



RESIDENCE OF
**KELLEE
 RING**

Project

MADDEN
 HOME DESIGN

8375 Rushing Road
 Denham Springs, Louisiana
 70726
 Phone: (225) 791-2912

A | **B** **D**®

Project No.: The Tanglewood-Mirror

DATE: JANUARY 3, 2022

DRAWN BY: Steven Madden

DESIGNED BY: Steven Madden

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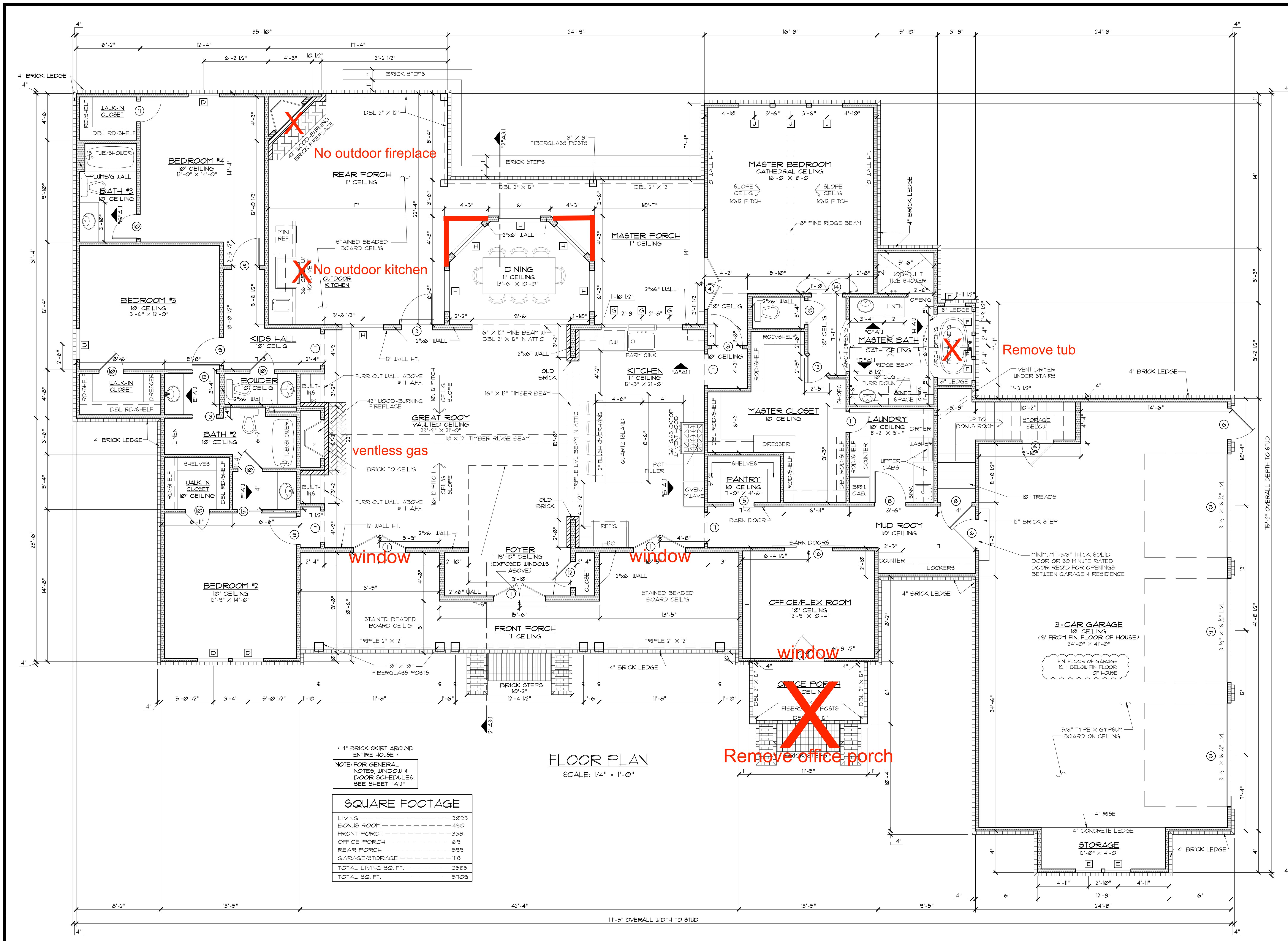
Sheet Title

**COVER
 SHEET**

- Preliminary Dwg.
- Bidding Doc.
- Construction Doc.

Sheet:

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 CONTRACTOR IS RESPONSIBLE FOR
 VERIFICATION OF DIMENSIONS IN THE FIELD
 AND SHALL BUILD HOME IN ACCORDANCE WITH
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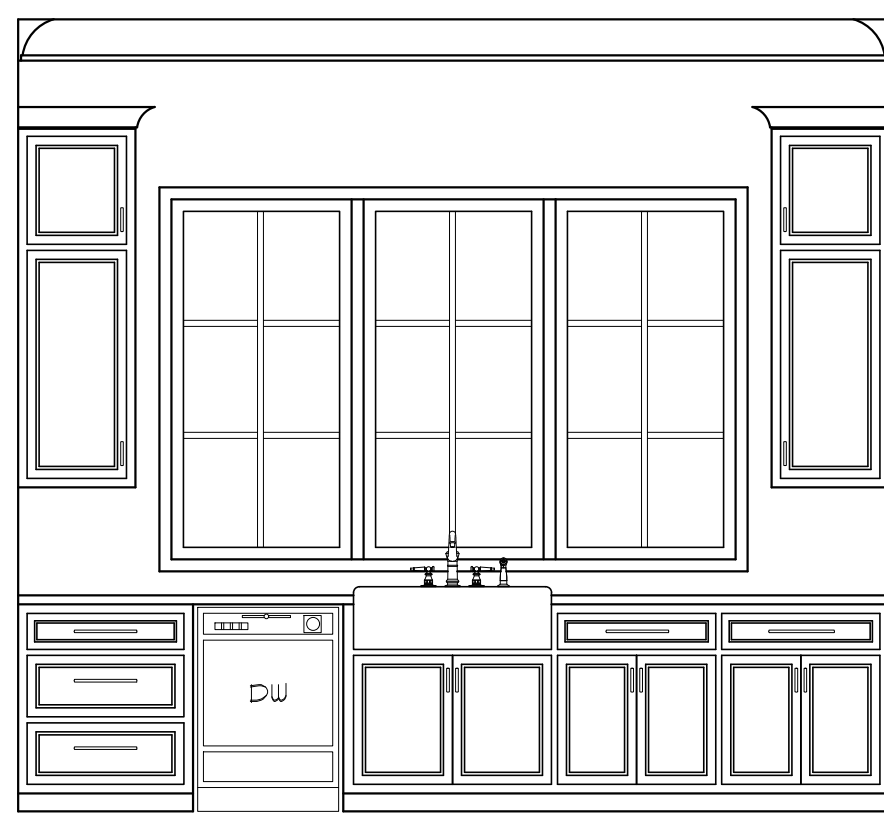
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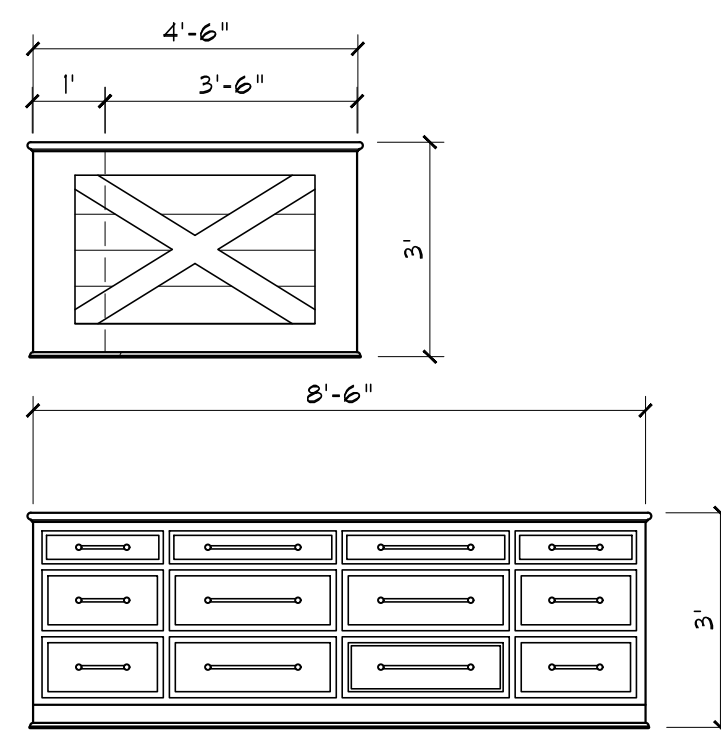
FLOOR PLAN

