





NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**LEFT AND RIGHT  
ELEVATIONS**

PROJECT DESCRIPTION:  
**CATALINA**

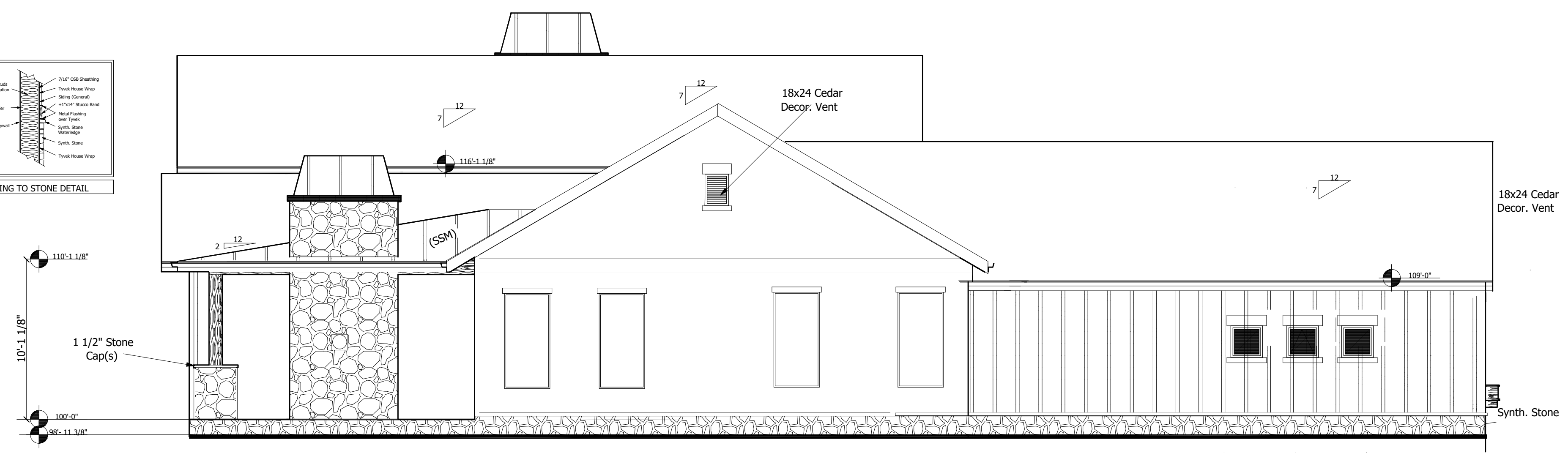
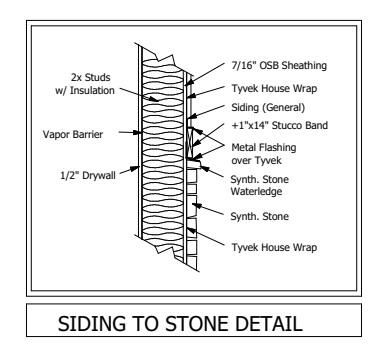
DRAWINGS PROVIDED BY:  
**TBP Homes of Raleigh  
107 Fayetteville St  
Raleigh, NC 27601**

DATE:

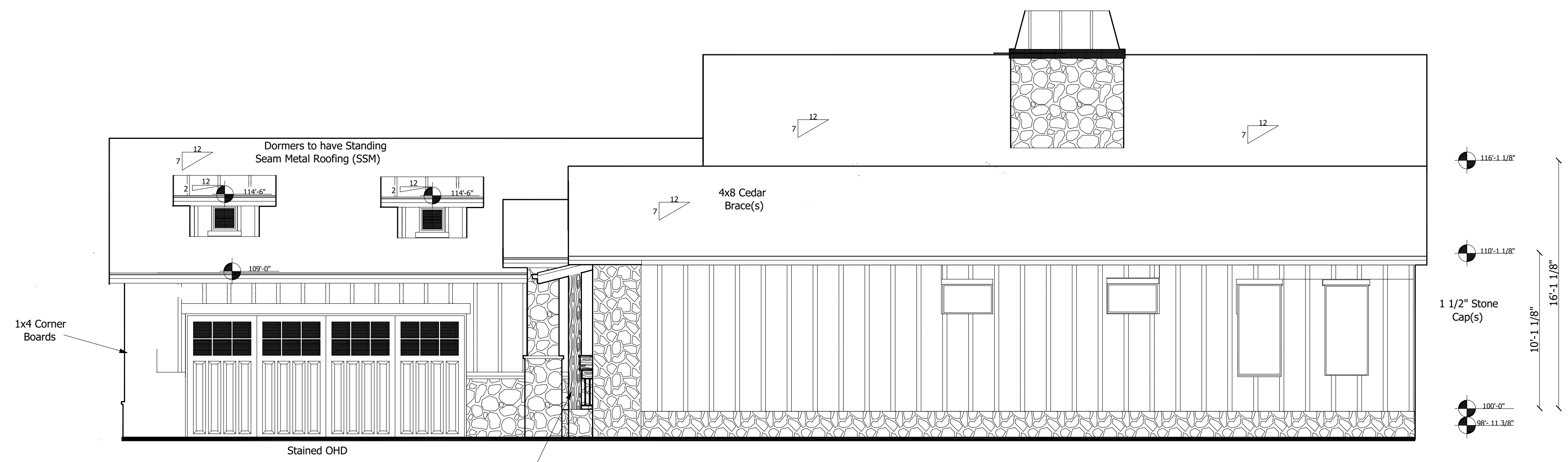
SCALE:

SHEET:

**A-4.2**



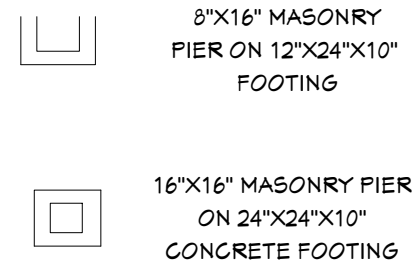
**LEFT ELEVATION**  
Scale 3/16"=1'-0"



**RIGHT ELEVATION**  
Scale 3/16"=1'-0"

- ELEVATION NOTES**
- (1) TYP Roof Overhangs to be
  - (2) Window Supplier responsible for tempering appropriate windows as required by code.
  - (3) All indicated window grids to be 'Simulated Divided Lites,' unless clearly noted otherwise.
  - (4) As feasible, all flue/exhaust pipes to be located on 'Back-side' of roof and painted to match roofing color.
  - (5) Ice and water shield to be installed along roof plane 24" beyond exterior wall line.
  - (6) All materials to wrap outside corners, unless clearly noted otherwise.
  - (7) Roof gutters and down spouts to be sized and installed per Manufacturer's Specifications.

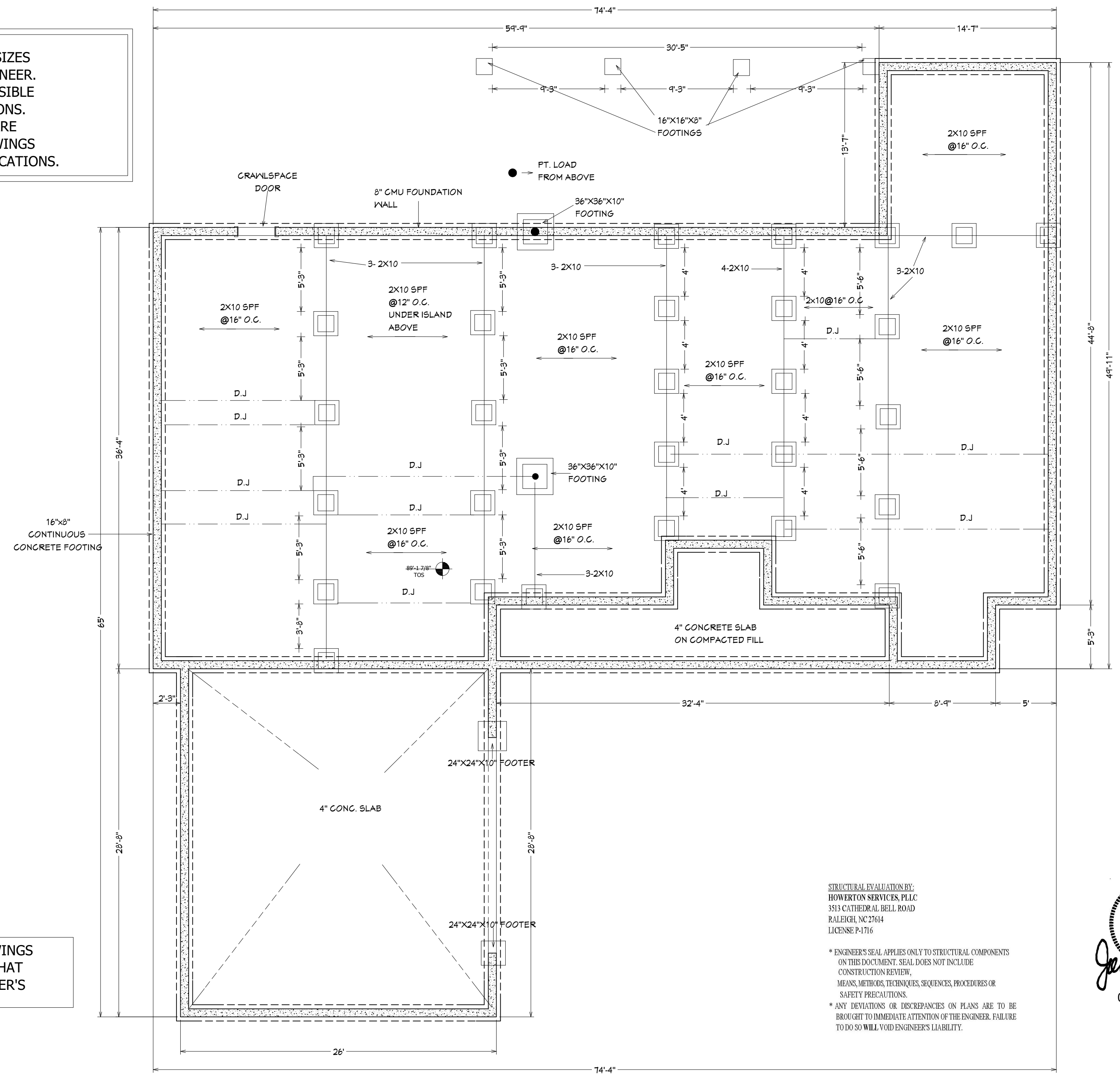
ALL JOIST, BEAM, POST AND HEADER SIZES TO BE SPECIFIED BY STRUCTURAL ENGINEER. RENTFROW DESIGN, LLC NOT RESPONSIBLE FOR ANY OF THE ABOVE SPECIFICATIONS. THESE BEAM AND JOIST LAYOUTS ARE APPROXIMATE, SEE ENGINEERED DRAWINGS OR MANUFACTURES LAYOUTS FOR EXACT LOCATIONS.



