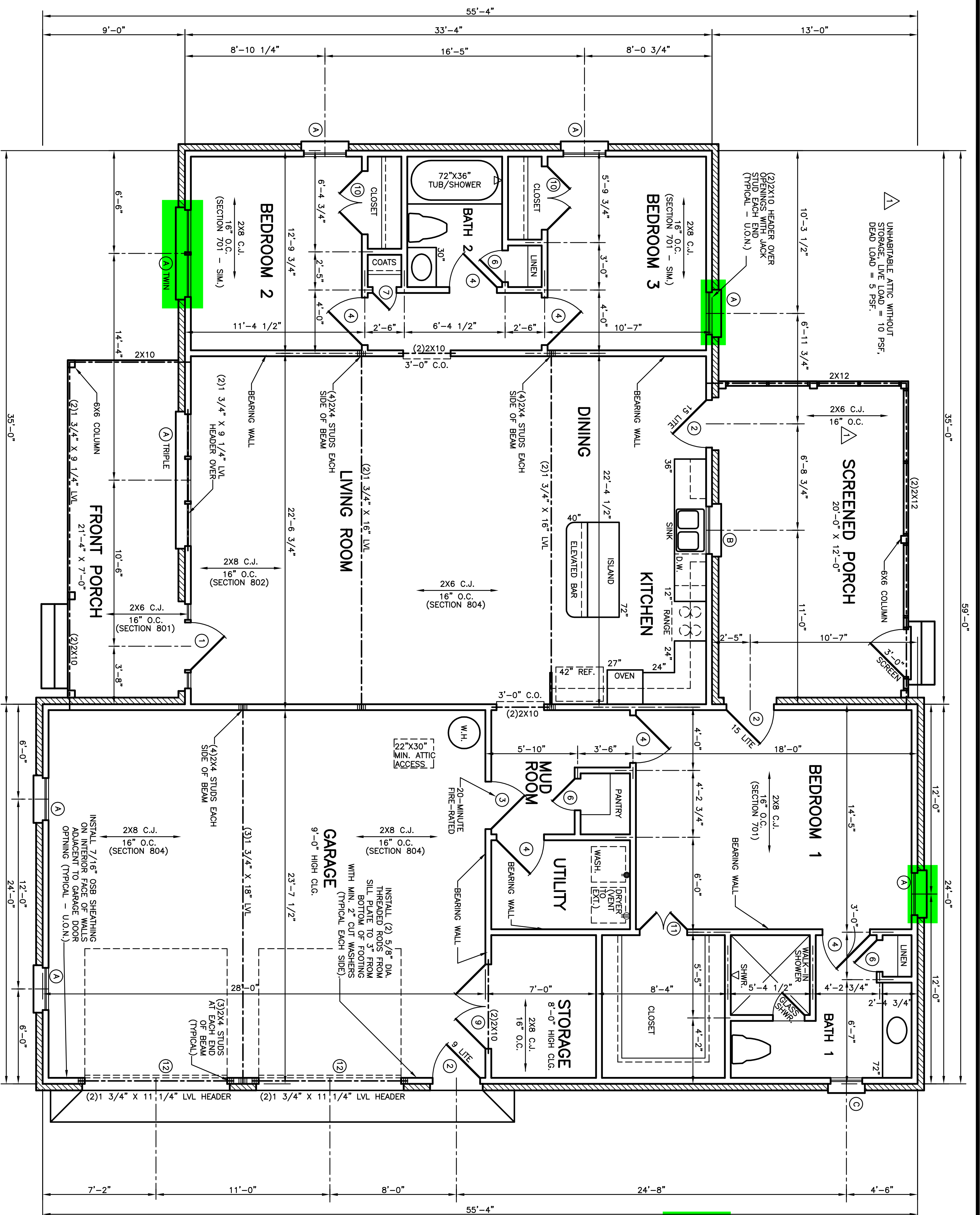
SCALE: 1/4" = 1'-0"



Standard Homes Plan Service, Inc.
 7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526
 (919) 552-5677



DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
KEITH HARRIS	CUSTOM	2634	BK.		2 OF 8



Field verify egress on all 4/6 double hung windows. They may not open to the minimum required code height

FLOOR PLAN
SCALE: 1/4" = 1'-0"

HEATED AREA: 1832 SQ. FT. IN BRICK GARAGE: 759 SQ. FT. SCREENED PORCH: 240 SQ. FT. FRONT PORCH: 149 SQ. FT.

CEILING HEIGHT: 8 FT. U.O.N.

WINDOW SCHEDULE

A	2'-8" X 4'-6" WD. D.H.	D
B	3'-0" X 3'-2" WD. D.H.	E
C	2'-0" X 3'-2" WD. D.H.	F
G	1'-0" SIDELITE EA. SIDE	L
H	9 LITE/15 LITE	M
I	3'-0" X 6'-8" X 1 3/4"	N
J	3'-0" X 6'-8" X 1 3/4"	
K	3'-0" X 6'-8" X 1 3/4"	
L	3'-0" X 6'-8" X 1 3/4"	
M	3'-0" X 6'-8" X 1 3/4"	
N	3'-0" X 6'-8" X 1 3/4"	

DOOR SCHEDULE

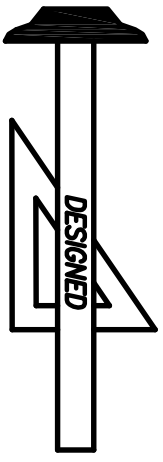
1	1'-6" X 6'-8" X 1 3/8"	7	1'-6" X 6'-8" X 1 3/8"	10	DOUBLE
2	3'-0" X 6'-8" X 1 3/4"	8	5'-0" X 6'-8" X 1 3/8"	11	DOUBLE
3	3'-0" X 6'-8" X 1 3/4"	9	5'-4" X 6'-8" X 1 3/8"	12	GARAGE DOOR
4	3'-0" X 6'-8" X 1 3/4"				
5	2'-6" X 6'-8" X 1 3/4"				
6	2'-0" X 6'-8" X 1 3/4"				
7	1'-6" X 6'-8" X 1 3/8"				
8	5'-0" X 6'-8" X 1 3/8"				
9	5'-4" X 6'-8" X 1 3/8"				
10	4'-0" X 6'-8" X 1 3/8"				
11	3'-0" X 6'-8" X 1 3/8"				
12	9'-0" X 8'-0"				

Standard Homes Plan Service, Inc.
7200 SUNSET LAKE ROAD FLOQUA-VARINA, N.C. 27526 (919)552-5677

DESIGNED FOR KEITH HARRIS

PLAN **CUSTOM** NO. **2634 BK.** MATERIAL SHEET **3 OF 8**

03-14-23

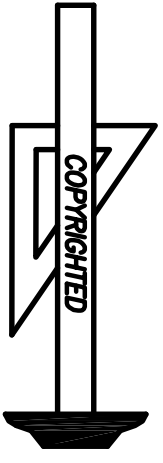


Standard Homes Plan Service, Inc.

7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526

(919)552-5677

SEE HOME DESIGN PREVIEWS ONLINE AT WWW.STANDARDHOMES.COM



DESIGNED FOR

KEITH HARRIS

PLAN

CUSTOM

NO.

2634

MAT'L

BK.