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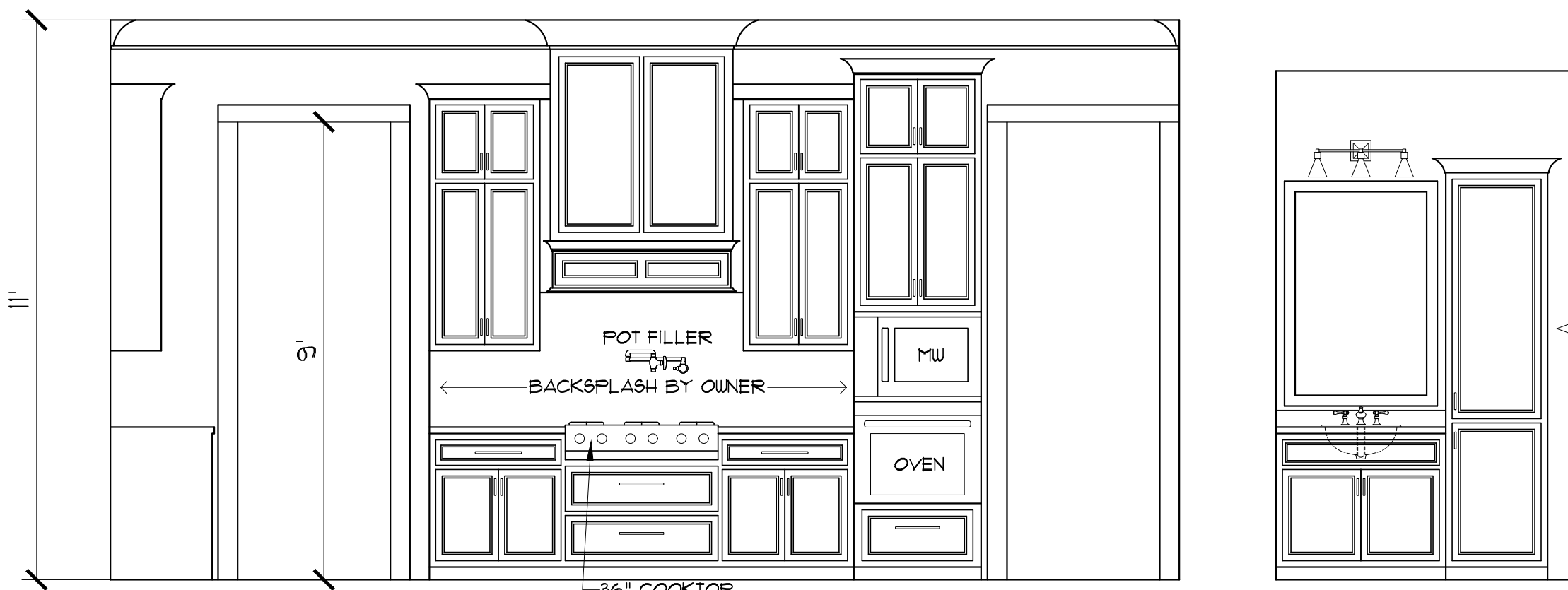
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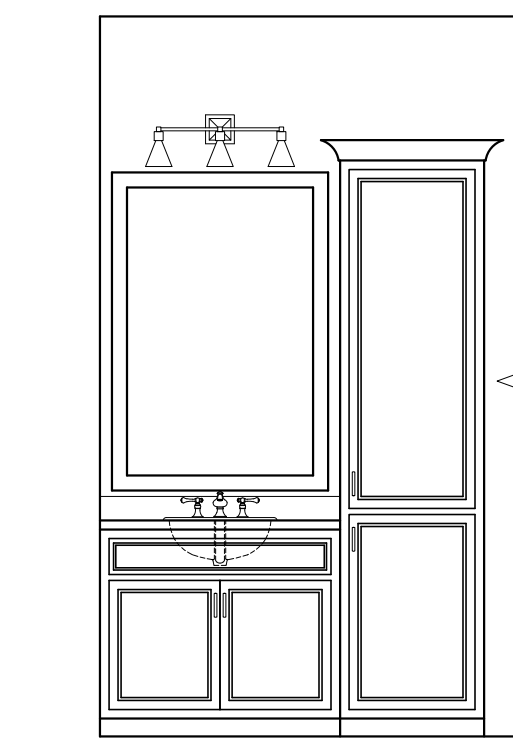
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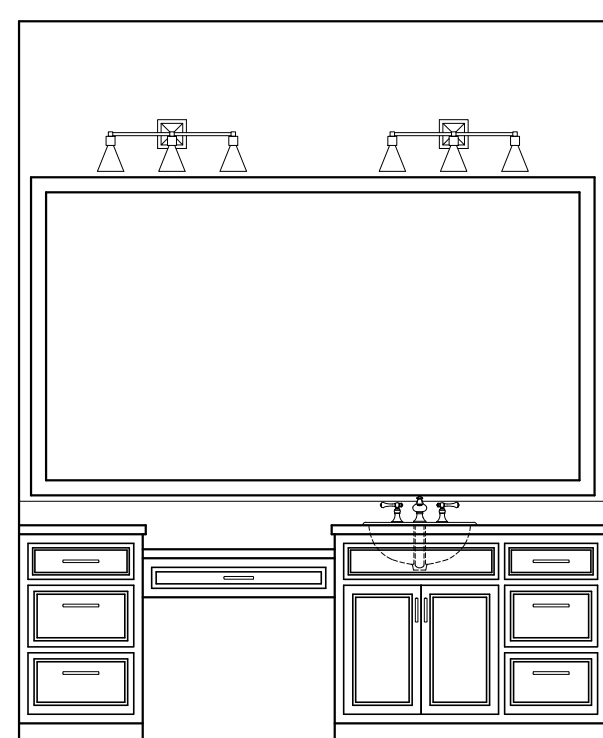
ISLAND ELEVS.
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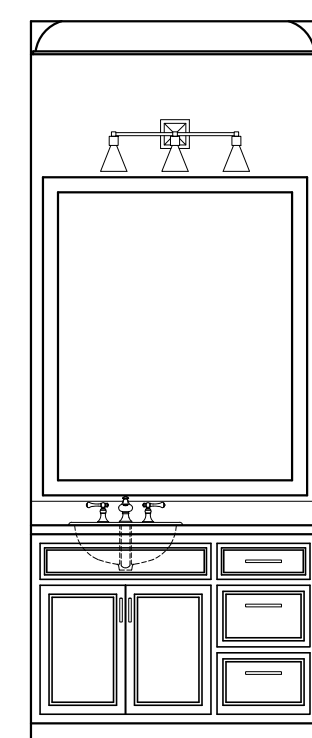
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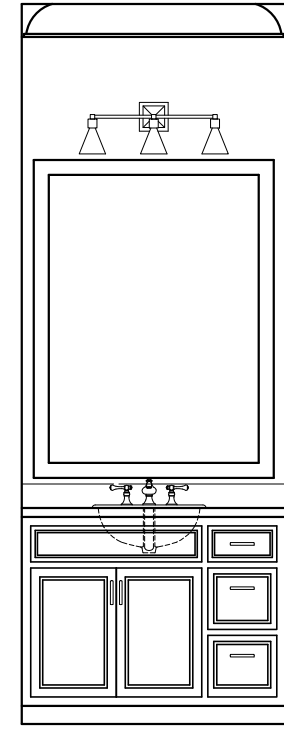
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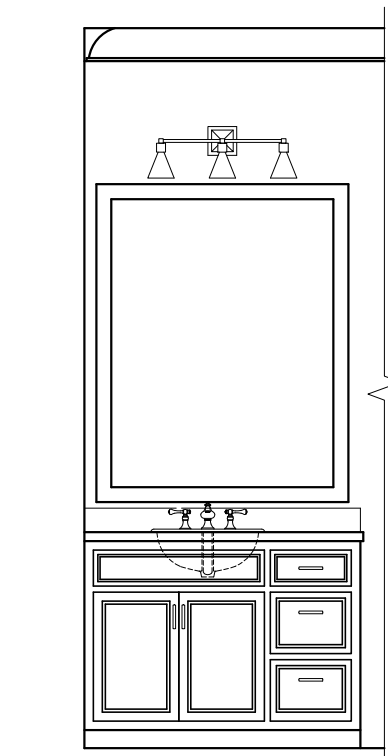
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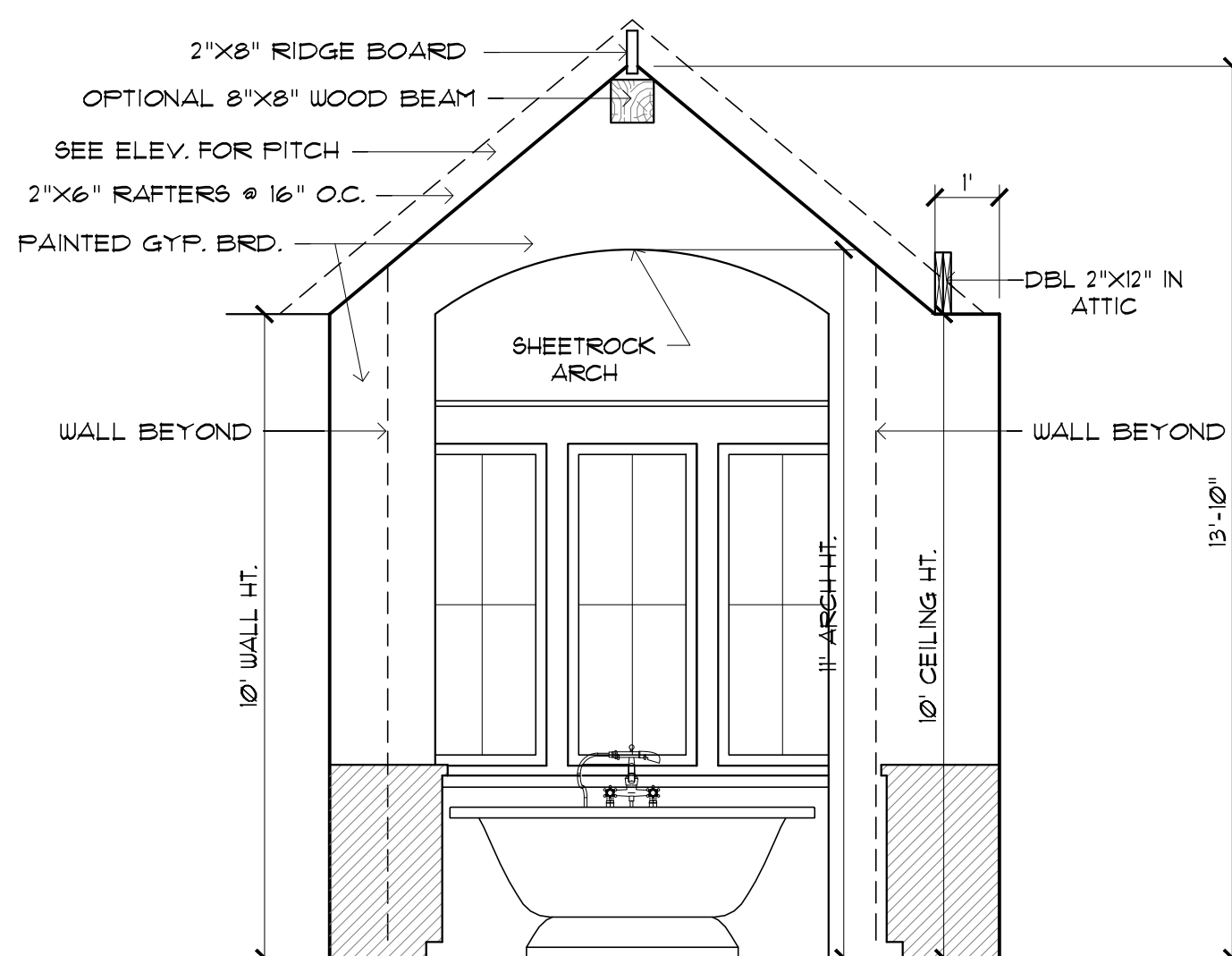
E ELEVATION
SCALE: 3/8" = 1'-0"



F ELEVATION
SCALE: 3/8" = 1'-0"



G ELEVATION
SCALE: 3/8" = 1'-0"

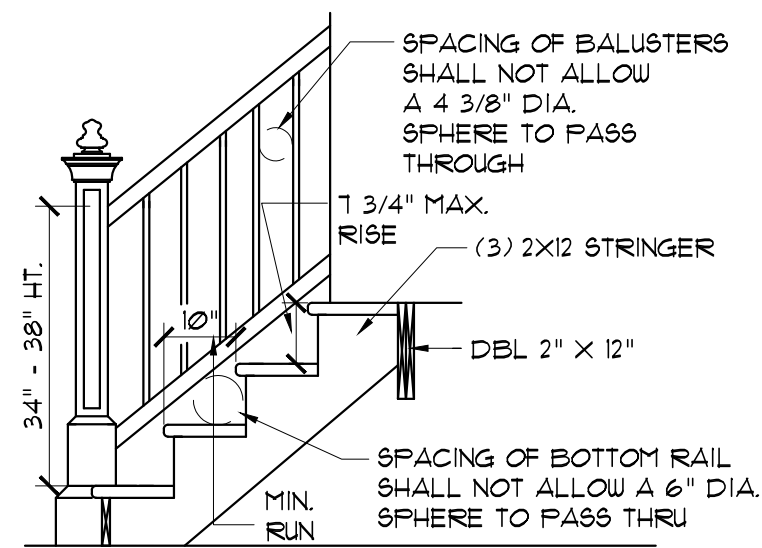


H M. BATH ELEVATION
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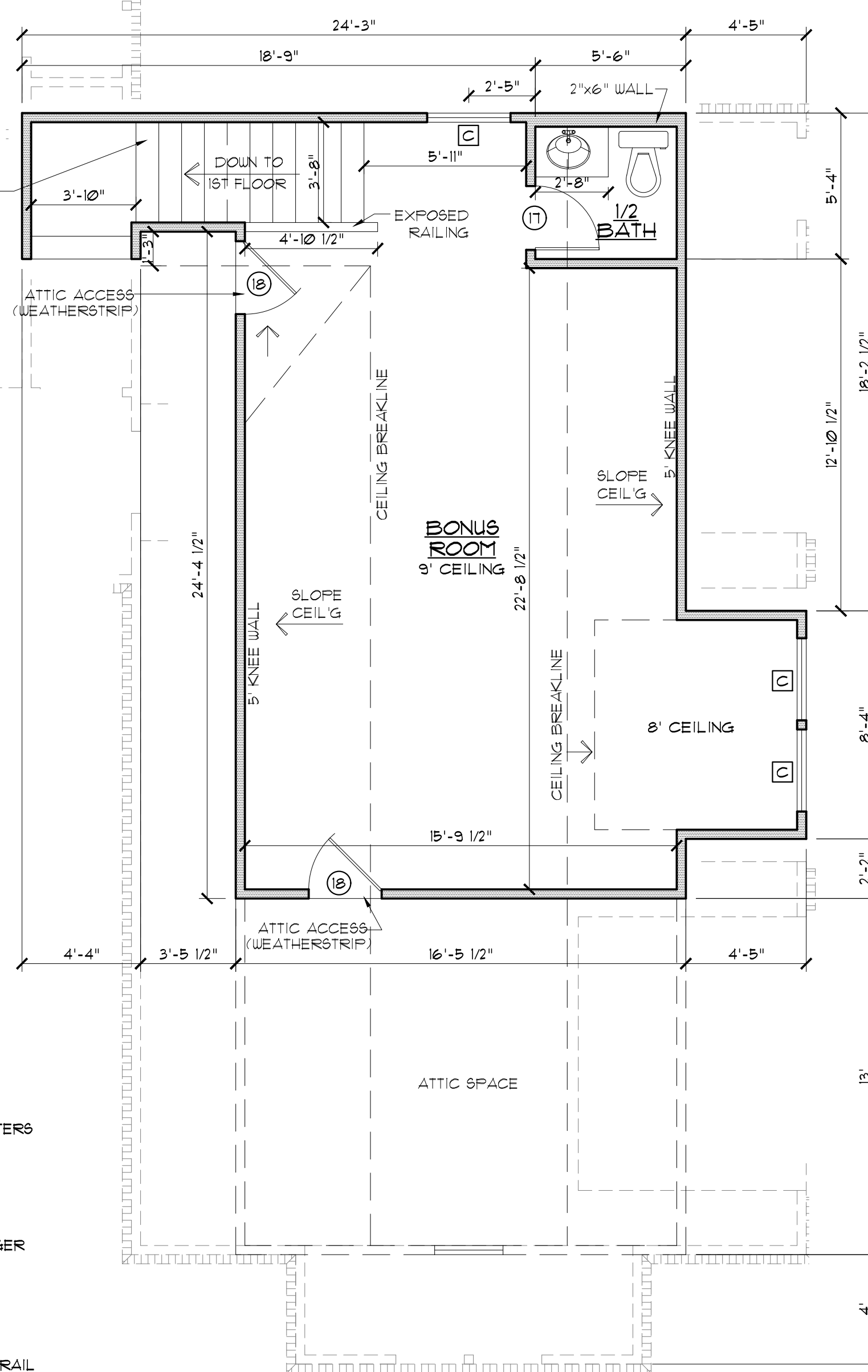
STAIRS DESIGNED AS
(16) 10-1/2" TREADS & 11
EQ. RISERS
MAX RISERS = 7-3/4"
TREAD MINIMUM = 10"

CODE DISCLAIMER:

- THESE PLANS WERE DESIGNED TO MEET IRC 2015 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF THE SOUTH LOUISIANA AREA. IT IS HIGHLY RECOMMENDED THAT THESE PLANS BE REVIEWED BY A LOCAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
- BEAMS AND FLOOR JOISTS ARE NOT SIZED DUE TO THE MANY GEOGRAPHIC LOCATIONS THESE PLANS ARE SOLD. THESE ITEMS SHALL BE SIZED BY A LOCAL ENGINEER OR MANUFACTURER.
- ALL CEILINGS & FLOOR JOISTS (IF CONVENTIONAL FRAMING) SHOULD BE SIZED USING THE LATEST VERSION OF THE IRC OR APPLICABLE CODES AT SITE TO MEET THE LOCAL REQUIREMENTS SUCH AS SNOW LOADS AND OTHER FACTORS. THE CEILING JOIST SIZES LABELED (IF PRESENT) WERE SIZED USING THE 2015 IRC AT THE TIME OF THEIR CREATION. THEY MUST BE VERIFIED AND MODIFIED AS REQUIRED TO MEET THE LATEST EDITION OF THE (IRC) INTERNATIONAL RESIDENTIAL CODE.
- ALL FOUNDATION AND FOOTING DETAILS SHALL BE REVIEWED AND APPROVED BY A LOCAL ENGINEER.
- CONTRACTOR SHALL PROVIDE ALL HIGH WIND STRAPPING AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL CODE REQUIREMENTS AND THE LATEST VERSION OF THE IRC.



