

**CREATIVE RESIDENTIAL  
DESIGNS, LLC**  
5000 NEIMAN COVE  
RALEIGH, N.C. 27612  
919.260.6393  
www.creativeresidentialdesigns.com

PROJECT:

LOT 11  
LANE  
FARMS

**STEPHENSON  
BUILDERS  
INC.**  
1187 NORTH RALEIGH STREET  
ANGIER, NC 27501

DATE:

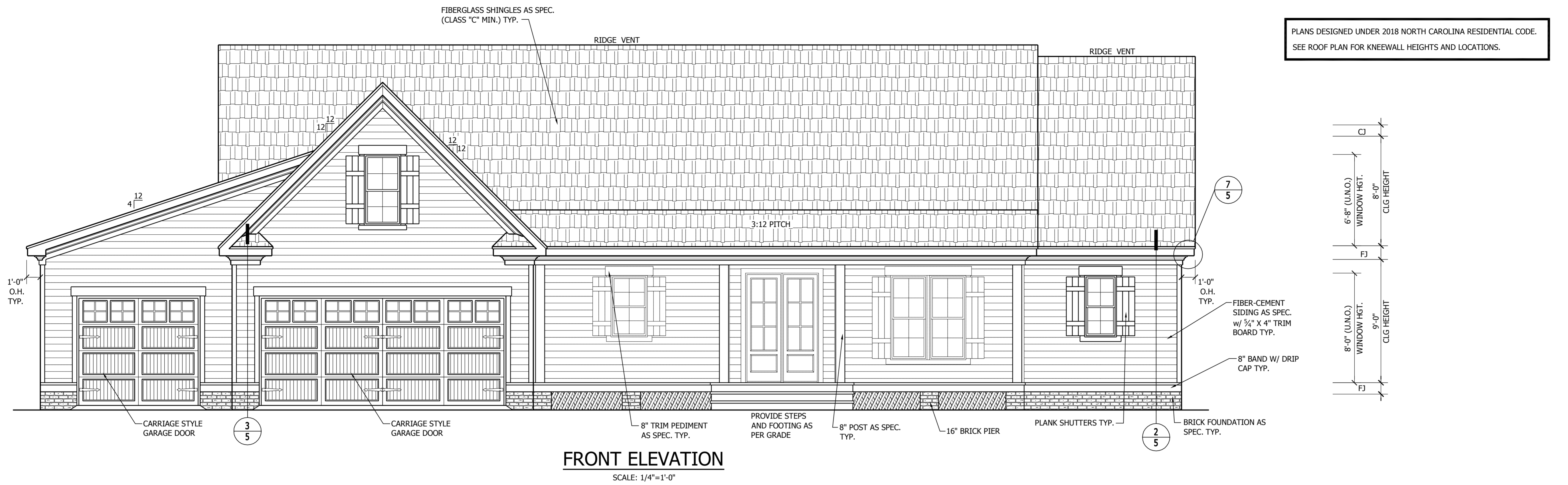
08-23-22      BCR

REVISIONS:

SHEET NO.

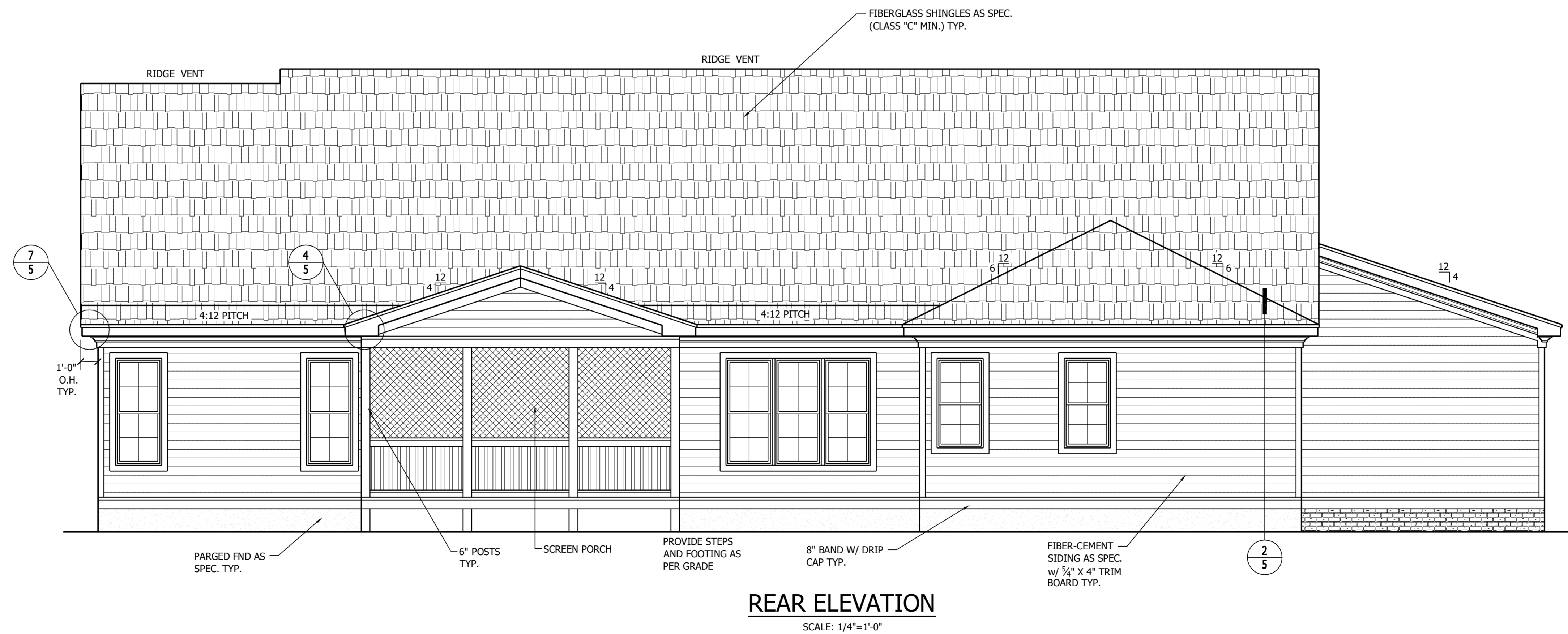
1  
OF 5

PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.  
SEE ROOF PLAN FOR KNEEWALL HEIGHTS AND LOCATIONS.



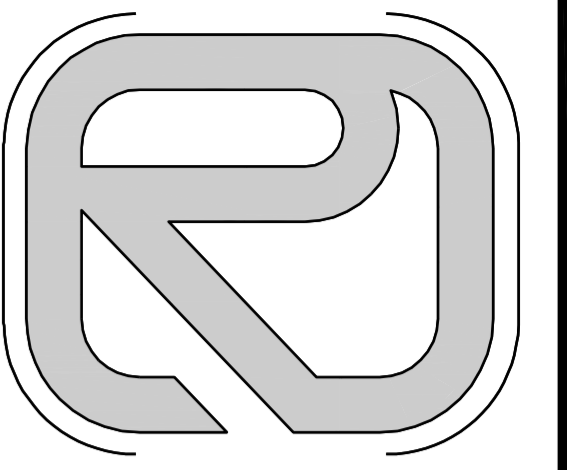
**FRONT ELEVATION**

SCALE: 1/4"=1'-0"

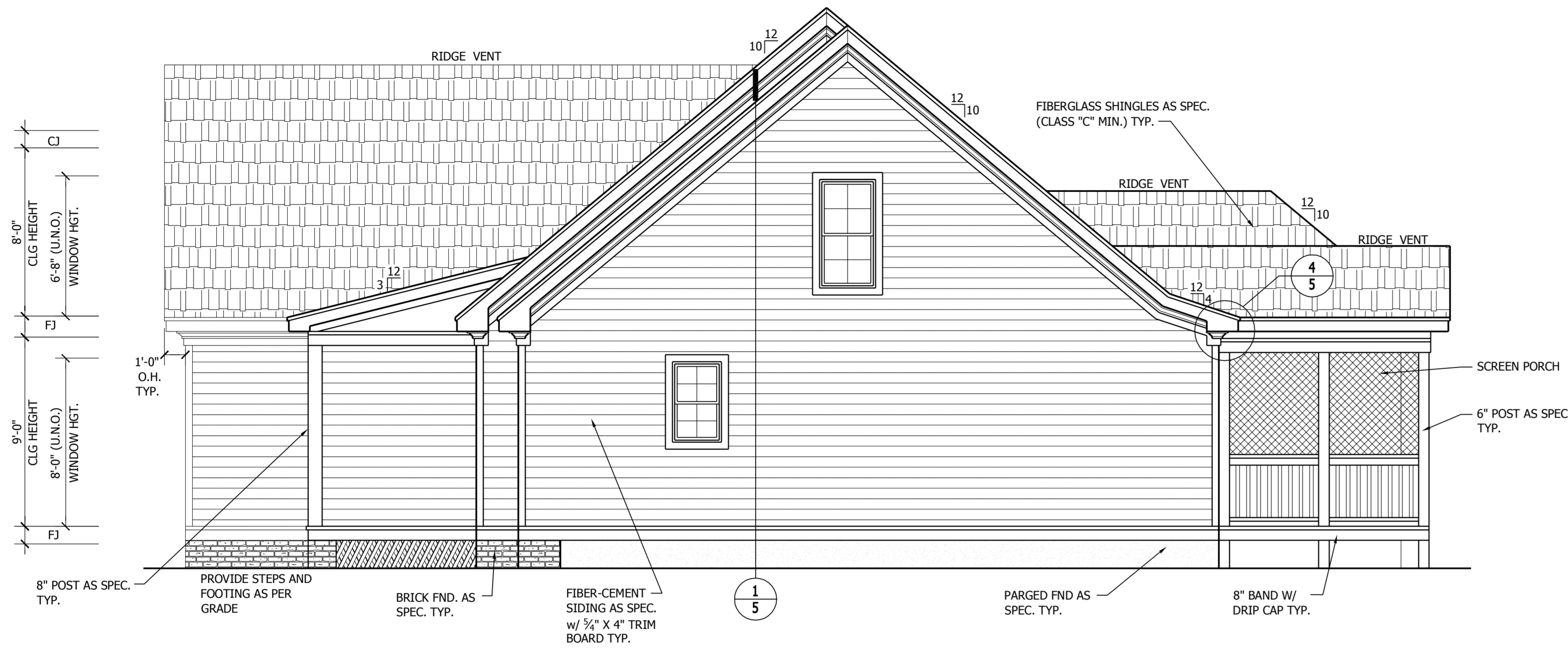


**REAR ELEVATION**

SCALE: 1/4"=1'-0"