**GENERAL FOUNDATION NOTES:**

1. THIS PLAN DESIGNED IN ACCORDANCE WITH NC RESIDENTIAL CODE, 2018 EDITION.
2. EXTERIOR WALL FOOTING TO BE 20" X 8" 3000 PSI STRUCTURAL CONCRETE WITH 2-#4 BARS UNLESS OTHERWISE NOTED. CONCRETE TO BE PREPARED AND PLACED IN ACCORDANCE WITH ACI 318. FOR FOUNDATION WALL HEIGHT, THICKNESS AND BACKFILL REQUIREMENTS, REFER TO STATE AND LOCAL BUILDING CODES. NOTE: ASSUMED SOIL BEARING CAPACITY=2000 PSF. CONTRACTOR MUST VERIFY SITE CONDITIONS AND CONTACT SOIL ENGINEER IF MARGINAL OR UNSTABLE SOILS ARE ENCOUNTERED.
3. FOOTINGS TO BEAR ON UNDISTURBED EARTH A MIN. OF 12" BELOW ADJACENT FINISH GRADE OR AS OTHERWISE DIRECTED BY LOCAL INSPECTOR.
4. FOUNDATION DRAINAGE SHALL BE IN ACCORDANCE WITH SECTION R405 OF THE CODE "FOUNDATION DRAINAGE".
5. THE FOUNDATION SHALL BE TREATED IN ACCORDANCE W/SECTION R406 OF THE CODE "FOUNDATION WATERPROOFING AND DAMPPROOFING".
6. THIS FOUNDATION DESIGN IS VALID FOR 120 MPH WIND ZONES.
7. FOUNDATION WALLS SHALL BE 12" IN WIDTH WHERE SUPPORTING FRAMINGS WITH BRICK VENEER.
8. PORCH POST FOOTINGS SHALL BE 24"X24"X10" WITH 2-#4 BARS EACH WAY.

THE STRUCTURAL ENGINEER'S DRAWINGS MAY INDICATE 'COUNTER FORTS' THAT ARE NOT DRAWN HERE. SEE ENGINEER'S PLANS FOR SPECIFICATIONS



STRUCTURAL EVALUATION BY:  
 HOWERTON SERVICES, PLLC  
 3513 CATHEDRAL BELL ROAD  
 RALEIGH, NC 27614  
 LICENSE P-1716

\* ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS ON THIS DOCUMENT. SEAL DOES NOT INCLUDE CONSTRUCTION REVIEW. MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES OR SAFETY PRECAUTIONS.  
 \* ANY DEVIATIONS OR DISCREPANCIES ON PLANS ARE TO BE BROUGHT TO IMMEDIATE ATTENTION OF THE ENGINEER. FAILURE TO DO SO WILL VOID ENGINEER'S LIABILITY.

Professional Engineer Seal for J. S. Hunt, License No. 022966, State of North Carolina. Date: 09 02 2022

**FOUNDATION PLAN**

Scale 3/16"=1'-0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**FOUNDATION PLAN**

PROJECT DESCRIPTION:  
**CATALINA**

DRAWINGS PROVIDED BY:  
**TBP Homes of Raleigh**  
 107 Fayetteville St  
 Raleigh, NC 27601

DATE:  
 09 02 2022

SCALE:  
 3/16"=1'-0"

