

HARNETT COUNTY TAX ID#
080664 0111 04 & OTHERS

02-03-2023 BY TC

Matthew S. Willis Register of Deeds
Harnett County, NC
Electronically Recorded
02/03/2023 10:55:06 AM NC Rev Stamp: \$640.00
Book: 4181 Page: 1543 - 1544 (2) Fee: \$26.00
Instrument Number: 2023001693

Submitted electronically by Senter, Stephenson, Johnson, PA in compliance with North Carolina statutes governing recordable documents and the terms of the submitter agreement with the Harnett County Register of Deeds.

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax: \$640.00

Parcel Identifier Nos. 080664 011 04; 080664 011 06; 080664 011 19; 080664 011 29

Verified by **Harnett** County on the ___ day of _____, 2022

By: _____

Mail/Box to: **Grantee**

This instrument was prepared by: Senter, Stephenson, Johnson, P.A. [WITHOUT TAX ADVICE]

Brief description for the Index: Lots 3, 5, 18, 28; Purfoy Place S/D

THIS DEED made this 3 day of February, 2023, by and between

GRANTOR	GRANTEE
<p>North State Property Partners, LLC, a North Carolina limited liability company</p>	<p>Kara Homes, Inc., a North Carolina corporation</p>
<p>107 Fayetteville St., Ste. 300 Raleigh, NC 27601</p>	<p>1001 Procure St., Ste. 101 Fuquay Varina, NC 27526</p>

Enter in appropriate block for each Grantor and Grantee: name, mailing address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in **Hectors Creek** Township, **Harnett** County, North Carolina and more particularly described as follows:

BEING all of Lots 3, 5, 18 and 28, Purfoy Place Subdivision, as shown on that map recorded in Book of Maps 2021, pages 567-571, Harnett County Registry.

The property herein above described was acquired by Grantor by instrument recorded in Book 4121, page 581, Harnett County Registry.

All or a portion of the property herein conveyed includes or does not include the primary residence of a Grantor.

A map of the above-described property is recorded in Book of Maps 2021, Page 567-571, Harnett County Registry.

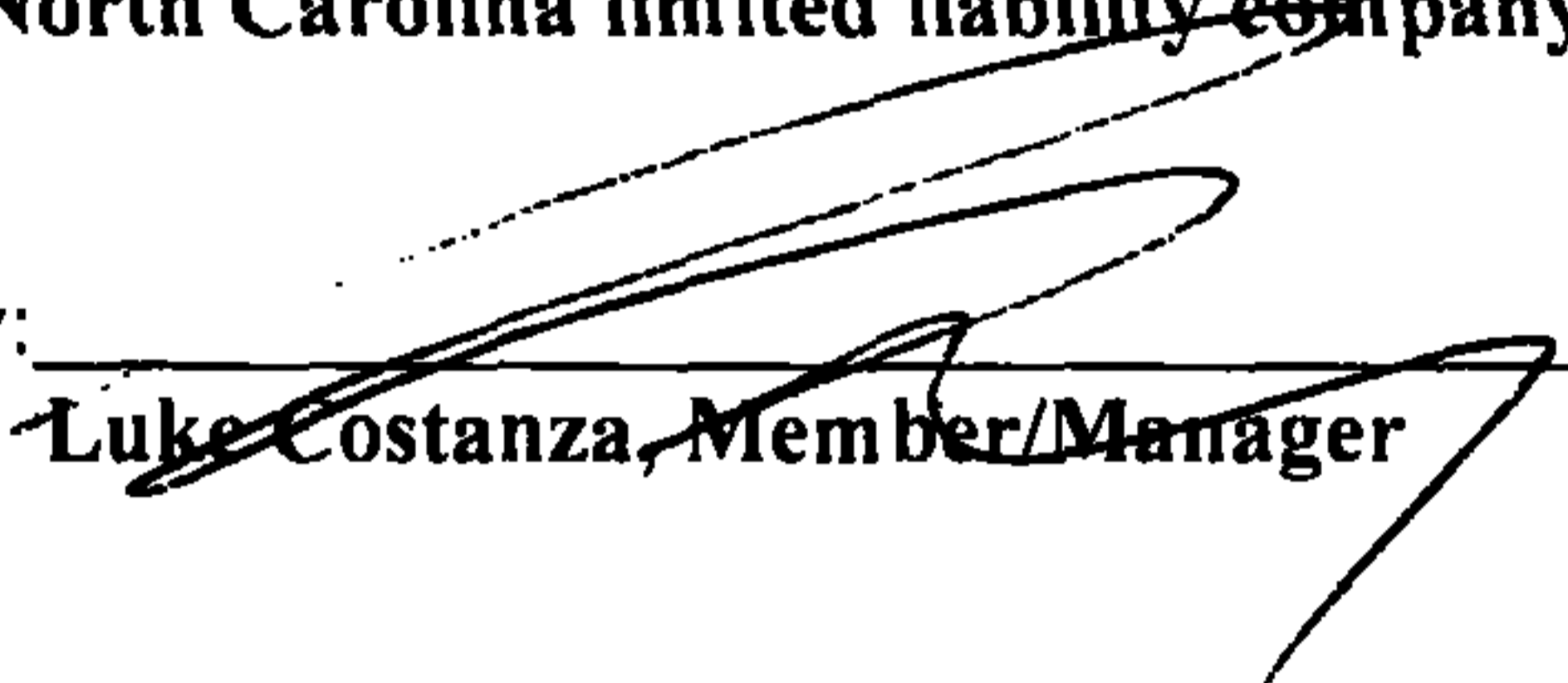
TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