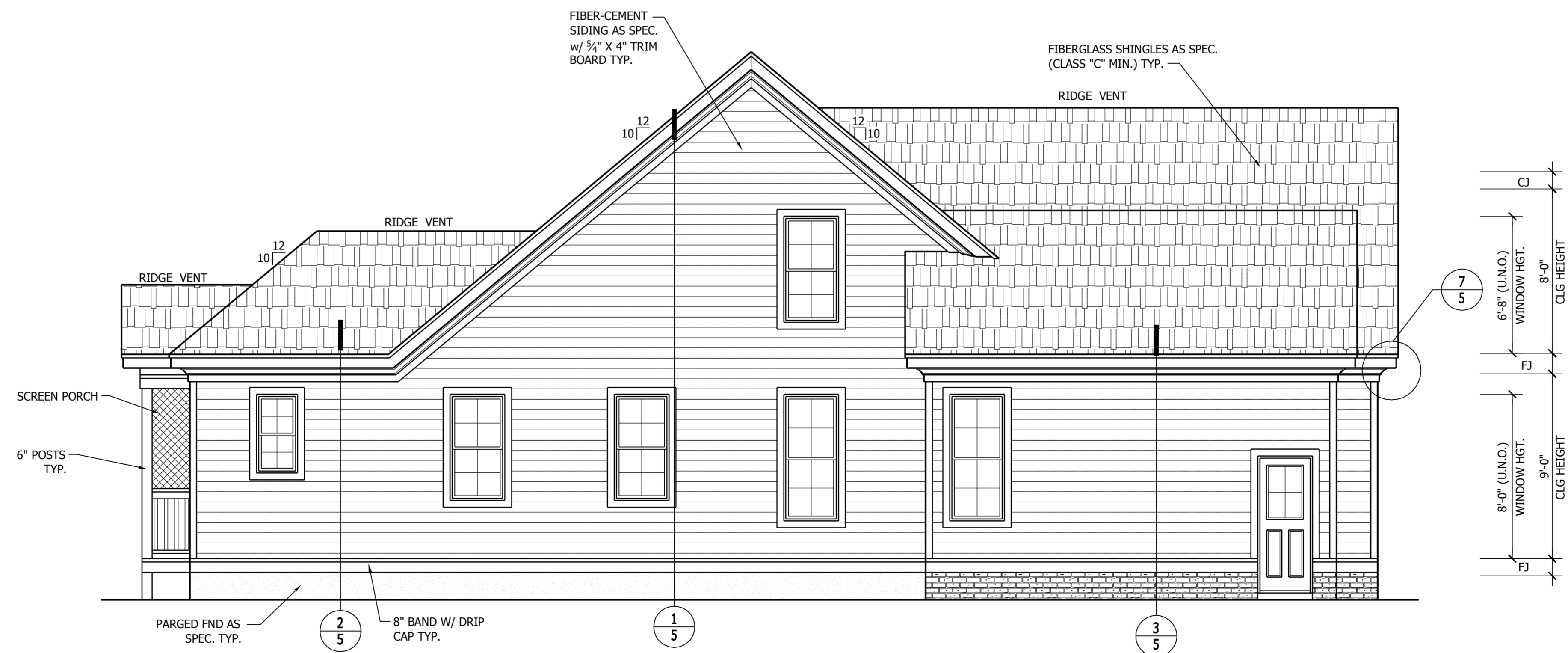


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SEE ROOF PLAN FOR KNEEWALL HEIGHTS AND LOCATIONS.



**RIGHT-SIDE ELEVATION**

SCALE: 1/4"=1'-0"



**LEFT-SIDE ELEVATION**

SCALE: 1/4"=1'-0"

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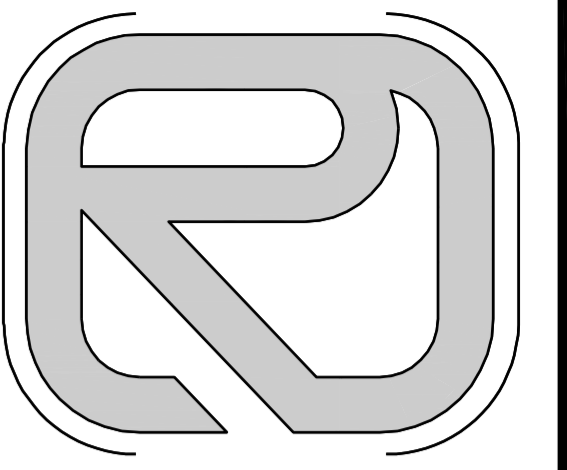
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5



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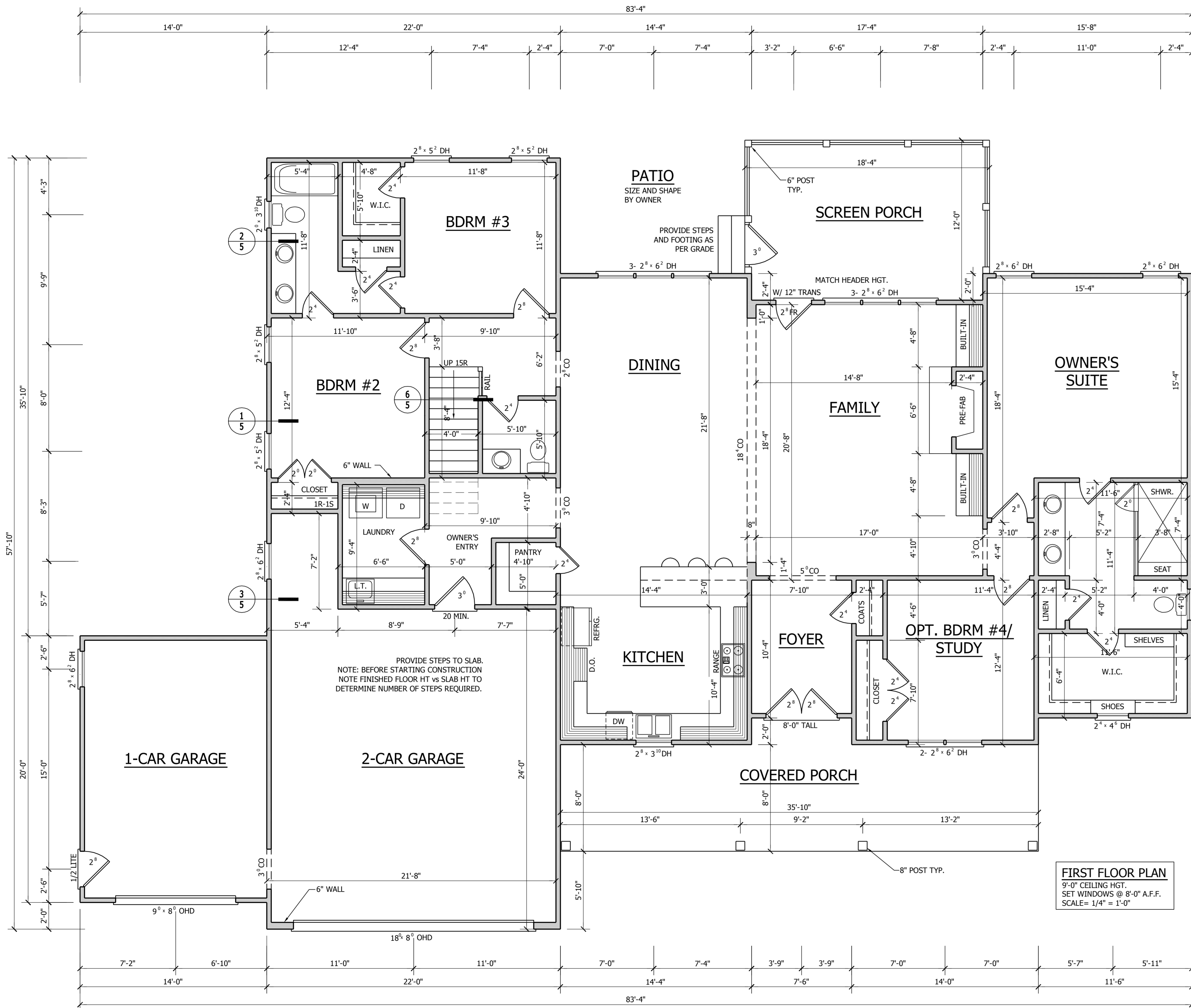
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OF

**5**

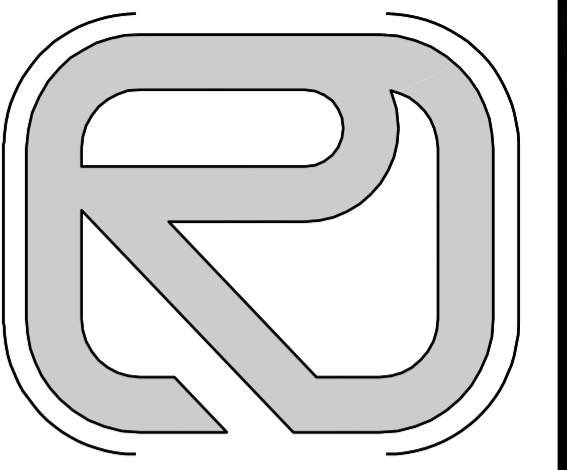
**AREA CALCULATIONS**

HEATED (SQ. FT.)		UNHEATED (SQ. FT.)		UNFINISHED (SQ. FT.)	
BASEMENT:	N/A	GARAGE:	843	BASEMENT:	N/A
1ST FLOOR:	2309	SCREEN:	218	REC ROOM:	N/A
2ND FLOOR:	535	PORCH:	302	ATTIC:	N/A
		STOOP:	N/A	STORAGE:	1131
		BRICK:	N/A		
<b>TOTAL:</b>	<b>2844</b>	<b>TOTAL:</b>	<b>1363</b>	<b>OVERALL DIMENSION</b>	
(HEATED)		(UNHEATED)		WIDTH:	83'-4"
				DEPTH:	57'-10"



**NOTES:**

- PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.
- ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE.
- FINISH DOOR AND WINDOW HEADS SHALL ALIGN EXCEPT AS NOTED.
- ALL MATERIALS AND COMPONENTS MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- GRADES SHOWN ARE ILLUSTRATIVE. NATURAL GRADE WILL DETERMINE FINISH GRADE.
- FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.
- VERIFY ALL WINDOW SIZES, RADIUS, AND DETAILS WITH CHOSEN MANUFACTURE.
- ALL HABITABLE ROOMS SHALL MEET LIGHT/VENTILATION & EGRESS REQUIREMENTS.
- TEMPERED GLASS TO BE USED AT ALL SAFETY REQUIRED LOCATIONS.
- ALL WINDOW GLAZING TO HAVE 0.35 U-FACTOR MIN.
- ALL CABINET DESIGNS/LAYOUTS TO BE VERIFIED WITH SHOP DRAWINGS FROM CABINET MANUFACTURER.
- PER 2018 N.C. RESIDENTIAL BUILDING CODE TABLE R302.6: SHEETROCK ON GARAGE CEILING TO BE 5/8" TYPE "X".