STAIR DETAILS
N.T.S.



BONUS ROOM FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- ALL KITCHEN AND UTILITY COUNTERTOPS ARE SHOWN AS 2'-0" WIDE UNLESS STATED OTHERWISE.
- ALL BATHROOM LAVATORY COUNTERTOPS SHOWN AS 1'-10" WIDE.
- ALL EXTERIOR OVERALL DIMENSIONS ARE FROM EDGE OF FOUNDATION.
- ALL INTERIOR DIMENSIONS ARE FROM STUD FACE TO STUD FACE.
- ALL INTERIOR WALL THICKNESS SHOWN AS 4" UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK.
- BRICK VENEER WALL TIES (MAX 24" O.C. EACH WAY).
- FURNISHER OF THIS PLAN ASSUMES LIABILITY FOR ANY MODIFICATIONS MADE TO THE LAYOUT OF THIS PLAN.
- ALL WOOD FRAMING SHALL BE NO. 2 GRADE - SOUTHERN PINE LUMBER. ALL CEILING JOIST SPANS ARE BASED ON TABLE R302.5 (2) OF THE IRC. 2015 AND ARE DESIGNED FOR ATTICS WITH LIMITED STORAGE. (REFER TO FOUNDATION SHEET FOR SPANS).
- RE: SEC. 309 GLAZING IN HAZARDOUS LOCATIONS & TEMPERED GLASS FOR WINDOWS THAT ARE WITHIN 24" OF THE DOOR IN THE CLOSED POSITION, PROVIDING THE WINDOW IS LESS THAN 60" ABOVE THE FLOOR. (R308 IRC. 2015).
- MASONRY VENEER SHALL BE ANCHORED TO THE SUPPORTING WALL WITH CORROSION-RESISTANT METAL TIES SPACED NOT MORE THAN 24" ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2.61 SQ. FEET OF WALL PER SECTION R103.1.4.1.
- VENT HOOD IN KITCHEN MUST VENT TO THE OUTSIDE. MICROWAVE HOODS MUST VENT TO THE OUTSIDE WHERE APPLICABLE.
- DRYER VENT MUST HAVE MAX LENGTH 25'.
- ATTIC SPACES MUST PROVIDE 1 SQ. FT. VENTILATION PER 150 SQ. FT. OF AREA UNLESS CONDITIONED SPACE. (ATTICS R306)

WIND ZONE NOTES

- VERIFY WINDOW CODE REQUIREMENTS AT EACH BUILDING LOCATION, AND INSTALL WINDOWS AS PER CODE. REQUIREMENTS WILL VARY FROM DOUBLE INSULATED VINYL TO IMPACT RESISTANT DOUBLE INSULATED VINYL WINDOWS.
- ALL WINDOWS SHALL COMPLY WITH THE GOVERNING IRC/IBC. WINDOWS SHALL BE SELECTED BASED UPON THE COMPONENT AND CLADDING DESIGN PRESSURES.
- CONTRACTOR RESPONSIBLE FOR ANCHORAGE OF BOTTOM FLATE AND WALL STUDS TO FOUNDATION IN COMPLIANCE WITH THE GOVERNING EDITION OF IRC/IBC 1609.

HEADER SPANS FOR LOAD BEARING WALLS:

- SINGLE STORY:**
- 2 PLY 2X6" 4'-2" MAX
 - 2 PLY 2X8" 5'-4" MAX
 - 2 PLY 2X10" 7'-6" MAX
- 2 STORY:**
- 2 PLY 2X6" 3X1" MAX
 - 2 PLY 2X8" 4X6" MAX
 - 2 PLY 2X10" 6X2" MAX
- REFER TO IRC R502.5 (1) AND (2) FOR ADDITIONAL HEADER AND GIRDER SPANS

NOTE:

GENERAL CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION BUILDING SYSTEMS PER IRC CODE (SECTION R306). SYSTEMS TO BE USED TO MEET ROOF VENTILATION REQUIREMENTS ARE AS FOLLOWS: CONTINUOUS RIDGE VENTS, POWER VENTS, BOX VENTS, AND GABLE/DORMER VENTS WHEN APPROVED BY OWNER.

SOFFIT VENTS TO BE USED ONLY IN ACCORDANCE W/ IRC CODE (SECTION R302 AND TABLE R302.1) TO ACCOMMODATE APPROPRIATE FIRE SEPARATION DISTANCES.

GENERAL MATERIALS:

- EXTERIOR WALLS:
 - BRICK VENEER
 - REINFORCED CEMENTITIOUS SIDING
 - "TYVEK" BUILDING WRAP
 - 1/2" OSB SHEATHING
 - R-13 BATT INSULATION
 - 2X4 STUDS @ 1'-4" O.C. (UNLESS NOTED)
 - 1/2" GYPSUM BOARD INTERIOR
- INTERIOR WALLS:
 - 2X4 STUDS @ 1'-4" O.C.
 - 1/2" GYPSUM BOARD ON BOTH SIDES
- CEILING:
 - 1X JOISTS @ 1'-4" O.C.
 - R-38 INSULATION
 - 1/2" GYPSUM BOARD
- ROOF SYSTEM:
 - 30 YEAR FIBERGLASS SHINGLES
 - 5/8" OSB OR CDX FLYWOOD
 - STANDING SEAM METAL ROOF
 - 15 FELT
 - 2X6 RAFTERS @ 20" O.C.

NOTE: ALL ROOFING PRODUCTS, MATERIALS AND INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS UNLESS CHANGED BY GENERAL CONTRACTOR AT OWN DISCRETION.

PROTECTION AGAINST TERMITES:

- SUBTERRANEAN TERMITE CONTROL. IN AREAS FAVORABLE TO TERMITE DAMAGE METHODS OF PROTECTION SHALL BE BY CHEMICAL SOIL TREATMENT, PRESSURE-TREATED WOOD, NATURALLY TERMITE RESISTANT WOOD OR PHYSICAL BARRIERS (SUCH AS METAL OR PLASTIC TERMITE SHIELDS), OR ANY COMBINATION OF THESE METHODS.
- CHEMICAL SOIL TREATMENT. THE CONCENTRATION, RATE OF APPLICATION AND TREATMENT METHOD OF THE TERMITICIDE LABEL.
- PRESSURE-TREATED AND NATURALLY RESISTANT WOOD. HEARTWOOD OF REDWOOD AND EASTERN RED CEDAR SHALL BE CONSIDERED TERMITE RESISTANT. PRESSURE-TREATED WOOD AND NATURALLY TERMITE RESISTANT WOOD SHALL NOT BE USED AS A PHYSICAL BARRIER UNLESS A BARRIER CAN BE INSPECTED FOR ANY TERMITE SHELTER TUBES AROUND THE INSIDE AND OUTSIDE EDGES AND JOINTS OF A BARRIER.
- FIELD TREATMENT. FIELD CUT ENDS, NOTCHES, AND DRILLED HOLES OF PRESSURE-TREATED WOOD SHALL BE RETREATED IN THE FIELD ACCORDING TO ALUPA 14.

IMPORTANT NOTE:

ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. GRADE FLOOR WINDOWS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". MAXIMUM SILL HEIGHT - 44" AFF.

WINDOW SCHEDULE			
MARK	OPENING SIZE	DESCRIPTION	QTY.
A	2'6" x 4'6"	2/2 LITE VINYL FIXED INSULATED WINDOW (SEE ELEVATIONS)	3
B	2'0" x 2'0"	4 LITE VINYL FIXED INSULATED WINDOW (SEE ELEVATIONS)	2
C	3'0" x 5'0"	2/2 LITE VINYL SINGLE HUNG WINDOW INSULATED	3
D	3'0" x 6'0"	2/2 LITE VINYL SINGLE HUNG WINDOW INSULATED	4
E	2'6" x 5'0"	2/2 LITE VINYL SINGLE HUNG WINDOW INSULATED	2
F	2'0" x 5'0"	4 LITE VINYL FIXED PICTURE W/ TEMPERED GLASS	4
G	2'6" x 5'0"	4 LITE VINYL FIXED INSUL. WINDOW W/ 16" TRANSOM (MULLED)	3
H	4'0" x 7'0"	2/2 LITE VINYL SH. INSULATED WINDOW W/ 20" TRANSOM	6
J	3'0" x 7'0"	2/2 LITE VINYL SH. INSULATED WINDOW W/ 24" TRANSOM	3

DOOR SCHEDULE			
MARK	SIZE	DESCRIPTION	QTY.
1	DBL 2'6" x 8'0"	EXT. 6 LITE 3/4 FRENCH SOLID WOOD DOORS W/ 20" TRANS.	3 PAIR
2	3'0" x 8'0"	EXTERIOR 6 LITE 3/4 FRENCH SOLID WOOD DOOR	1
3	3'0" x 8'0"	EXT. 8 LITE FULL FRENCH SOLID WOOD DOOR W/ 20" TRANS.	1
4	DBL 2'6" x 8'0"	EXTERIOR 8 LITE FULL FRENCH SOLID WOOD DOORS	1 PAIR
5	10'0" x 8'0"	INSULATED METAL CARRIAGE STYLE GARAGE DOOR W/ LITES	3
6	3'0" x 8'0"	EXTERIOR RAISED PANEL METAL DOOR	3
7	3'0" x 9'0"	CASED OPENING	4
8	3'0" x 8'0"	INTERIOR RAISED PANEL HOLLOW CORE MASONITE DOOR	3
9	2'8" x 8'0"	INTERIOR RAISED PANEL HOLLOW CORE MASONITE DOOR	3
10	2'4" x 8'0"	INTERIOR RAISED PANEL HOLLOW CORE MASONITE DOOR	6
11	2'0" x 8'0"	INTERIOR RAISED PANEL HOLLOW CORE MASONITE DOOR	2
12	2'6" x 8'0"	INTERIOR RAISED PANEL HOLLOW CORE MASONITE DOOR	2
13	2'4" x 8'0"	INTERIOR RAISED PANEL MASONITE POCKET DOOR	3
14	DBL 1'6" x 8'0"	INTERIOR RAISED PANEL HOLLOW CORE MASONITE DOORS	1 PAIR
15	2'0" x 8'0"	SLIDING BARN DOOR - OWNER SELECT	1
16	DBL 2'4" x 8'0"	SLIDING BARN DOORS - OWNER SELECT	1 PAIR
17	2'4" x 6'8"	INTERIOR RAISED PANEL HOLLOW CORE MASONITE DOOR	1
18	2'8" x 6'8"	SOLID CORE ATTIC ACCESS DOOR	2

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Sheet Title
BONUS ROOM/ INT. ELEVS.

