

DFC Revolve is a parent company of H&H according to Applicant



Town of Erwin
Zoning Application & Permit
 Planning & Inspections Department

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| Permit # |
| |

Rev Sep2014

Each application should be submitted with an attached plot/site plan with the proposed use/structure showing lot shape, existing and proposed buildings, parking and loading areas, access drives and front, rear, and side yard dimensions.

| | | | |
|-------------------|---------------------------|------------------|--------------------------------------|
| Name of Applicant | DREAM FINDERS HOMES, LLC | Property Owner | H&H Constructors of Fayetteville LLC |
| Home Address | 3709 Raeford Road Ste 200 | Home Address | 3709 Raeford Road Ste 200 |
| City, State, Zip | Fayetteville, NC 28304 | City, State, Zip | Fayetteville NC 28304 |
| Telephone | 910-486-4864-ext 21423 | Telephone | 910-486-4864 ext 21423 |
| Email | tamaragreen@hhhomes.com | Email | tamaragreen@hhhomes.com |

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|--|--|-------------------------------------|---------|
| Address of Proposed Property | 36 Mary Robertson ST | Lot 29 Schabert Crossing | |
| Parcel Identification Number(s) (PIN) | 0596-94-5697 | Estimated Project Cost | 169,499 |
| What is the applicant requesting to build / what is the proposed use of the subject property? Be specific. | New Single Family Home | | |
| Description of any proposed improvements to the building or property | | | |
| What was the Previous Use of the subject property? | vacant | | |
| Does the Property Access DOT road? | yes | | |
| Number of dwelling/structures on the property already | 0 | Property/Parcel size | .45 |
| Floodplain SFHA <u> </u> Yes <u>xx</u> No | Watershed <u> </u> Yes <u>xx</u> No | Wetlands <u> </u> Yes <u>xx</u> No | |
| MUST circle one that applies to property | Existing/Proposed Septic System Or Existing/Proposed County/City Sewer | | |

Owner/Applicant Must Read and Sign

The undersigned property owner, or duly authorized agent/representative thereof certifies that this application and the forgoing answers, statements, and other information herewith submitted are in all respects true and correct to the best of their knowledge and belief. The undersigning party understands that any incorrect information submitted may result in the revocation of this application. Upon issuance of this permit, the undersigning party agrees to conform to all applicable town ordinances, zoning regulations, and the laws of the State of North Carolina regulating such work and to the specifications of plans herein submitted. The undersigning party authorizes the Town of Erwin to review this request and conduct a site inspection to ensure compliance to this application as approved.

| | | | | | |
|------------|-------------|--------------------------------------|-------------|------|--|
| Print Name | Tammy Green | Signature of Owner or Representative | Tammy Green | Date | |
|------------|-------------|--------------------------------------|-------------|------|--|

For Office Use

| | | | |
|--------------------|-----|---|--|
| Zoning District | RD | Existing Nonconforming Uses or Features | |
| Front Yard Setback | 40' | Other Permits Required | <u> </u> Conditional Use <u> </u> Building <u> </u> Fire Marshal <u>X</u> Other |
| Side Yard Setback | 12' | Requires Town Zoning Inspection(s) | <u> </u> Foundation <u> </u> Prior to C. of O. |
| Rear Yard Setback | 40' | Zoning Permit Status | <u>X</u> Approved <u> </u> Denied |
| | | Fee Paid: | 100 |
| | | Date Paid: | |
| | | Staff Initials: | |