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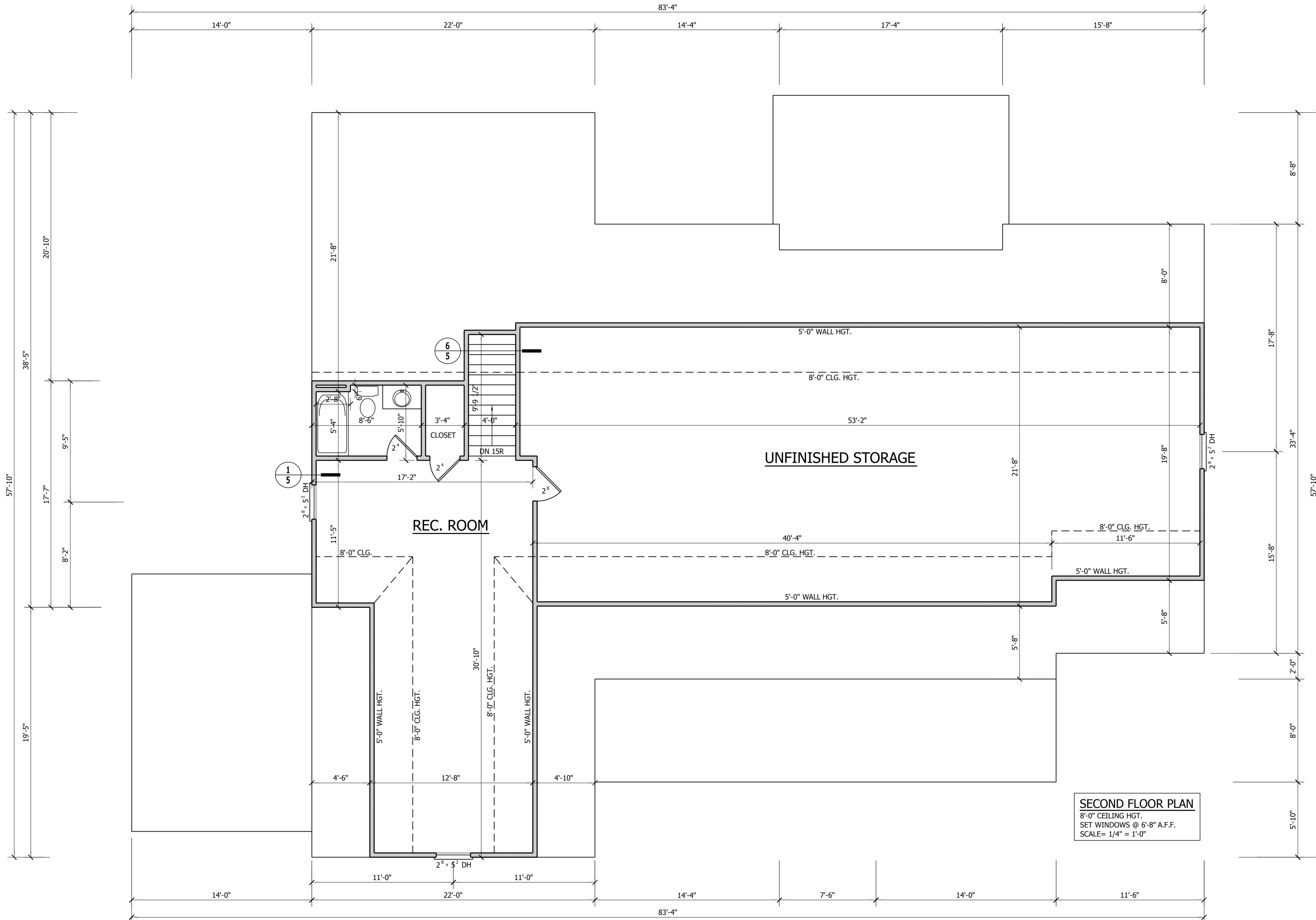
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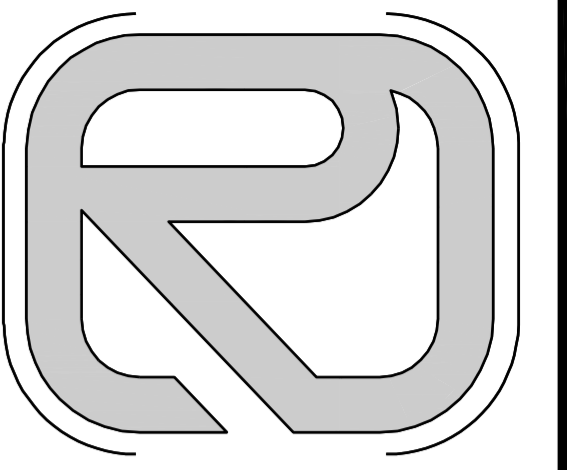
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**NOTES:**

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- GRADES SHOWN ARE ILLUSTRATIVE. NATURAL GRADE WILL DETERMINE FINISH GRADE.
- FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.
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- PER 2018 N.C. RESIDENTIAL BUILDING CODE TABLE R302.6: SHEETROCK ON GARAGE CEILING TO BE 5/8" TYPE "X".



**SECOND FLOOR PLAN**  
8'-0" CEILING HGT.  
SET WINDOWS @ 6'-8" A.F.F.  
SCALE = 1/4" = 1'-0"



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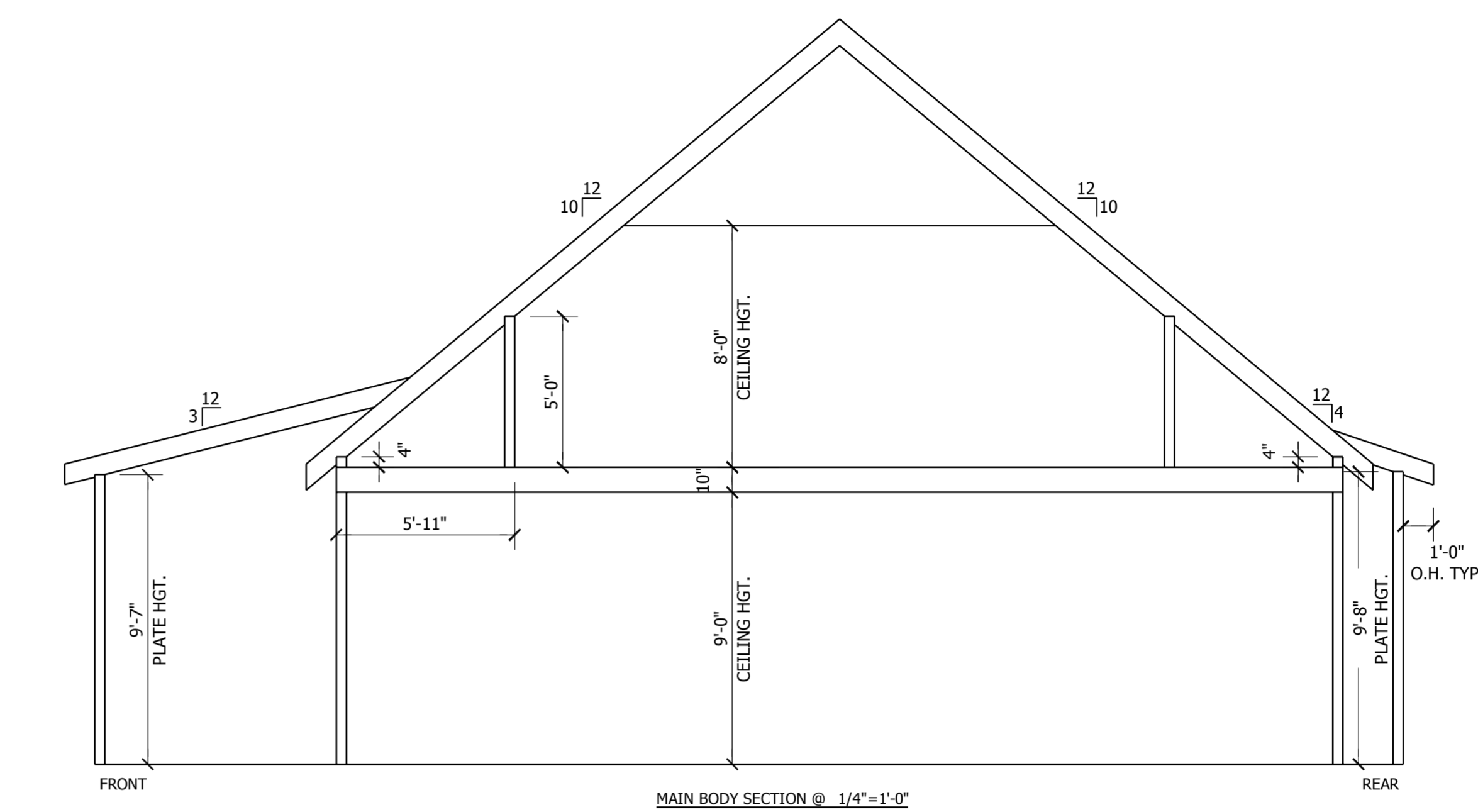
REVISIONS:

SHEET NO.

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OF

5



**AREA CALCULATIONS**

HEATED (SQ. FT.)	UNHEATED (SQ. FT.)	UNFINISHED (SQ. FT.)
BASEMENT: N/A	GARAGE: 843	BASEMENT: N/A
1ST FLOOR: 2309	SCREEN: 218	REC ROOM: N/A
2ND FLOOR: 535	PORCH: 302	ATTIC: N/A
	STOOP: N/A	STORAGE: 1131
	BRICK: N/A	
<b>TOTAL: 2844</b>	<b>TOTAL: 1363</b>	<b>OVERALL DIMENSION</b>
		WIDTH: 83'-4"
		DEPTH: 57'-10"

PLANS DESIGNED TO THE 2018 NORTH CAROLINA RESIDENTIAL CODE  
HOUSE DESIGNED FOR 115 MPH 3 SECOND GUST, EXPOSURE B  
ANCHOR BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF ALL PLATES SPLICES  
ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM 7"  
INTO MASONRY OR CONCRETE

MEAN ROOF HEIGHT =  $< 30'-0"$

COMPONENT & CLADDING DESIGNED FOR THE FOLLOWING LOADS

MEAN ROOF HEIGHT	UP TO 30'	30'-1" - 35'	35'-1" - 40'	40'-1" - 45'
ZONE 1	16.5, -18.0	17.3, -18.9	18.0, -19.6	18.5, -20.2
ZONE 2	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 3	16.5, -21.0	17.3, -22.1	18.0, -22.9	18.5, -23.5
ZONE 4	18.0, -19.5	18.9, -20.5	19.6, -21.3	20.2, -21.8
ZONE 5	18.0, -24.1	18.9, -25.3	19.6, -26.3	20.2, -27.0

**FOUNDATION VENT CALCS.**

$\frac{2429 \text{ SQ. FT.}}{150}$	= 16.19	SQ. FT. VENT REQ'D.
$\frac{16.19 \text{ SQ. FT.}}{.56}$	= 29	VENTS TO BE PROVIDED

NOTE: FIGURE BASED ON SECTION R-409 OF THE 2018 IRC.  
NOTE: FND VENT SPECS BASED ON PUSH/PULL POLYPROPYLENE FND. VENT THAT ALLOWS 72 SQ. IN. OF NET FREE AREA PER VENT.

- WHERE CONTINUOUS OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 CFM FOR EACH 50 SQ. FT. OF CRAWL SPACE.
- THE CRAWL SPACE IS SUPPLIED WITH CONDITIONED AIR AND THE PERIMETER WALLS ARE INSULATED IN ACCORDANCE WITH SECTION R409 OF THE 2018 IRC.
- BUILDER/OWNER TO VERIFY VENT SIZE AND REQUIREMENTS PRIOR TO CONSTRUCTION. SEE SECTION R409 OF THE 2018 IRC.