SHEET:  
**A-3**

NO.	DESCRIPTION	BY	DATE

SHEET TITLE: **FLOOR PLAN**

PROJECT DESCRIPTION: **CATALINA**

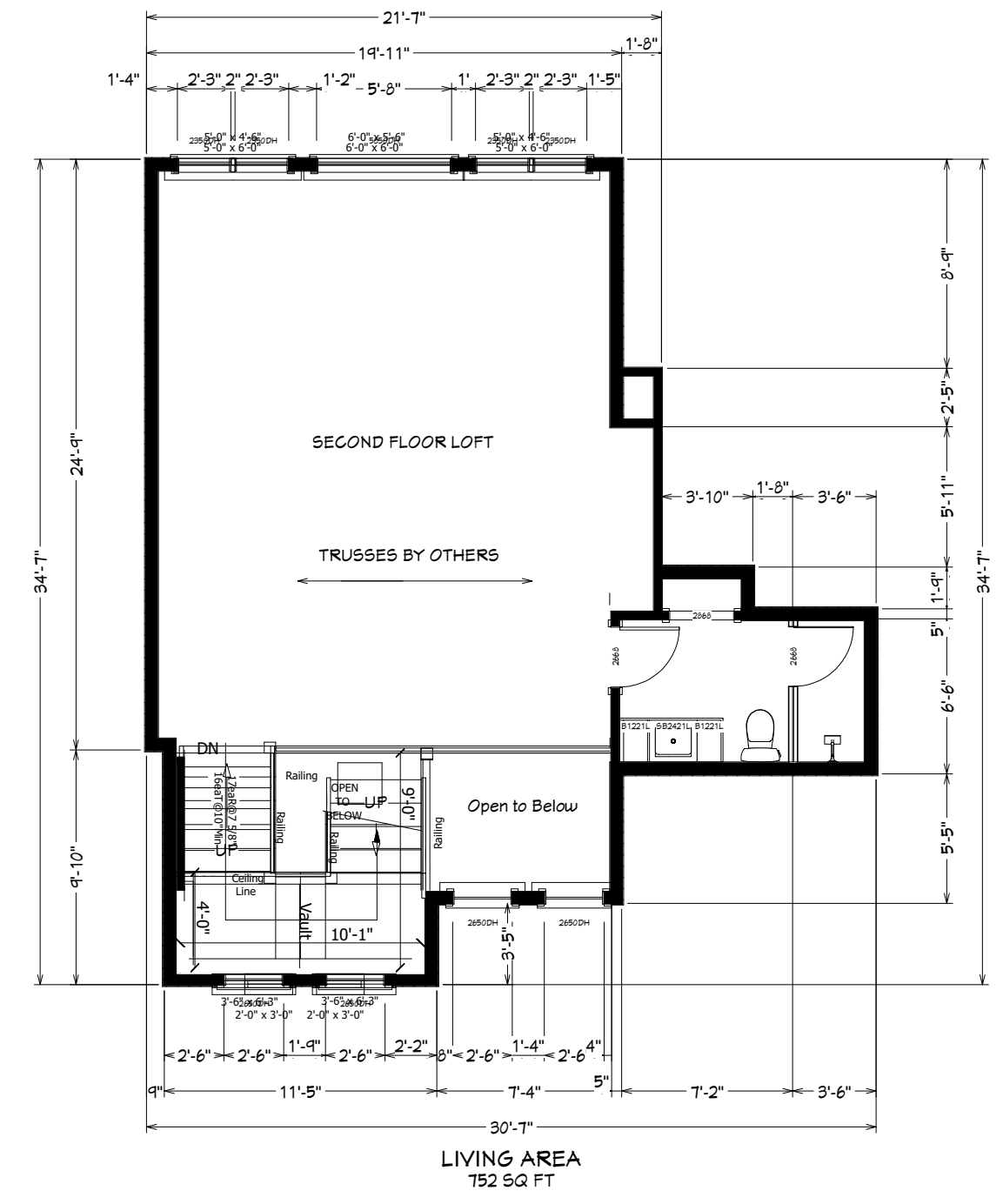
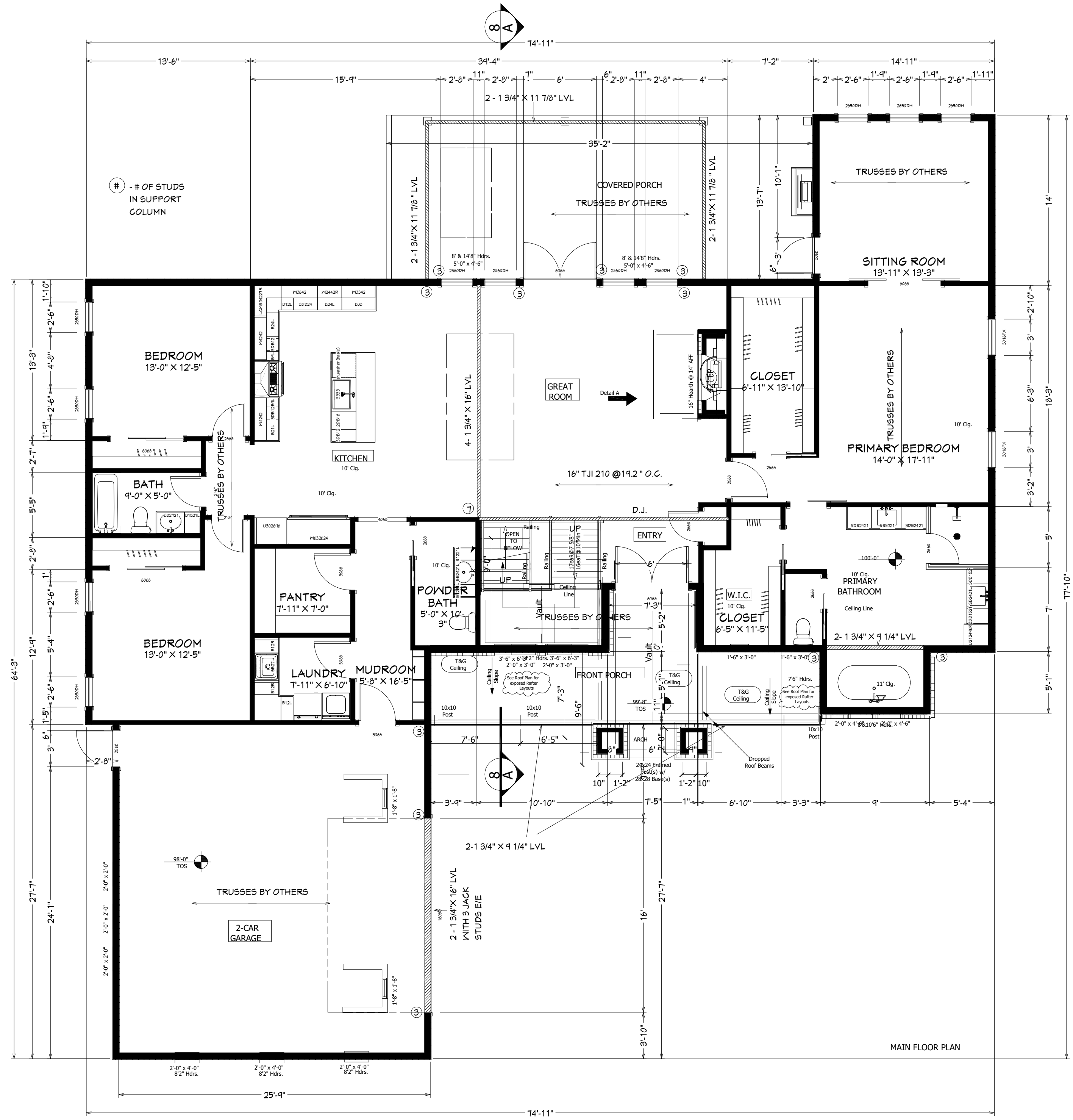
DRAWINGS PROVIDED BY: **TBP Homes of Raleigh  
107 Fayetteville St  
Raleigh, NC 27601**