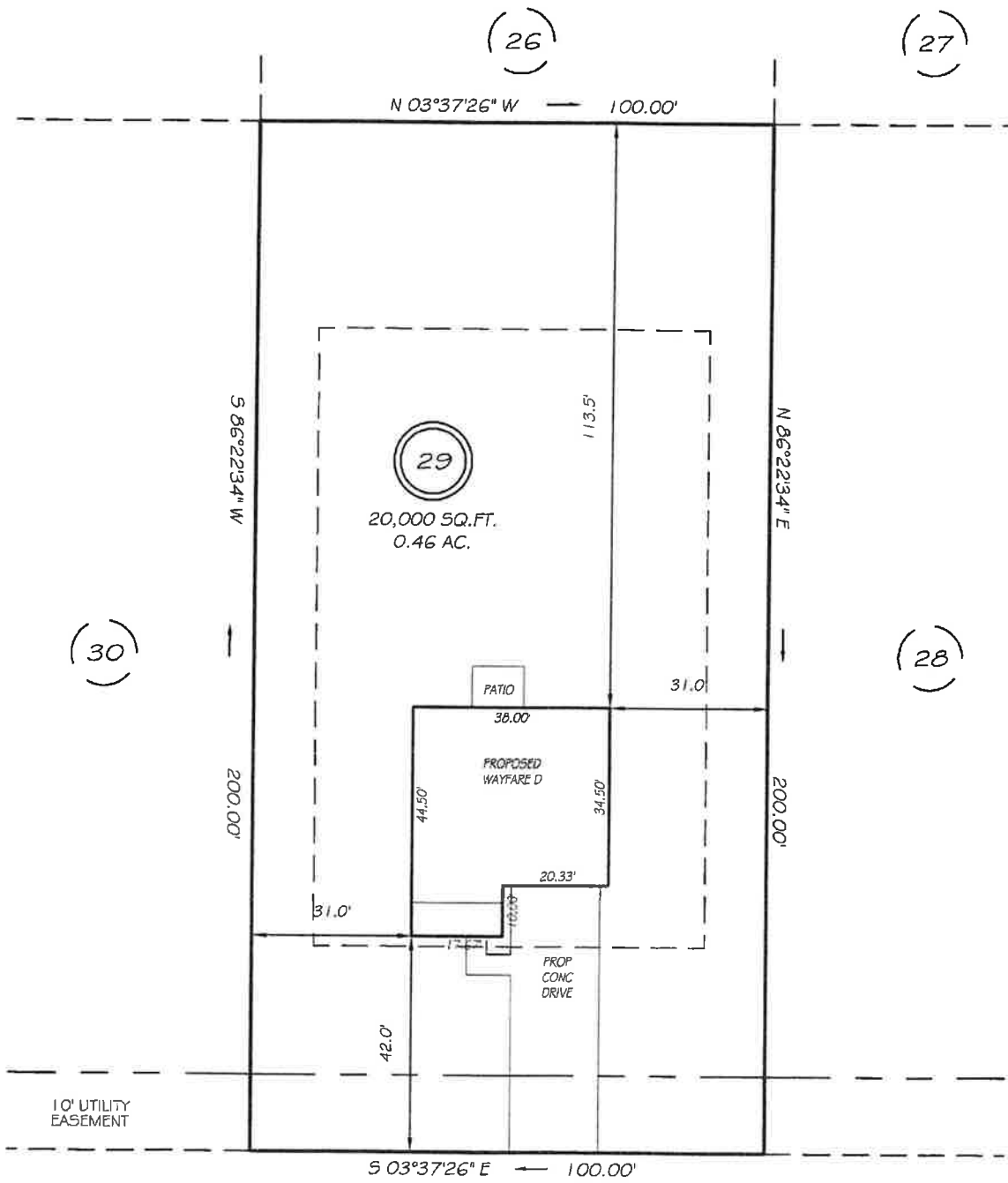
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|----------|---------------------|
| Comments | new stick built SFD |
|----------|---------------------|

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|-----------------------------------|--------------|-----------------------|----------|
| Signature of Town Representative: | Bron Boubler | Date Approved/Denied: | 12/15/22 |
|-----------------------------------|--------------|-----------------------|----------|

- obtain NEPOT A. Land Permits
- Please contact Harnett County Development Service to obtain permit 910-893-7525

I, MICHAEL P. GRIFFIN, certify that under my direction and supervision this map was drawn from an actual field survey; that the error of closure of the survey as calculated by coordinates is 1:10,000+; that the area shown hereon was calculated by coordinates.
 Witness my hand and seal this day of MONTH 2022.

BK 2022 PAGE 226-227
 HARNETT CO. REGISTRY



MARY ROBERTSON STREET
 50' RAW (PUBLIC & UTILITY ACCESS)

| SETBACKS | |
|----------|-----|
| FRONT | 40' |
| REAR | 40' |
| SIDE | 12' |

LEGEND