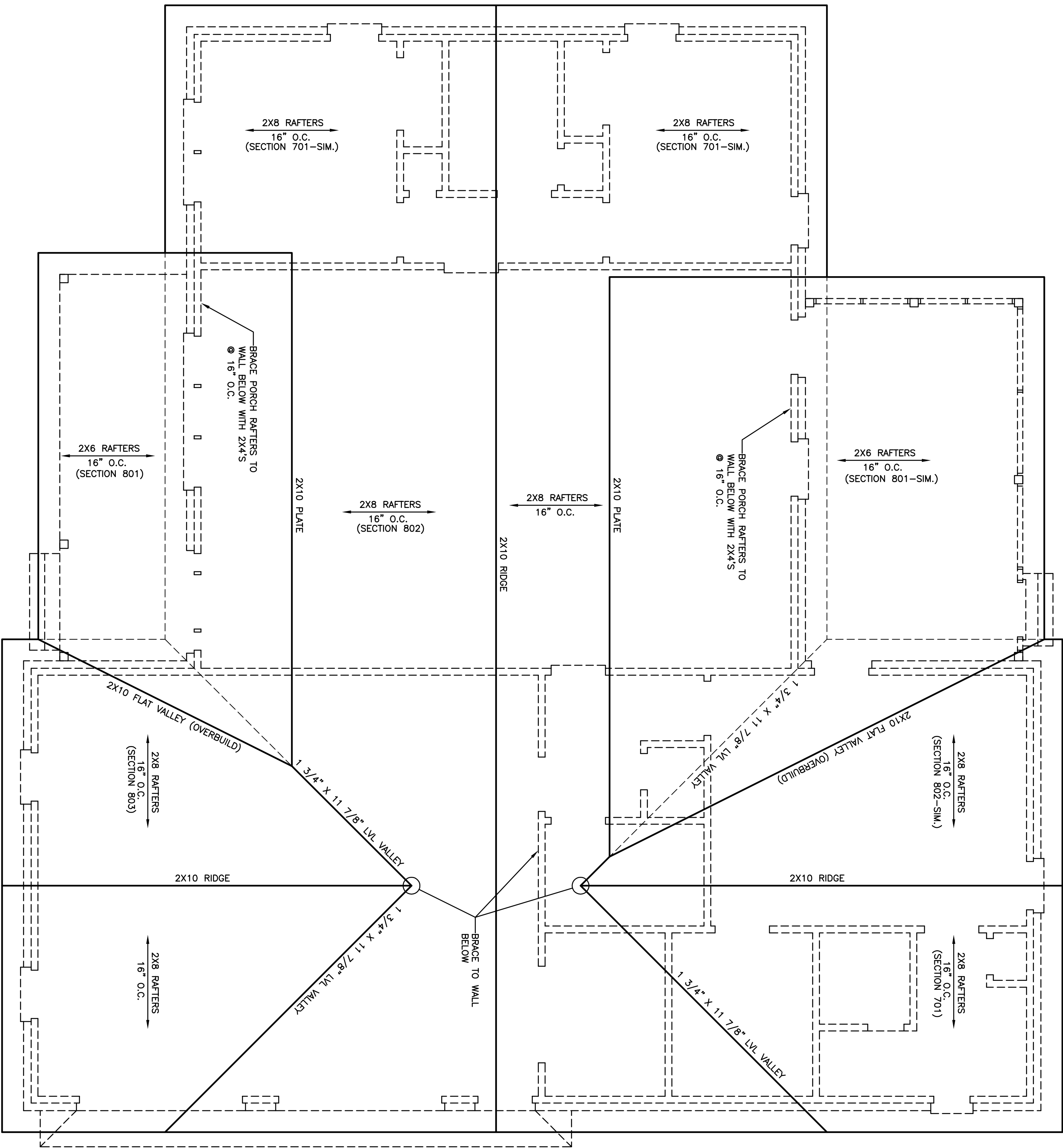
SHOWN

4 OF 8

SHEET

4 OF 8

© 2023 STANDARD HOMES PLAN SERVICE, INC.

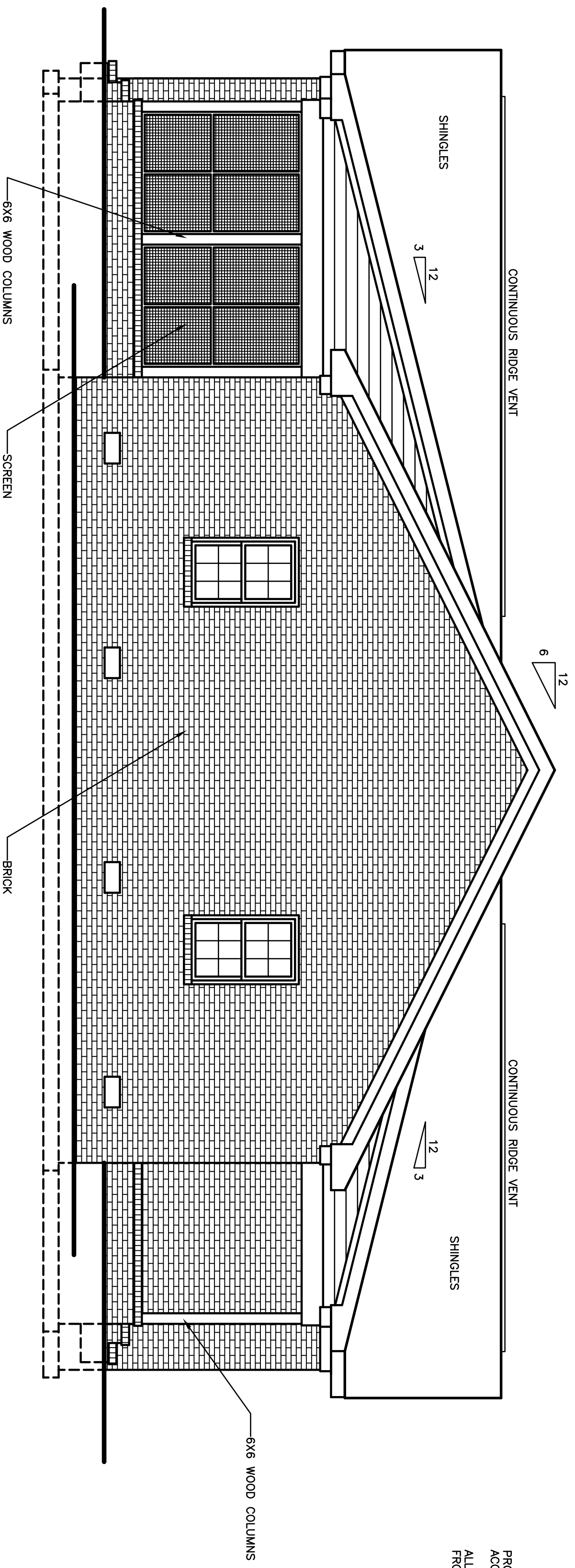


ATTIC VENTILATION REQUIREMENTS :
 2980 SQ. FT. -- 150 = 19.9 SQ. FT. NET
 FREE AREA REQUIRED

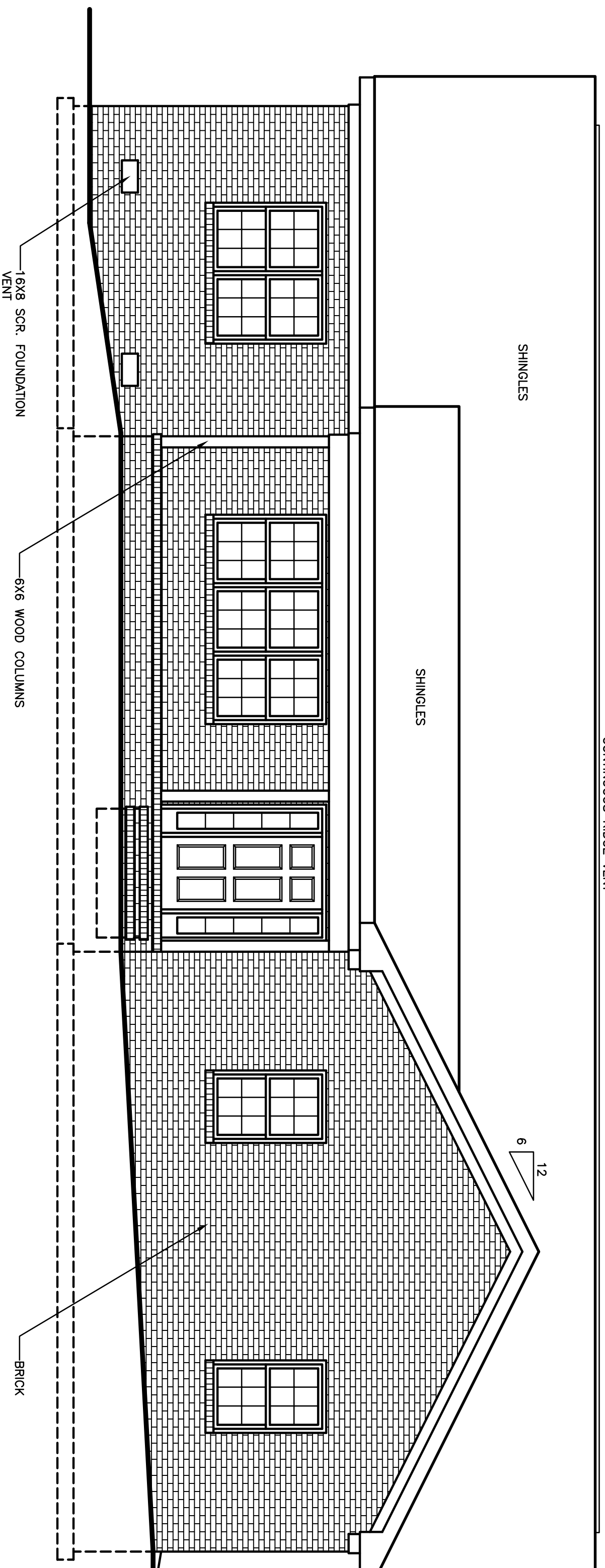
ROOF PLAN
 SCALE: 1/4" = 1'-0"

03-14-23

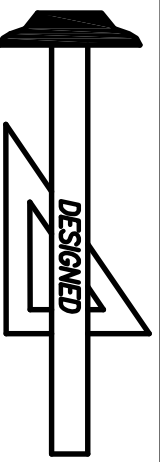
PROVIDE CUTTERS, DOWNSPOUTS AND SPLASHPADS
 ACCORDING TO LOCAL CODE AND RAINFALL CONDITIONS.
 ALL SPLASHPADS SHALL CARRY WATER 60"
 FROM BUILDING.



LEFT SIDE ELEVATION
 SCALE : 1/4" = 1'-0"



FRONT ELEVATION
 SCALE : 1/4" = 1'-0"

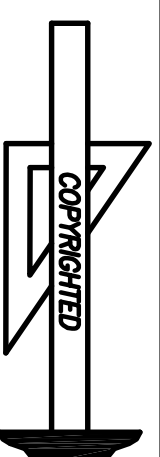


Standard Homes Plan Service, Inc.