DATE:

SCALE:

SHEET:

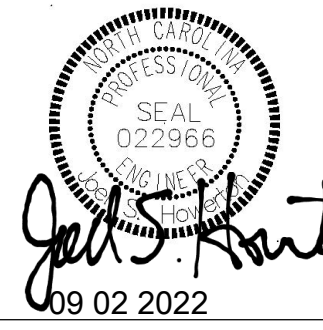
**A-2**



**LOFT FLOOR PLAN**  
Scale 3/16"=1'-0" 1st Floor 724 FinSqFt

**NOTES:**

- (1) All dimensions are for rough framing.
- (2) All exterior walls to be 2x6 walls, unless noted otherwise.
- (3) All arches to have legs 9" lower than tops, which match interior doors.
- (4) All header heights are based on "their own" sub-floor/top of slab.



**AREA TABULATION**

Main Level - 2464 SF
Upper Level - 591 SF
Total Finished - 3055 SF
Garage - 689 SF
Front Porch - 231 SF
Rear Porch - 456 SQ FT

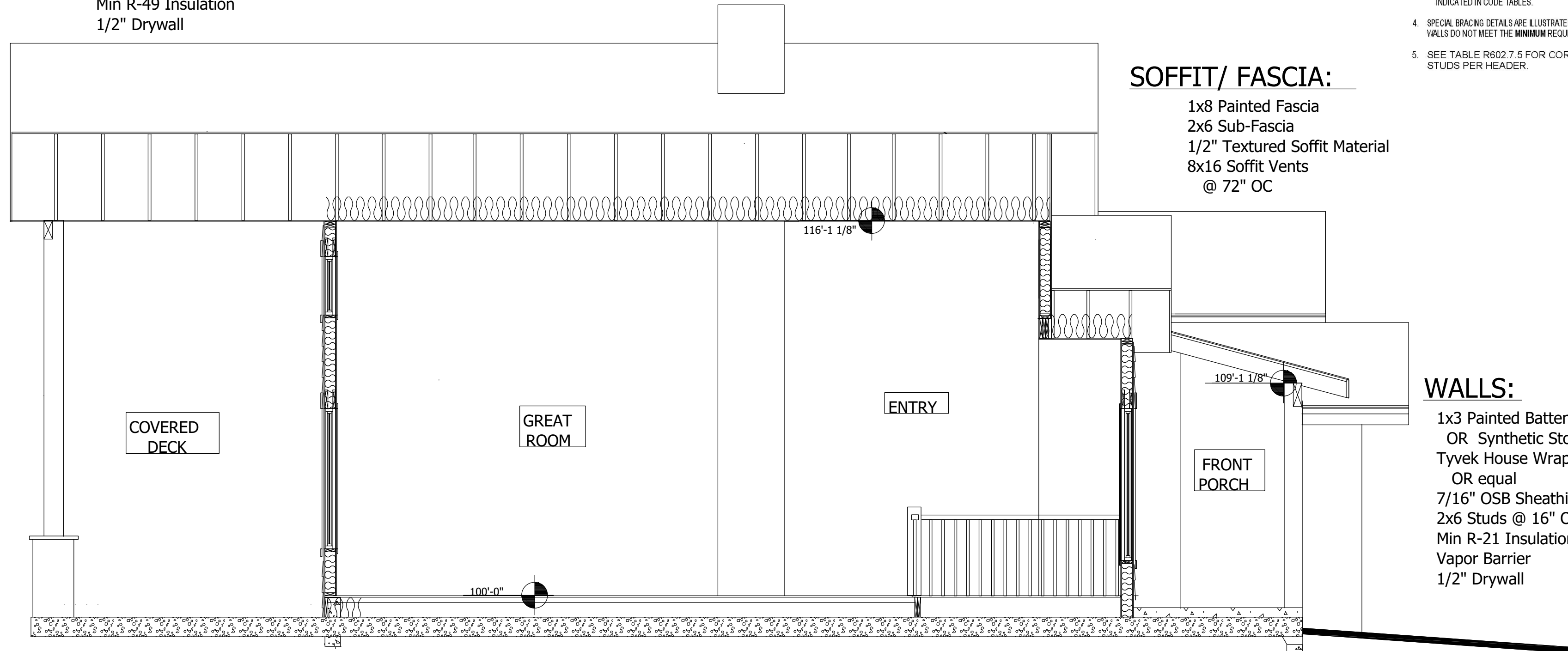
Room areas are calculated from the outside walls and/or outside face of exterior stud at framed walls. Stairs are included in calculations at all levels.

