

# SHEET SCHEDULE

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## RESIDENTIAL CODE SUMMARY

PLAN DESIGN TO MEET REQUIREMENTS OF 2018 NORTH CAROLINA RESIDENTIAL CODE  
 STRUCTURES DESIGNED TO WITHSTAND 100 MPH, 3 SECOND GUST (85 FASTEST WIND), EXPOSURE B.  
 ANCHOR BOLTS SHALL BE MIN. 1/2" DIAMETER & SHALL EXTEND A MINIMUM 7" INTO MASONRY OR CONCRETE. ANCHOR BOLTS TO BE NO MORE THAN 6' O.C. AND WITHIN 12" OF THE CORNERS.

MEAN ROOF HEIGHT=22'-0"

COMPONENT AND CLADDING ARE DESIGNED FOR THE FOLLOWING LOADS:

MEAN ROOF HEIGHT	UP TO 30'	30'-1"-35'	35'-1"-40'	40'-1"-45'
ZONE 1	16.5,-18.0	17.3,-18.9	18.0,-19.6	18.5,-20.2
ZONE 2	16.5,-21.0	17.3,-22.1	18.0,-22.9	18.5,-23.5
ZONE 3	16.5,-21.0	17.3,-22.1	18.0,-22.9	18.5,-23.5
ZONE 4	18.0,-19.5	18.9,-20.5	19.6,-21.3	20.2,-21.8
ZONE 5	18.0,-24.1	18.9,-25.3	19.6,-26.3	20.2,-27.0

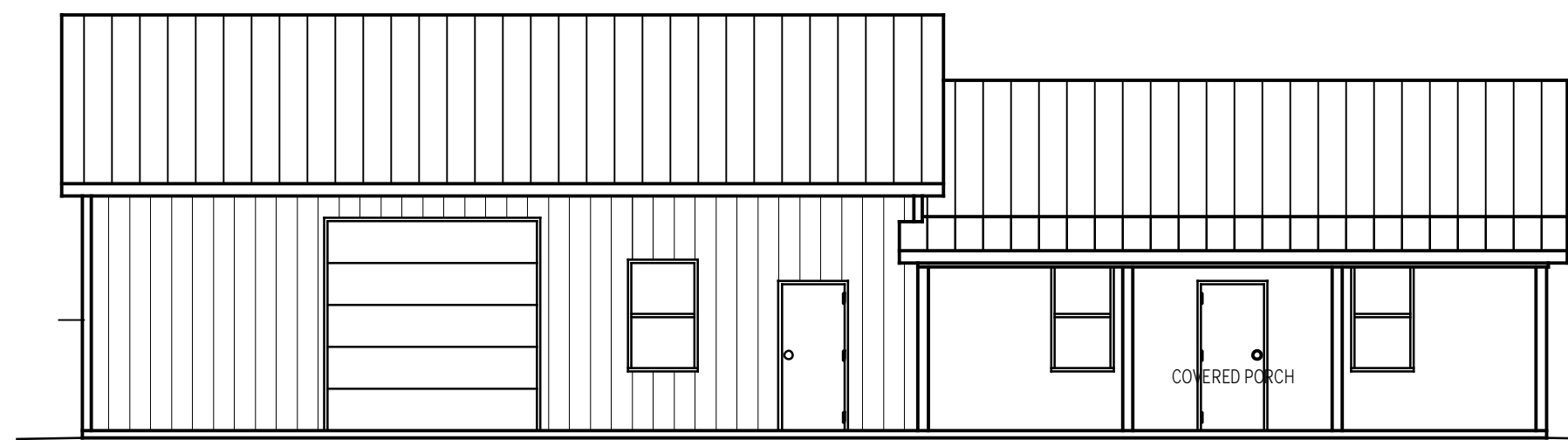
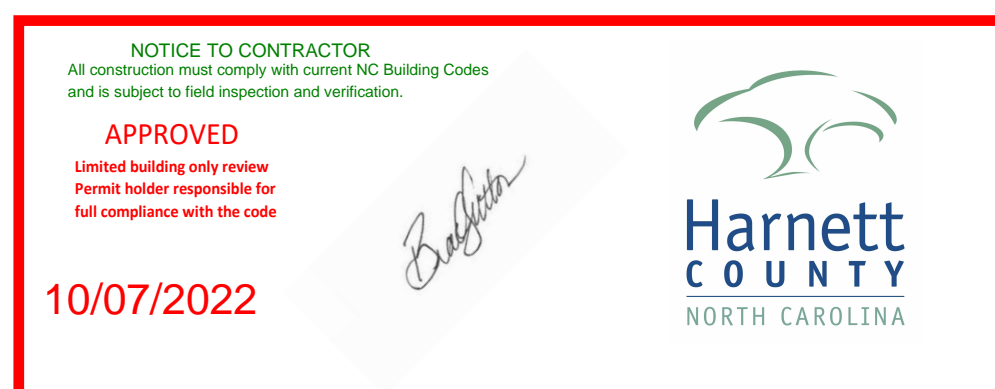
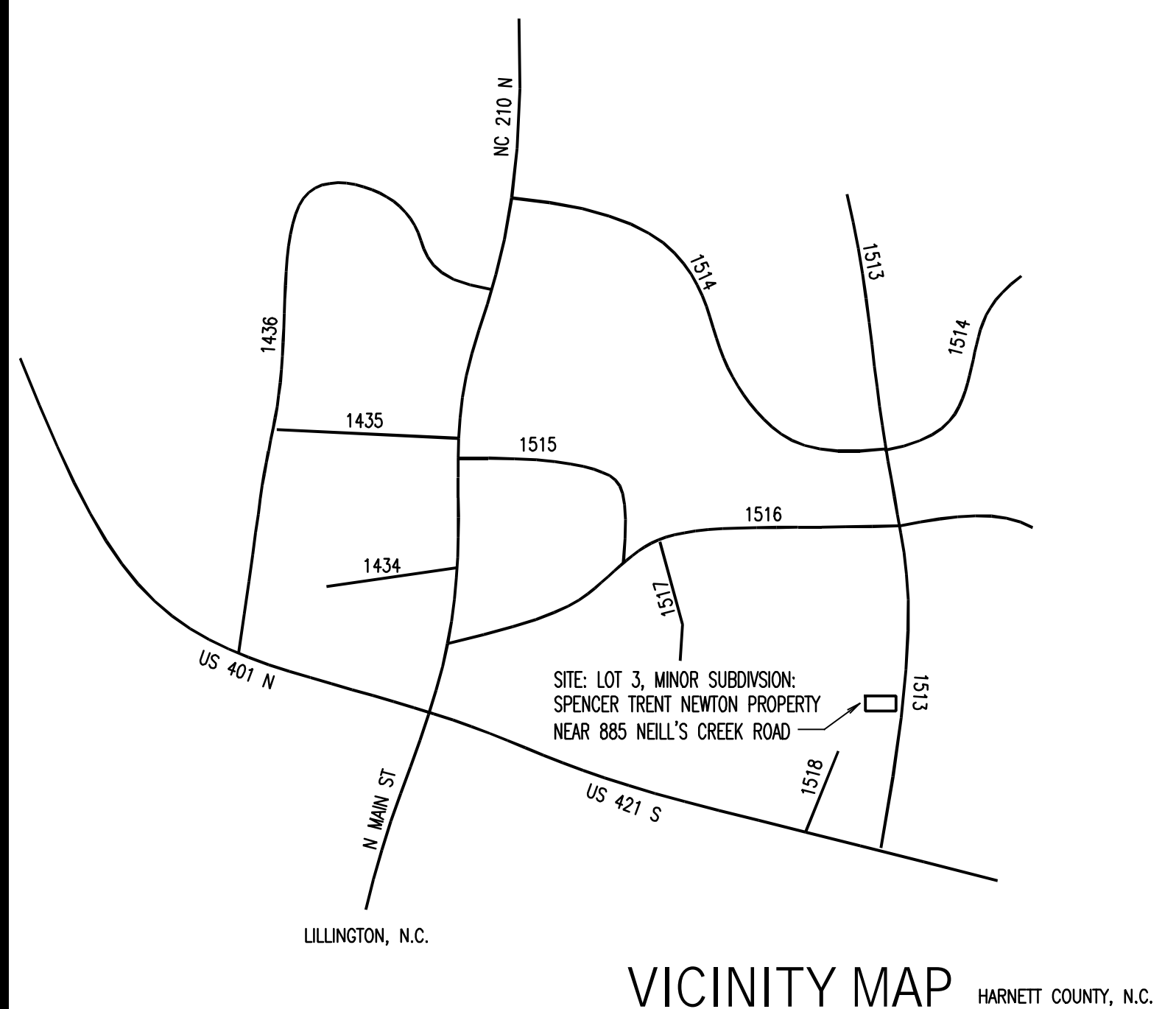
MINIMUM VALUES FOR ENERGY COMPLIANCE (CONDITIONED SPACES)