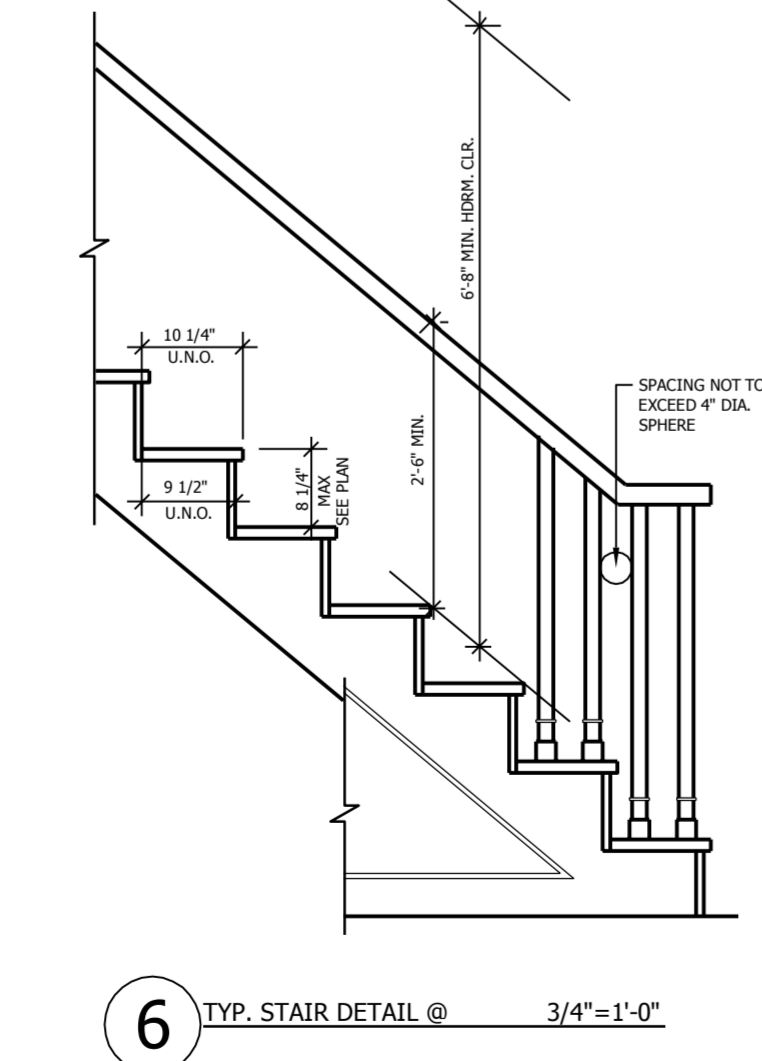
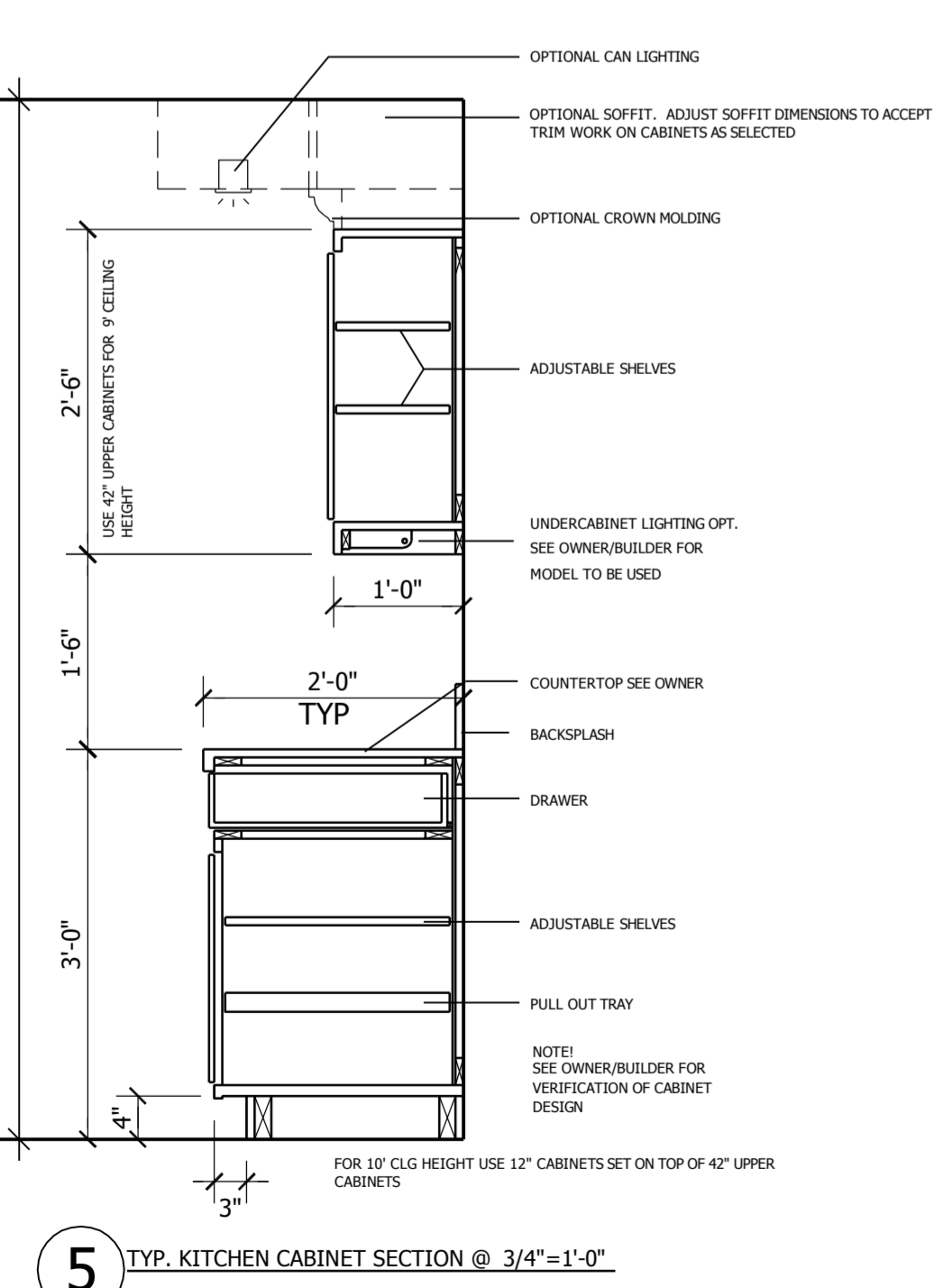
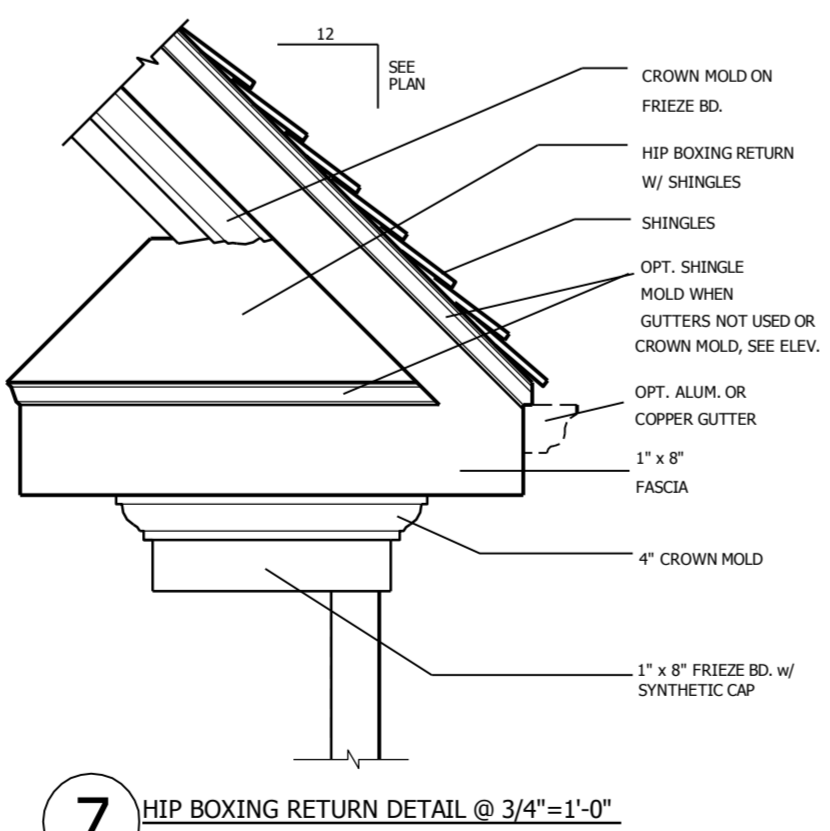
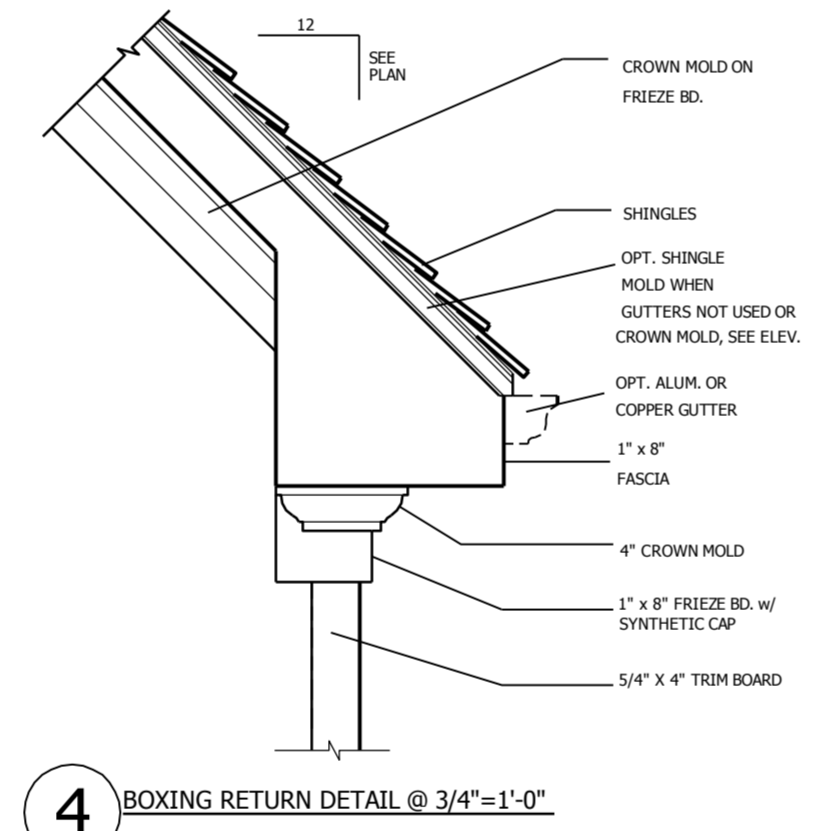
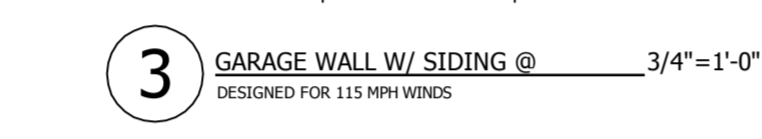
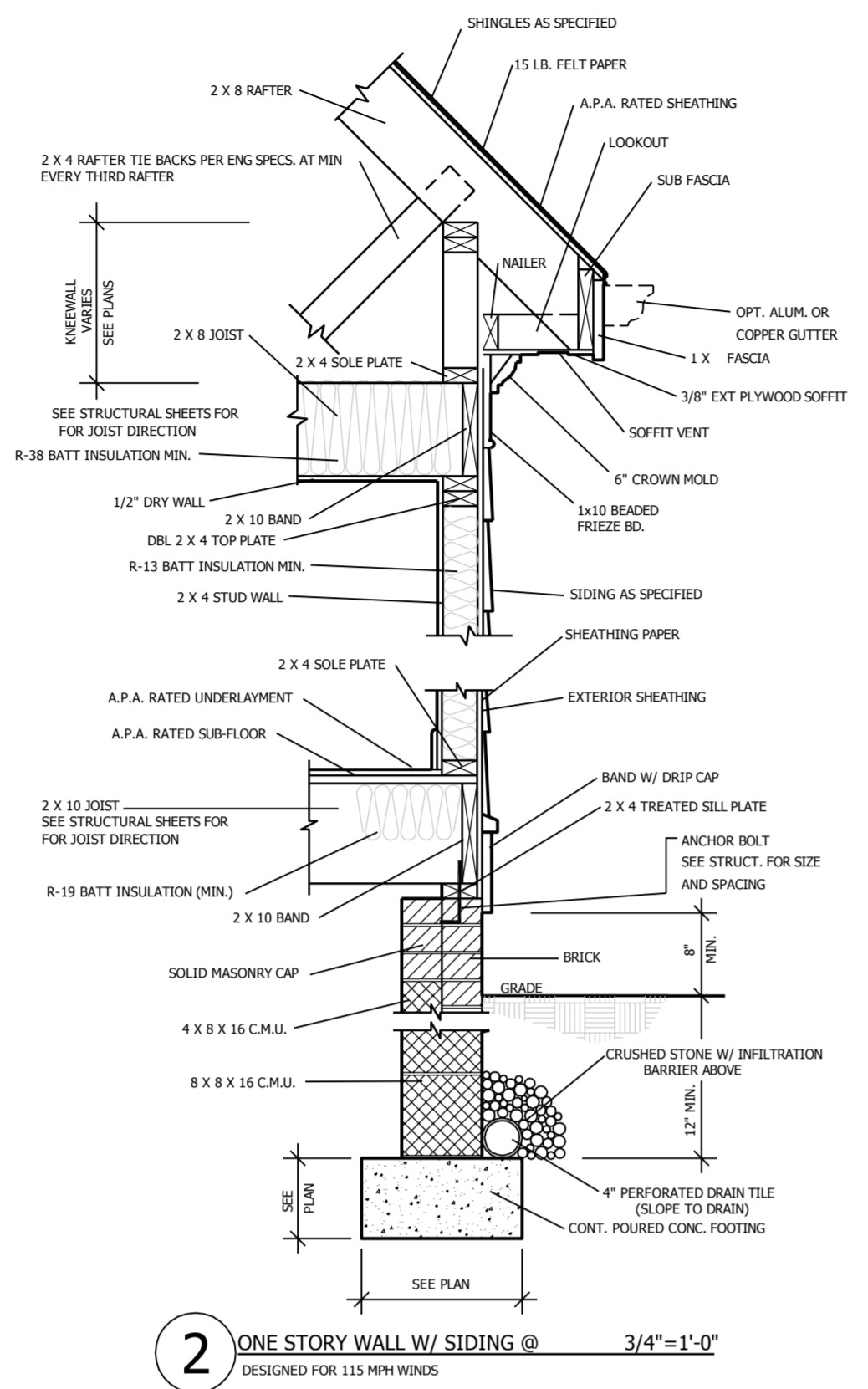
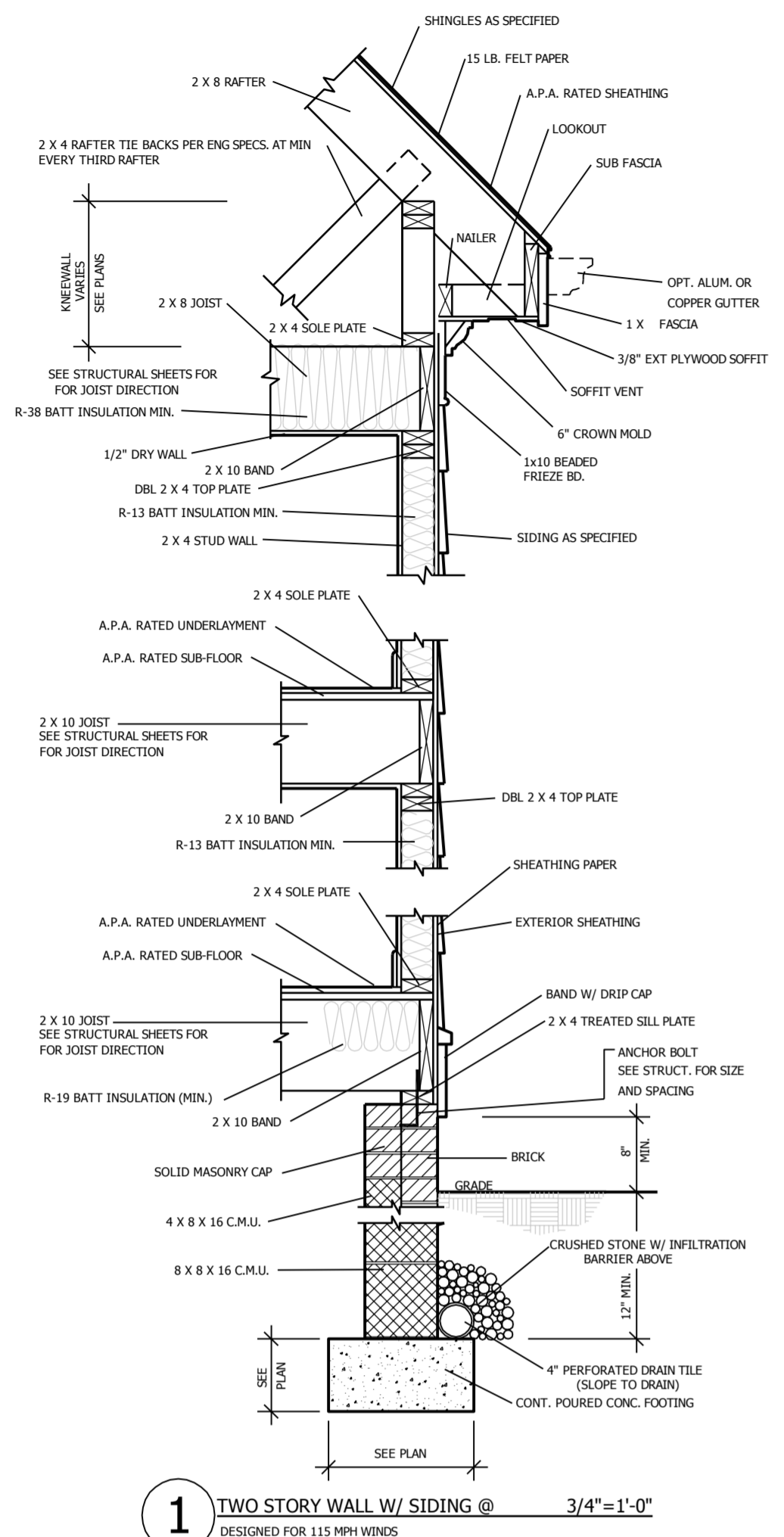
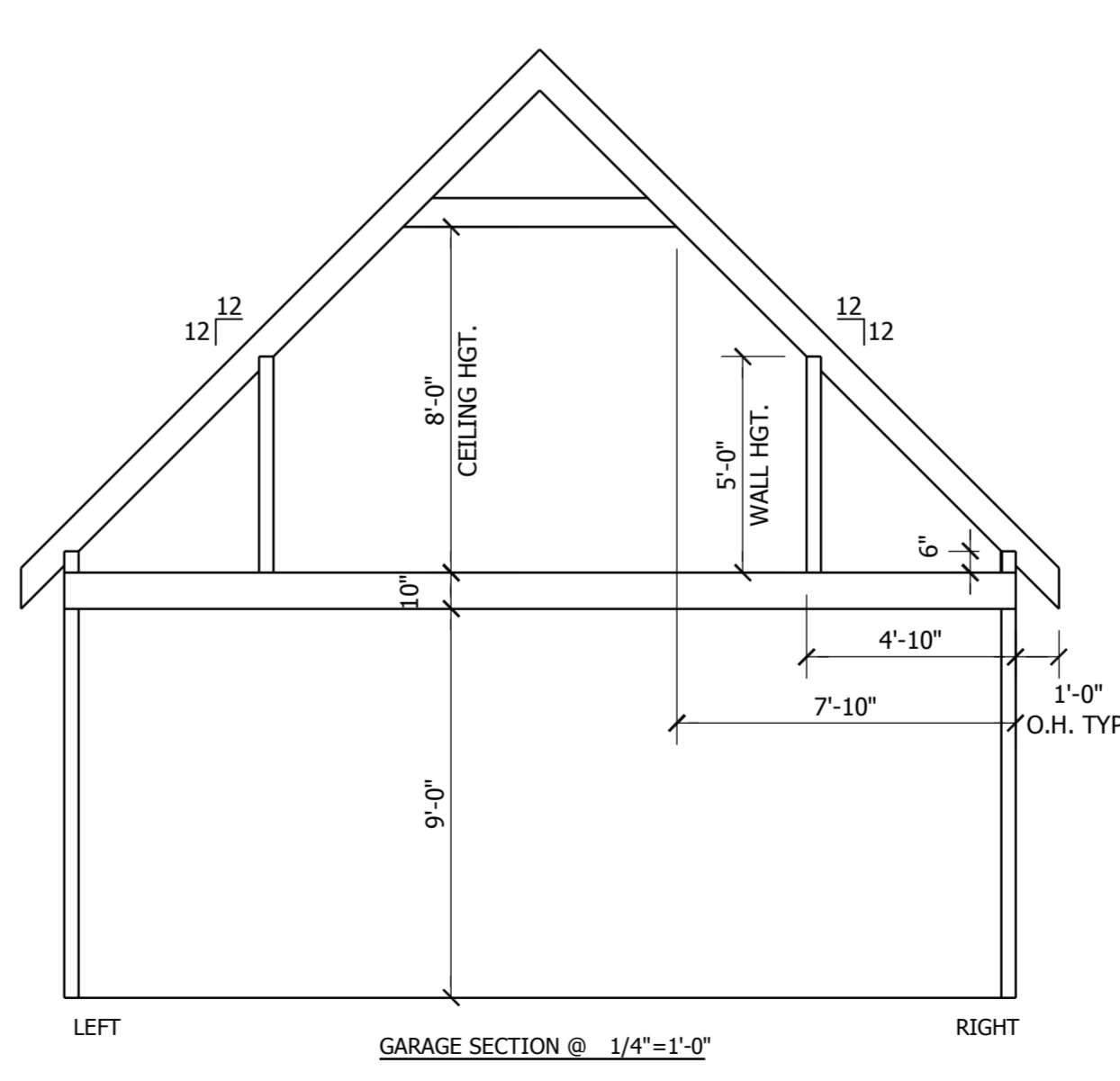
**ROOF VENTILATING REQUIREMENTS**