Sheet:
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A1.1

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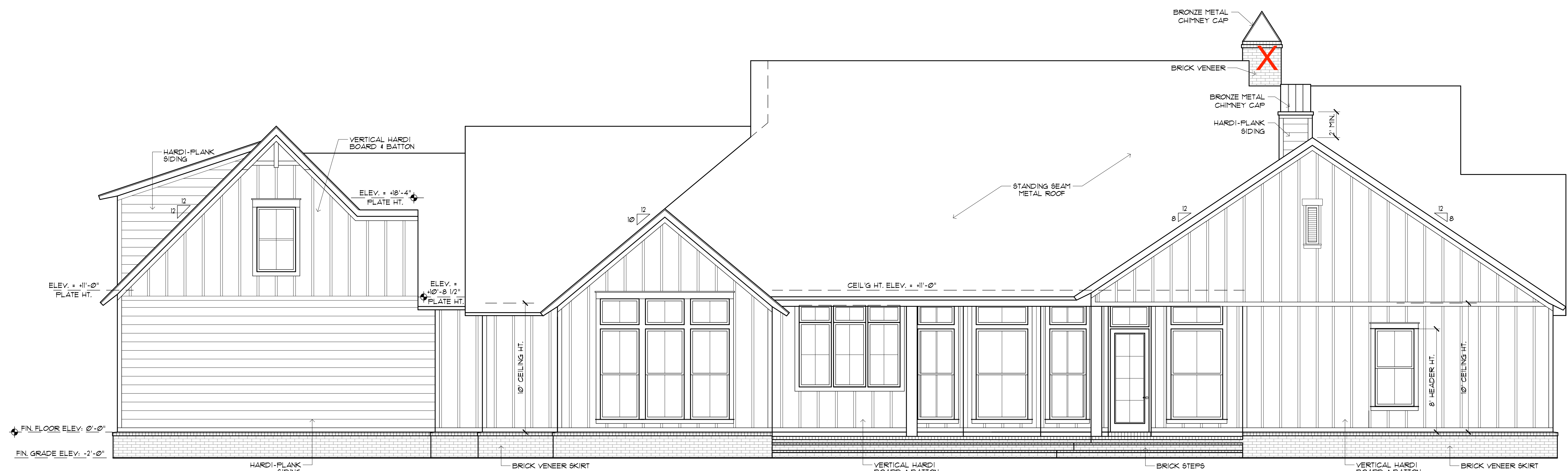
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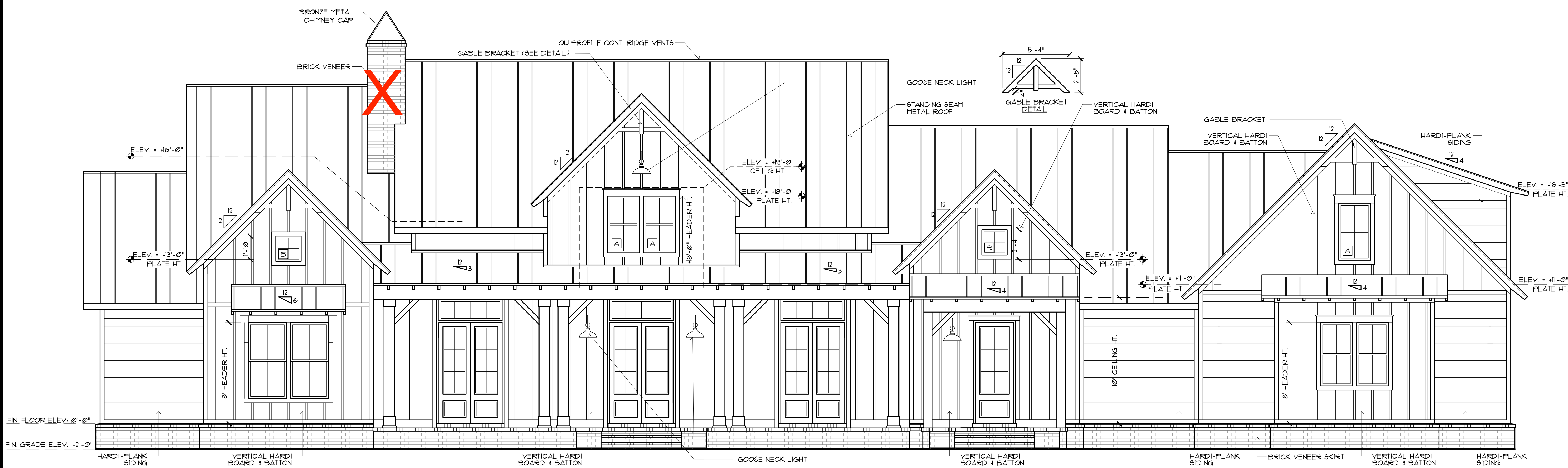
FRONT & REAR ELEVATIONS

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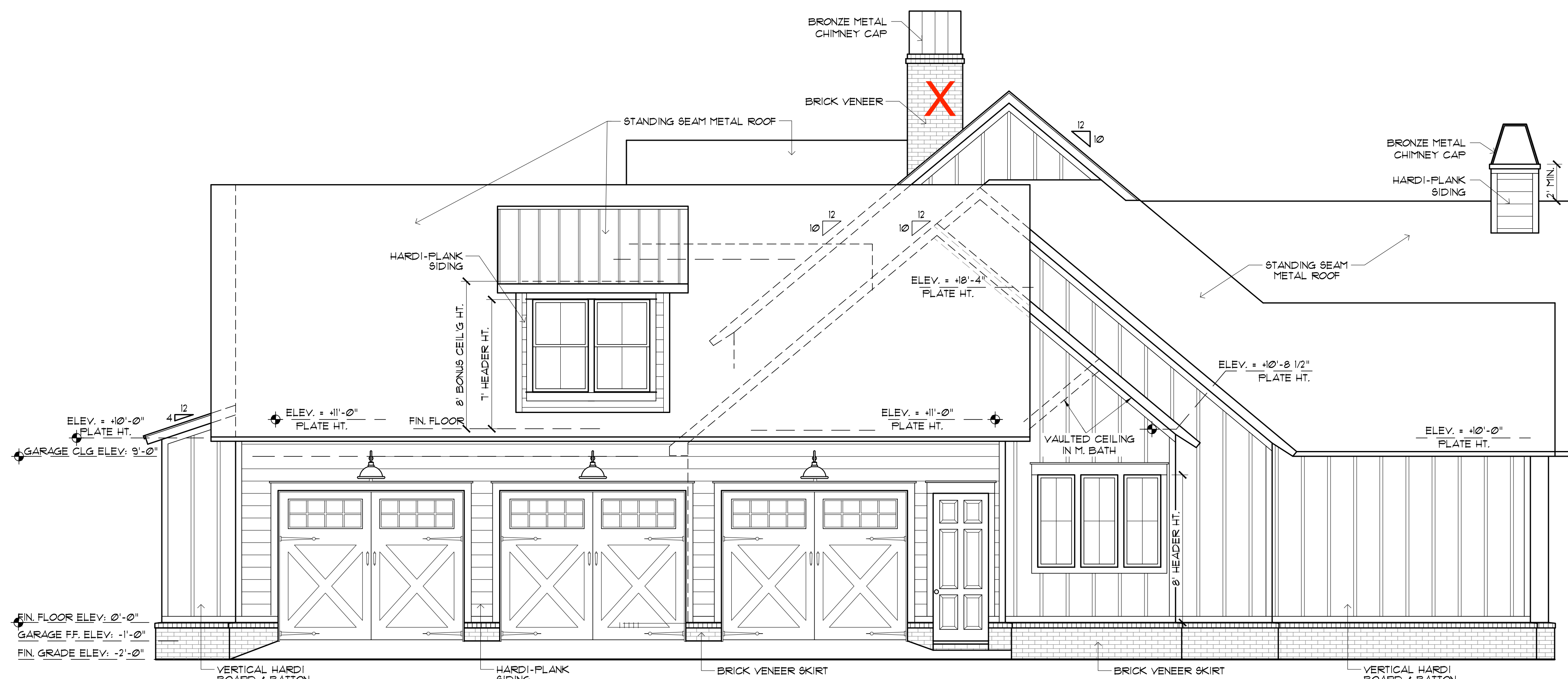
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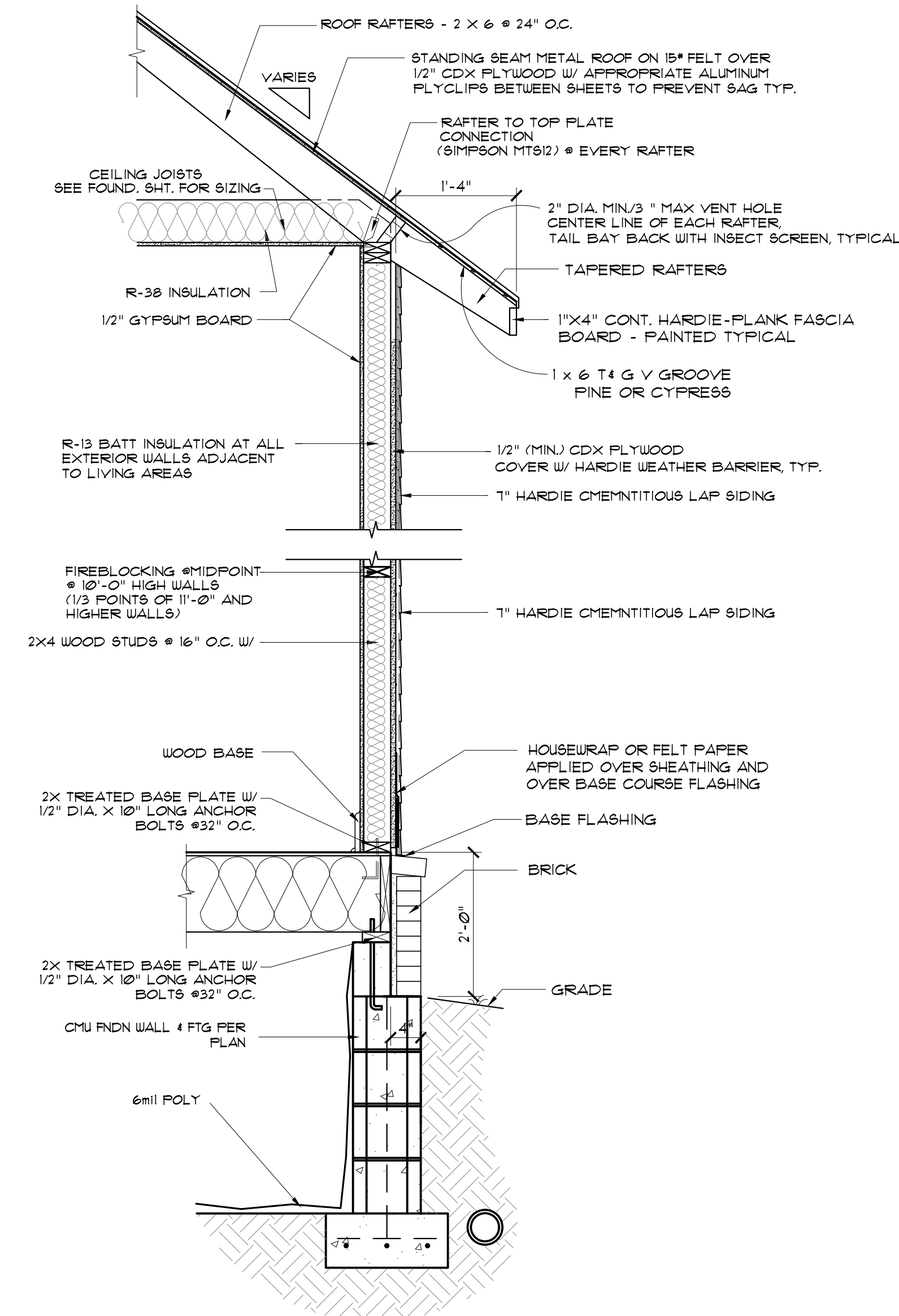
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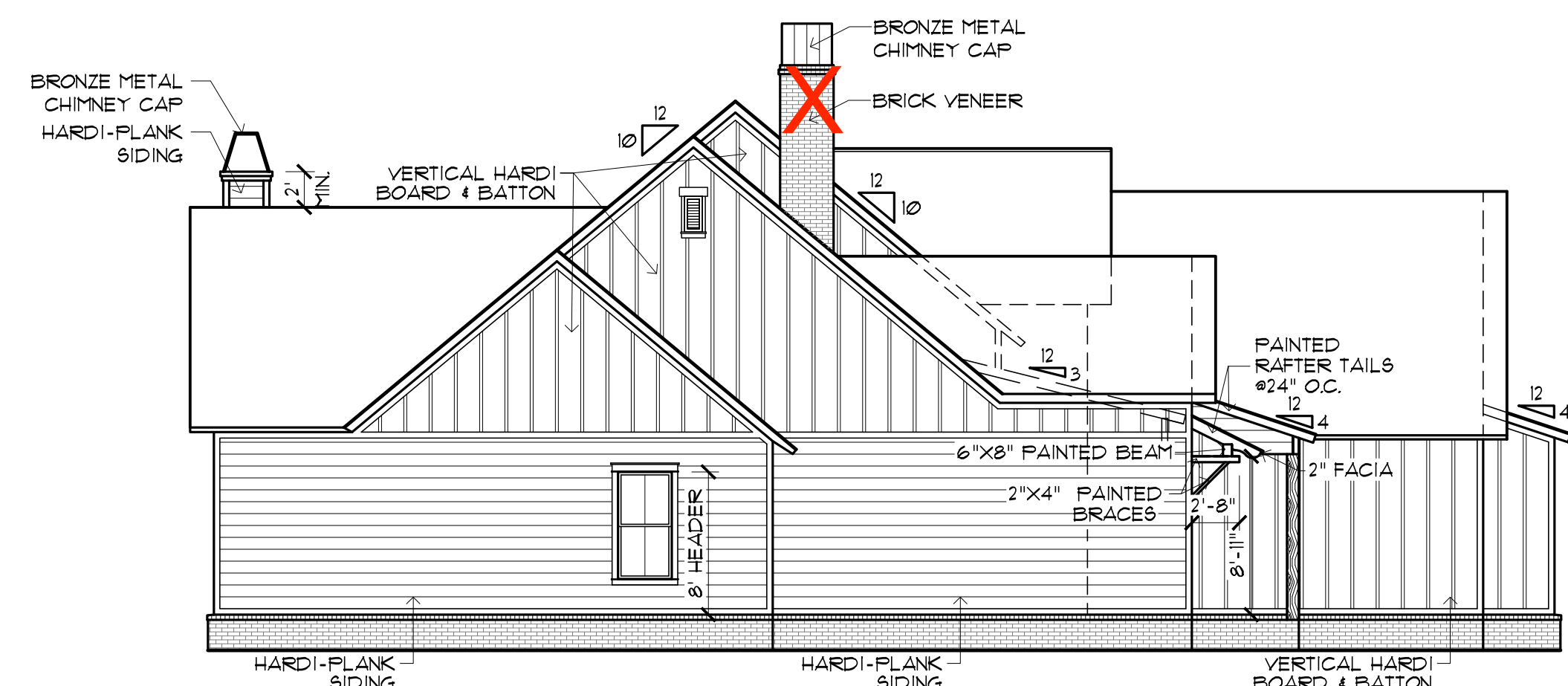
FRONT ELEVATION
SCALE: 1/4"=1'-0"