ZONE 4  
 MAXIMUM GLAZING U-FACTOR=0.35  
 CEILING R-30 (UNCOMPRESSED)  
 WALLS R-13 CAVITY + R-2.5 SHEATHING OR R15 CAVITY  
 SLAB EDGE R-10 (CONDITIONED SPACE)

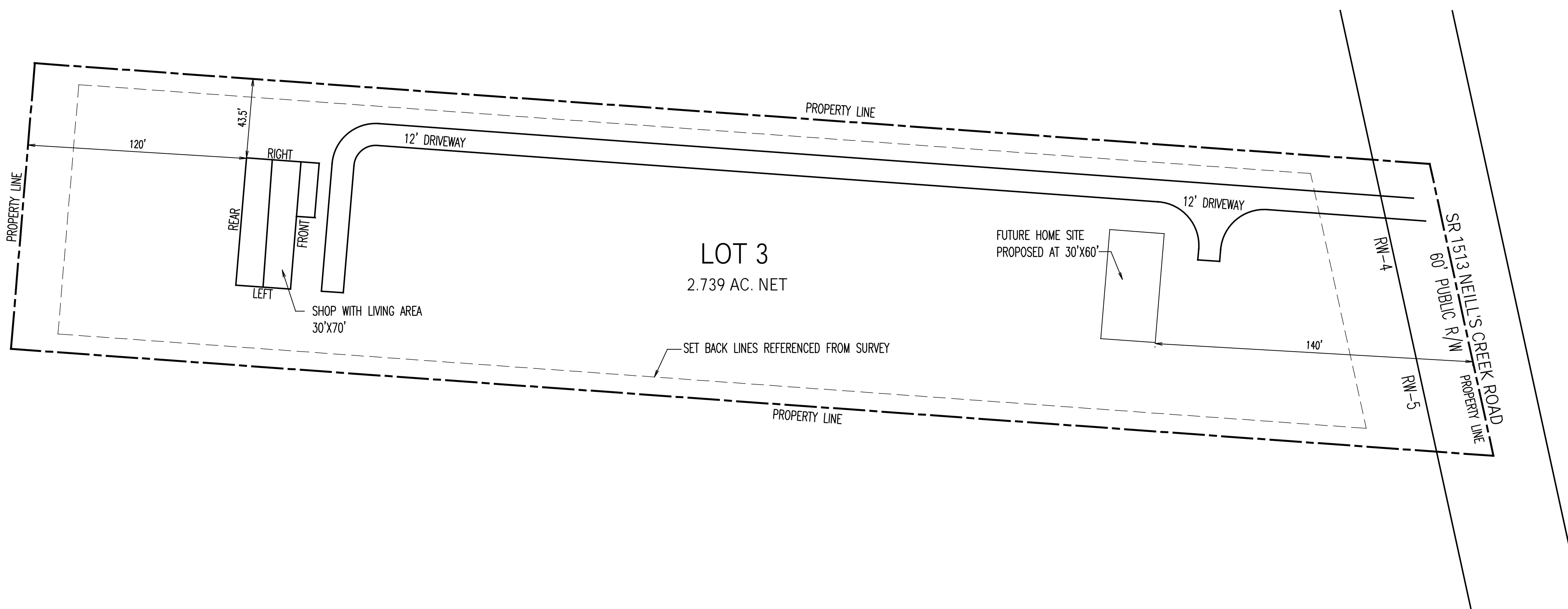
CONDITIONED LIVING AREA: 850 SF

UNCONDITIONED SHOP AREA: 1250 SF

TOTAL AREA: 2100 SF



SHOP BUILDING WITH LIVING AREA  
 NTS



SITE PLAN INFORMATION REFERENCED FROM:

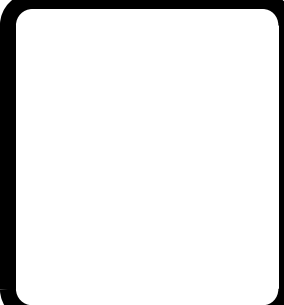
MINOR SUBDIVISION MAP FOR:  
 SPENCER TRENT NEWTON  
 885 NEILL'S CREEK RD. LILLINGTON, NC 27546

PIN# 0660-86-2816.000

PID# 110660 0079 04

STANCIL & ASSOCIATES  
 PROFESSIONAL LAND SURVEYOR, P.A. C-0831  
 98 EAST DEPOT STREET, P.O. BOX 730, ANGIER, NC 27501

G1 SITE PLAN  
 01 1"=40'-0"



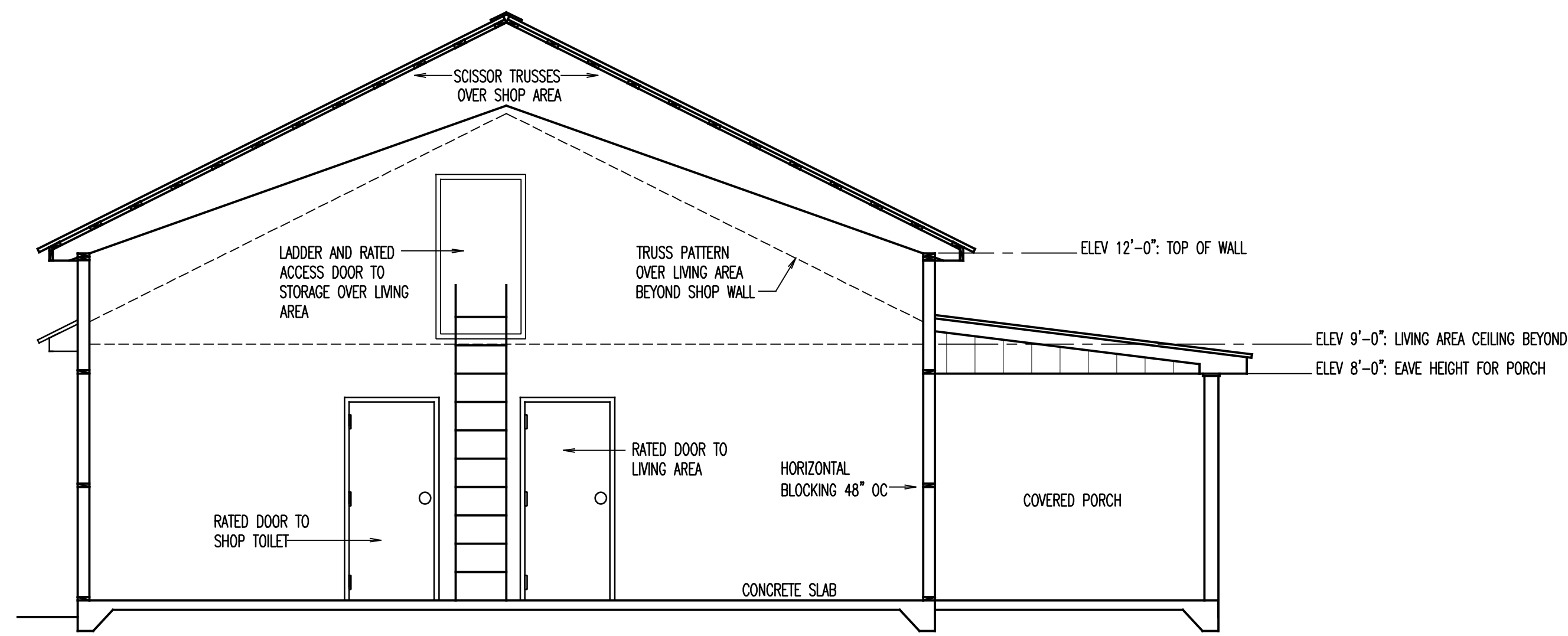
BUILDING DESIGN BY:  
**S&S CONTRACTING**  
 6349 RIVER ROAD, FLOUAY, NC 27526

**OWEN SCARBOROUGH**  
 SHOP WITH LIVING AREA  
 NEILL'S CREEK ROAD, LILLINGTON N.C.

DESCRIPTION:  
 SITE PLAN AND PROJECT DATA  
 REVISION:  
 DATE:  
 JULY 2022

DRAWING:  
**G1**





**A2** SHOP CROSS SECTION  
**02** 1/4" = 1'-0"

WINDOW SCHEDULE		WIDTH	HEIGHT	EGRESS REQUIRED		
MARK	SIZE	SCHEDULE MARK				
a	3'-0"W X 4'-0"H				1,3	4-9/16" JAMB
b	3'-0"W X 5'-0"H			✓	1,2,3	4-9/16" JAMB
b	3'-0"W X 5'-0"H				1,3	6-9/16" JAMB