7200 SUNSET LAKE ROAD
 FUQUAY-VARINA, NC 27526

(919)552-5677

SEE HOME DESIGN PREVIEWS ONLINE AT WWW.STANDARDHOMES.COM



DESIGNED FOR

KEITH HARRIS

PLAN

CUSTOM

NO.

2634

MAT'L

BK.

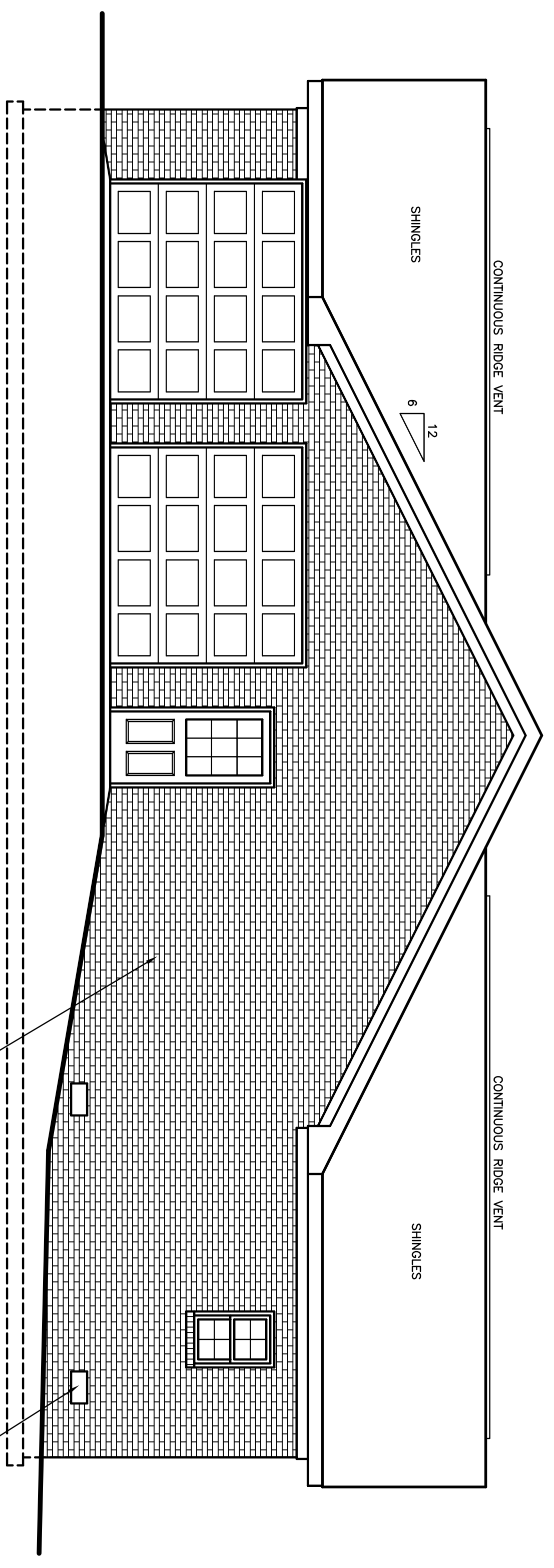
SHOWN

SHEET
 5 OF 8

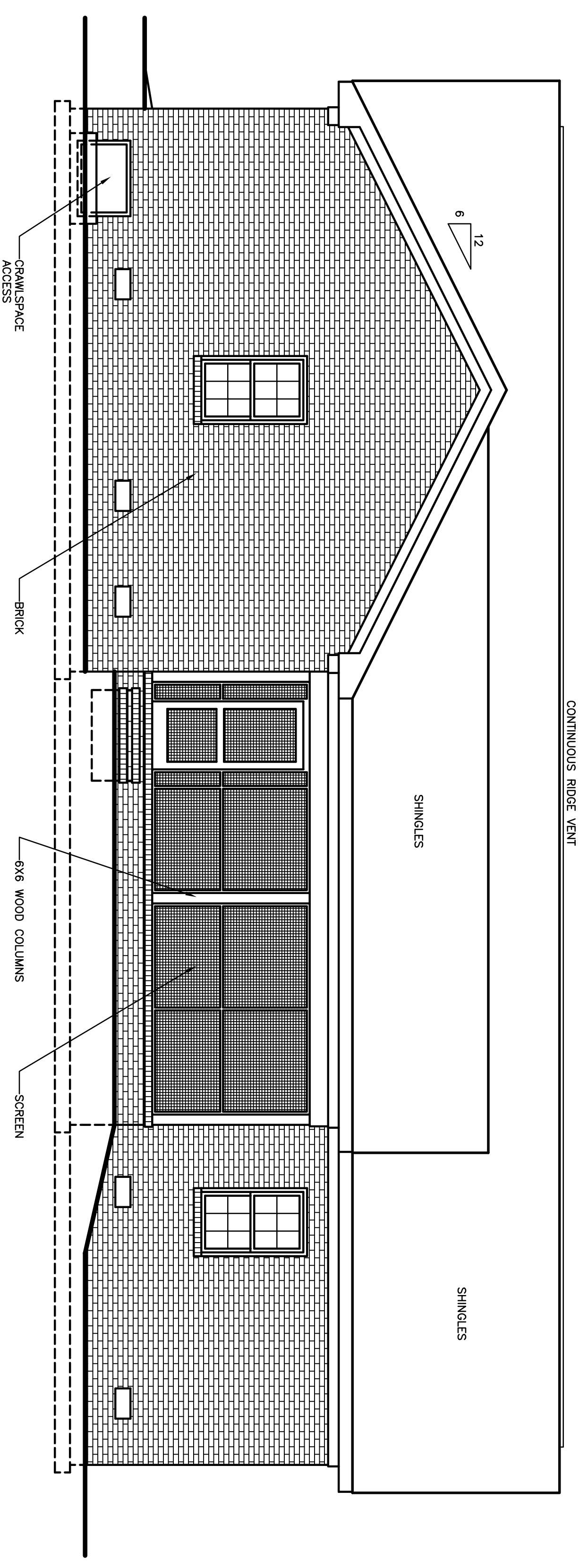
03-14-23

© 2023 STANDARD HOMES PLAN SERVICE, INC.

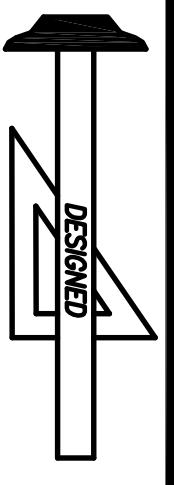
PROVIDE GUTTERS, DOWNSPOUTS AND SPLASHPADS
 ACCORDING TO LOCAL CODE AND RAINFALL CONDITIONS.
 ALL SPLASHPADS SHALL CARRY WATER 60"
 FROM BUILDING.



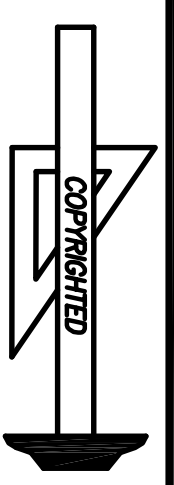
RIGHT SIDE ELEVATION
 SCALE : 1/4" = 1'-0"



REAR ELEVATION
 SCALE : 1/4" = 1'-0"



