

Minor Subdivision Approval
I hereby certify that the development depicted hereon has been granted final approval from Harnett County E-911 Addressing, Environmental Health, Planning, Public Utilities, and the North Carolina Department of Transportation. This Plat is subject to any and all conditions stated below and is eligible for recordation in the Harnett County Register of Deeds within thirty days of the date below.

E-911 Addressing _____
Public Utilities (Not For Construction) _____

HCDOT
Subdivision Administrator [Signature] 10/5/22 Date

TOTAL ACREAGE = 3.899 AC.

DEED REFERENCE: DEED BOOK 4167, PAGE 2964

MAP REFERENCE: PLAT BOOK 2011, PAGE 18

NORTH CAROLINA HARNETT COUNTY
I, Mickey R. Bennett, PLS do certify that this plat was drawn under my supervision and description recorded in Book SEE, Page SEE, etc.) that the boundaries not surveyed are clearly indicated as drawn from information found in Book SEE, Page SEE, that the ratio of precision as calculated is 1:10000; that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, registration number and seal this 26th day of September, A.D. 2022.



[Signature]
MICKEY R. BENNETT
L - 1514

I, MICKEY R. BENNETT, DO HEREBY CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

R.H. BYRD JR. &
SHERRI N. BYRD
DB 3583, PG 419
P.C. F. SLIDE - 606-B

STATE OF NORTH CAROLINA
COUNTY OF HARNETT
I, Chat Williams, REVIEW OFFICER OF HARNETT COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.
DATE: 10/5/2022
[Signature]
REVIEW OFFICER

NORTH CAROLINA
HARNETT COUNTY
This Map-Plat was presented for registration and recorded in this office at Plat Book 2022 - 524 this 5th day of October 2022, at 8:34 o'clock A. M.

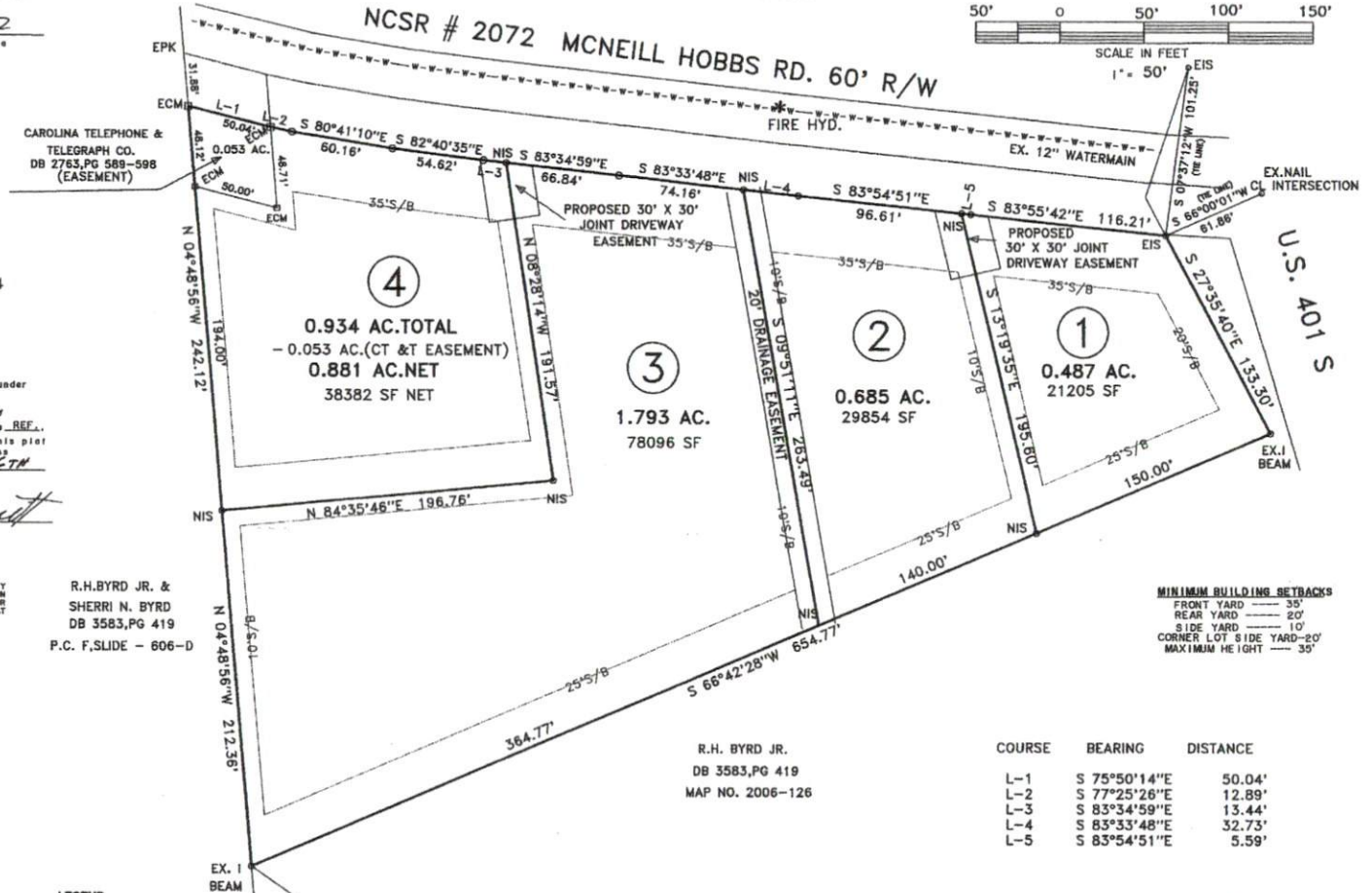
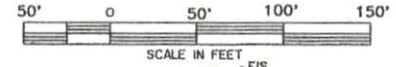
Matthew S. Willis Register of Deeds
By: Kayla B. Core
Assistant Deputy Register of Deeds