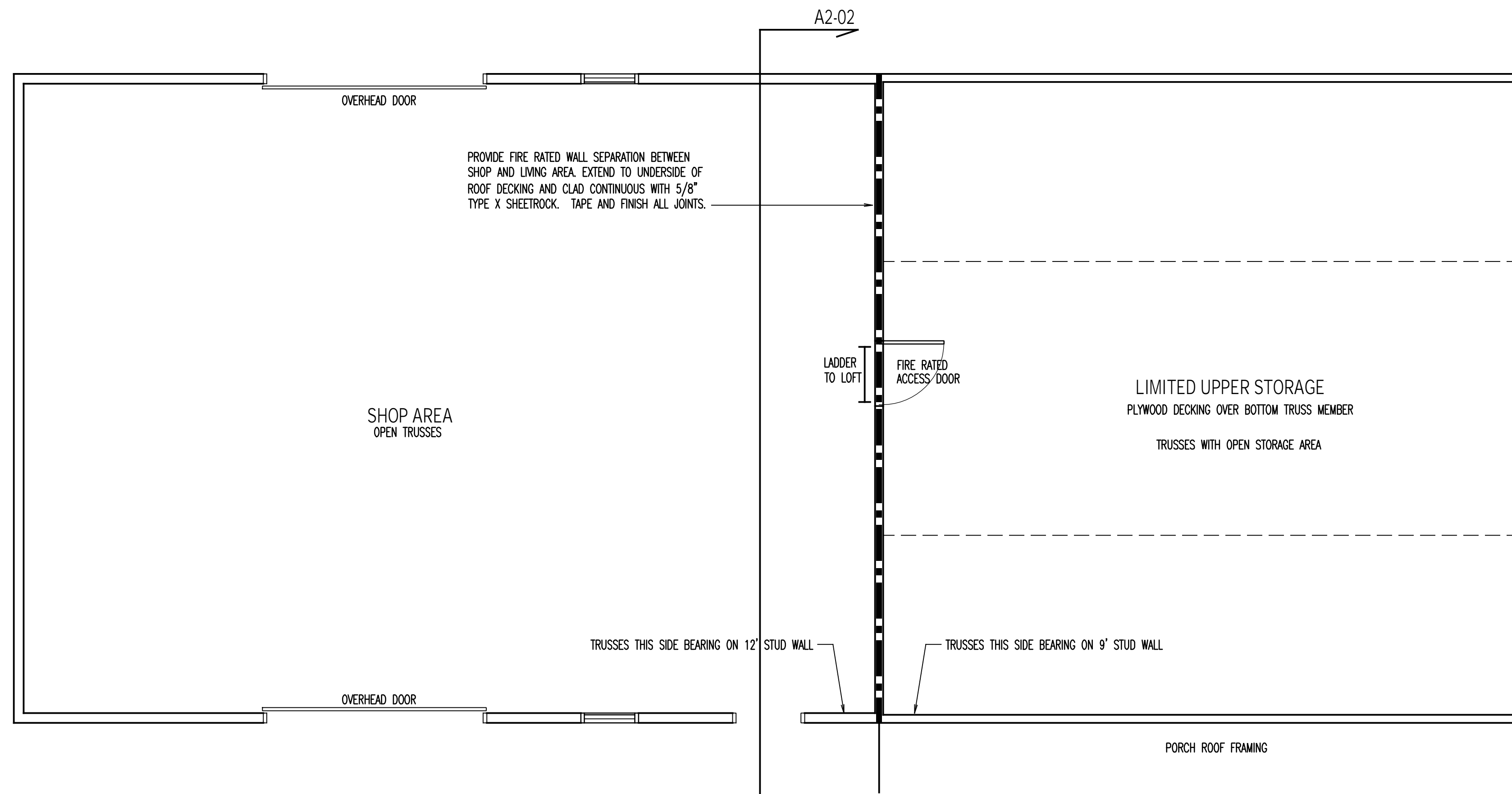
**WINDOW SCHEDULE NOTES:**

- ALL WINDOWS SHALL BE LOW E, DOUBLE INSULATED. PROVIDE SAFETY GLAZING FOR ALL HAZARDOUS LOCATIONS DEFINED IN GLAZING SECTION OF NC BUILDING CODE-RESIDENTIAL CODE.
- ALL EGRESS WINDOWS SHALL BE SIZED AND MOUNTED TO MEET THE EMERGENCY ESCAPE AND RESCUE OPENING REQUIREMENTS OF NC BUILDING CODE-RESIDENTIAL CODE.
- MUTTON PATTERNS TO BE SELECTED BY THE OWNER.

DOOR SCHEDULE		WIDTH	HEIGHT	SWING	EGRESS REQUIRED	
MARK	WIDTH	HEIGHT	SWING	DESCRIPTION	HARDWARE	COMMENTS
A	3'-0"	6'-8"	LH	STEEL ENTRY	ENTRY WITH DEADBOLT	4-9/16" JAMB
B	3'-0"	6'-8"	RH	STEEL ENTRY	ENTRY WITH DEADBOLT	6-9/16" JAMB
C	3'-0"	6'-8"	RH	45 MIN. RATED STEEL-WEATERSTRIP	ENTRY	6-9/16" JAMB
D	2'-8"	6'-8"	LH	MOLDED INTERIOR	BEDROOM	4-9/16" JAMB
E	2'-8"	6'-8"	LH	MOLDED INTERIOR	BATH	4-9/16" JAMB
F	2'-8"	6'-8"	LH	MOLDED INTERIOR	CLOSET	4-9/16" JAMB
G	2'-8"	6'-8"	RH	45 MIN. RATED STEEL-WEATERSTRIP	BATH	6-9/16" JAMB

**DOORS SCHEDULE NOTES:**

- ALL HARDWARE TO NICKLE FINISH.



**A2** UPPER SHOP AND LOFT PLAN  
**01** 1/4" = 1'-0"

OWEN SCARBOROUGH

SHOP WITH LIVING AREA  
 NELL'S CREEK ROAD, LILLINGTON N.C.

