

VICINITY MAP (NTS)

SETBACKS PER  
BK 2022 PGS 276-283

FRONT	35'
SIDE	10'
REAR	20'
SIDE STREET	20'
MAX BLDG HGHT	35'
ZONING:	RA-30

IMPERVIOUS AREA

HOUSE	1,267 SQ.FT.
DRIVE	648 SQ.FT.
WALK	89 SQ.FT.
CONC. PAD	9 SQ.FT.
<b>TOTAL</b>	<b>2,015 SQ.FT.</b>

- LEGEND
- AD=ASL CONDITIONING UNIT
  - AG=ABOVE GROUND
  - BOG=BACK OF CURB
  - BO=BELOW GROUND
  - CATV=CABLE TV
  - CB=CATCH BASIN
  - DW=CONC DRIVEWAY
  - EB=ELECTRIC BOX
  - EM=ELECTRIC METER
  - EOP=EDGE OF PAVEMENT
  - FD=FIREFIGHT
  - FP=LIGHT POLE
  - N/F=NOW OR FORMERLY
  - PP=POWER POLE
  - RPC=REINFORCED CONC PIPE
  - R/W=RIGHT OF WAY
  - SCD=CLEANOUT
  - SW=SIDEWALK
  - TP=TELEPHONE PEDESTAL
  - TF=TRANSFORMER
  - WM=WATER METER
  - WV=WATER VALVE
  - ⊙ EIP=EXISTING IRON PIPE
  - ⊙ IRP=IRON PIPE SET
  - ⊙ EIR=EXISTING IRON ROD



THIS EXHIBIT MAP IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

10-05-2022

NICHOLAS M. FRENCH, PLS L-4817 DATE

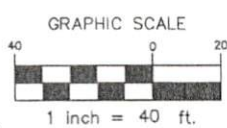
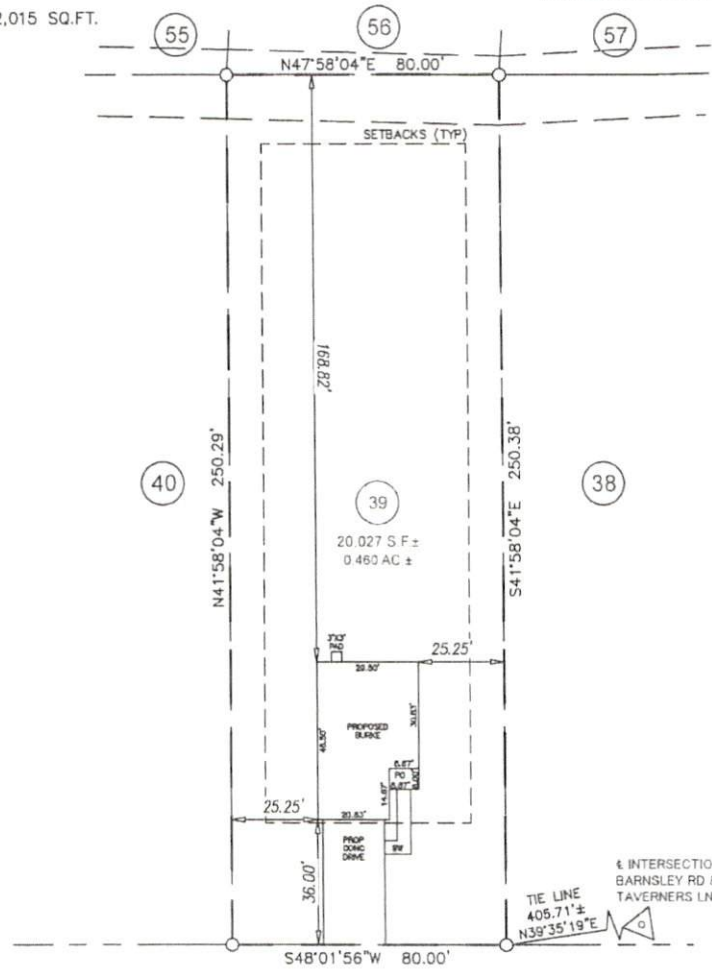
THIS MAP IS ONLY INTENDED FOR THE PARTIES AND PURPOSES SHOWN. THIS MAP IS NOT FOR RECORDATION. NO TITLE REPORT PROVIDED.

THIS MAP MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY A LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS.

- GENERAL NOTES:
1. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
  2. AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD.
  3. LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION REFERENCED ON THE FACE OF THIS SURVEY.
  4. PROPERTY MAY BE SUBJECT TO ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD. THIS SURVEY IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND OF DEEDS AND HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND LOCATION OF EASEMENTS, AND OTHER TITLE QUESTIONS REVEALED BY TITLE EXAMINATION.
  5. DRIVEWAY IMPERVIOUS CALCULATION SHOWN HEREON CALCULATED TO THE FRONT PROPERTY LINE/RIGHT-OF-WAY.
  6. FLOOD MODEL IS NOT AVAILABLE FOR THIS AREA.



REVISION: HOUSE PLAN CHANGED PER REQUEST 12/21/2022 AKS



BARNESLEY ROAD  
50' PUBLIC R/W

PRELIMINARY  
PLOT PLAN

PROJECT:	22 LGI ATHERSTONE
DRAWN BY:	MTH
SURVEYED BY:	N/A
SCALE:	1" = 40'
FIELD WORK:	DWG DATE: 10/05/2022
N/A	

FOR  
LGI HOMES  
119 BARNESLEY RD  
LOT 39 ATHERSTONE SUBDIVISION  
BLACK RIVER TWP., HARNETT CO., NC  
BK. 2022 PG. 326-(331)-338

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