$\frac{3383 \text{ SQ.FT.}}{150}$	= 22.55	SQ. FT. OF TOTAL ROOF VENTILATION REQ'D
$280'-4"$ (LINEAR FT. OF SOFFIT) X $.035$ (NET FREE AREA PER FT.)	= 9.81	SQ. FT. OF AVAILABLE SOFFIT VENT
$22.55 - 9.81$	= 12.74	SQ. FT. REMAINING REQ'D ROOF VENTILATION
$\frac{12.74 \text{ SQ.FT.}}{.125}$ (NET FREE AREA PER FT.)	= 101.92	LINEAR FT. OF RIDGE VENT REQ'D

NOTE: FIGURE BASED ON SECTION R-806 OF THE 2018 IRC.  
NOTE: - SOFFIT VENT SPECS BASED ON HARDSOFFIT PANELS THAT ALLOWS 5 SQ. IN. OF NET FREE AREA PER LINEAR FT.  
- RIDGE VENT SPECS BASED ON VENTURIVENT PLUS THAT ALLOWS 18 SQ. IN. OF NET FREE AREA PER LINEAR FT.

TOTAL NET FREE VENTILATING AREA IS PERMITTED TO BE REDUCED TO 1 TO 300:

- PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQ'D VENTILATING AREA IS PROVIDED BY VENTILATORS. REFERENCE R806.2 OF THE 2018 IRC. FOR PROPER LOCATION.
- WHEN AN APPROVED VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING





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 WWW.ROSSLINDEN.COM

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 ENGINEERS PC

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STEPHENSON BUILDERS  
 LOT 11 LANE FARMS

PROJECT NO.

R220807

DESIGN BY LLR  
 7 SEP 22

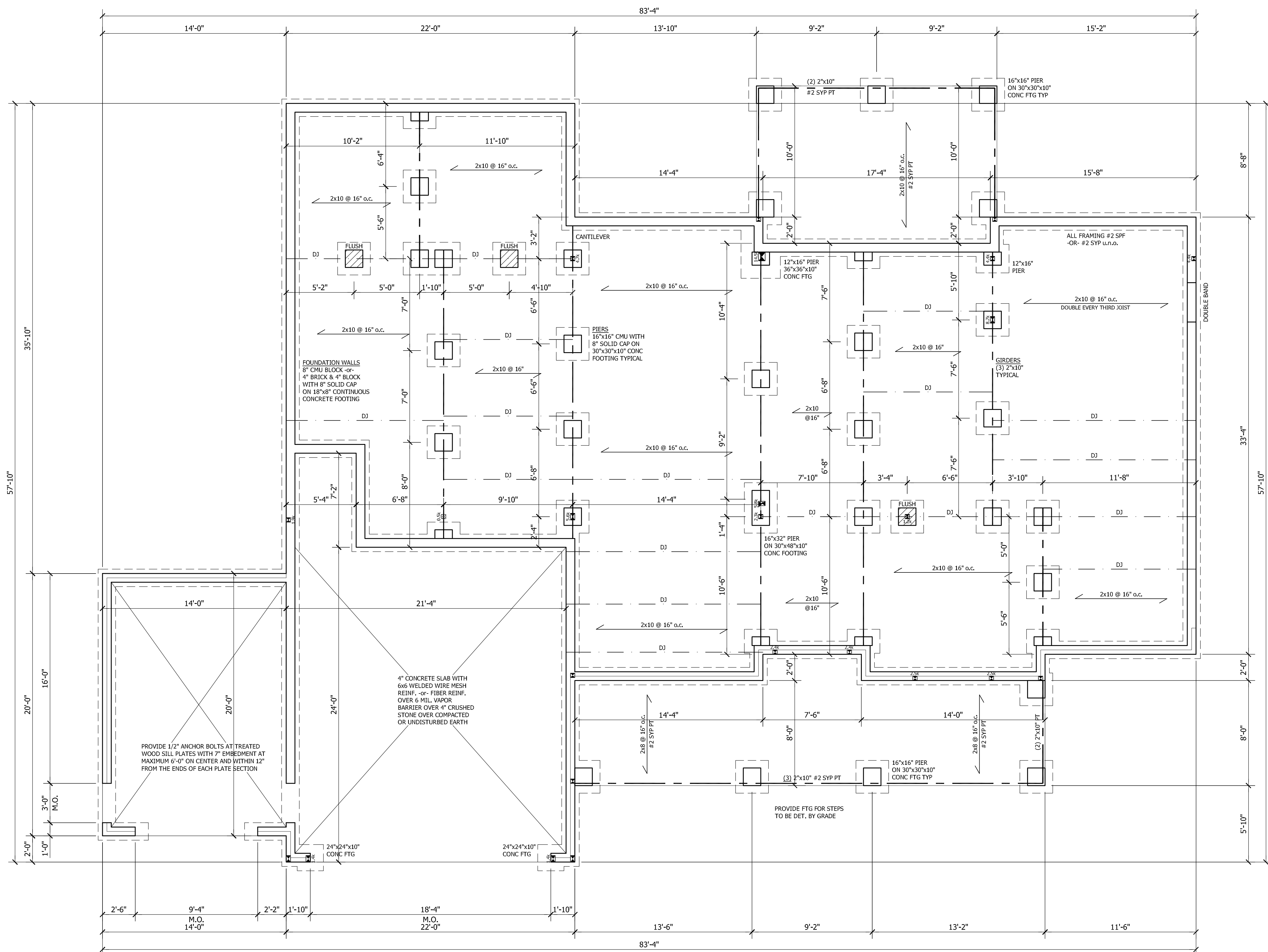
REVISION	DATE
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180301	12 MAR 18
141103	2 DEC 14