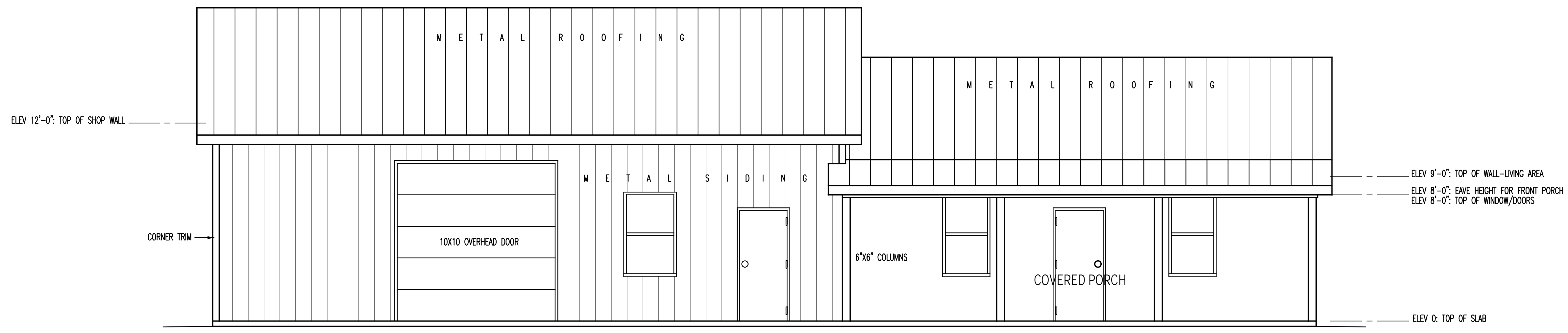
BUILDING DESIGN BY:  
 S&S CONTRACTING  
 6349 RIVER ROAD, FLOUAY, NC 27526

DESCRIPTION:  
 LOFT PLAN SCHEDULES

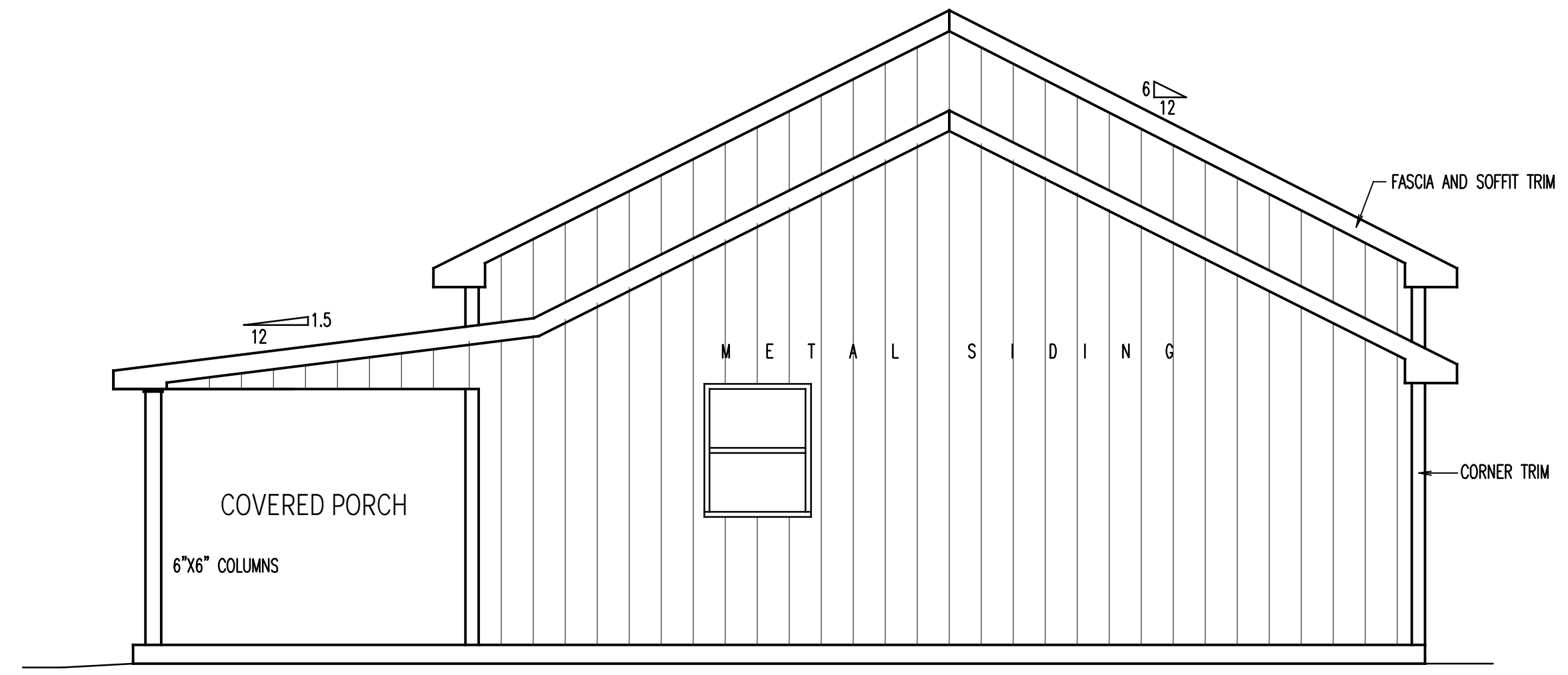
REVISION:

DATE:  
 JULY 2022

DRAWING:  
 A2



A3 FRONT VIEW  
01 1/4"=1'-0"



A3 RIGHT SIDE  
02 1/4"=1'-0"

DATE:  
JULY 2022

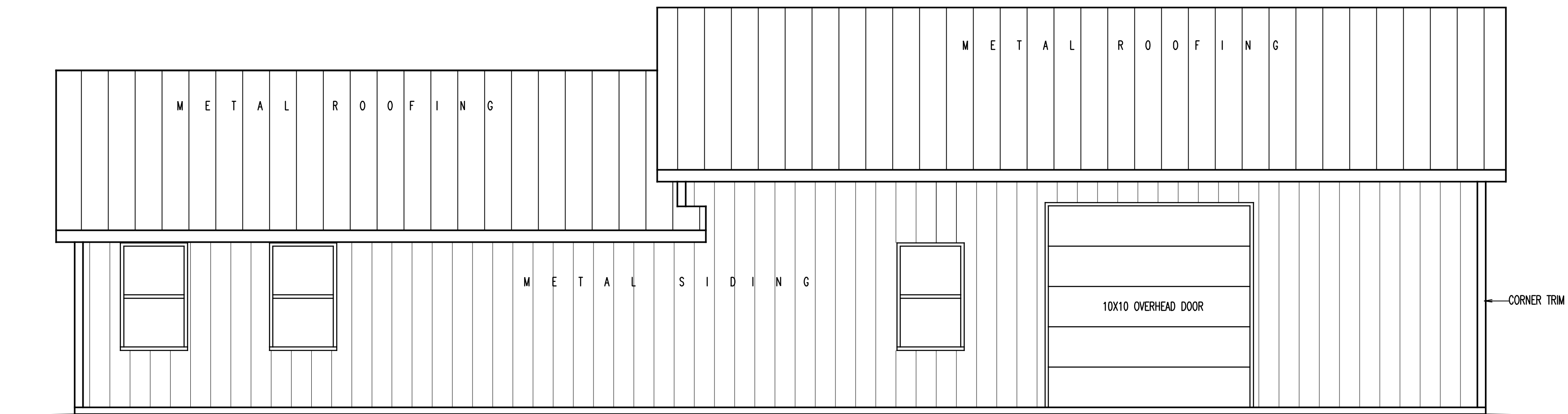
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OWEN SCARBOROUGH  
SHOP WITH LIVING AREA  
NELL'S CREEK ROAD, LILLINGTON N.C.

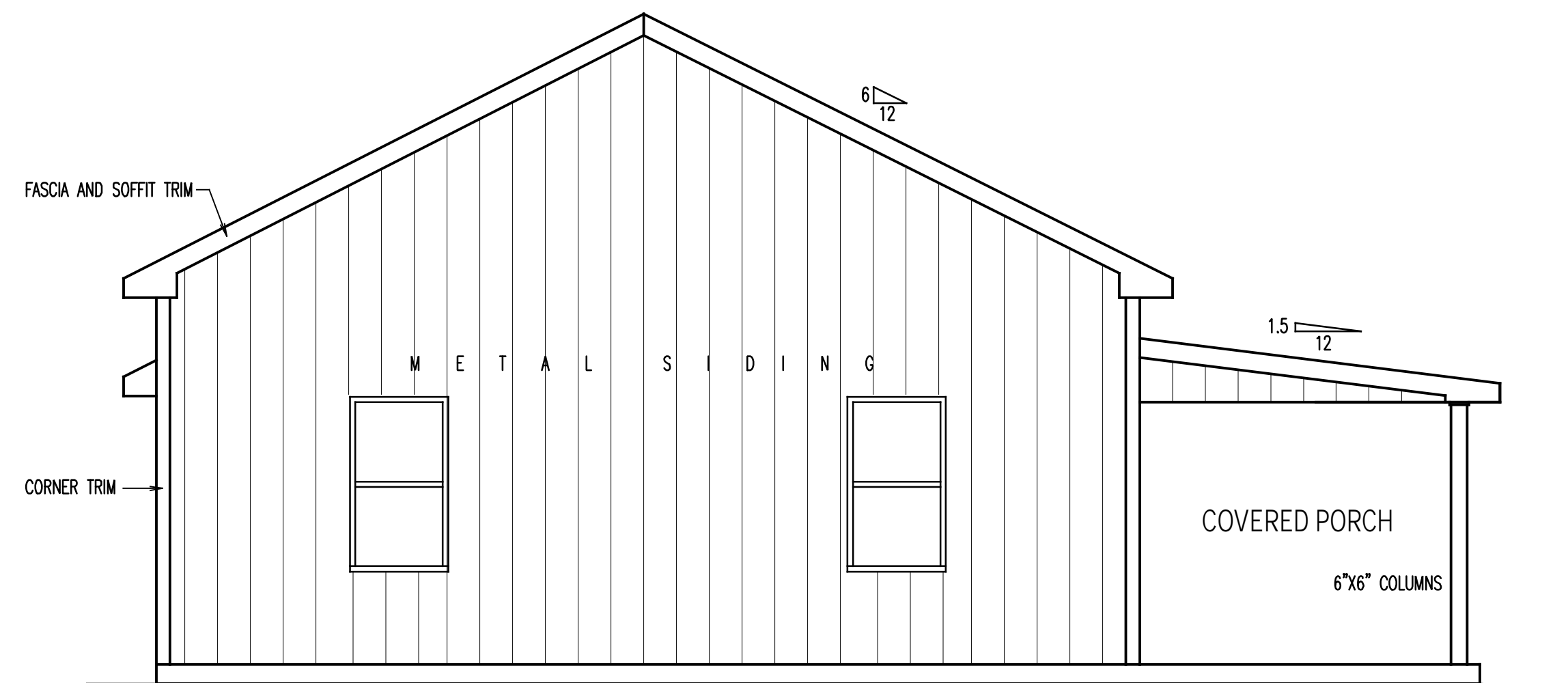
DESCRIPTION:  
EXTERIOR ELEVATIONS

REVISION:

DRAWING:  
A3



A4 REAR VIEW  
01 1/4"=1'-0"