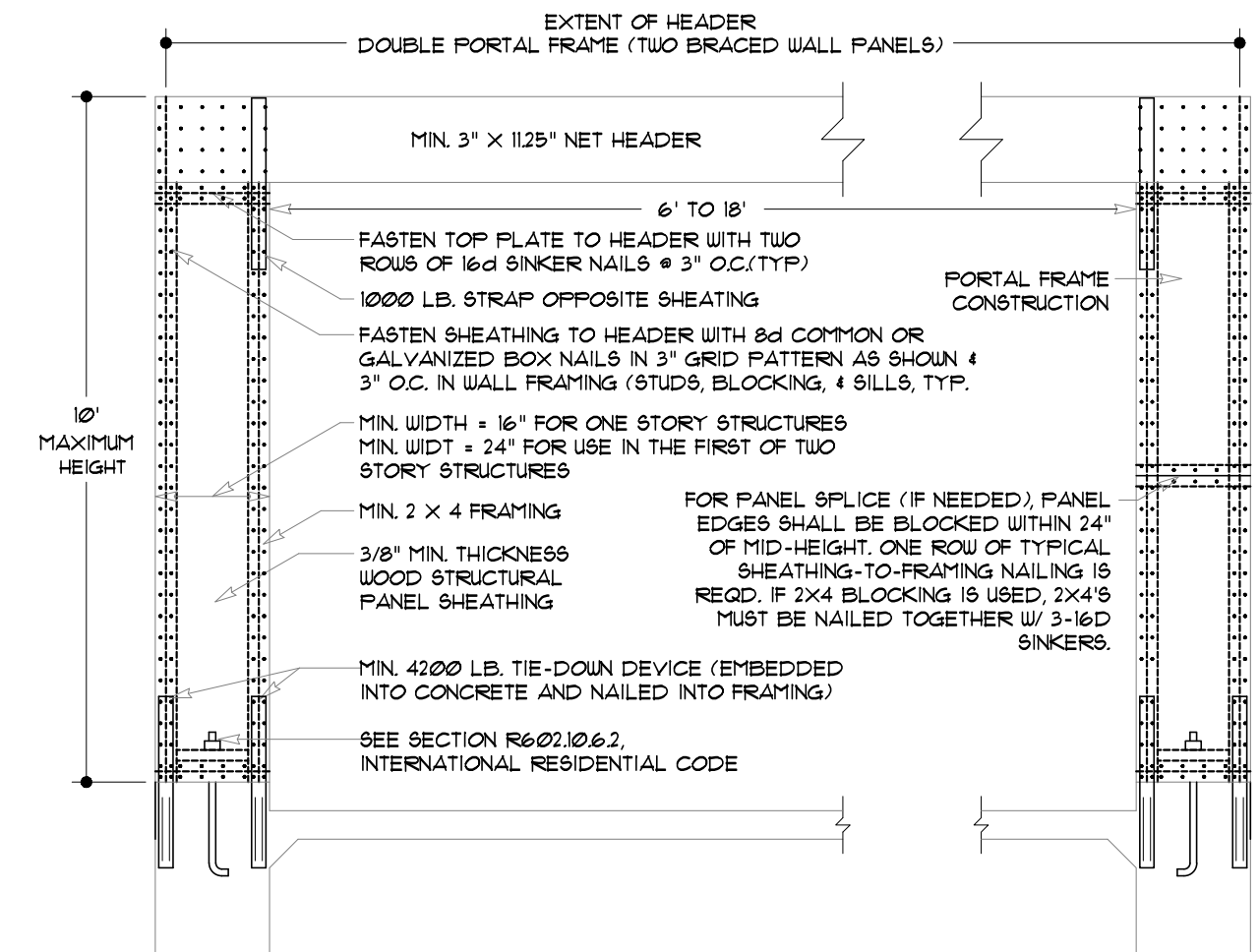
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



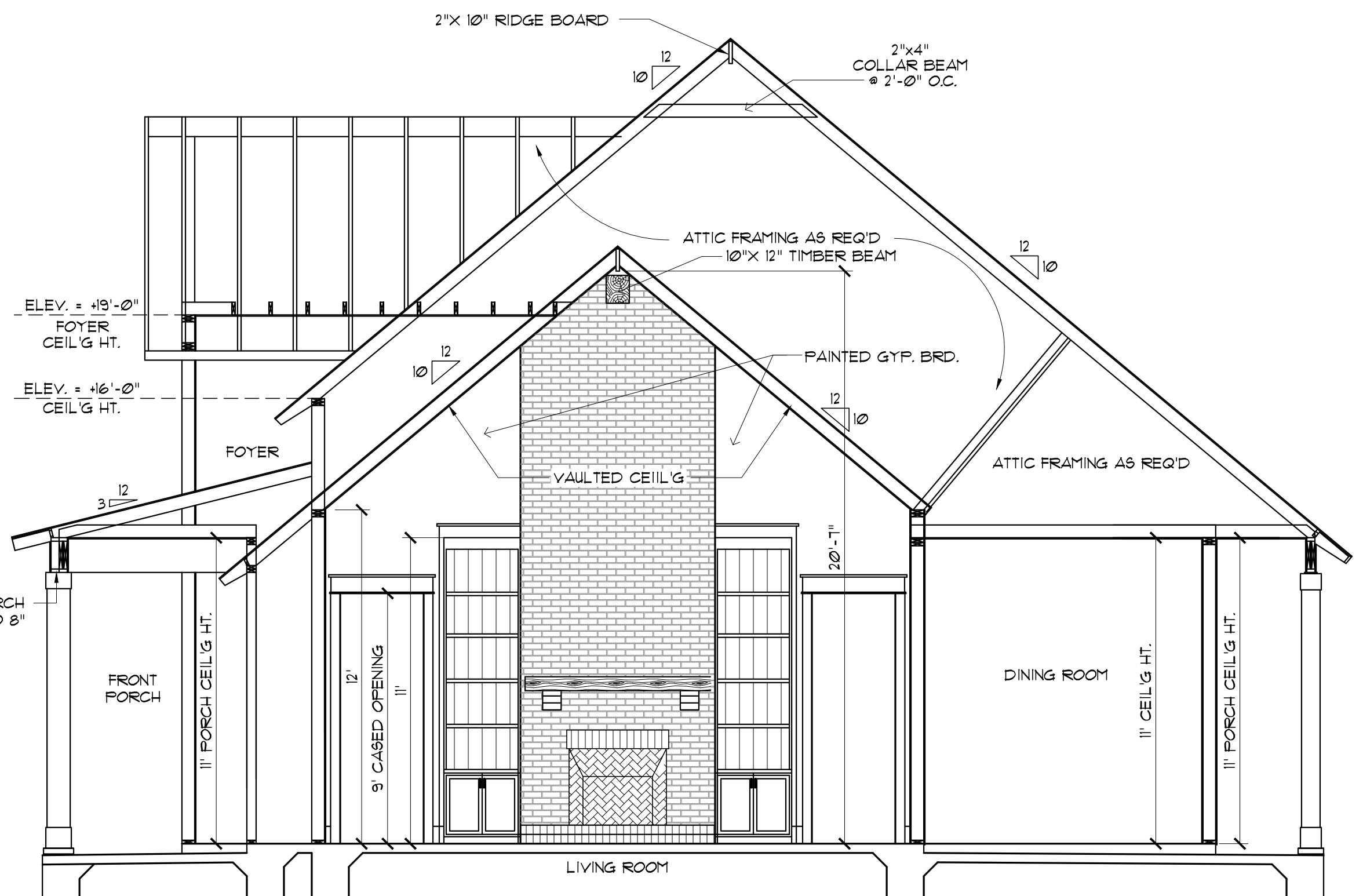
TYPICAL WALL SECTION @ LAP SIDING
SCALE: 3/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



1 GARAGE PORTAL DETAIL
NOT TO SCALE



2 CROSS SECTION
SCALE: 1/4" = 1'-0"

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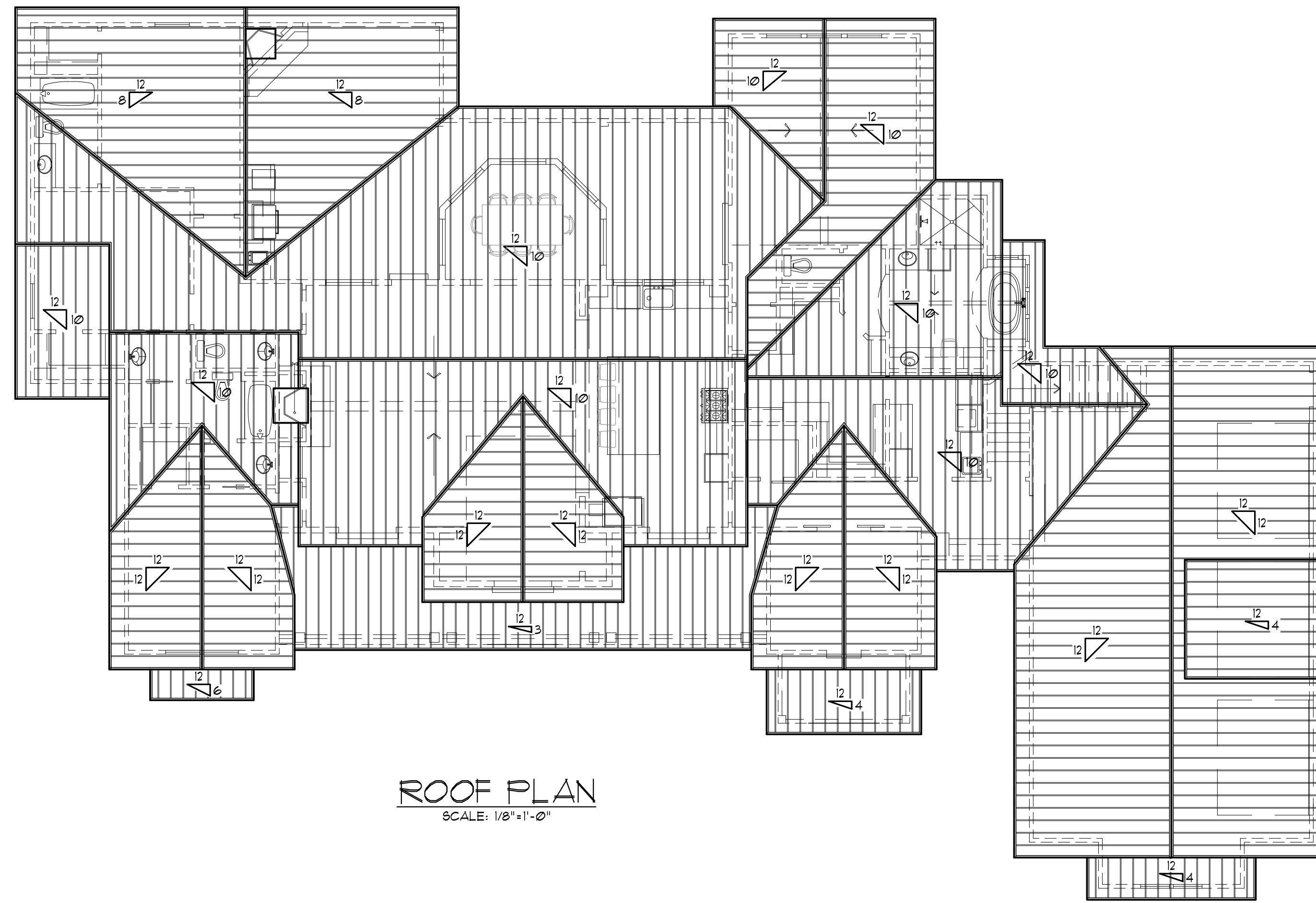
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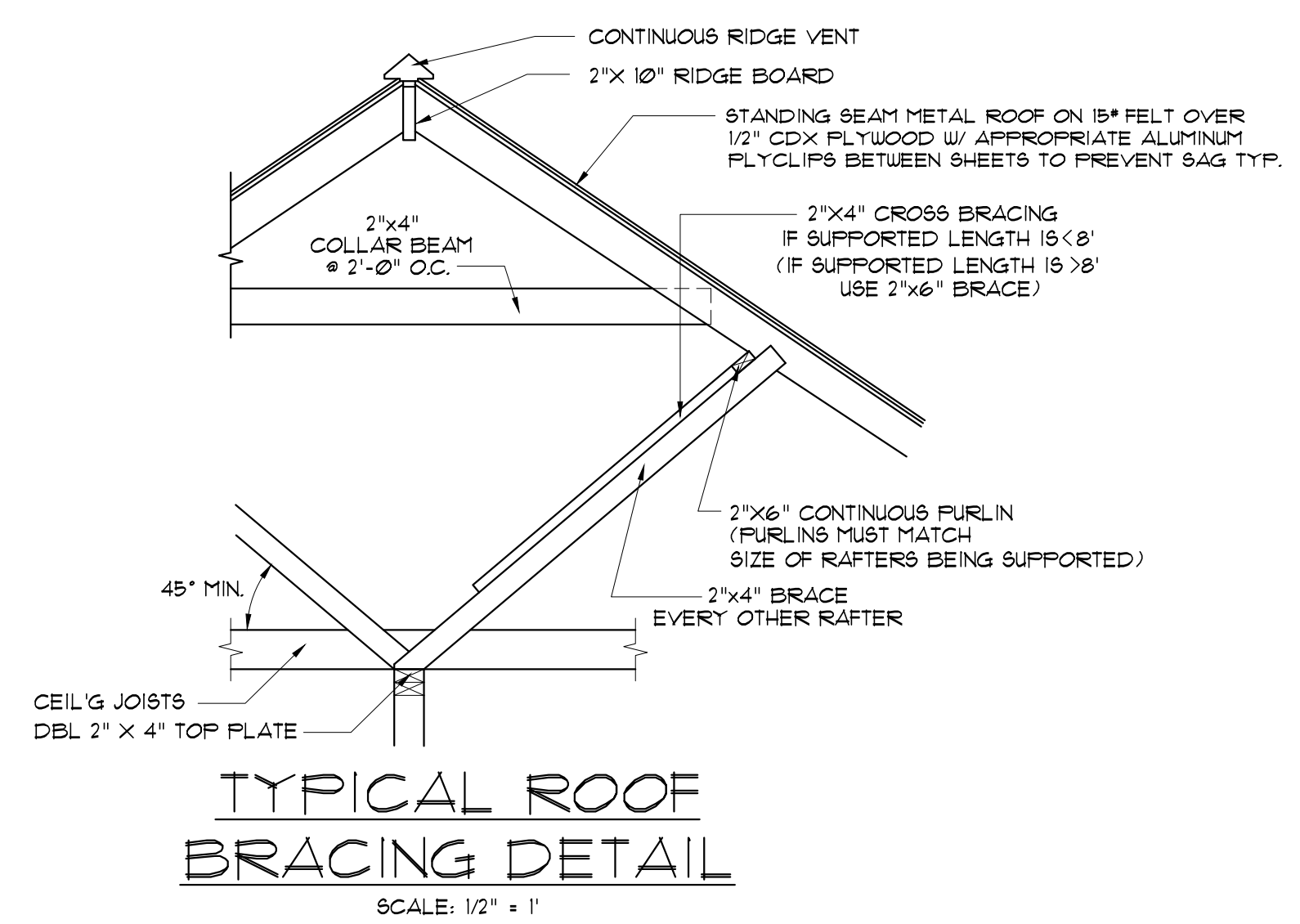
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ELEVS. & CROSS SECTION