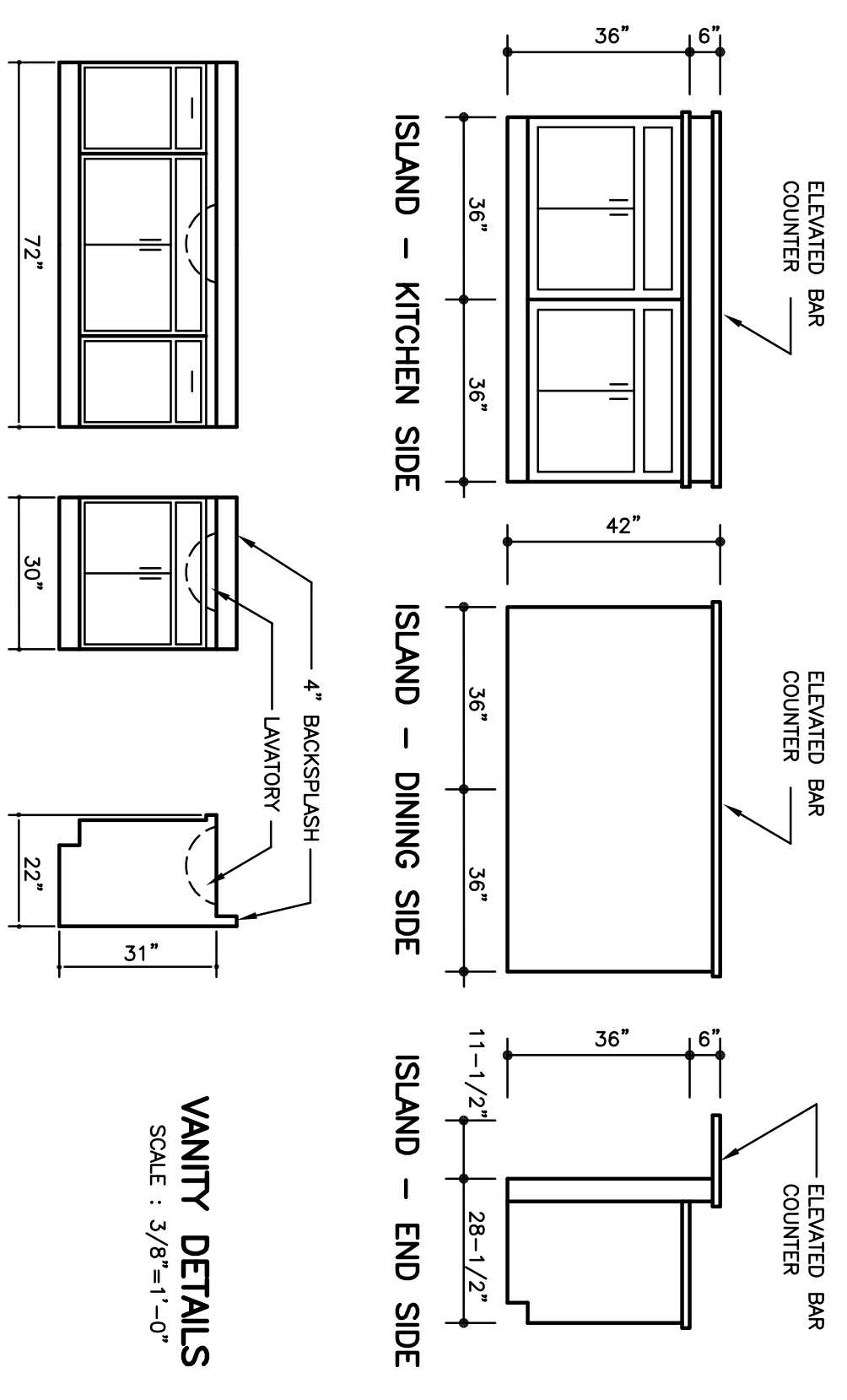
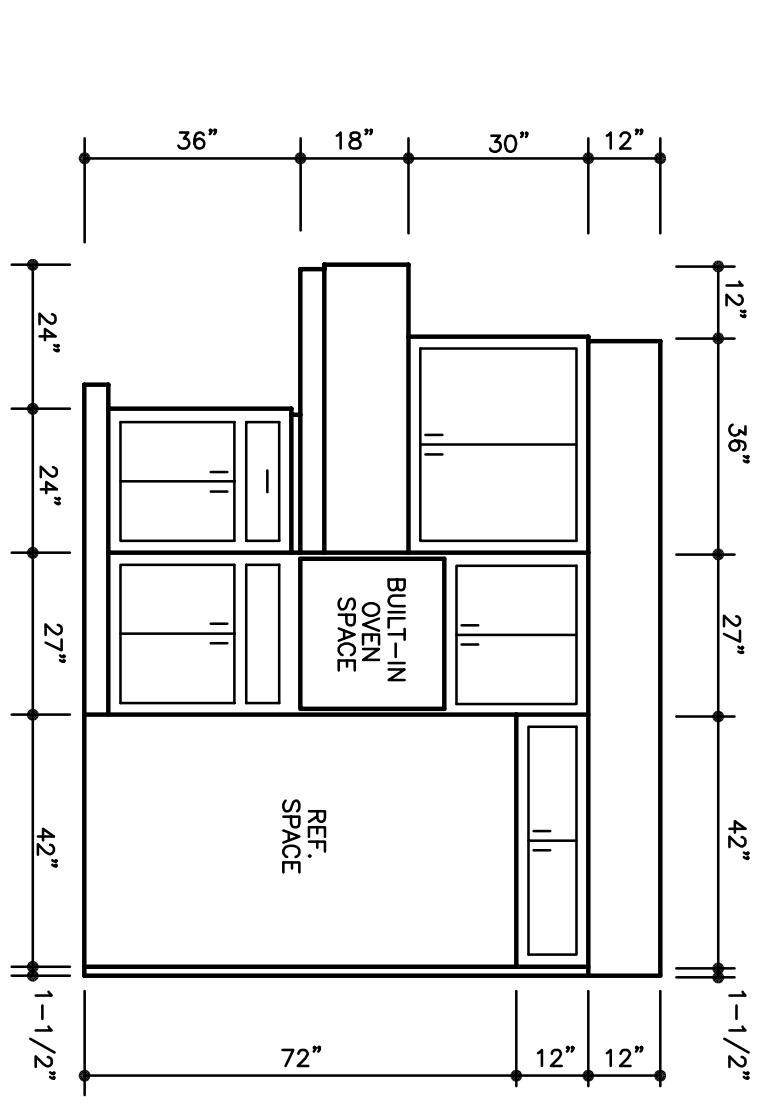
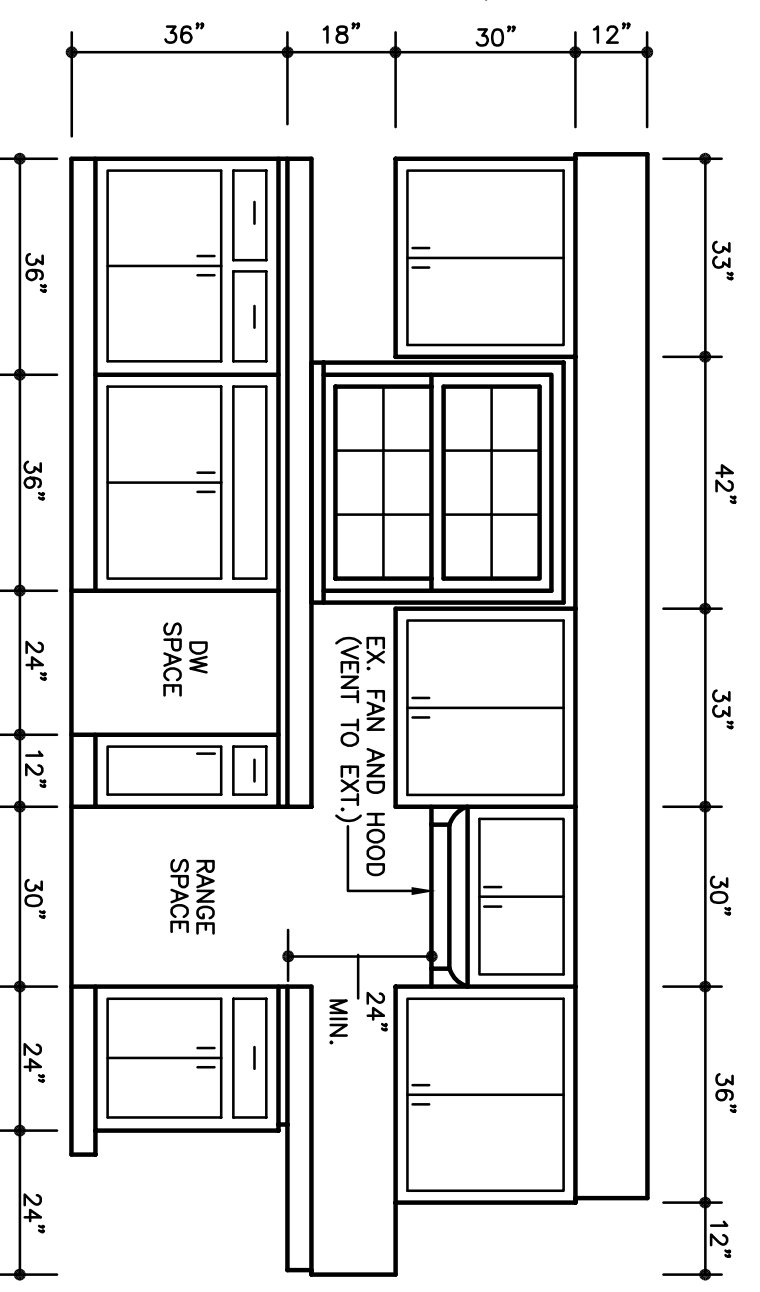
Standard Homes Plan Service, Inc.
 7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526
 SEE HOME DESIGN PREVIEWS ONLINE AT WWW.STANDARDHOMES.COM
 (919) 552-5677



DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
KEITH HARRIS	CUSTOM	2634	BK.		6 OF 8