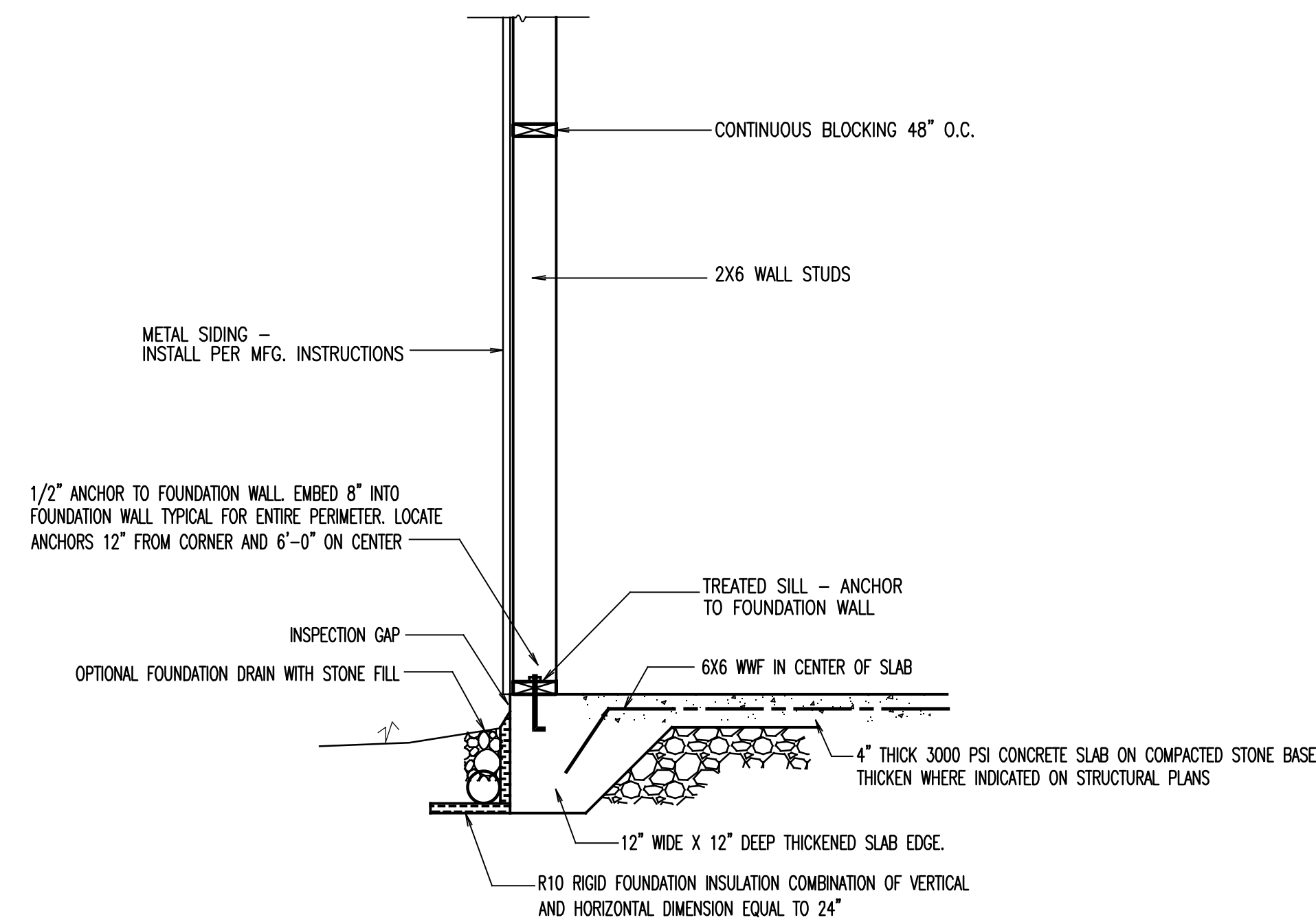
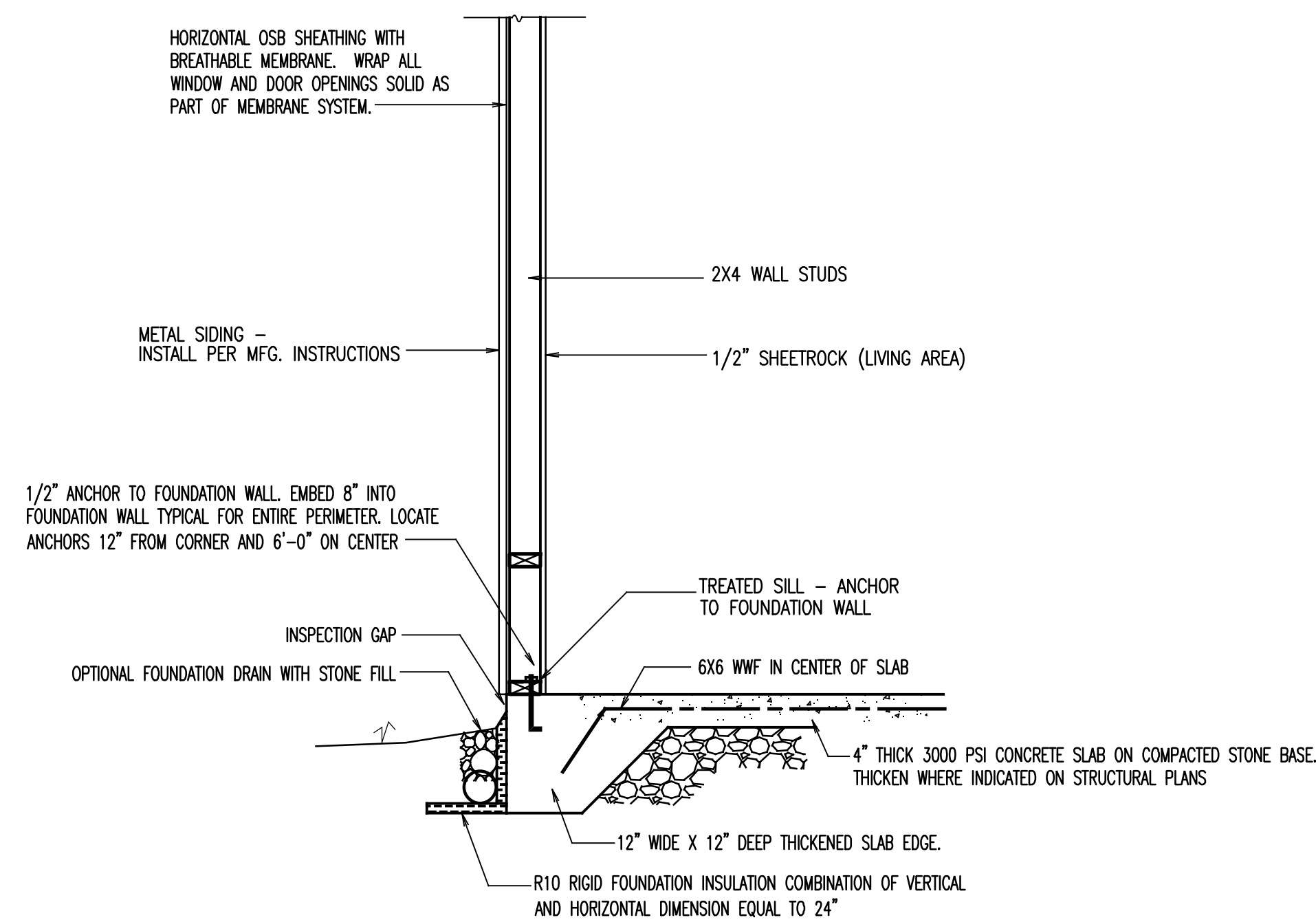
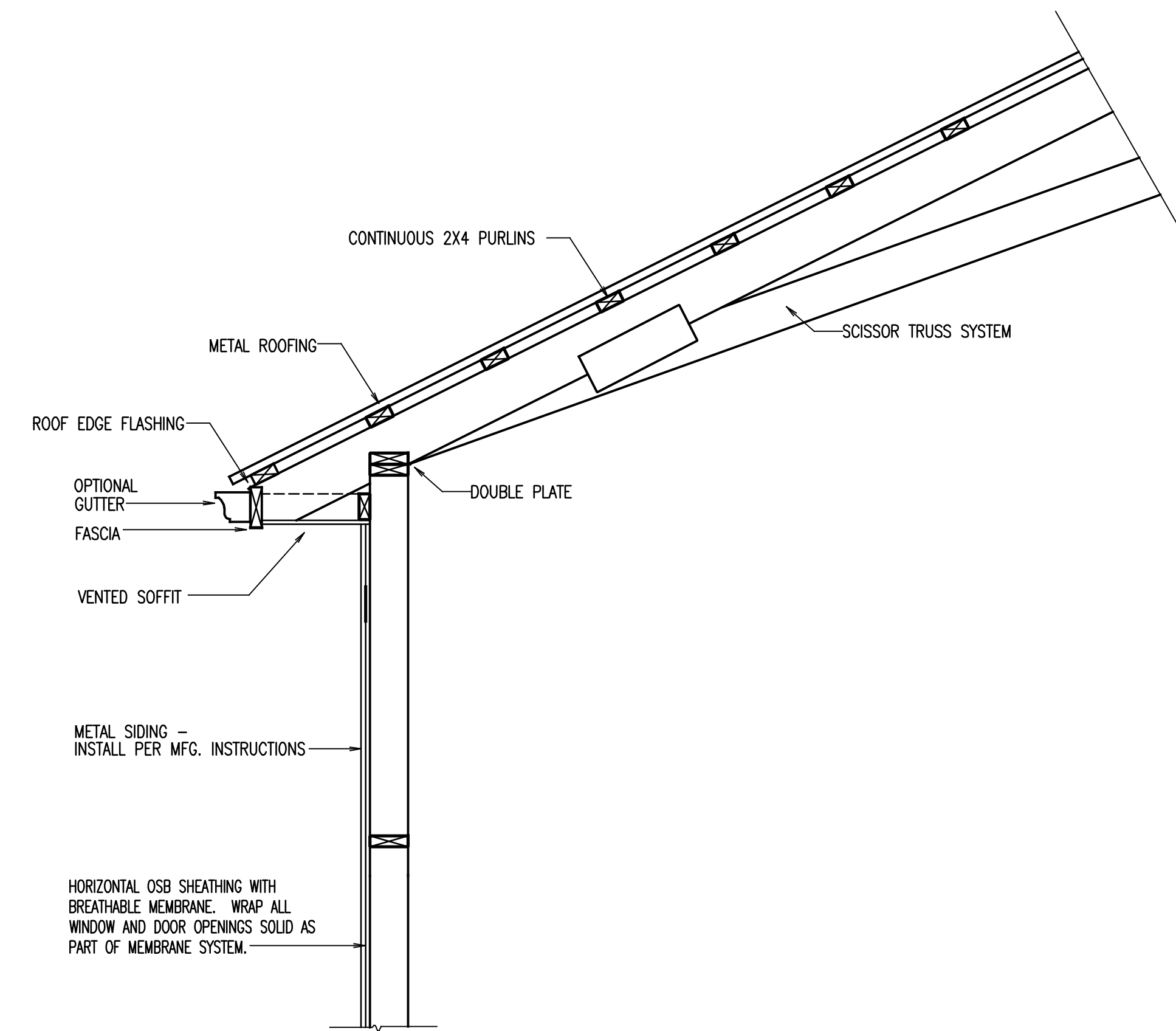
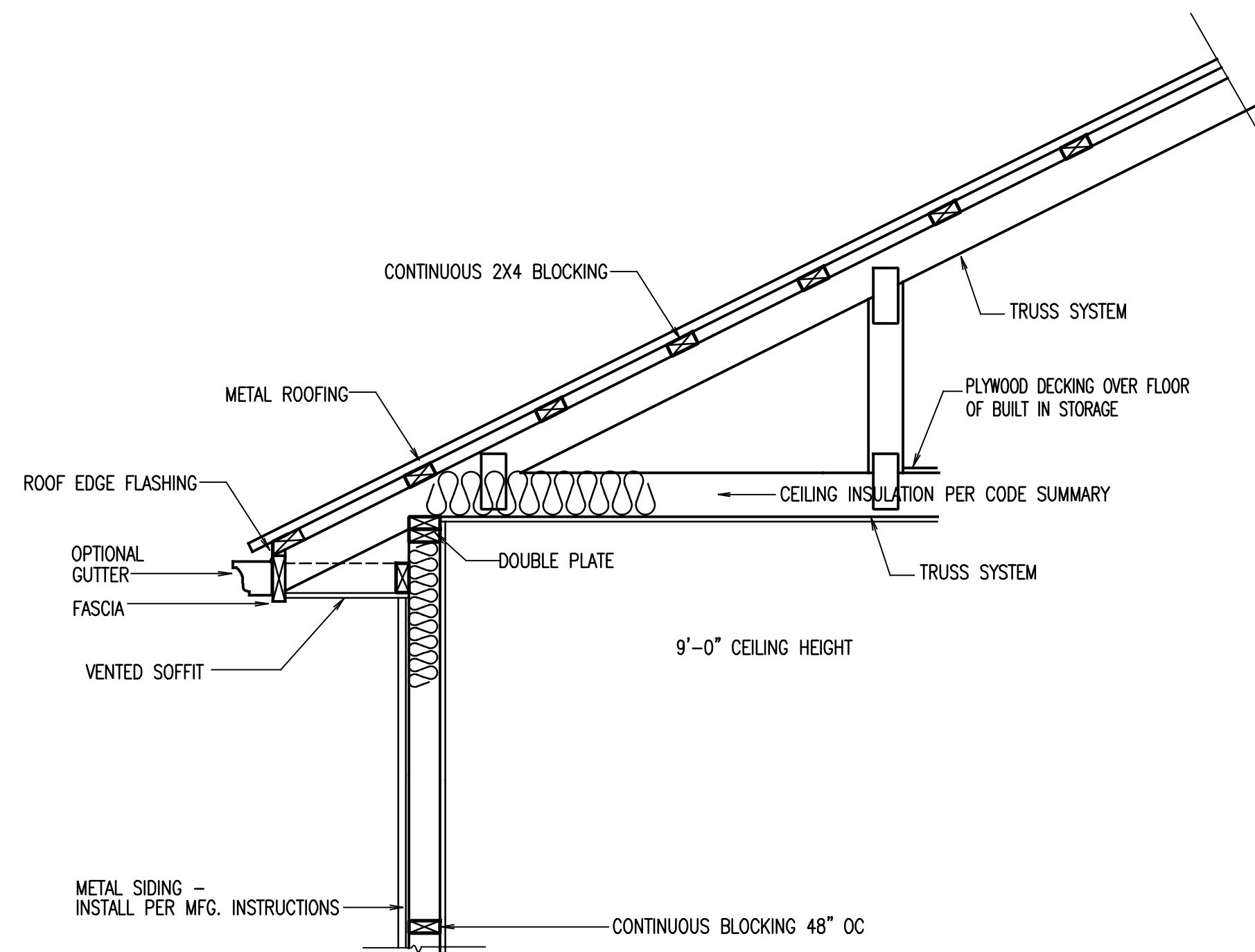
A3 LEFT SIDE  
02 1/4"=1'-0"