FOUNDATION &  
 FIRST FLOOR

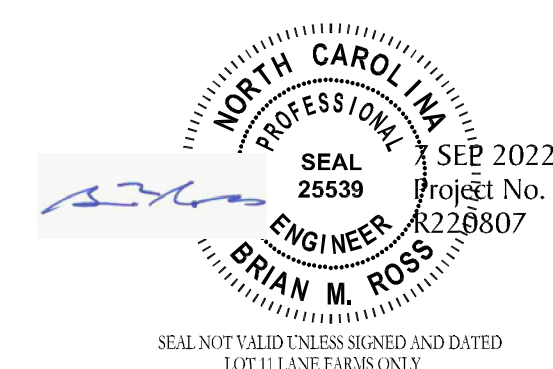
SHEET NO.

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OF 55



FOUNDATION & FIRST FLOOR FRAMING  
 SCALE: 1/4" = 1'-0"

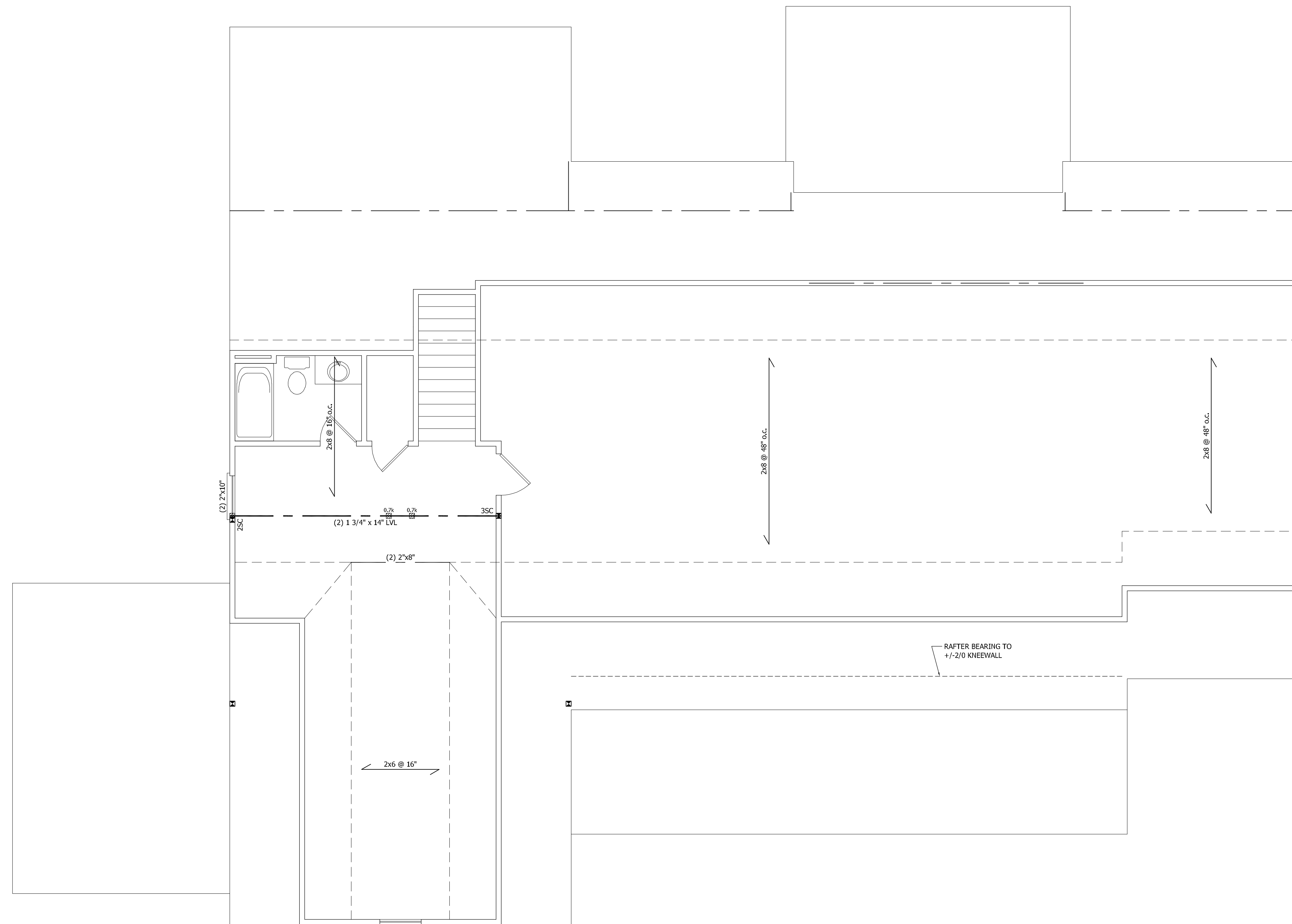


STRUCTURAL DESIGN IN ACCORDANCE WITH: NORTH CAROLINA STATE RESIDENTIAL CODE 2018 EDITION IRC  
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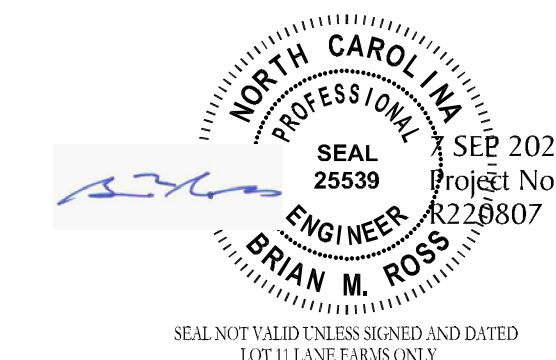


NOTE:  
 PER SECTION R602.10.3.2, THE AMOUNT OF BRACING PROVIDED  
 ON THE SECOND STORY EQUALS OR EXCEEDS THE AMOUNT OF  
 BRACING FOR THE FIRST STORY BELOW, THEREFORE A SEPARATE  
 ANALYSIS OF SECOND STORY BRACING IS NOT REQUIRED.

- FRAMING NOTES**
1. STRUCTURAL NOTES SHEET SS.
  2. FRAMING SHALL BE #2 SPF OR #2 SYP u.n.o.
  3. EXTERIOR AND BEARING HEADERS (2) 2"x10" u.n.o.
  4. □ DENOTES POINT LOAD. SEE CONSTRUCTION NOTE #4 ON SS.

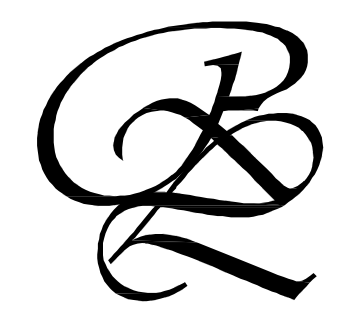


**SECOND CEILING FRAMING**  
 SCALE: 1/4" = 1'-0"



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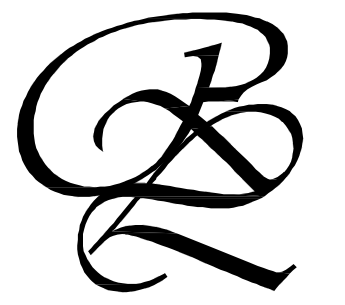
DESIGN BY LLR  
 7 SEP 22

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**SECOND CEILING FRAMING**

SHEET NO.  
**S3**





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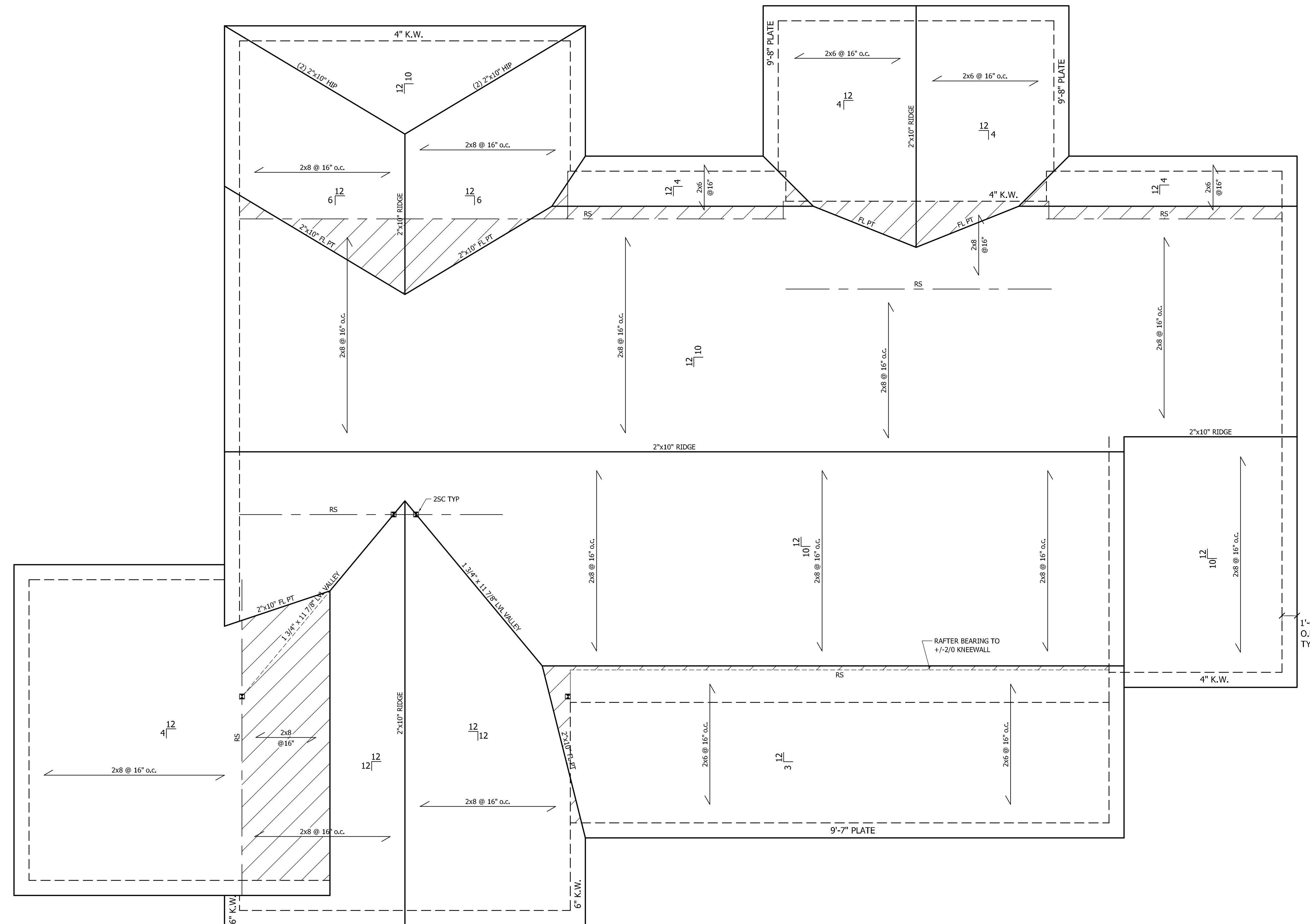
ROOF PLAN  
 FRAMING