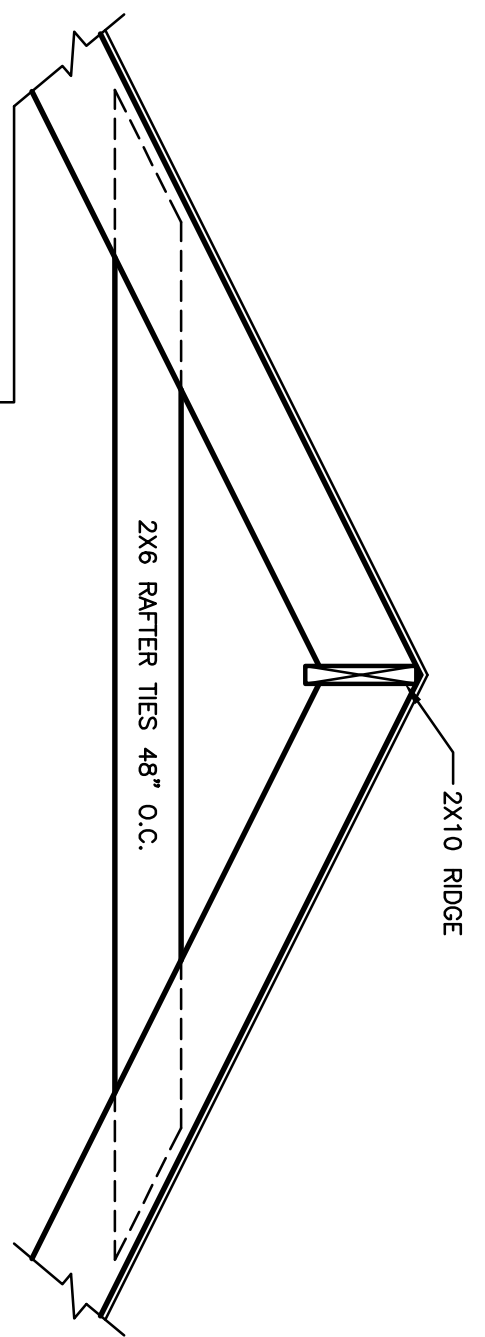
KITCHEN CABINET ELEVATIONS

SCALE : 3/8"=1'-0"
FOR SECTION THRU CABINETS, SEE DETAIL ON COVER SHEET.



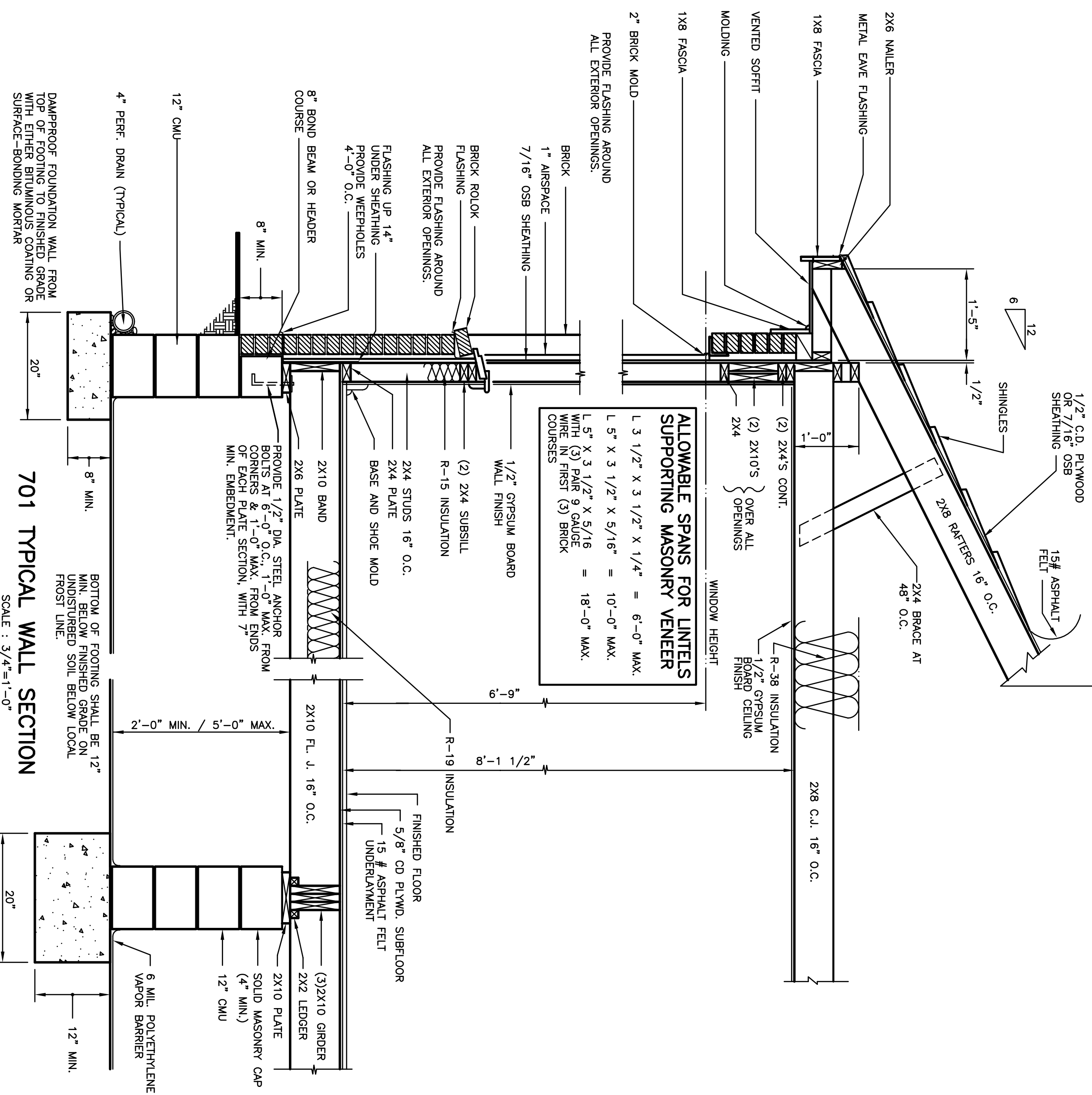
VANITY DETAILS

SCALE : 3/8"=1'-0"



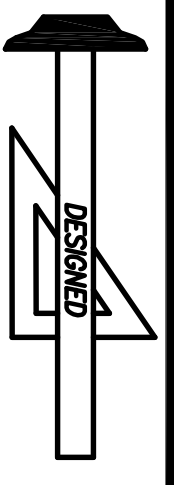
ALLOWABLE SPANS FOR LITELS SUPPORTING MASONRY VENEER

L 3 1/2" X 3 1/2" X 1/4" = 6'-0" MAX.
 L 5" X 3 1/2" X 5/16" = 10'-0" MAX.
 L 5" X 3 1/2" X 5/16" WITH (3) PAIR 9 GAUGE WIRE IN FIRST (3) BRICK COURSES = 18'-0" MAX.

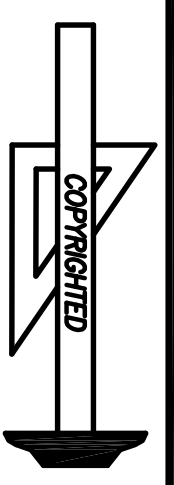


701 TYPICAL WALL SECTION

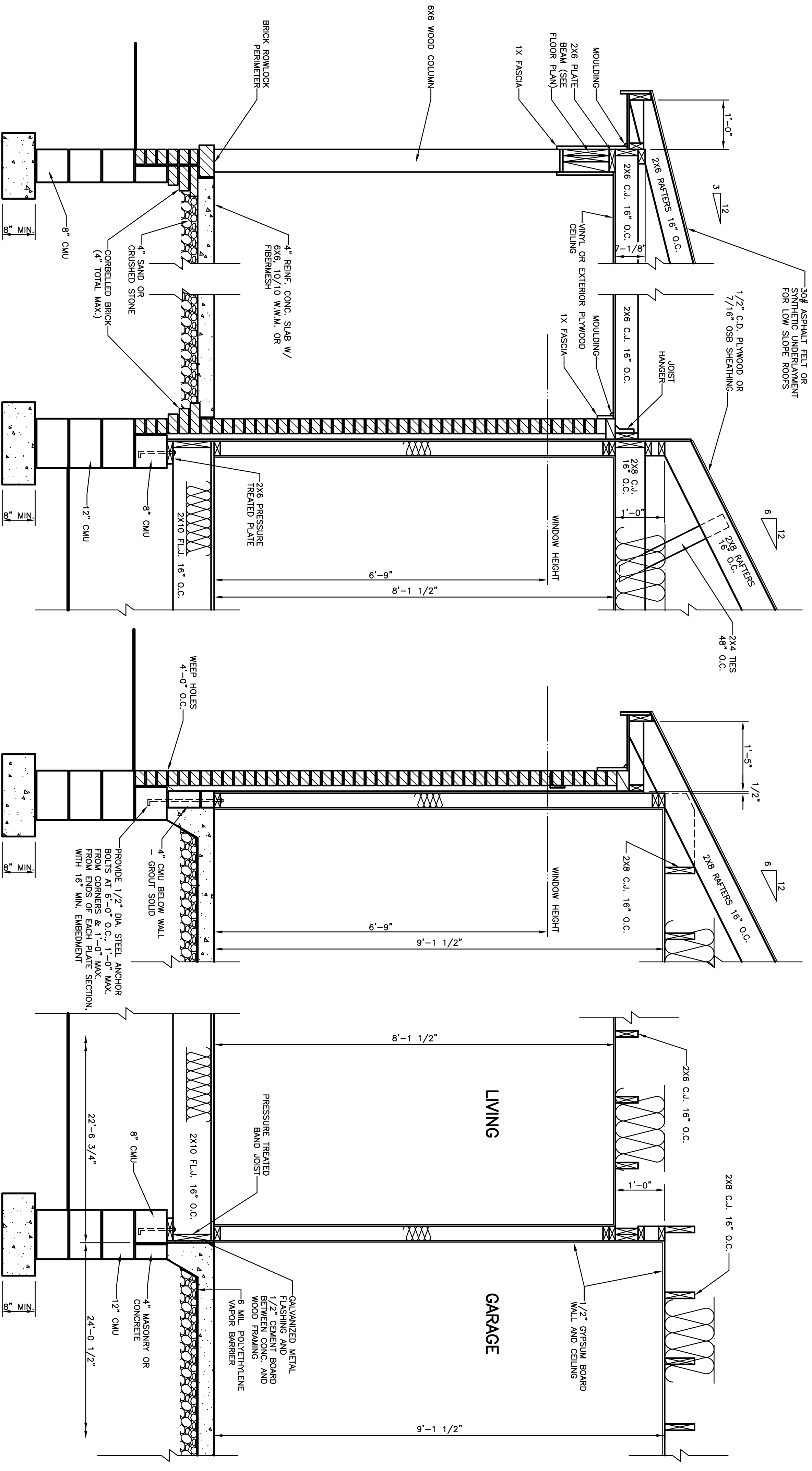
SCALE : 3/4"=1'-0"