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OWEN SCARBOROUGH  
SHOP WITH LIVING AREA  
NEILL'S CREEK ROAD, LILLINGTON N.C.

DESCRIPTION:  
EXTERIOR  
ELEVATIONS  
REVISION:  
DATE:  
JULY 2022

DRAWING:  
A4



LIVING AREA EXTERIOR WALL SECTION

SHOP EXTERIOR WALL SECTION

BUILDING DESIGN BY:  
**S&S CONTRACTING**  
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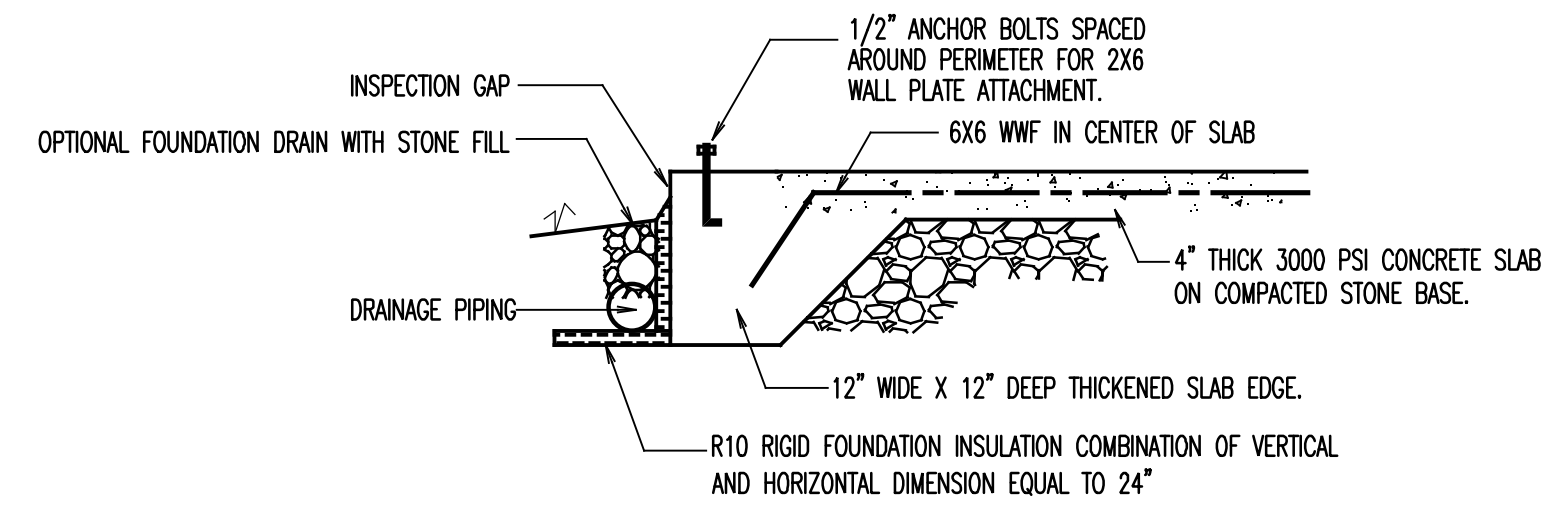
**OWEN SCARBOROUGH**  
 SHOP WITH LIVING AREA  
 NELL'S CREEK ROAD, LILLINGTON, N.C.