- 1. **General service and utility easements, and rights-of-way of record;**
- 2. **Declaration of Covenants, Conditions and Restrictions recorded in Book 4101, Page 2; and**
- 3. **2023 Ad Valorem taxes, not yet due and payable.**

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

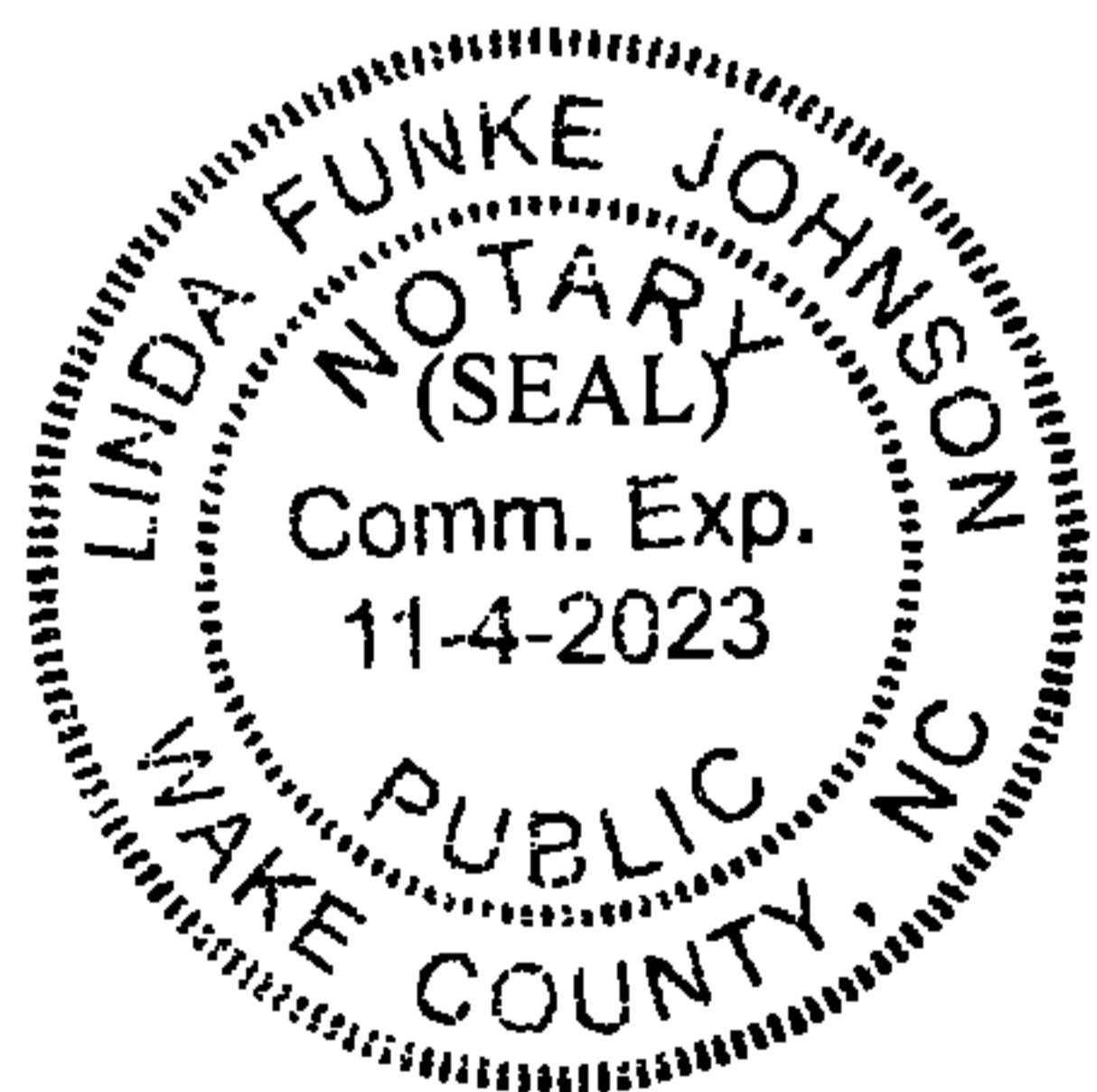
North State Property Partners, LLC
a North Carolina limited liability company