Standard Homes Plan Service, Inc.
 7200 SUNSET LAKE ROAD FUQUAY-VARINA, NC 27526 (919)552-5677
 SEE HOME DESIGN PREVIEWS ONLINE AT WWW.STANDARDHOMES.COM



DESIGNED FOR	PLAN	NO.	MAT'L	SHOWN	SHEET
KEITH HARRIS	CUSTOM	2634	BK.		7 OF 8



801 PORCH SECTION

SCALE : 3/4" = 1'-0"

802 PORCH/RESIDENCE SECTION

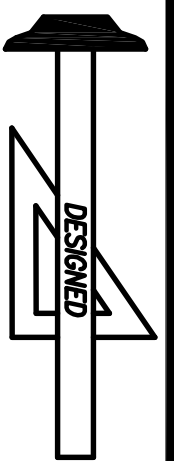
SCALE : 3/4" = 1'-0"

803 GARAGE SECTION

SCALE : 3/4" = 1'-0"

804 GARAGE/LIVING SECTION

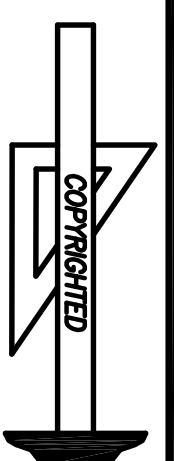
SCALE : 3/4" = 1'-0"



Standard Homes Plan Service, Inc.

7200 SUNSET LAKE ROAD FUYQUAY-VARINA, NC 27526

(919)552-5677

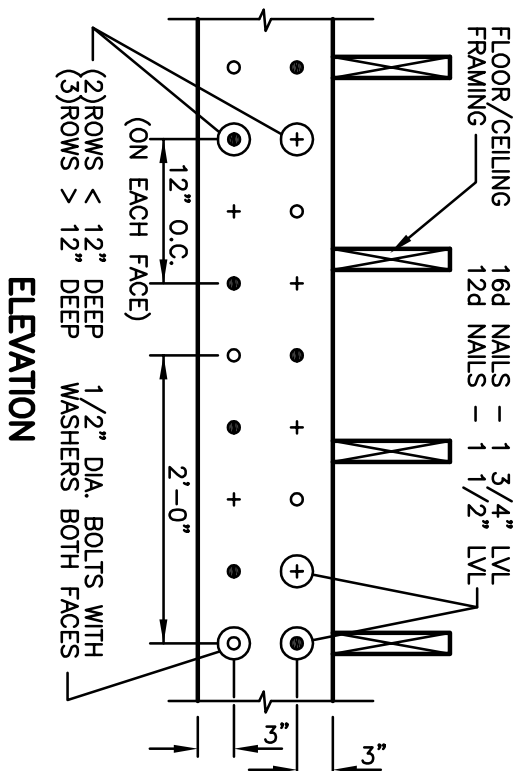
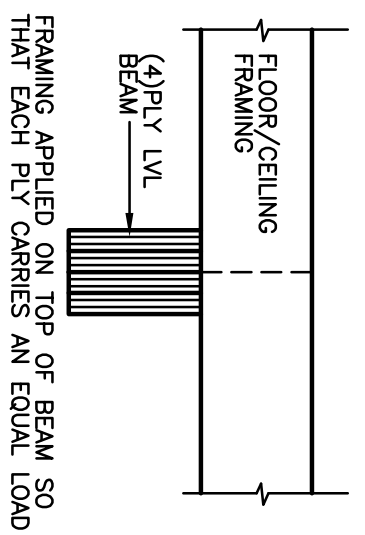


DESIGNED FOR
KEITH HARRIS

PLAN
CUSTOM

NO. 2634
MAT'L BK.
SHOWN
SHEET 8 OF 8

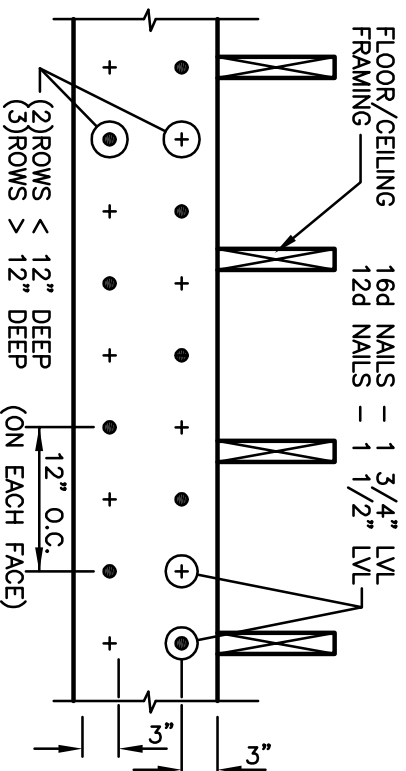
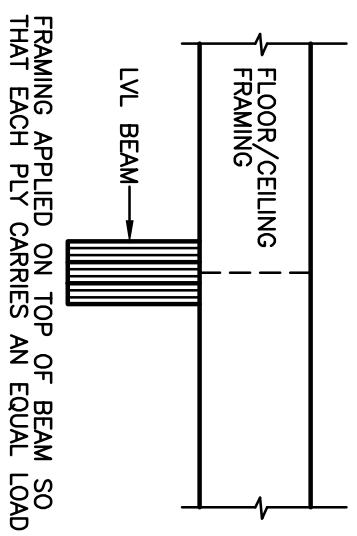
CONNECTION OF MULTIPLE PLY BEAMS
(INSTALLATION & CONNECTION OF BEAMS SHALL BE ACCORDING TO MANUFACTURERS SPECIFICATIONS)



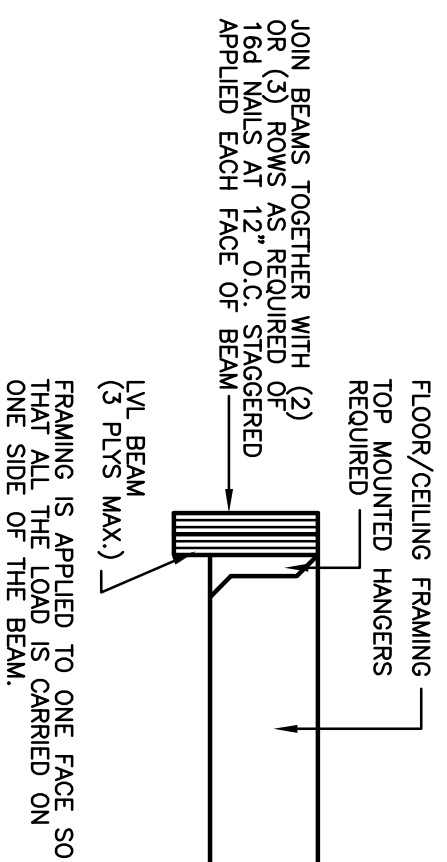
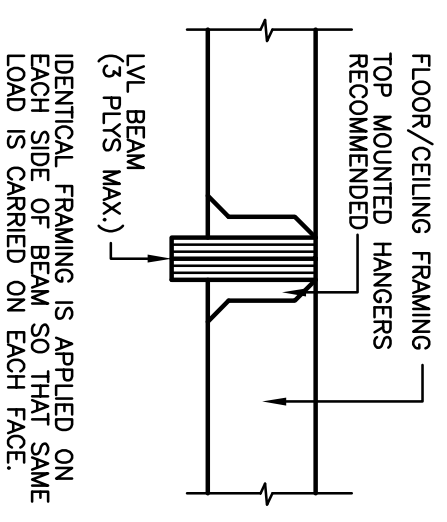
D001
TOP LOADED (4 PILES)