SHEET NO.  
**S4**

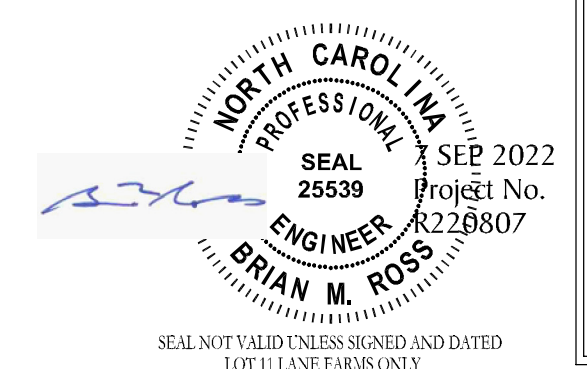
OF 55

- ROOF FRAMING NOTES**
1. STRUCTURAL NOTES SHEET 55.
  2. FRAMING SHALL BE #2 SPF OR #2 SYP u.n.o.
  3. PROVIDE 2x4 COLLAR TIES AT 48" o.c. AT UPPER THIRD OF RAFTERS u.n.o. ON PLAN.
  4. FUR RIDGES FOR FULL RAFTER CONTACT
  5. DENOTES POINT LOAD. SEE CONSTRUCTION NOTE #4 ON 55.
  6. DENOTES OVERFRAMED AREA

PROVIDE 2x4 RAFTER TIES AT 16" o.c. AT 45° BETWEEN RAFTERS AND CEILING JOISTS. USE (4) 16d NAILS AT EACH CONNECTION. RAFTER TIES MAY BE SPACED AT 48" o.c. AT LOCATIONS WHERE NO KNEE WALLS ARE INSTALLED.

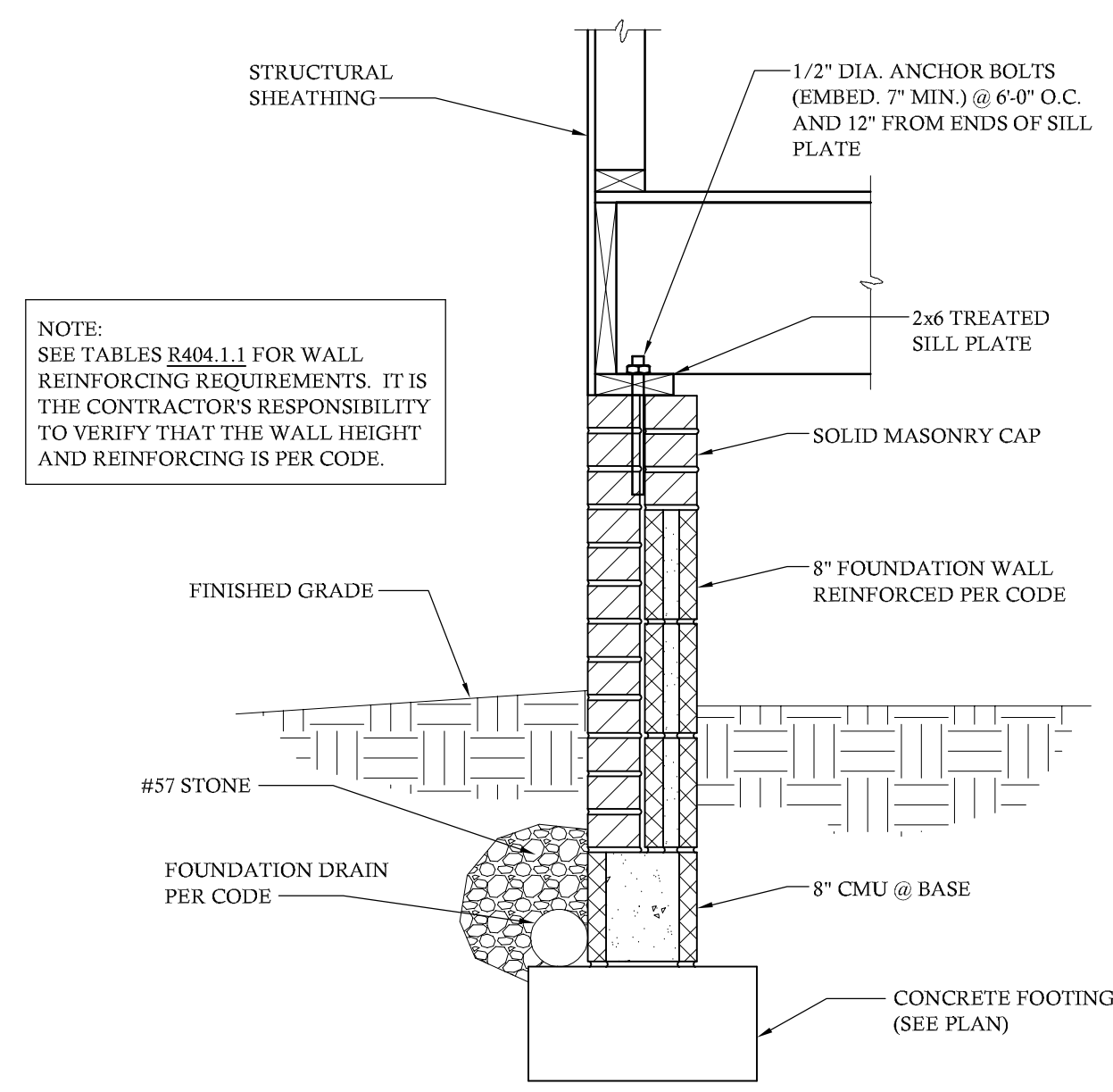


**ROOF PLAN FRAMING**  
 SCALE: 1/4" = 1'-0"

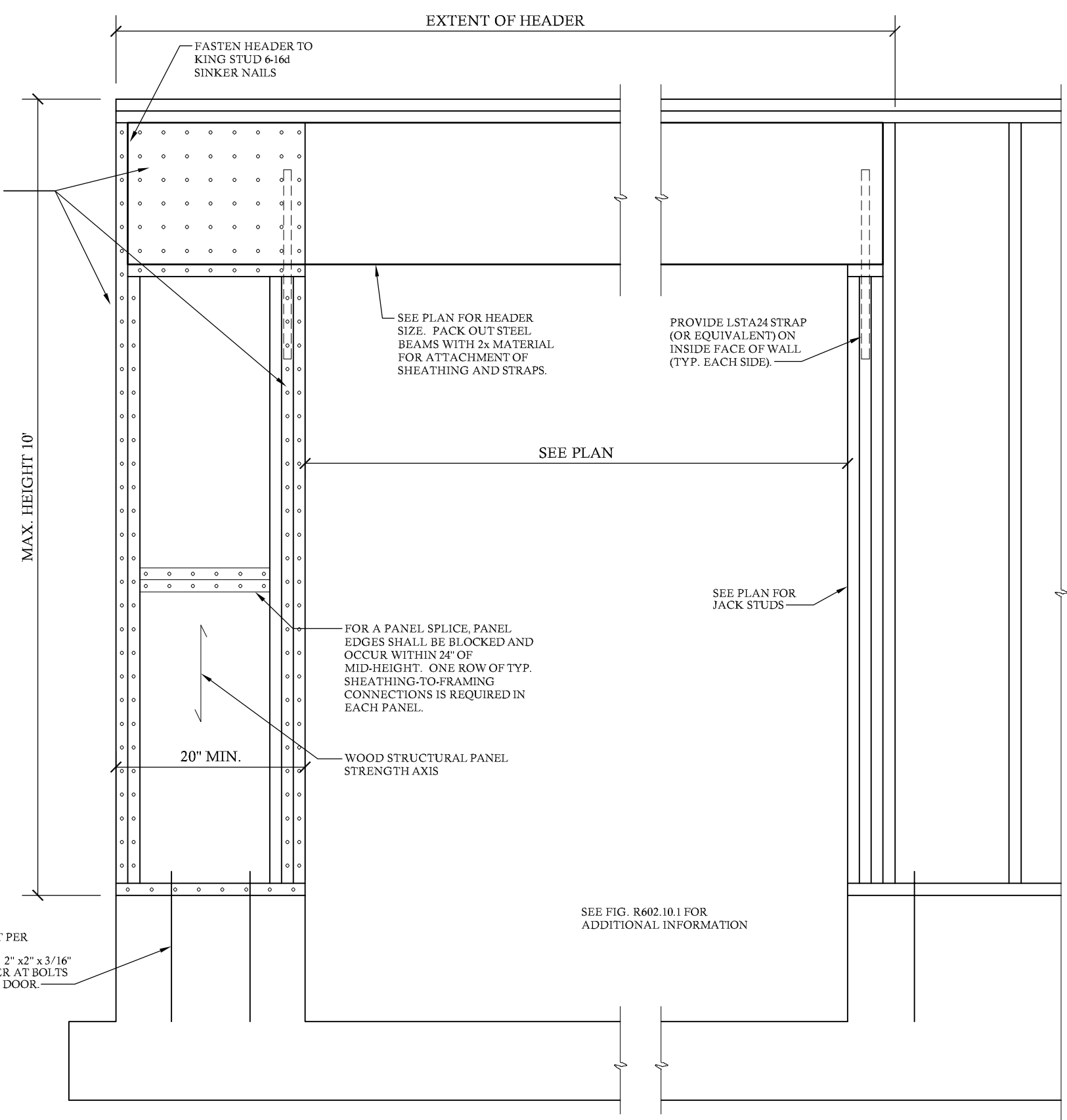


STRUCTURAL DESIGN IN ACCORDANCE WITH: NORTH CAROLINA STATE RESIDENTIAL CODE 2018 EDITION IRC

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**8" FOUNDATION WALL**  
SCALE: 1" = 1'-0"



**CS-PF PORTAL FRAME BRACED WALL PANEL**  
NO SCALE BASED ON FIG. R602.10.1

**STRUCTURAL NOTES**

**GENERAL**

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- ALL CONSTRUCTION, WORKMANSHIP, MATERIAL QUALITY AND SELECTION SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA STATE BUILDING CODE - RESIDENTIAL CODE 2018 EDITION FROM THE INTERNATIONAL RESIDENTIAL CODE 2015 (IRC), AND LOCAL CODES AND REGULATIONS. DIMENSIONS SHALL GOVERN OVER SCALE AND CODE SHALL GOVERN OVER DIMENSIONS.
- CONTACT THE ENGINEER PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE NOTED ON THE PLANS.
- ONLY CURRENT SEALED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

**DESIGN LOADS**

TABLE R301.4	LIVE LOAD (PSF)	DEAD LOAD (PSF)
DWELLING UNITS	40	10
SLEEPING ROOMS	30	10
ATTICS WITH STORAGE	20	10
ATTICS WITHOUT STORAGE	10	10
ROOF SNOW	20	10
STAIRS	40	10
DECKS	40	10
EXTERIOR BALCONIES	60	10
PASSENGER VEHICLE GARAGES	50	-
FIRE ESCAPES	40	10
GUARDRAILS AND HANDRAILS	200	-