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ROOF PLAN
SCALE: 1/8" = 1'-0"



TYPICAL ROOF BRACING DETAIL
SCALE: 1/2" = 1'

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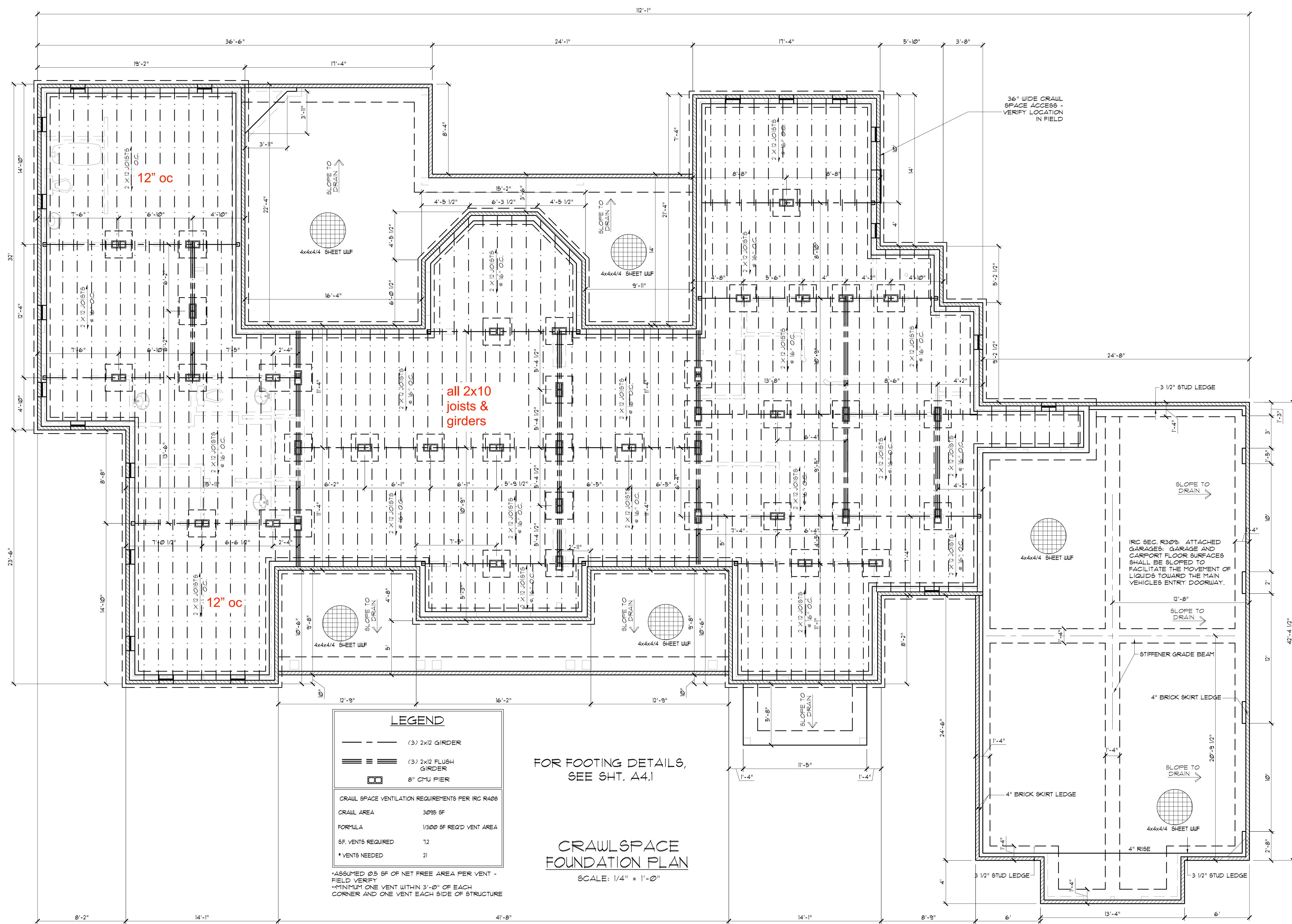
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ROOF PLAN

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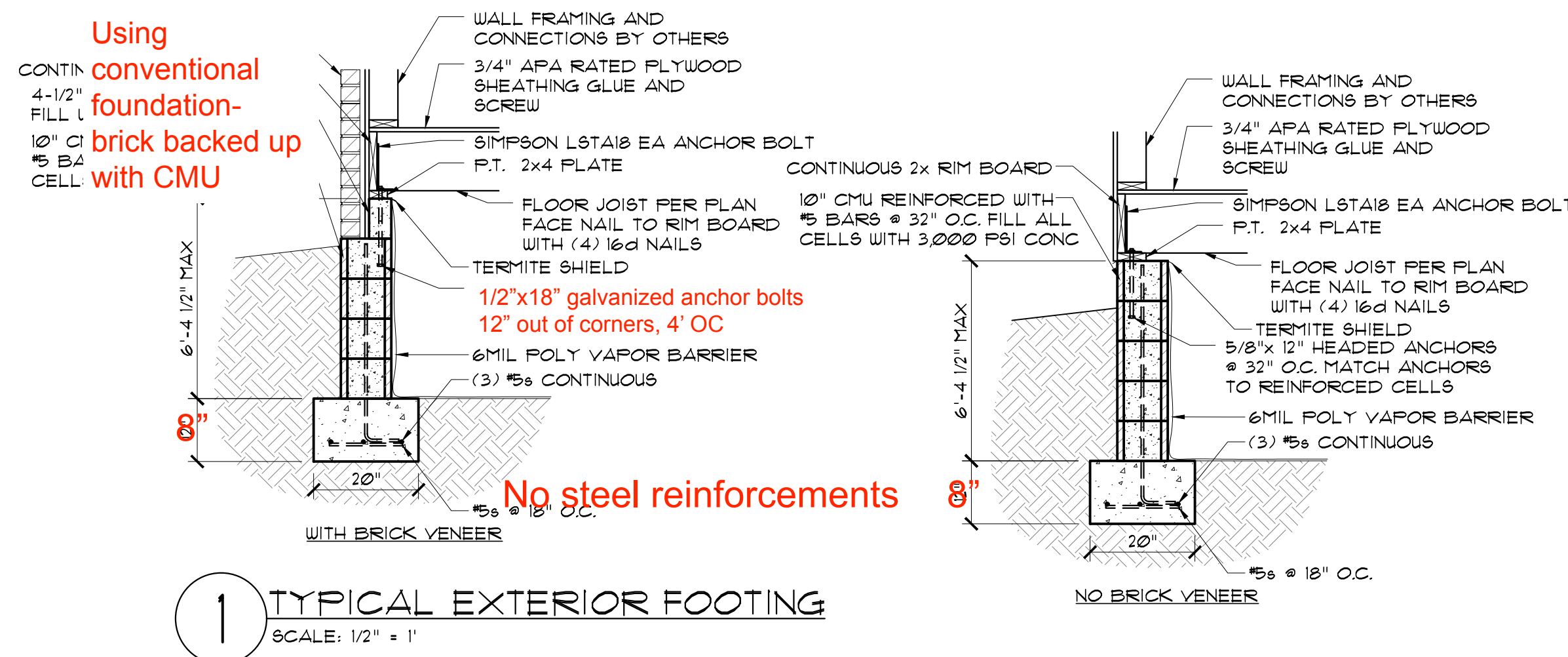
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Sheet Title
FOUNDATION & JOIST PLAN

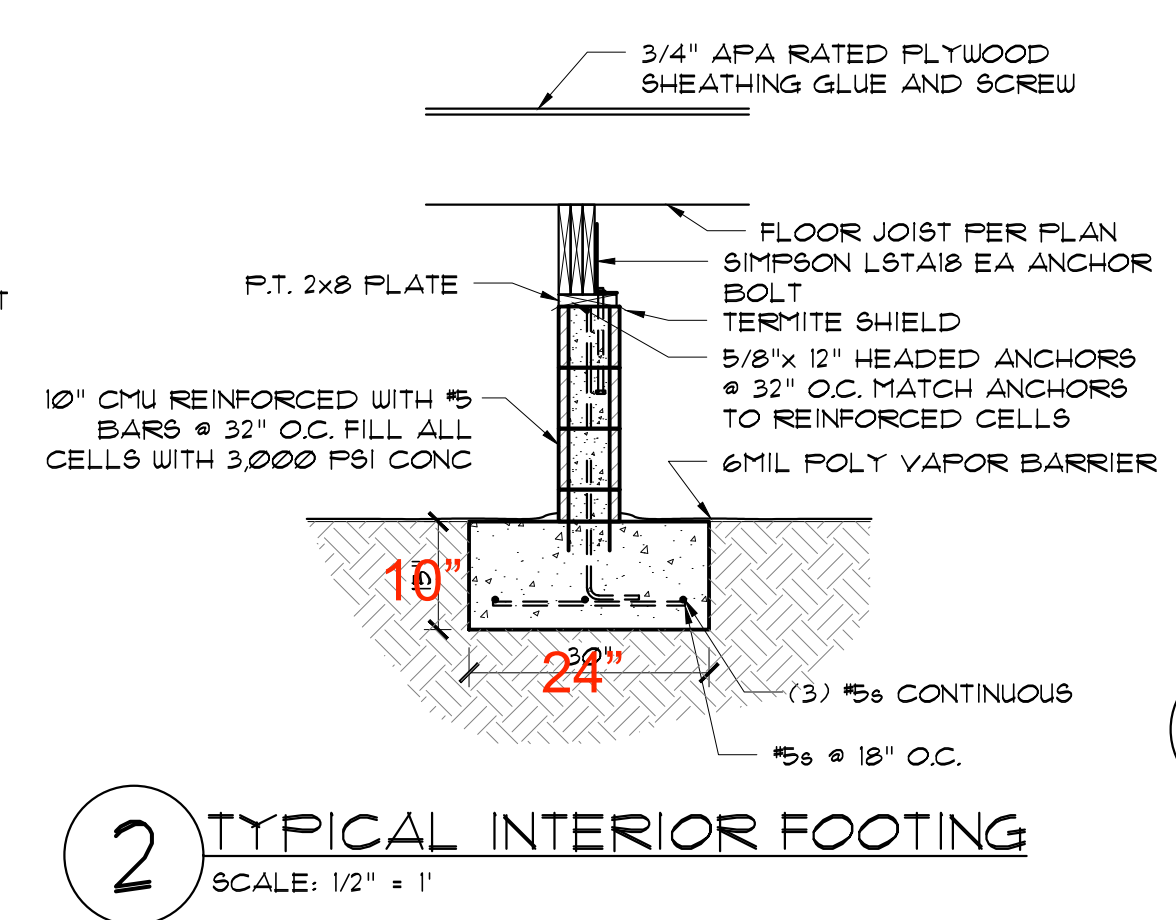
Sheet:
 Preliminary Dwg.
 Bidding Doc.
 Construction Doc.