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (PSF)	
USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE	10
UNINHABITABLE ATTICS WITH LIMITED STORAGE	20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30
BALCONIES AND DECKS	40
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40
FIRE ESCAPES	40
GUARDS AND HANDRAILS	200
GUARD IN-FILL COMPONENTS	50
PASSENGER VEHICLE GARAGES	50

ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS	
(NOTE : L = SPAN LENGTH ; H = SPAN HEIGHT)	
STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RATERS HAVING SLOPES GREATER THAN 3:12 WITH FINISHED CEILING NOT ATTACHED TO RAFTERS	L/180
FLOORS	L/360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/360
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
LINTELS SUPPORTING MASONRY VENEER WALLS	L/600
INTERIOR WALLS AND PARTITIONS	H/180
EXTERIOR WALLS - WIND LOADS WITH PLASTER OR STUCCO FINISH	H/360
EXTERIOR WALLS - WIND LOADS WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS - WIND LOADS WITH FLEXIBLE FINISHES	H/120

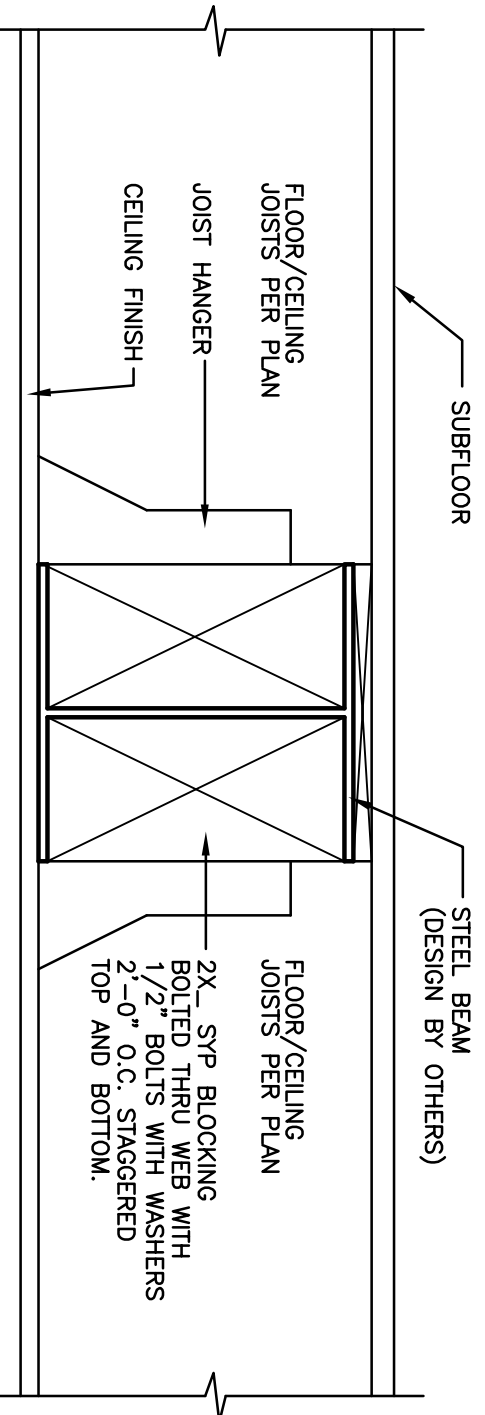


D002
TOP LOADED (3 PILES MAXIMUM)