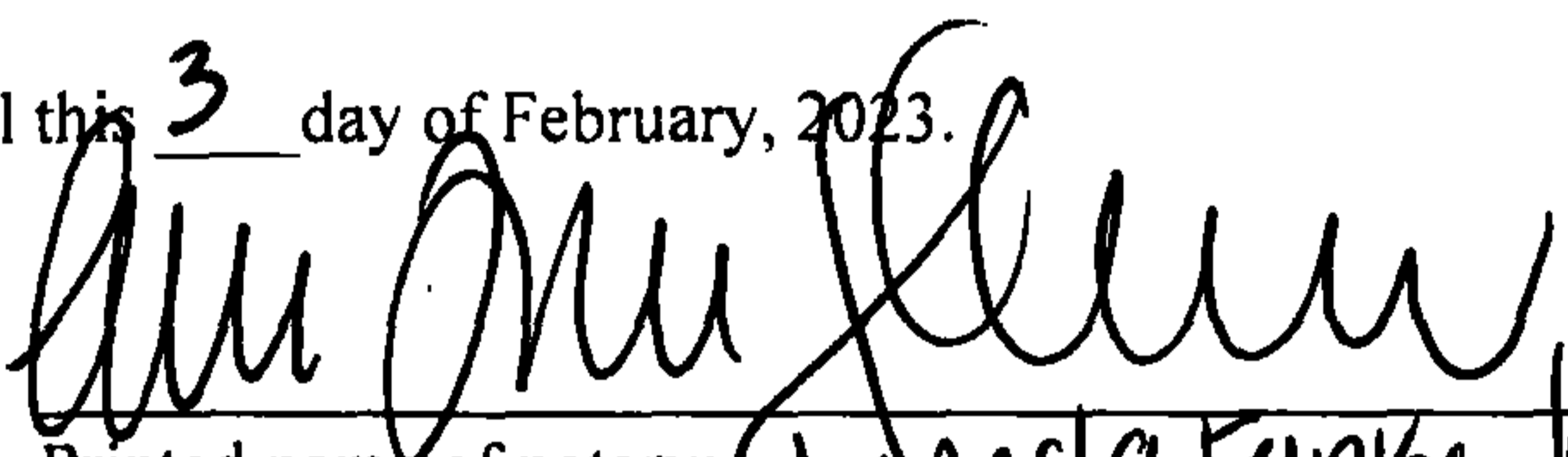
By:  (SEAL)
Luke Costanza, Member/Manager

State of North Carolina
County of Wake

I certify that **Luke Costanza** personally appeared before me this day and acknowledged he is **member/manager** of **North State Property Partners, LLC, a North Carolina limited liability company**, and that by authority duly given and as the act of the corporation the forgoing instrument was signed in its name by him as the officer aforesaid.

Witness my hand and Notarial stamp or seal this 3 day of February, 2023.




Printed name of notary: **Linda Funke Johnson**
My Commission Expires: **11-4-2023**