PROVIDE 1 HR. FIRE RATING BETWEEN GARAGE & HOUSE W/ 5/8" TYPE 'X' DRYWALL, FIRE TAPED AS A MINIMUM PER CODE REQUIREMENT

GARAGE TO BE A CONCRETE SLAB SLOPING FROM BACK TO FRONT AT 1/4" PER LINEAL FOOT

**ROOF:**

- Asphalt Shingles
- OR Standing Seam Metal
- 30# Felt Paper
- 7/16" OSB Sheathing
- Pre-Engineered Trusses
- per manufacturer's layout
- Min R-49 Insulation
- 1/2" Drywall



**SOFFIT/ FASCIA:**

- 1x8 Painted Fascia
- 2x6 Sub-Fascia
- 1/2" Textured Soffit Material
- 8x16 Soffit Vents
- @ 72" OC

- BRACED WALL NOTES:**
1. BRACED WALLS ARE REQUIRED PER SECTION R602.10.1 2018 NCBC RESIDENTIAL CODE
  2. THE EXTERIOR WALL STRUCTURE SHALL BE CONTINUOUSLY SHEATHED, FULL HEIGHT WITH MIN. THICKNESS 7/16" OSB. THESE WALLS SHALL BE CONSTRUCTED IN CONFORMANCE TO TYPE CS-WSP DETAILS. REFER TO PLAN FOR LOCATION OF REQUIRED BRACING LABELED "CS BRACING" AND LENGTH OF WALL BRACING LABELED IN LINEAR FEET.
  3. INTERIOR WALLS WHERE NOTED SHALL BE BRACED PER INDICATED METHOD IN REFERENCE TO NCBC-RESIDENTIAL CODE, TABLE R602.10.2.
- LIB METHOD:**  
INSTALL 1X4 WOOD OR CONTINUOUS METAL STRAPPING AT 45 DEGREES TO 60 DEGREES FROM TOP PLATE TO BOTTOM PLATE ACROSS STUDS WITH MAXIMUM STUD SPACING OF 16" ON CENTER. CONNECT AS INDICATED IN CODE SECTION.
- GB METHOD:**  
MINIMUM 1/2" GYPSUM BOARD TURNED VERTICALLY AND CONTINUOUS FROM TOP PLATE TO BOTTOM PLATE. SCREW CONNECTION TO FRAMING USING SPACING CRITERIA AS INDICATED IN CODE TABLES.
4. SPECIAL BRACING DETAILS ARE ILLUSTRATED IN THE CODE AND ALLOWED WHERE WALLS DO NOT MEET THE MINIMUM REQUIREMENTS FOR SUPPORT.
  5. SEE TABLE R602.7.5 FOR CORRECT NUMBER OF KING STUDS PER HEADER.

**WALLS:**

- 1x3 Painted Battens @ 18" OC
- OR Synthetic Stone
- Tyvek House Wrap
- OR equal
- 7/16" OSB Sheathing
- 2x6 Studs @ 16" OC
- Min R-21 Insulation
- Vapor Barrier
- 1/2" Drywall

**FLOORS:**

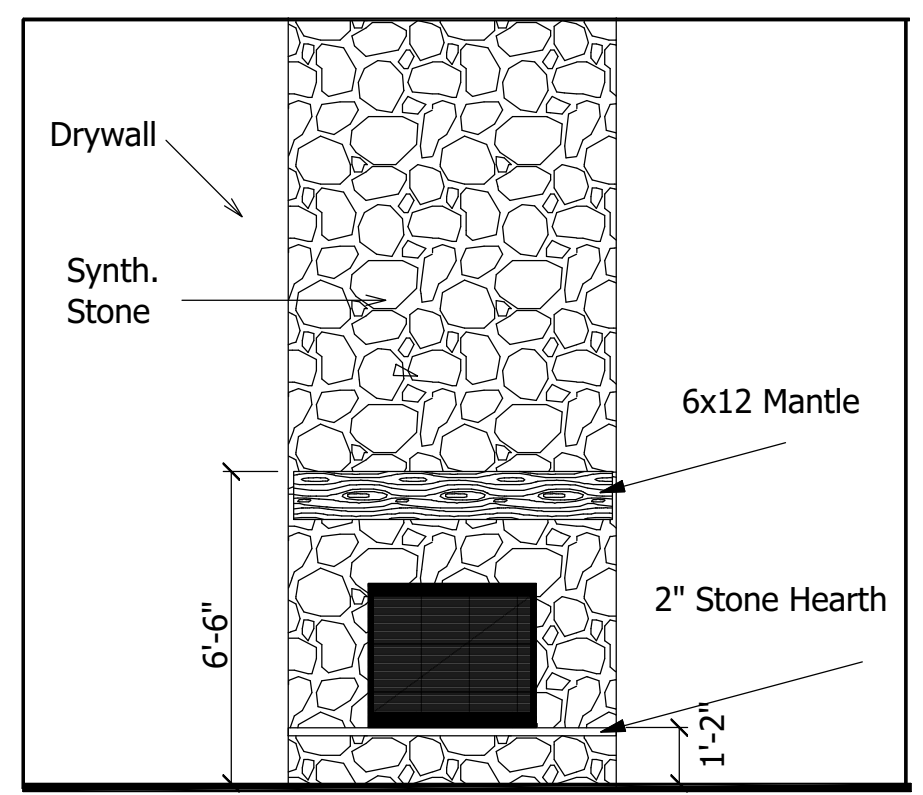
- 3/4" OSB T&G Sub Floor
- 11 7/8" I Joist @ 16" OC
- 11 7/8" Rim Joist
- 2x6 Treated Sill Plate
- 6" Sill Seal