NOTE: LOTS 1 & 2 AND LOTS 3 & 4 SHALL ACCESS NCSR # 2072 MCNEILL HOBBS RD. USING THE PROPOSED 30' X 30' JOINT DRIVEWAY EASEMENTS ONLY. THERE WILL BE NO OTHER ACCESS TO NCSR # 2072 MCNEILL HOBBS RD.

FOR REGISTRATION
Deed Book 4167, Page 2964
Harnett County, NC
10/5/2022 at 8:34:08 AM
S2022-0003-004 (1)
Fee Amt: \$21.00
INSTRUMENT N 2022110034
KAYLA CORE



MINOR SUBDIVISION - HARNETT COUNTY
CERTIFICATION OF OWNERSHIP, REGISTRATION AND JURISDICTION
I, (We) hereby certify that I am (We are) the owner(s) or agent of the property shown and described herein and that if (We) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building setback lines, and dedicate all streets, alleys, walks, parks and other sites and easements to public or private use as noted, and all the land shown hereon is within the subdivision jurisdiction of Harnett County, North Carolina. I (We) also understand that we will not be allowed to use the minor subdivision status for a period of three years from the recording date as shown on the recorded map to the register of deeds.
Date: 10-5-22 [Signature]
Owner/agent



MINIMUM BUILDING SETBACKS
FRONT YARD --- 35'
REAR YARD --- 20'
SIDE YARD --- 10'
CORNER LOT SIDE YARD --- 20'
MAXIMUM HEIGHT --- 35'

	COURSE	BEARING	DISTANCE
L-1	S 75°50'14"E		50.04'
L-2	S 77°25'26"E		12.89'
L-3	S 83°34'59"E		13.44'
L-4	S 83°33'48"E		32.73'
L-5	S 83°54'51"E		5.59'

OWNERS: ROBERT V. & SHEILA K. BENNETT
1704 CLARK RD.
LILLINGTON, NC 27546



SURVEY FOR:							
MCNEILL - HOBBS FARM							
TOWNSHIP	STEWART'S CREEK	COUNTY	HARNETT				
STATE:	NORTH CAROLINA		DATE:	SEPTEMBER 26, 2022			
ZONED	RA-20R	WATERSHED DISTRICT	WS-IV	PID #	120567 0020 11	PIN #	0566-49-0426.000
25' 0 50'		SURVEYED BY:		RVB	FIELD BOOK		FOCUS 30/35
SCALE: 1" = 50'		DRAWN BY:		RVB	DRAWING NO.		22444
CHECKED & CLOSURE BY:		MRB					

NORTH REFERENCE NAD 83(2011)