DESCRIPTION:  
 WALL SECTIONS

REVISION:

DATE:  
 JULY 2022

DRAWING:  
**A5**

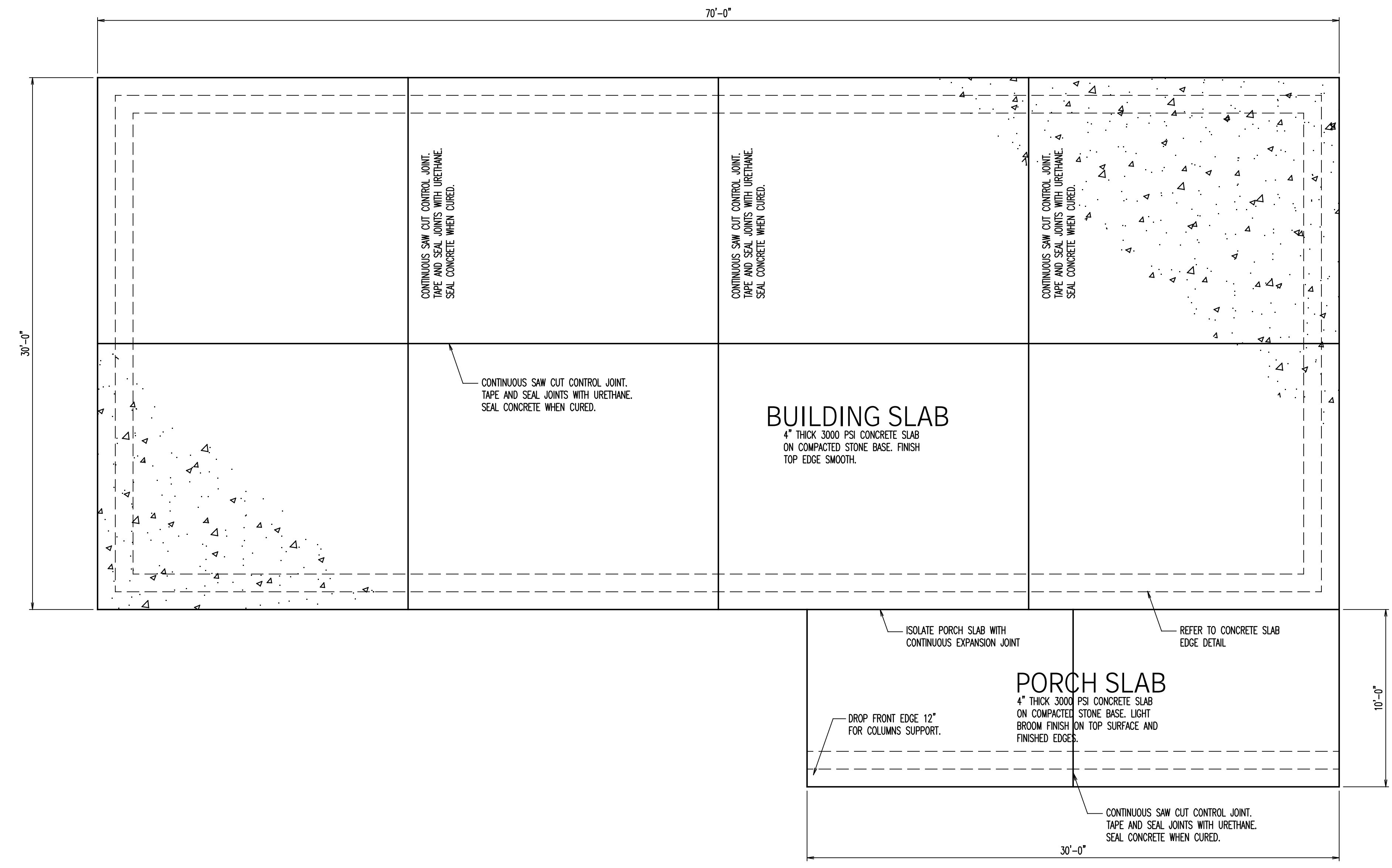


**S1** SLAB EDGE SECTION  
**02** NTS

- GENERAL FOUNDATION NOTES:**
1. THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
  2. SLAB EDGE TO BEAR ON UNDISTURBED EARTH A MIN. OF 12" BELOW ADJACENT FINISH GRADE OR AS OTHERWISE DIRECTED BY LOCAL INSPECTOR.
  3. FOUNDATION DRAINAGE SHALL BE IN ACCORDANCE WITH SECTION R405 OF THE CODE "FOUNDATION DRAINAGE".
  4. THE FOUNDATION SHALL BE TREATED IN ACCORDANCE W/SECTION R406 OF THE CODE "FOUNDATION WATERPROOFING AND".
  5. THIS FOUNDATION DESIGN IS VALID FOR 100 MPH WIND ZONES ONLY.

**STRUCTURAL EVALUATION BY:**  
**HOWERTON SERVICES, PLLC** LICENSE # P-1716  
CATHEDRAL BELL ROAD, RALEIGH, NC 27614

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- \* DO NOT SCALE THESE DRAWINGS - ENGINEERING APPROVAL EXPIRES 08/15/2023 OR UNTIL NEW CODE CYCLE.



**S1** FLOOR SLAB PLAN  
**01** 1/4"=1'-0"



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**OWEN SCARBOROUGH**  
SHOP WITH LIVING AREA  
NELL'S CREEK ROAD, LILLINGTON, N.C.

DESCRIPTION: FLOOR SLAB PLAN
REVISION:
DATE: JUNE 2022

DRAWING:  
**S1**







08 23 2022

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**OWEN SCARBOROUGH**  
SHOP WITH LIVING AREA  
NELL'S CREEK ROAD, LILLINGTON, N.C.

DESCRIPTION:  
LOFT FRAMING

REVISION:

DATE:  
JUNE 2022

DRAWING:

**S3**

GENERAL FRAMING NOTES:

1. THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
2. GLAZING AREAS SHOWN ON THESE DESIGN DRAWINGS DO NOT EXCEED 15% OF THE GROSS AREA OF THE EXTERIOR WALLS. THIS STRUCTURE MEETS THE REQUIREMENTS OF N1101.2.1, RESIDENTIAL BUILDING, TYPE A-1.
3. WALL CLADDING IS DESIGNED FOR A 24.1 #/SF OR GREATER POSITIVE/NEGATIVE PRESSURE.
4. ALL WALLS, FLOORS AND CEILINGS SHALL BE INSULATED IN ACCORDANCE WITH CODE SUMMARY.
5. DESIGN CRITERIA:
 

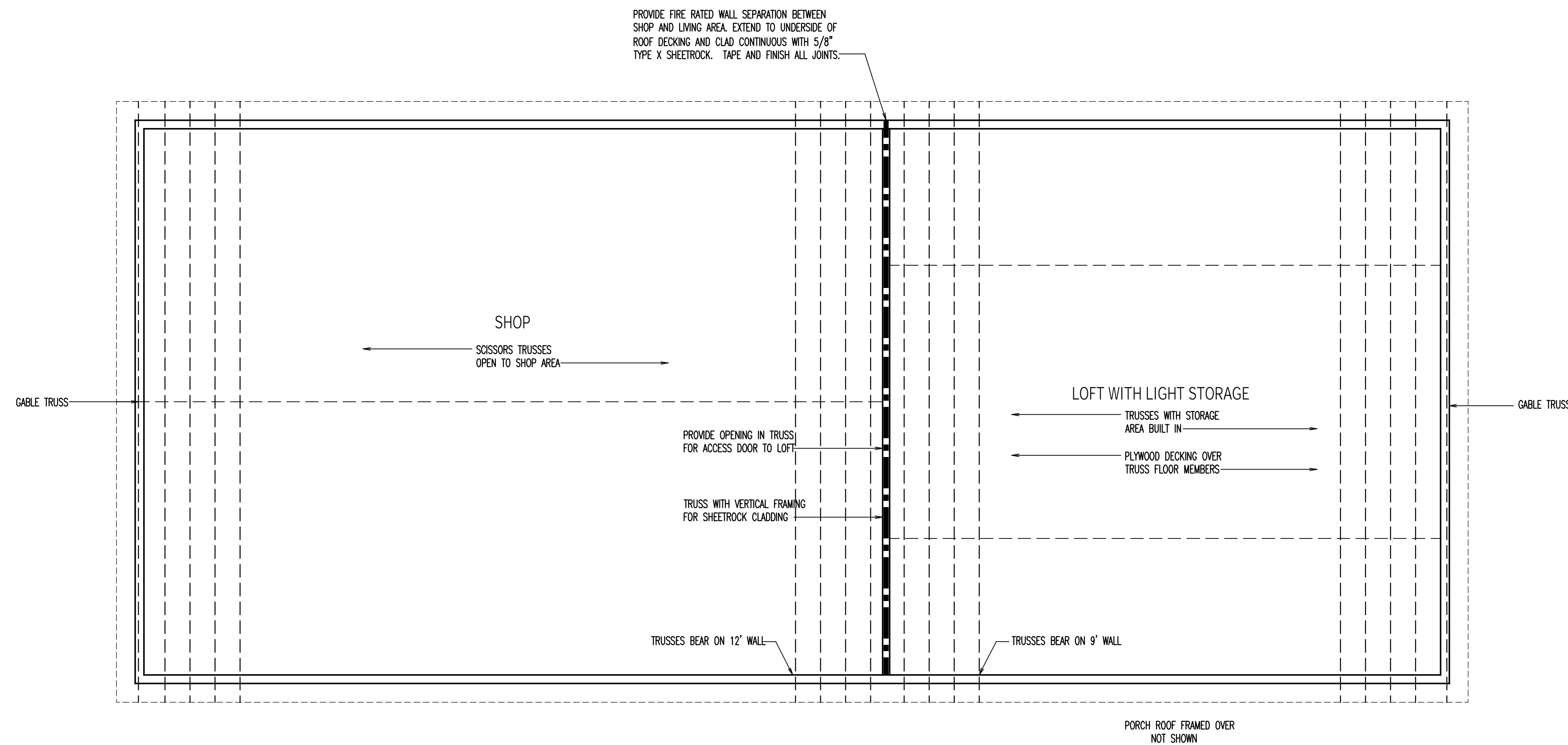
DESIGN CRITERIA:	DEAD	LIVE
PRIMARY FLOOR	10 PSF	40 PSF
SECONDARY FLOOR	10 PSF	40 PSF
SLEEPING AREAS	10 PSF	30 PSF
ATTIC	10 PSF	20 PSF
ROOF	10 PSF	20 PSF