**SECTION A**

Scale 3/16"=1'-0"

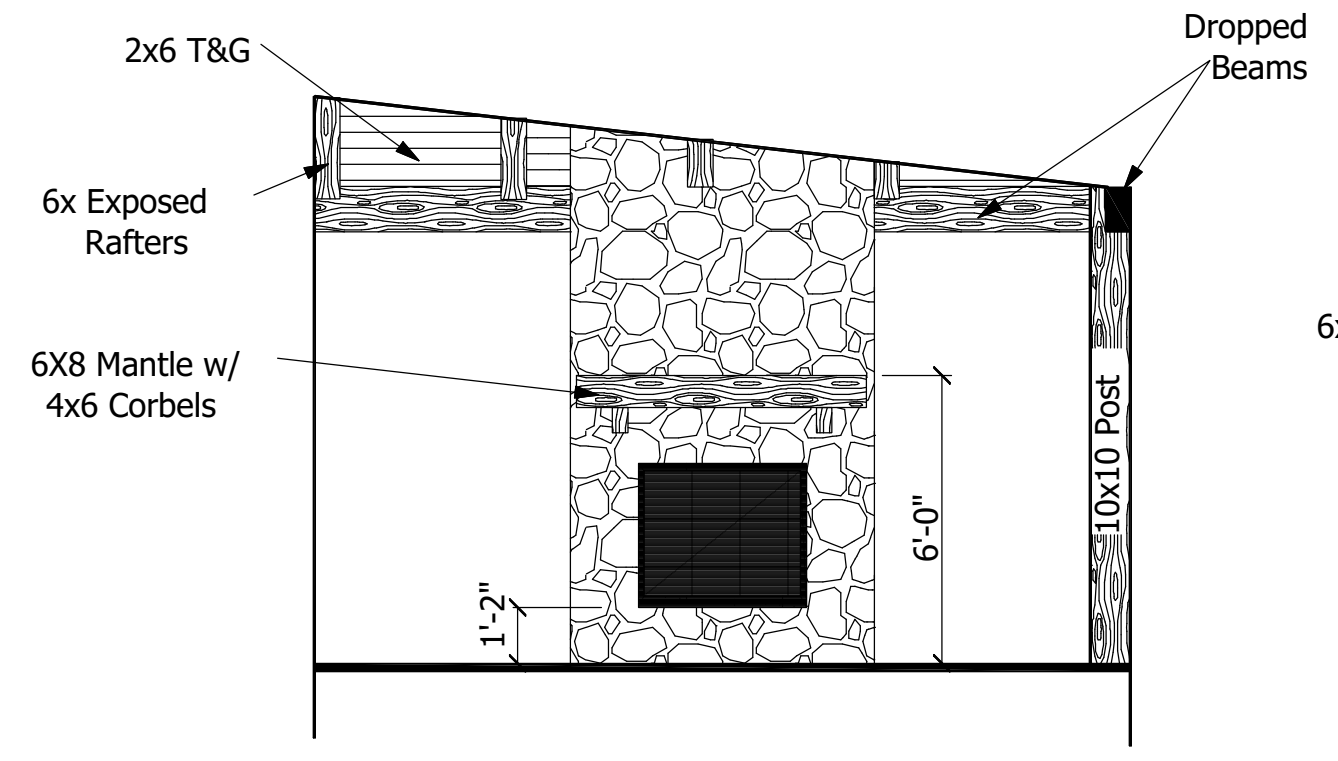
**FNDTN.**

Foundation Walls and Footings  
per Structural Engineer's Spec's



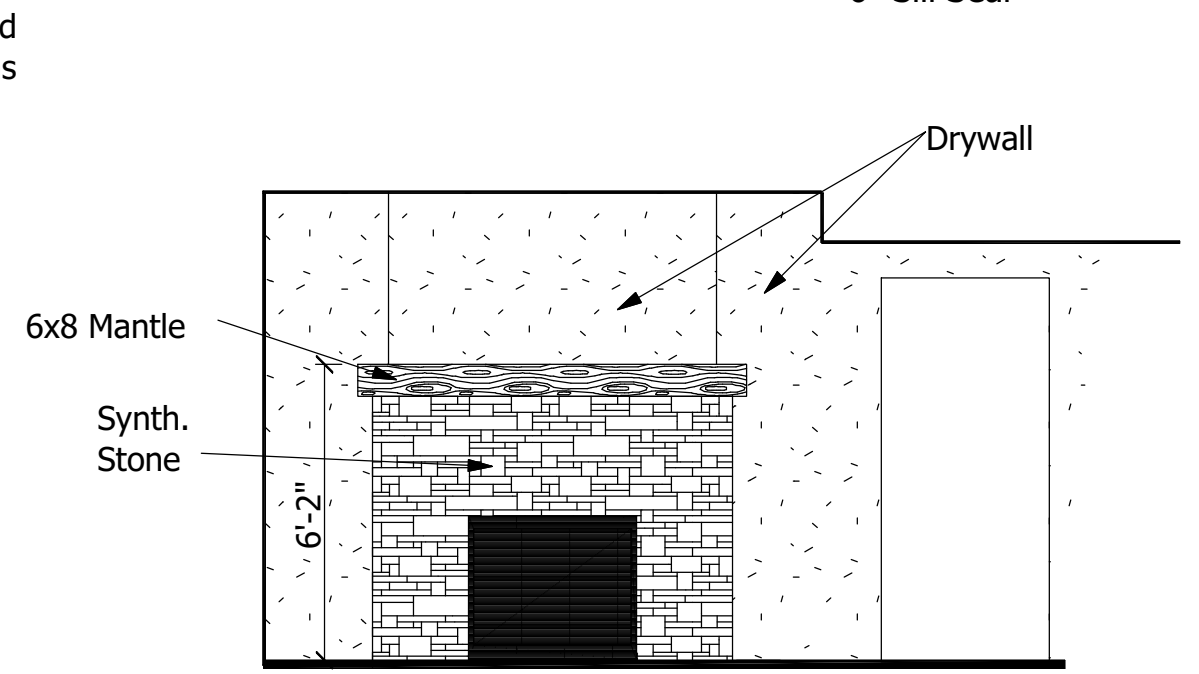
**DETAIL A**

Scale 3/16"=1'-0"



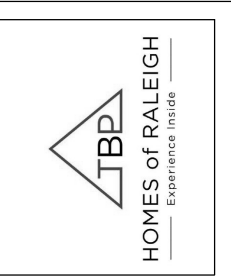
**DETAIL B**

Scale 3/16"=1'-0"