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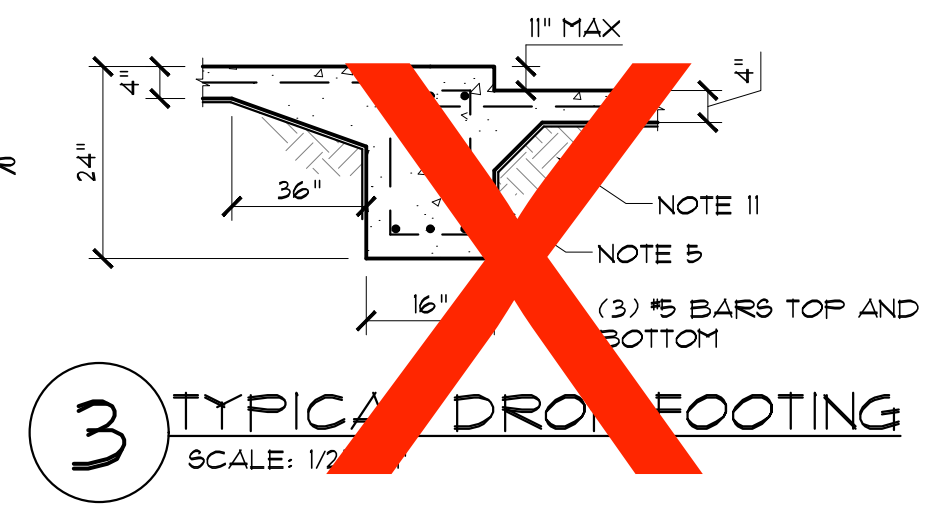


Using conventional foundation-brick backed up with CMU

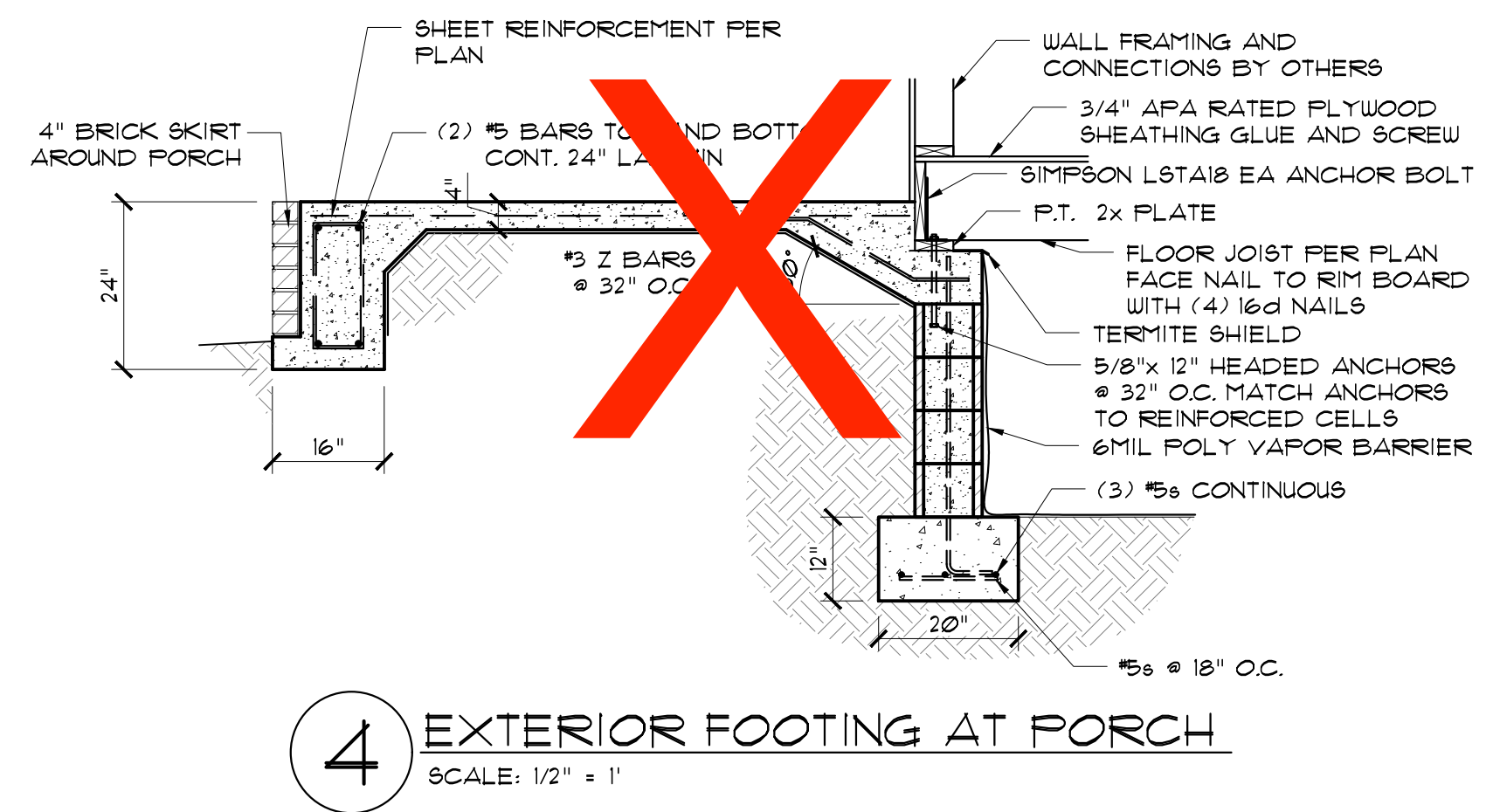
No steel reinforcements



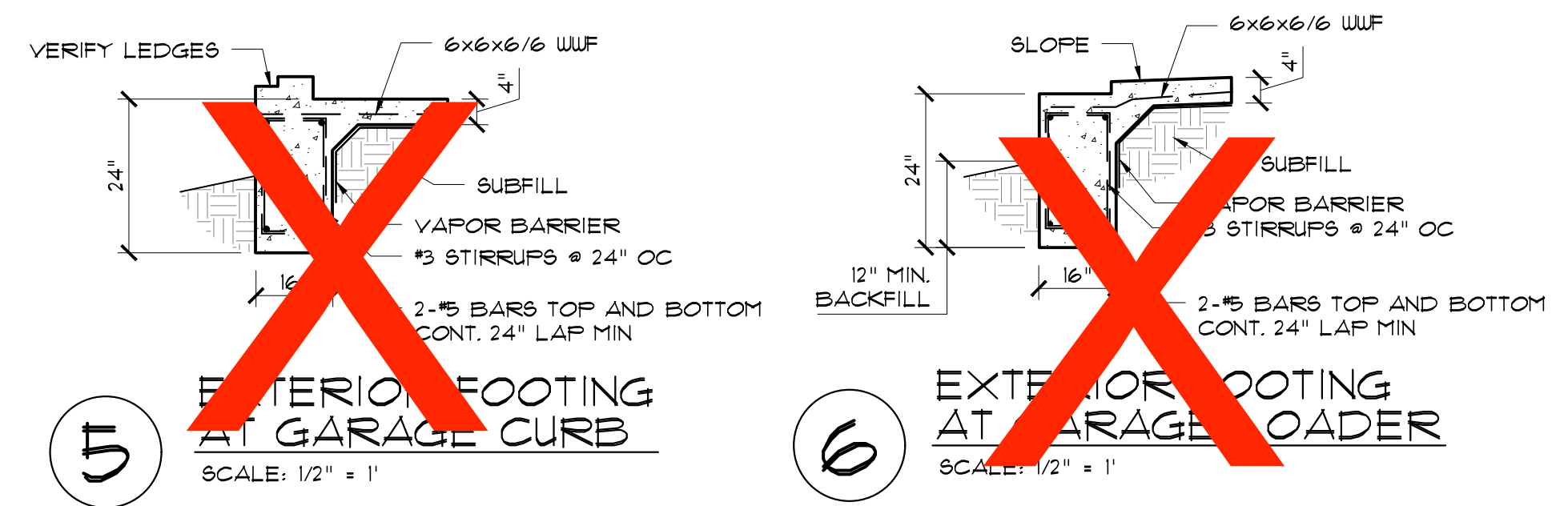
2 TYPICAL INTERIOR FOOTING
SCALE: 1/2" = 1"



3 TYPICAL DROP FOOTING
SCALE: 1/2" = 1"



4 EXTERIOR FOOTING AT PORCH
SCALE: 1/2" = 1"



5 EXTERIOR FOOTING AT GARAGE CURB
SCALE: 1/2" = 1"

6 EXTERIOR FOOTING AT GARAGE LOADER
SCALE: 1/2" = 1"

FOUNDATION GENERAL NOTES

THIS GENERIC FOUNDATION PLAN IS DESIGNED FOR NON EXPANSIVE SOILS WITH A BEARING CAPACITY OF AT LEAST 2500 PSF AND AN EFFECTIVE FRICTION ANGLE OF NO LESS THAN 30°. THIS PLAN IS NOT CERTIFIED FOR A SPECIFIC LOCATION, RECOMMENDED SITE GEOTECHNICAL INVESTIGATION AND COORDINATION OF THE FOUNDATION PLAN WITH SITE CONDITIONS BY A LOCAL ENGINEERING FIRM.

1. CONCRETE SHOULD HAVE MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS CONCRETE DESIGN MIX SHOULD BE IN ACCORDANCE WITH ACI-318 (LATEST VERSION).
2. ALL CONVENTIONAL REINFORCING STEEL SHALL MEET ASTM-A615 (GRADE 60). REINFORCING STEEL SHALL BE DETAILED AND ACCESSORIES PROVIDED IN ACCORDANCE WITH THE LATEST "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES".
3. REINFORCEMENT SHALL HAVE 3" COVER IN THE GRADE BEAM BOTTOMS, 3" COVER IN THE BEAM SIDES AND TOP, 1-1/2" COVER IN THE SLAB TOPS AND THE BOTTOMS, UNLESS NOTED OTHERWISE.
4. 1 LAYER OF 6 MIL POLYETHYLENE VAPOR BARRIER.
5. CONCRETE SHALL BE WELL CONSOLIDATED.
6. THE CONTRACTOR SHALL VERIFY ALL DROPS, OFF-SET, BRICK LEDGES, AND BLOCK OUTS AN ARCHITECTURAL PLANS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT MAY EXIST.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE STRUCTURAL DRAWINGS WITH ALL OTHER DRAWINGS.
8. ALTERATION TO OR DEVIATION FROM THE INFORMATION SHOWN ON THIS SHEET WITHOUT THE WRITTEN ADVANCED APPROVAL FROM THE ENGINEER WILL VOID DESIGNERS RESPONSIBILITY.
9. THIS PLAN IS FOR GRADE BEAM LOCATION AND REBAR LAYOUT ONLY.
10. ALL SUBGRADE FILL SHALL BE SELECT GRANULAR MATERIAL COMPACTED TO 95% MODIFIED PROCTOR DENSITY IN A MAXIMUM OF 6" LIFTS.
11. A MINIMUM OF 4" OF CONCRETE SHALL BE MAINTAINED THROUGHOUT THE ENTIRE SLAB.
12. ALL RUNOFF WATER SHALL BE CARRIED AWAY FROM THE SLAB TO PREVENT SATURATION OF THE SUBBASE.
13. ALL TREES WITHIN CLOSE PROXIMITY SHALL BE MOVED TO PREVENT THE ROOTS FROM EXTENDING UNDER THE SLAB.
14. REMOVE A MINIMUM OF 6" OF EXISTING SOIL PRIOR TO PLACING ANY FILL.
15. A MAXIMUM OF 20 FEET TO FILL MAY BE PLACED ON THE SITE.
16. FOLLOW REQUIREMENTS OF LOCAL JURISDICTIONS FOR REQUIRED DEPTH TO FROST LINE. CONTACT ENGINEER SHOULD REQUIREMENTS EXCEED THE LIMITS OF THIS DESIGN.
17. NO FIELD SUPERVISION PROVIDED UNDER THIS SEAL UNLESS OTHERWISE NOTED.

DO NOT USE THIS PLAN TO SET FORMS, REFER TO ARCHITECTURAL PLANS FOR DOOR OPENINGS AND EXACT DIMENSIONS!!!

CRAWLSPACE FOUNDATION DETAILS

MADDEN HOME DESIGN, LLC NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM. THIS PLAN IS NOT CERTIFIED FOR A SPECIFIC LOCATION, RECOMMENDED SITE GEOTECHNICAL INVESTIGATION AND COORDINATION OF THE FOUNDATION PLAN WITH SITE CONDITIONS BY A LOCAL ENGINEERING FIRM. EVERY EFFORT HAS BEEN MADE TO INSURE ALL DIMENSIONS ARE CORRECT AND ENVIRONMENTAL REGULATIONS HAVE BEEN MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTOR AT HIS OWN EXPENSE. MADDEN HOME DESIGN, LLC IS NOT PROVIDING SERVICE. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF DIMENSIONS IN THE FIELD AND SHALL BUILD HOME IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2015.