 DEFLECTION LIMITS:  
 FLOOR L/360(LIVE LOAD ONLY)  
 ROOF L/240
6. ALL HEADERS IN LOAD BEARING WALLS SHALL BE DOUBLE 2X10.

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**S3** ROOF TRUSS LEVEL PLAN  
**01** 1/4"=1'-0"



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**OWEN SCARBOROUGH**  
SHOP WITH LIVING AREA  
NELL'S CREEK ROAD, LILLINGTON, N.C.

DESCRIPTION:  
ROOF PLAN  
REVISION:  
DATE:  
JUNE 2022

DRAWING:  
**S4**

**GENERAL ROOF NOTES:**

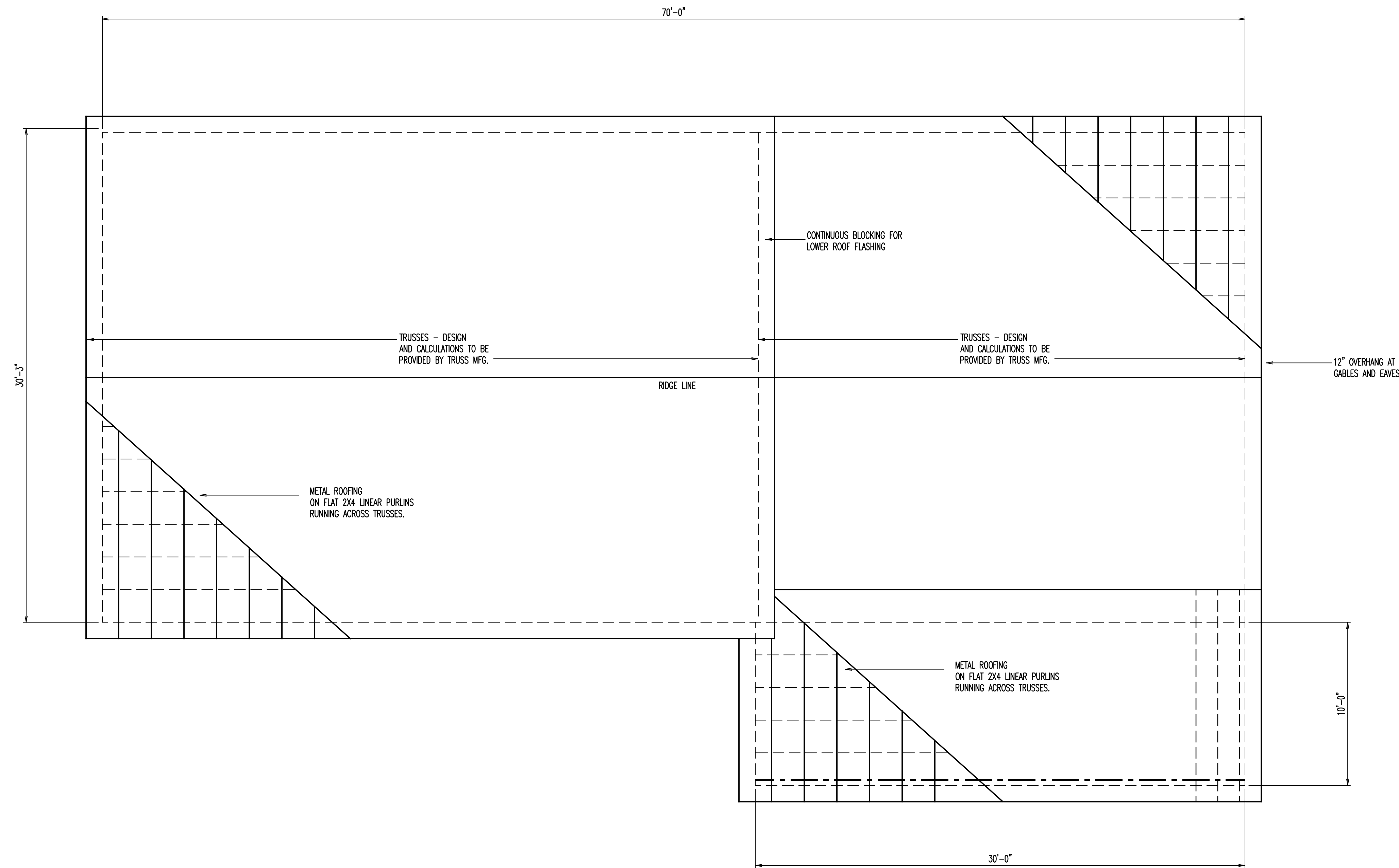
1. THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
2. ROOF CLADDING DESIGN VALUES (POSITIVE/NEGATIVE) SHALL BE AS FOLLOWS:  
45.5 #/SF FOR ROOF PITCHES FROM 0/12 TO 2.25/12  
34.5 #/SF FOR ROOF PITCHES FROM 2.25/12 TO 7/12  
21 #/SF FOR ROOF PITCHES FROM 7/12 TO 12/12
3. ALL ROOFING ELEMENTS SHALL MEET THE REQUIREMENTS OF CHAPTER 8 OF THE CODE.
4. ALL LUMBER SHALL BE #2 SPF OR BETTER. RAFTERS MAY BE FINGER JOINTED PER NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, AND MUST HAVE THE STRUCTURAL CERTIFICATION STAMPED ON THE MEMBER.
5. RAFTER SIZES, SPANS AND SPACING SHALL NOT EXCEED THE FOLLOWING:  

SIZE	2X6	2X8	2X10
SPACING 12" O.C.	14'-9"	19'-6"	
SPACING 16" O.C.	13'-5"	17'-9"	22'-3"
6. ALL RAFTERS TO BE 2X8 @ 16" O.C. #2 SPF UNLESS NOTED OTHERWISE.
7. ATTACH VAULTED RAFTERS WITH HURRICANE CLIP SIMPSON "H-5" OR EQUIVALENT. PROVIDE DOUBLE OPPOSING RAFTERS WHERE NOTED.
8. THESE DESIGN DRAWINGS WERE PRODUCED BY HOWERTON SERVICES PLLC, ASSUMES NO LIABILITY FOR THE CORRECTNESS OF ARCHITECTURAL FEATURES, DIMENSIONS OR FIXTURES.
9. CONTRACTOR IS RESPONSIBLE FOR REVIEWING DRAWINGS FOR CONSTRUCTABILITY PRIOR TO BEGINNING CONSTRUCTION.
10. DO NOT SCALE THESE DRAWINGS. IF DISCREPANCIES ARE NOTED, CONTACT THE ENGINEER.
11. DESIGN BASIS PROVIDED BY S&S CONTRACTING INC., FLUQUAY VARINA, NC AND THEY ARE RESPONSIBLE FOR ALL ARCHITECTURAL FEATURES, DIMENSIONS, COMPLIANCE WITH ALL ACCESS/EGRESS REQUIREMENTS, FIRE CODE AND LIFE SAFETY DESIGN ISSUES.

**STRUCTURAL EVALUATION BY:**

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**S4** ROOF PLAN  
**01** 1/4"=1'-0"