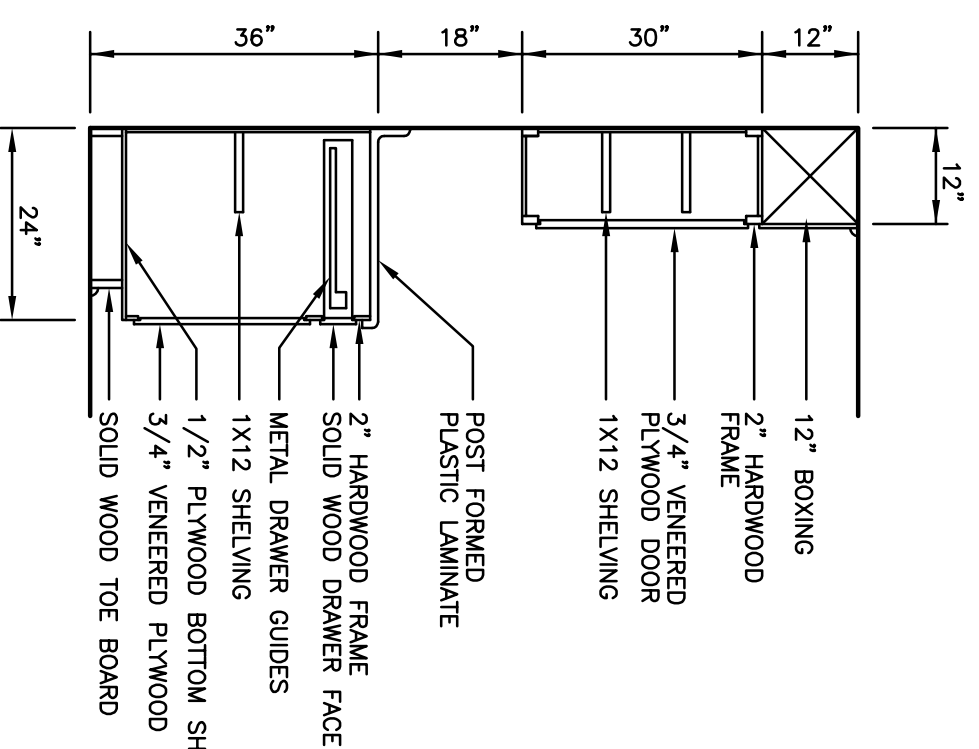


D003
SIDE LOADED

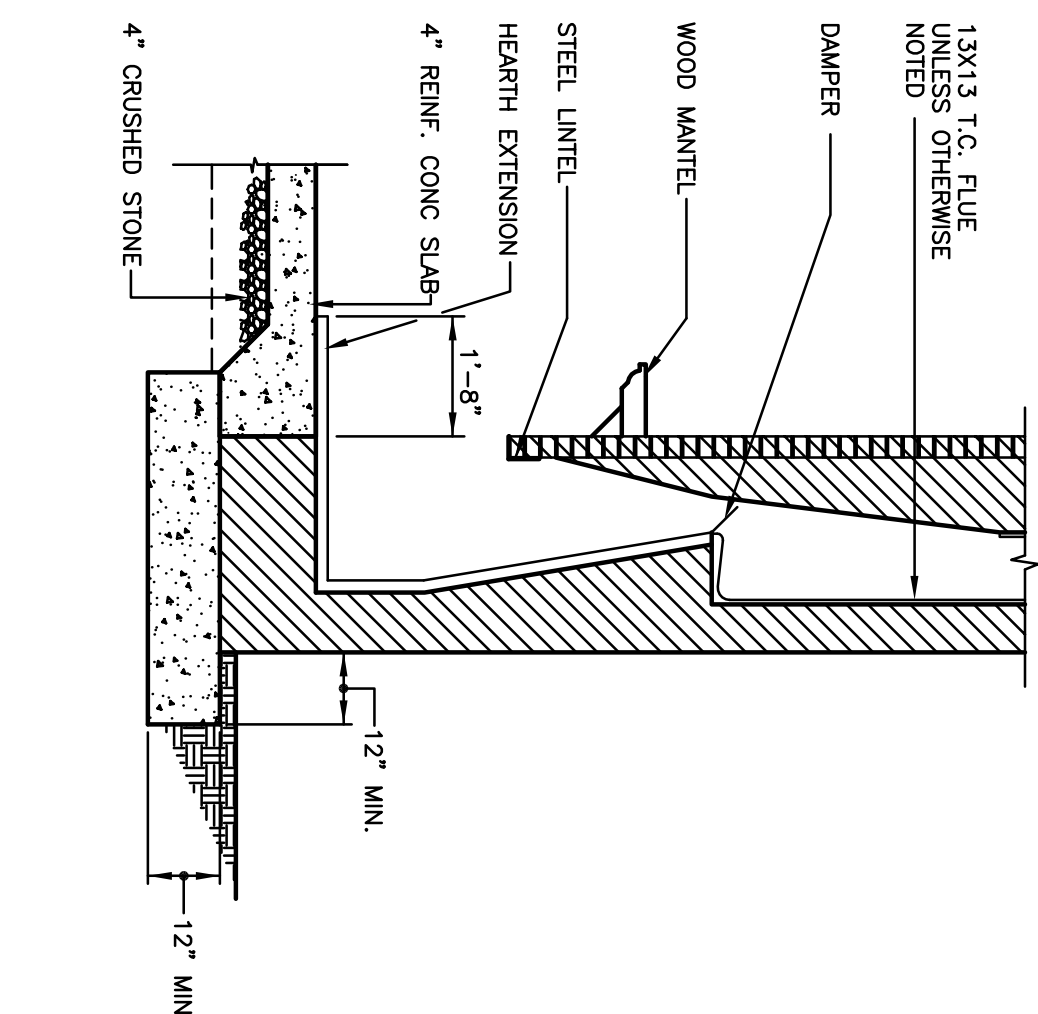
D004
SECTION THRU STEEL BEAM



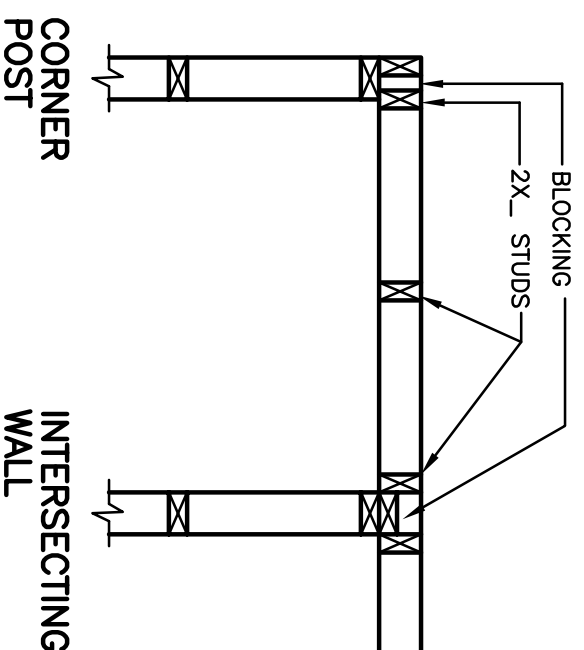
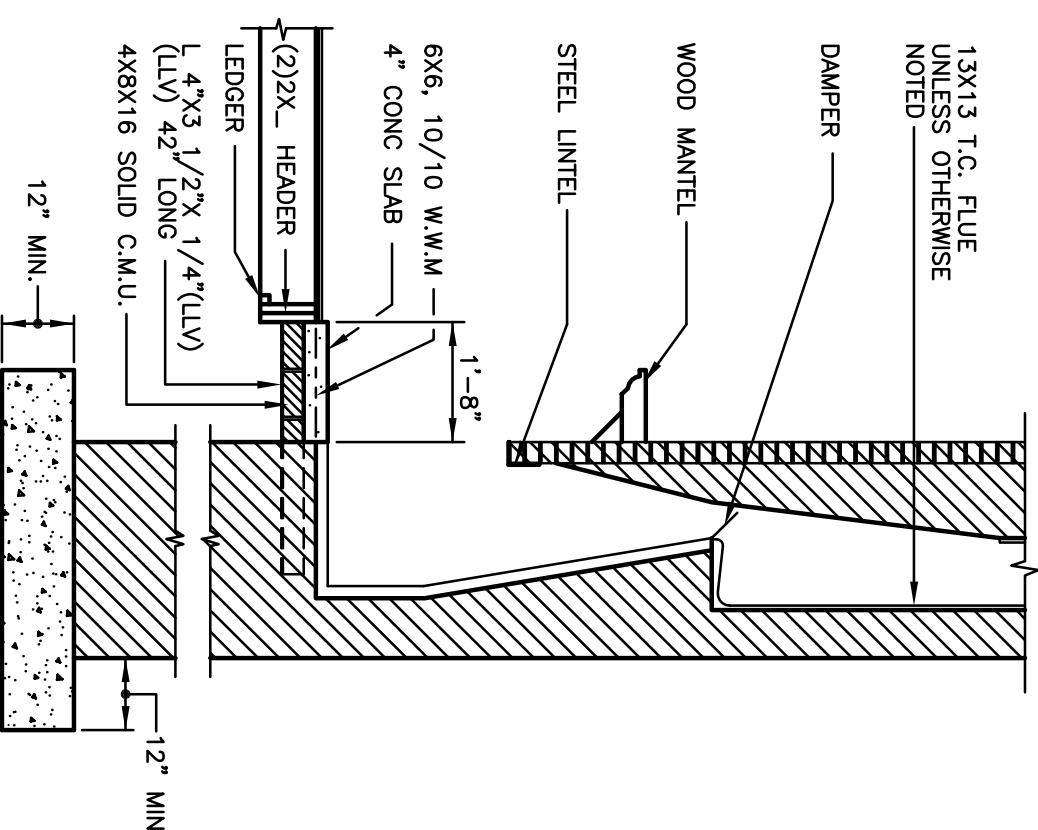
D004
SECTION THRU STEEL BEAM



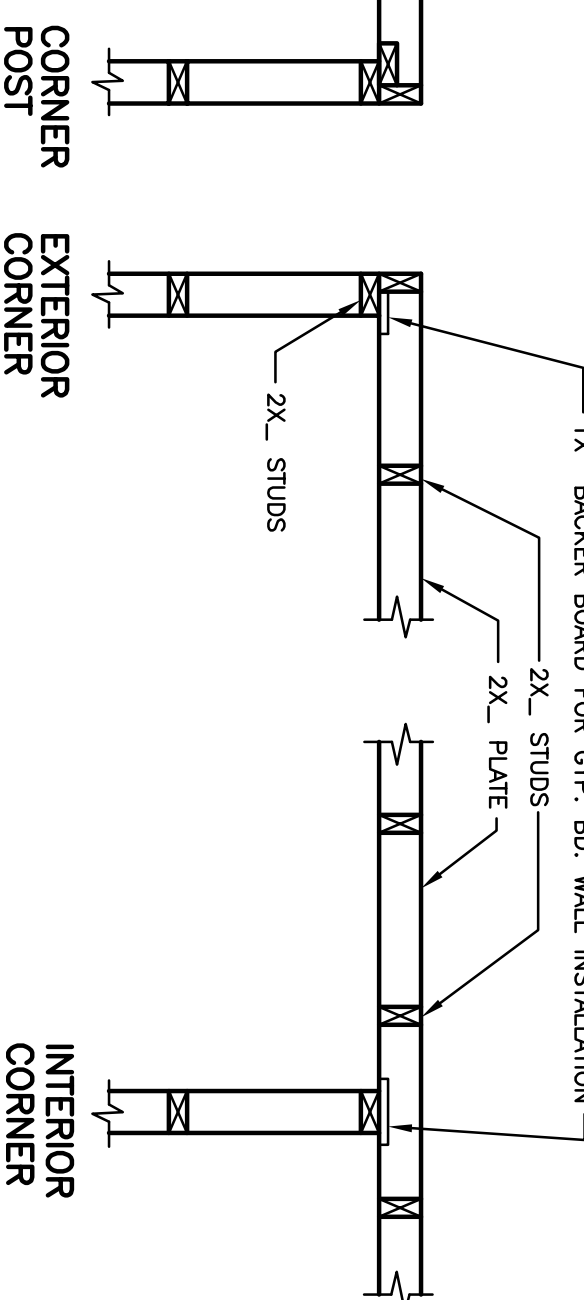
D005
SECTION THRU FIREPLACE ON CONCRETE SLAB



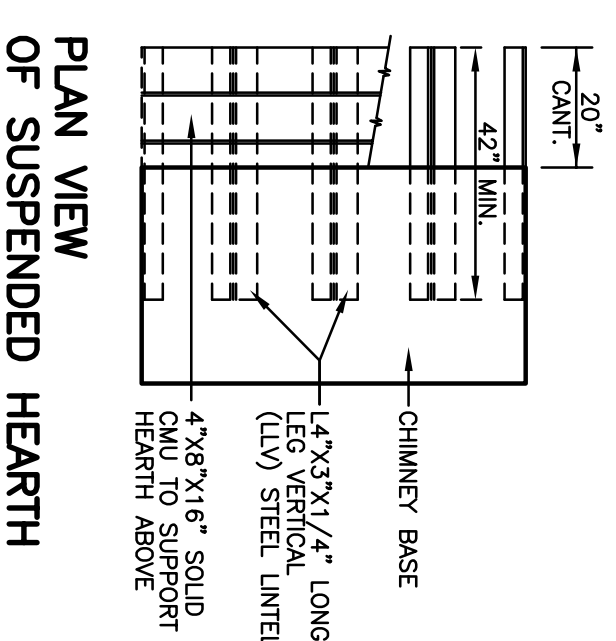
D006
SECTION THRU FIREPLACE ON WOOD FLOOR



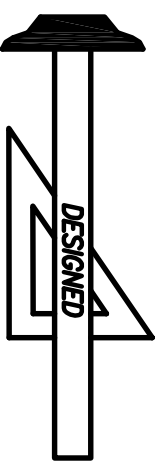
D007
CORNER POST INTERSECTING WALL DETAIL BASIC WALL FRAMING



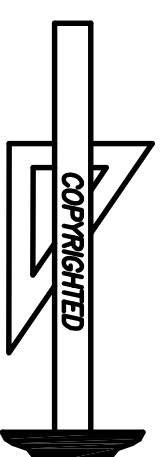
D008
CORNER POST EXTERIOR CORNER DETAIL ADVANCED WALL FRAMING



D009
PLAN VIEW OF SUSPENDED HEARTH



Standard Homes Plan Service, Inc.
7200 SUNSET LAKE ROAD FLOYD-COUNTY, VA 22404
SEE HOME DESIGN PREVIEW ONLINE AT WWW.STANDARDHOMES.COM



STANDARD CONSTRUCTION DETAILS

D