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A | **B**
D

Project No.: The Tanglewood-Mirror
DATE: JANUARY 3, 2022
DRAWN BY: Steven Madden
DESIGNED BY: Steven Madden

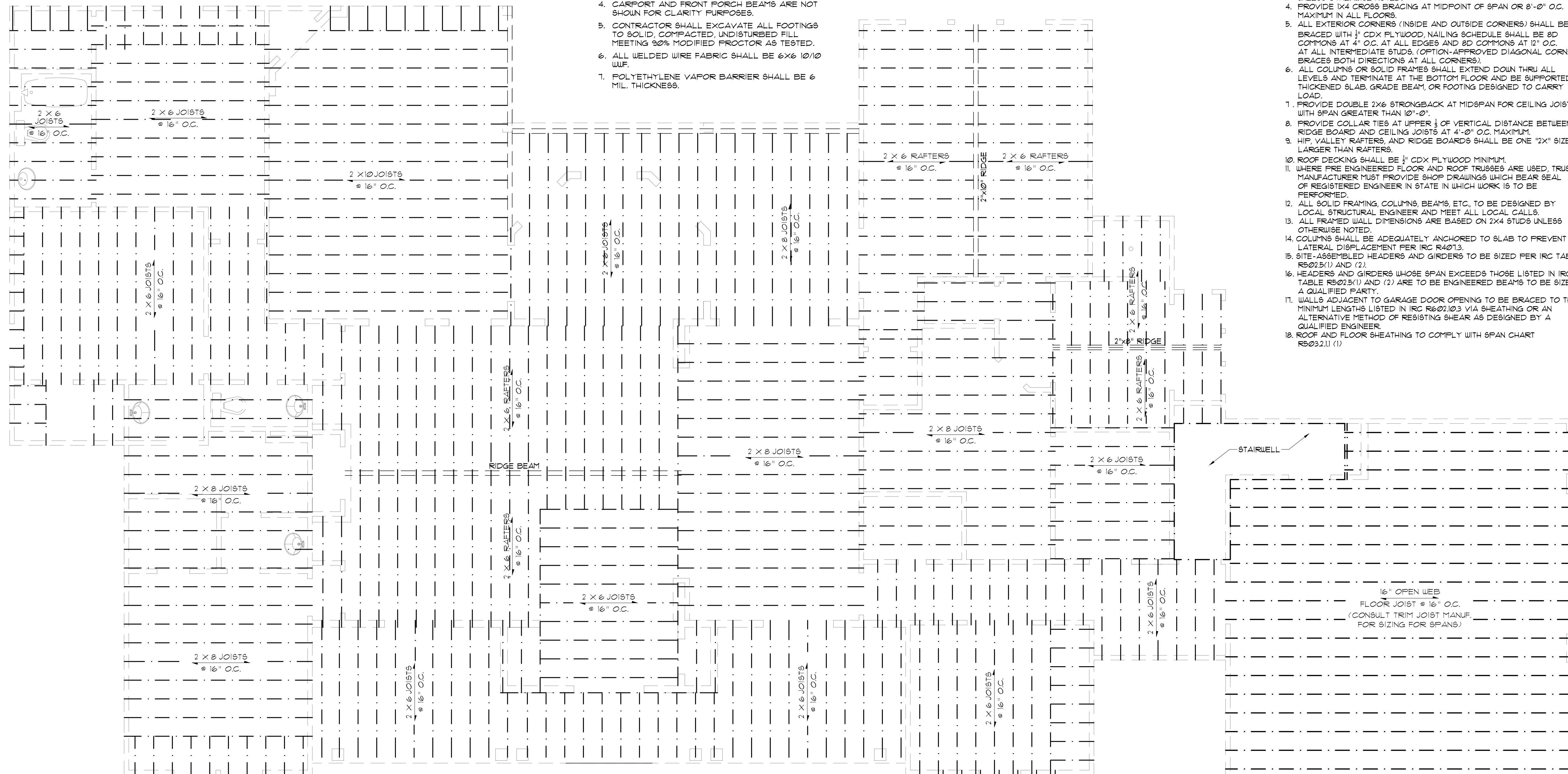
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**FOUNDATION
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FOUNDATION AND SITE WORK NOTES:

- CHECK ELECTRICAL PLAN FOR ANY CONDUIT OR FLOOR RECEPTACLES.
- TERMITE TREAT THE SOIL PRIOR TO POURING CONCRETE AND RETAIN CERTIFICATE FOR OWNER.
- GRADE LOT TO DRAIN AWAY FROM THE FOUNDATION A MINIMUM OF 6 INCHES IN THE FIRST 10 FEET.
- CARPORIT AND FRONT PORCH BEAMS ARE NOT SHOWN FOR CLARITY PURPOSES.
- CONTRACTOR SHALL EXCAVATE ALL FOOTINGS TO SOLID, COMPACTED, UNDISTURBED FILL MEETING 90% MODIFIED PROCTOR AS TESTED.
- ALL WELDED WIRE FABRIC SHALL BE 6X6 10/10 W/F.

SITE PREPARATION NOTES:

- REMOVE TOP SOIL (8" TO 12") AND DELETERIOUS MATERIAL.
- PROOF ROLL SUBBASE WITH A LOADED 18 YARD DUMP TRUCK REMOVE ALL "PUMPING AREAS."

GENERAL FRAMING NOTES:

THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY. DUE TO A VARIANCE OF CODES PER REGION, PLEASE REFER AND COMPLY WITH ALL YOUR LOCAL CODES. CONSULT WITH LOCAL ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.

- PROVIDE FURLINS AT MID HEIGHT OF ALL WALLS.
- ALL JOIST AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.
- ALL HEADERS SHALL BE 2-2X10'S WITH 1/2" PLYWOOD FLITCH PLATE UNLESS OTHERWISE NOTED.
- PROVIDE 1X4 CROSS BRACING AT MIDPOINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.
- ALL EXTERIOR CORNERS (INSIDE AND OUTSIDE CORNERS) SHALL BE BRACED WITH 1/2" CDX PLYWOOD. NAILING SCHEDULE SHALL BE 8D COMMONS AT 4" O.C. AT ALL EDGES AND 8D COMMONS AT 12" O.C. AT ALL INTERMEDIATE STUDS. (OPTION-APPROVED DIAGONAL CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS).
- ALL COLUMNS OR SOLID FRAMES SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BOTTOM FLOOR AND BE SUPPORTED BY THICKENED SLAB, GRADE BEAM, OR FOOTING DESIGNED TO CARRY LOAD.
- PROVIDE DOUBLE 2X6 STRONGBACK AT MIDSPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0".
- PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM.
- HIP, VALLEY RAFTERS, AND RIDGE BOARDS SHALL BE ONE "2X" SIZE LARGER THAN RAFTERS.
- ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM.
- WHERE FIRE ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
- ALL SOLID FRAMING, COLUMNS, BEAMS, ETC. TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CALLS.
- ALL FRAMED WALL DIMENSIONS ARE BASED ON 2X4 STUDS UNLESS OTHERWISE NOTED.
- COLUMNS SHALL BE ADEQUATELY ANCHORED TO SLAB TO PREVENT LATERAL DISPLACEMENT PER IRC R401.3.
- SITE-ASSEMBLED HEADERS AND GIRDERS TO BE SIZED PER IRC TABLE R502.3(1) AND (2).
- HEADERS AND GIRDERS WHOSE SPAN EXCEEDS THOSE LISTED IN IRC TABLE R502.3(1) AND (2) ARE TO BE ENGINEERED BEAMS TO BE SIZED BY A QUALIFIED PARTY.
- WALLS ADJACENT TO GARAGE DOOR OPENING TO BE BRACED TO THE MINIMUM LENGTHS LISTED IN IRC R602.10.3 VIA SHEATHING OR AN ALTERNATIVE METHOD OF RESISTING SHEAR AS DESIGNED BY A QUALIFIED ENGINEER.
- ROOF AND FLOOR SHEATHING TO COMPLY WITH SPAN CHART R502.2.11 (1).

CEILING JOIST SPANS

CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES (UNINHABITABLE ATTIC WITHOUT STORAGE, LIVE LOAD = 20 PSF, L.A. = 240) DEAD LOAD = 10 PSF
 *IF HABITABLE ATTIC SPACE OR STORAGE IS DESIRED, REFER TO INTERNATIONAL RESIDENTIAL CODE SPAN TABLES

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPAN) (FT.-IN.)
2"x4"	12.0	9-3
	16.0	8-0
	19.2	7-4
	24.0	6-7
2"x6"	12.0	13-11
	16.0	12-0
	19.2	11-0
	24.0	9-10
2"x8"	12.0	17-1
	16.0	15-3
	19.2	13-11
	24.0	12-6
2"x10"	12.0	22-11
	16.0	18-1
	19.2	16-6
	24.0	14-9

NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.5.1 (2)

RAFTER SPANS

RAFTER SPANS FOR SOUTHERN PINE SPECIES (LIVE LOAD = 20 PSF, L.A. = 240) DEAD LOAD = 10 PSF

SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT.-IN.)
2"x6"	12.0	12-11
	16.0	11-2
	19.2	10-2
	24.0	9-2
2"x8"	12.0	16-4
	16.0	14-2
	19.2	12-11
	24.0	11-7
2"x10"	12.0	19-5
	16.0	16-10
	19.2	15-4
	24.0	13-9
2"x12"	12.0	22-10
	16.0	19-10
	19.2	18-1
	24.0	16-2

NOTE: THE ABOVE TABLE IS BASED ON THE IRC 2018 TABLE R802.4.1 (3)

JOISTS FRAMING PLAN

SCALE: 1/4" = 1'-0"

CONCRETE NOTES:

- REFER TO BUILDING PLANS FOR DOOR OPENINGS AND EXACT DIMENSIONS.
- USE CONCRETE BRICK SUPPORTS TO MAINTAIN REINFORCING CLEARANCES. DO NOT USE CMU OR FACE BRICK.
- FOUNDATION DESIGN BASED ON 4-4 FILL DIRT COMPACTED TO 95% DENSITY (ASTM D-1557), FILL PLACED @ 8" MAX. LIFTS.
- ALL CONCRETE SHALL DEVELOP 3000 PSI COMPRESSIVE STRENGTH @ 28 DAYS. PLACE CONCRETE W/ MAXIMUM SLUMP OF 6". PROVIDE SLUMP TEST AND CYLINDERS AT BEGINNING AND MIDPOINT OF POUR.
- GRADE 40 DEFORMED REINFORCING.
- ASTM-105 W/F REINFORCING.
- APPLY A LIQUID MEMBRANE CURING CHEMICAL TO ALL CONCRETE SURFACES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. W/R. GRACE PRODUCT OR EQUAL.
- CONTRACTOR SHALL COORDINATE ALL DOOR LOCATIONS AND OMIT NOTCHES ACCORDINGLY.
- 2" CLEARANCE FOR REBAR, SIDES AND BOTTOM.
- MINIMUM SLAB THICKNESS SHALL BE 4" ON HOUSE AND ANY SIDEWALKS INCLUDING DRIVEWAY.
- FINISH GRADE TO SLOPE AWAY FROM THE HOUSE.
- REFER TO ELECTRICAL PLAN FOR IN-SLAB WIRING AND OUTLET REQUIREMENTS.
- CONTRACTOR SHALL EXCAVATE ALL FOOTINGS TO SOLID, UNDISTURBED SOIL.
- SLABS AND FOOTINGS SHALL BE PLACED MONOLITHICALLY IN A CONTINUOUS POUR. CONSTRUCTION JOINTS FOR THE PURPOSE OF POUR INTERRUPTION SHALL NOT BE ALLOWED WITHOUT PRIOR APPROVAL BY THE OWNER.
- ALL DRIVEWAY FOURS SHALL HAVE THE PROPER CONSTRUCTION AND CONTROL JOINTS AT A DISTANCE NO GREATER THAN 15' WITH A JOINT DOWN THE CENTER. RADIUS BENDS SHALL HAVE A CONTROL JOINT AT THE CENTER OF THEM.

DESIGN AND LAYOUT OF TRIM JOISTS TO BE PROVIDED BY TRIM JOIST MANUFACTURER
 NOTE: ALL LUMBER TO BE #2 SOUTHERN PINE

MADDEN HOME DESIGN, LLC NOT BEING AN ARCHITECTURAL OR ENGINEERING FIRM. CREATING THESE PLANS IS NOT A STRUCTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING DESIGN. EVERY EFFORT HAS BEEN MADE TO INSURE ALL DIMENSIONS ARE CORRECT AND ENVIRONMENTAL REGULATIONS HAVE BEEN MET. IF AN ERROR OR OMISSION DOES OCCUR, IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER AT HIS OWN EXPENSE. MADDEN HOME DESIGN, LLC IS NOT RESPONSIBLE FOR CONTRACTOR'S RESPONSIBILITY FOR VERIFICATION OF DIMENSIONS IN THE FIELD AND SHALL BUILD HOME IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2018.

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Project No.: The Tanglewood-Mirror

DATE: JANUARY 3, 2022

DRAWN BY: Steven Madden

DESIGNED BY: Steven Madden

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JOISTS FRAMING PLAN

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