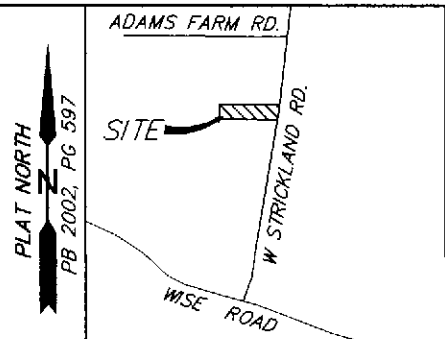


SURVEYOR'S DISCLAIMER:

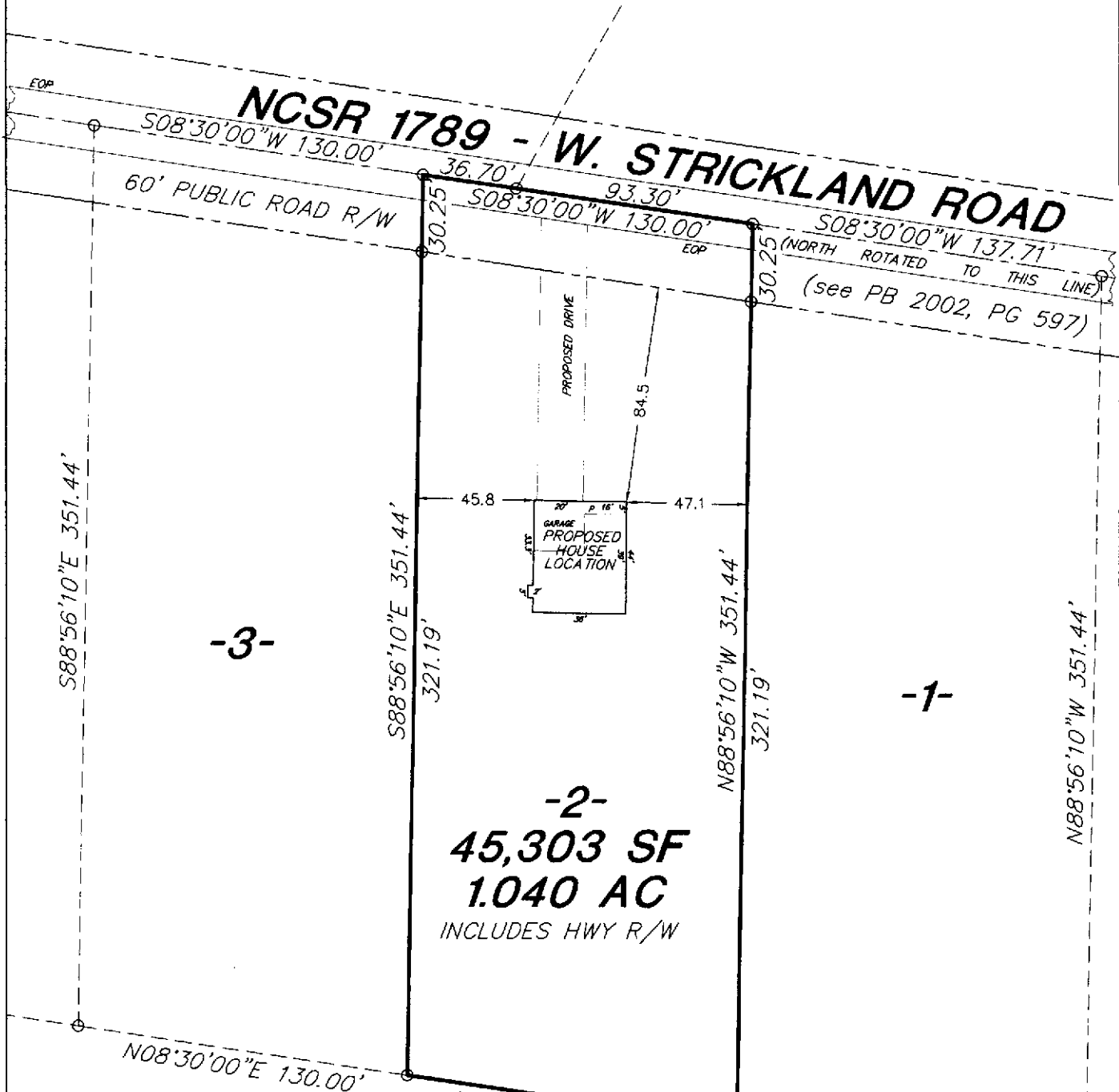
THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND SURVEYED; HOWEVER, A NORTH CAROLINA LICENSED ATTORNEY SHOULD BE CONSULTED CONCERNING CORRECT OWNERSHIP, WIDTH, AND LOCATIONS OF ANY EASEMENTS, RIGHTS OF WAY, CEMETERIES OR FAMILY BURIAL GROUNDS NOT SHOWN ON RECORDED MAPS OR DEEDS MADE AVAILABLE TO THIS SURVEYOR BY THE RECENT OWNER(S) AT THE TIME OF THIS SURVEY AND OTHER QUESTIONS THAT MAY BE REVEALED BY THE TITLE EXAMINATION INCLUDING ANY RESTRICTIVE COVENANTS. ALSO THIS SURVEYOR HAS NO KNOWLEDGE OF THE OWNERSHIP OR MAINTENANCE RESPONSIBILITIES OF ANY FENCES ON OR NEAR THE BOUNDARY LINES. NO RESPONSIBILITY OF ANY NATURE IS ASSUMED BY THIS SURVEYOR FOR ANY CONDITIONS WHICH MAY PRESENTLY EXIST BUT ARE UNKNOWN, SUCH AS CEMETERIES, FAMILY BURIAL GROUNDS, TOXIC OR HAZARDOUS WASTE MATERIALS/SITES, WETLANDS, FLOOD HAZARD AREAS/SOILS, OR ANY UNDERGROUND UTILITIES EXISTING OR PROPOSED EASEMENTS OR RIGHT-OF-WAYS, ETC. NOT SHOWN HEREON. ANY UTILITIES OR FEATURES AND ANY EASEMENTS RIGHT-OF-WAYS OR BUFFERS ASSOCIATED WITH SAID UTILITIES OR FEATURES SHOWN HEREON ARE SHOWN ACCORDING ONLY TO WHAT WAS KNOWN OR DISCOVERED AT THE TIME OF THIS SURVEY BY THIS