**ADDITIONAL LOADS**

TABLE R301.2(4) - BASIC DESIGN WIND SPEED 115 MPH

TABLE R301.2(7) - SEISMIC DESIGN CATEGORY B

TABLE R301.2(6) - DESIGN POSITIVE AND NEGATIVE PRESSURE FOR DOORS AND WINDOW FOR A MEAN ROOF HEIGHT OF 35 FEET OR LESS SHALL BE 25 PSF

TABLE R301.2(2) - COMPONENT AND CLADDING LOADS FOR A BUILDING LOCATED IN EXPOSURE B

ROOF VALUES BOTH POSITIVE AND NEGATIVE SHALL BE DESIGNED BASED ON ROOF PITCHES AND MEAN ROOF HEIGHT AS FOLLOWS:

ROOF PITCH	MEAN ROOF HEIGHT	0-30 FT	35 FT	40 FT
0:12 TO 2:25:12	45.4 PSF	47.7 PSF	49.5 PSF	49.5 PSF
2:25:12 TO 7:12	54.8 PSF	56.5 PSF	57.9 PSF	57.9 PSF
7:12 TO 12:12	21.0 PSF	22.1 PSF	22.9 PSF	22.9 PSF

WALL CLADDING SHALL BE DESIGNED FOR A 24.1 PSF POSITIVE AND NEGATIVE PRESSURE

**MATERIALS**

- FRAMING LUMBER SHALL BE #2 SPRUCE PINE FIR (SPF) WITH THE FOLLOWING DESIGN PROPERTIES:  
Fb = 875 PSI Fv = 70 PSI E = 1.4E6 PSI
- FRAMING LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY SHALL BE #2 SOUTHERN YELLOW PINE (SYP) TREATED IN ACCORDANCE WITH A WPA C22 WITH THE FOLLOWING DESIGN PROPERTIES:  
Fb = 1050 PSI Fv = 95 PSI E = 1.6E6 PSI
- ENGINEERED WOOD BEAMS SHALL BE LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:  
Fb = 2600 PSI Fv = 285 PSI E = 1.9E6 PSI  
THE FOLLOWING PRODUCTS MEET OR EXCEED THE ABOVE SPECIFICATIONS AND MAY BE USED AT THE LOCATION INDICATED ON THE PLANS:  
BROADSPAN 1.9E-2750FB LVL BY GEORGIA PACIFIC  
I-LEVEL TRUS JOIST 1.9E MICROLAM LVL BY WEYERHAEUSER
- STRUCTURAL STEEL WIDE FLANGE BEAMS SHALL CONFORM TO ASTM A992 OR A572, GRADE 50. ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A36.
- BOLTS SHALL CONFORM TO A325 MINIMUM GRADE.
- REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60.
- SEE TABLE R602.3(1) FOR STRUCTURAL MEMBER FASTENING REQUIREMENTS.
- POURED CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. MATERIALS USED TO PRODUCE CONCRETE SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN ACI 318 OR ASTM C 1157.
- CONCRETE LOCATED PER TABLE R402.2 SHALL BE AIR ENTRAINED WITH THE TOTAL AIR CONTENT NOT LESS THAN 5 PERCENT OR MORE THAN 7 PERCENT.
- MASONRY UNITS SHALL CONFORM TO ACI 530/ASCE 5/TMS 402 AND MORTAR SHALL COMPLY WITH ASTM C 270.

**CONSTRUCTION**

- STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH. BEAMS MUST BE ANCHORED AT EACH END WITH A MINIMUM OF FOUR 16d NAILS OR TWO 1/2" x 4" LAG SCREWS.
- ENGINEERED WOOD BEAMS SHALL BE INSTALLED WITH ALL CONNECTIONS PER MANUFACTURER'S INSTRUCTIONS.
- ALL BEAMS SHALL BE CONTINUOUSLY SUPPORTED LATERALLY AND SHALL BEAR FULL WIDTH ON THE SUPPORTING WALLS OR COLUMNS INDICATED WITH A MINIMUM OF THREE STUDS.
- SOLID BLOCKING SHALL BE PROVIDED AT ALL POINT LOADS TO TRANSFER LOADS THROUGH FLOOR LEVELS. COLUMNS SHALL BE CONTINUOUS TO THE FOUNDATION OR TO OTHER STRUCTURAL ELEMENTS.
- ENGINEERED WOOD FLOOR SYSTEMS AND ROOF TRUSS SYSTEMS SHALL BE PROVIDED FOR REVIEW AND COORDINATED WITH THE ENGINEER OF RECORD. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ROOF TRUSS DRAWINGS SHALL BE SIGNED AND SEALED BY THE MANUFACTURER AND REVIEWED BY THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
- WALL BRACING REQUIREMENTS SHALL BE IN ACCORDANCE WITH SECTION R602.10 OF THE NORTH CAROLINA RESIDENTIAL CODE.
  - EXTERIOR WALLS ARE ASSUMED TO BE BRACED WALL LINES. ADDITIONAL INTERIOR WALLS MAY ALSO BE USED AS BRACED WALL LINES WHERE APPLICABLE. SEE PLAN FOR LOCATIONS.
  - THE EXTERIOR OF THE STRUCTURE SHALL BE CONTINUOUSLY SHEATHED WITH 1/2" WOOD STRUCTURAL SHEATHING (PLYWOOD OR OSB) PER CODE SECTION R602.10.4. EXTERIOR BRACED WALL LINES ARE ASSUMED TO BE BRACED WITH CS-WSP (WOOD STRUCTURAL PANEL) BRACED WALL PANELS. ALTERNATE BRACING METHODS, IF USED, MUST BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE CODE AND MUST BE REVIEWED BY THE ENGINEER PRIOR TO CONSTRUCTION.
  - INTERIOR BRACED WALL LINES ARE CONSIDERED TO BE BRACED WITH 1/2" GB (GYPSUM BOARD) BRACED WALL PANELS. SEE TABLE R602.10.2 FOR CONNECTION CRITERIA.
  - SEE PLANS FOR SPECIAL WALL BRACING REQUIREMENTS FOR GARAGE WALLS AND OTHER WALLS WITH MULTIPLE OR LARGE OPENINGS.
- STEEL FLITCH BEAMS SHALL BE FASTENED TOGETHER WITH 1/2" DIAMETER BOLTS WITH WASHERS PLACED UNDER THE THREADED END OF THE BOLT. BOLTS SHALL BE SPACED AT MAXIMUM 24" o.c. STAGGERED TOP AND BOTTOM OF BEAM WITH A MINIMUM 2" EDGE DISTANCE. TWO BOLTS SHALL BE LOCATED AT 6" FROM EACH END OF FLITCH BEAM.
- BRICK LINTELS SHALL BE 3 1/2 x 3 1/2 x 1/4 STEEL ANGLE FOR UP TO 6'-0" MAXIMUM SPAN AND 6 x 4 x 5/16 FOR SPANS GREATER THAN 6'-0".
- BRICK LINTELS AT SLOPED AREAS SHALL BE 4 x 3 1/2 x 1/4 STEEL ANGLE WITH 16d NAILS IN 3/16" HOLES IN 4" ANGLE LEG AT 12" TO TRIPLE RAFTER. WHEN THE SLOPE EXCEEDS 4:12 A MINIMUM OF 3 x 3 x 1/4 PLATES SHALL BE WELDED AT 24" o.c. ALONG THE STEEL ANGLE.

**FOUNDATION**

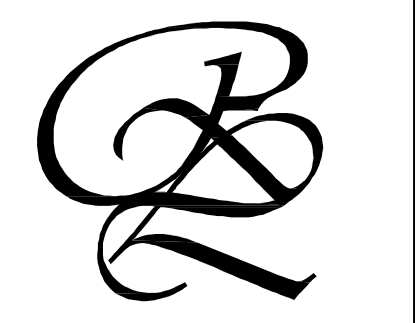
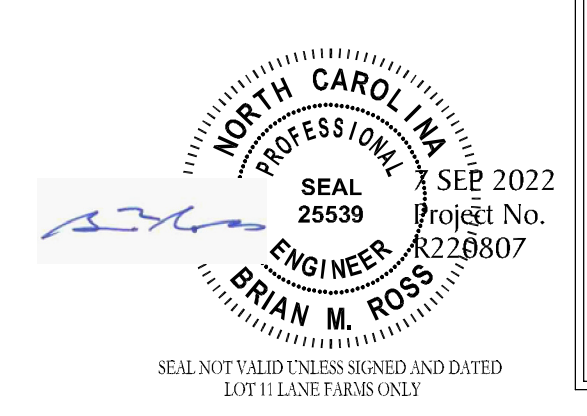
- MINIMUM ALLOWABLE SOIL BEARING CAPACITY IS ASSUMED TO BE 3000 PSF. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY SOIL BEARING CAPACITY.
- CONCRETE AND MASONRY FOUNDATION WALLS SHALL BE SELECTED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404 OR IN ACCORDANCE WITH ACI 318, NCMA TR68-A, OR ACI 530/ASCE 5/TMS 402.
- MASONRY AND POURED CONCRETE WALL REINFORCEMENT SHALL BE IN ACCORDANCE WITH TABLE R404.1.1 (1 THROUGH 4) OF THE NORTH CAROLINA RESIDENTIAL CODE.
  - PER R404.1.1, TABLES ASSUME THAT WALLS HAVE PERMANENT LATERAL SUPPORT AT THE TOP AND BOTTOM.
  - WALL REINFORCING SHALL BE PLACED ACCORDING TO FOOTNOTE (c) OF THE TABLES (REINFORCING IS NOT CENTERED IN WALL).
  - FOUNDATION DRAINS ARE ASSUMED AT ALL WALLS PER R405.
- WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT SPACED A MAXIMUM OF 6'-0" o.c. AND WITHIN 12" FROM THE ENDS OF EACH PLATE SECTION.
- THE UNSUPPORTED HEIGHT OF SOLID MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION. UNFILLED HOLLOW PIERS MAY BE USED IF THE UNSUPPORTED HEIGHT IS NOT MORE THAN FOUR TIMES THEIR LEAST DIMENSION.
- CENTERS OF PIERS SHALL BEAR IN THE MIDDLE THIRD OF THE FOOTINGS, AND GIRDERS SHALL CENTER IN THE MIDDLE THIRD OF THE PIERS.
- ALL FOOTINGS SHALL HAVE MINIMUM 2" PROJECTION ON EACH SIDE OF FOUNDATION WALLS.

**ABBREVIATIONS**

CONC	CONCRETE	CONC	CONCRETE
CONT	CONTINUOUS	DBL	DOUBLE
DBL	DOUBLE	DJ	DOUBLE JOIST
DJ	DOUBLE JOIST	DSP	DOUBLE STUD POCKET
EACH	EACH	EACH	EACH
FL PT	FLAT PLATE	FTG	FOOTING
HGR	HANGER	LVL	LAMINATED VENEER LUMBER
LVL	LAMINATED VENEER LUMBER	NTS	NOT TO SCALE
OC	ON CENTER	PT	PRESSURE TREATED
PT	PRESSURE TREATED	RS	RAFTER SUPPORT
RS	RAFTER SUPPORT	SC	STUD COLUMN
SC	STUD COLUMN	SP	STUD POCKET
SP	STUD POCKET	TJ	TRIPLE JOIST
TJ	TRIPLE JOIST	TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE	XJ	EXTRA JOIST
XJ	EXTRA JOIST		

STRUCTURAL DESIGN IN ACCORDANCE WITH NORTH CAROLINA STATE RESIDENTIAL CODE 2018 EDITION IRC

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**STEPHENSON BUILDERS**  
LOT 11 LANE FARMS

PROJECT NO.  
**R220807**

DESIGN BY LLR  
7 SEP 22

REVISION	DATE
210101	25 JAN 21
180301	12 MAR 18
141103	2 DEC 14

STRUCTURAL NOTES & DETAILS

SHEET NO. **S5** OF 55