SURVEYOR. THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS OR RIGHT-OF-WAYS UNKNOWN TO THE SURVEYOR AT THIS TIME THAT A COMPLETE TITLE EXAMINATION MAY REVEAL. THIS SURVEYOR IS NOT AN ATTORNEY AT LAW AND IT IS ADVISED THAT THE OWNER OF THIS PROPERTY CONSULT WITH A LICENSED ATTORNEY AT LAW TO PERFORM A COMPLETE TITLE EXAMINATION TO CONFIRM ALL KNOWN ENCUMBRANCES AND REVEAL ANY POTENTIAL ENCUMBRANCES OR TITLE ISSUES ASSOCIATED WITH THIS PROPERTY OR ANYTHING ELSE THAT MAY BE IN THE RESTRICTIVE COVENANTS. ALSO AS USED IN THE SURVEYOR'S CERTIFICATION HEREON, THE WORD "CERTIFY" MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION OF CONDITIONS REGARDING THOSE FACTS OR FINDINGS WHICH ARE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE. OTHER EXPRESS OR IMPLIED, THE MAP OR PLAT SHOWN HEREON SHALL NOT BE USED WITH ANY AGREEMENT OR LETTER OF ANY KIND FOR REUSE INCLUDING, BUT NOT LIMITED TO FUTURE LOAN CLOSINGS, PLOT PLANS, CONSTRUCTION, LANDSCAPING, PERMITTING, ETC. IT IS A VIOLATION OF THE FEDERAL COPYRIGHT ACT TO COPY OR REPRODUCE AND REUSE THIS SURVEY BEYOND THE DATE AND SCOPE NOTED ON THE MAP. JIMMY BARBOUR SURVEYING, PA., ITS ASSOCIATES, AND/OR AGENTS SHALL NOT BE LIABLE FOR USE OF THIS SURVEY BY ANY OTHER ENTITIES OR PERSONS FOR ANY PURPOSE BEYOND THE DATE AND SCOPE AS NOTED ON THIS MAP OR PLAT.

- LEGEND**
 R/W-ROAD RIGHT OF WAY
 EOP-EDGE OF EXISTING ASPHALT PVMT.
 PB-PLAT BOOK
 DB-DEED BOOK
 PG-PAGE
 P-PORCH
 SF-SQUARE FEET
 AC-ACRES

PROPOSED IMPERVIOUS AREA FOR THIS LOT IS 3,553 SF±.
 HOUSE, PORCH, GARAGE-1,594 SF±
 PROPOSED DRIVE TO EOP-1,959 SF±



VICINITY MAP
(NOT TO SCALE)



-3-

-1-

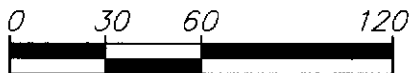
-2-
45,303 SF
1.040 AC
 INCLUDES HWY R/W

-6-

PB 2002, PG 597

NOTE:
 THIS IS A PROPOSED SITE PLAN AND THE ONLY PURPOSE FOR THIS PLAT IS TO OBTAIN A BUILDING PERMIT. THIS PLAT IS NOT TO BE USED FOR A FOUNDATION SURVEY NOR A FINAL MAP FOR A LOAN CLOSING.

GRAPHIC SCALE



PROPERTY ADDRESS:
 1050 W. STRICKLAND ROAD
 DUNN, NC 28334

NOTE: NO SURVEY WAS DONE AT THIS TIME. ALL INFORMATION TAKEN FROM PB 2002, PG 597. NO POINTS WERE FOUND OR SET.

AREA BY COORDINATE METHOD

PRELIMINARY SITE PLAN FOR:

I certify that this map was drawn under my supervision from deed description(s) recorded in Deed Book 4167, Page 1238, and from other sources as noted. See Plat/Map Book 2002, Page(s) 597, that the precision or positional accuracy is 1:10,000 and that this map meets the requirements of the STANDARD PRACTICE for LAND SURVEYING in North Carolina (N.C.A.C. 56.1600) This 3rd day of DECEMBER 2022.

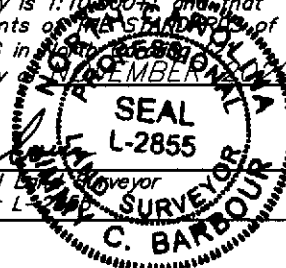
DEED REFERENCE	
DB 4167, PG 1238	
PARCEL ID NO. 021537 0124 02	
SURVEYED BY	
NO FIELD SURVEY	
FIELD BOOK	
N/A	
DATE MAP DRAWN	
11-3-2022	
DRAWN BY	
CSL	
SCALE	
1"=60'	
DWG NO.	
22-511	

ROBERT KEITH DOUGLAS

LOT 2
 TRAVIS RAY ADAMS PROPERTY
 AS RECORDED IN: PLAT BOOK 2002, PAGE 597

AVERASBORO TWP. HARNETT COUNTY NC

Jimmy C. Barbour, Professional Land Surveyor
 North Carolina License Number L-2855



JIMMY BARBOUR SURVEYING, PA.
 JIMMY C. BARBOUR, PLS, GSI
 C-3108
 213 South Second Street
 P. O. BOX 26
 SMITHFIELD, N.C. 27577
 (919) 980-6642 PHONE Email: jimmy@barboursurveying.com