**DETAIL C**

Scale 3/16"=1'-0"



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**SECTIONS AND DETAILS**

PROJECT DESCRIPTION:  
**CATALINA**

DRAWINGS PROVIDED BY:  
**TBP Homes of Raleigh  
107 Fayetteville St  
Raleigh, NC 27601**

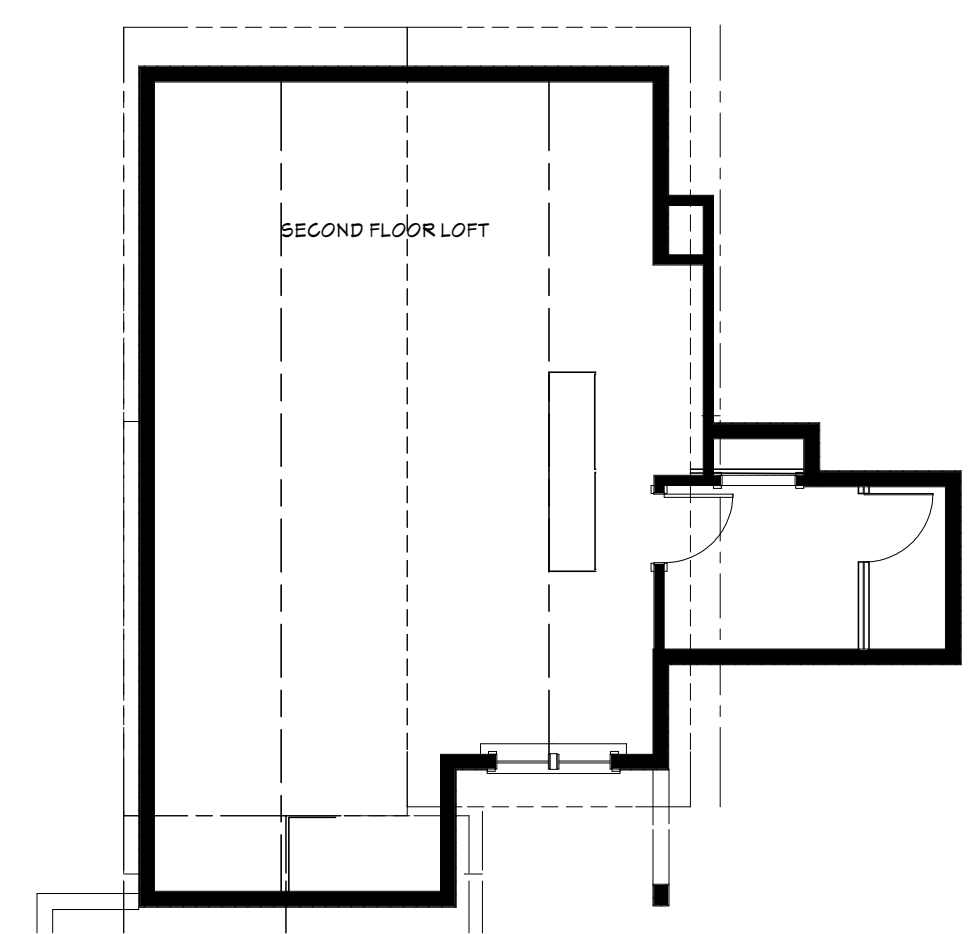
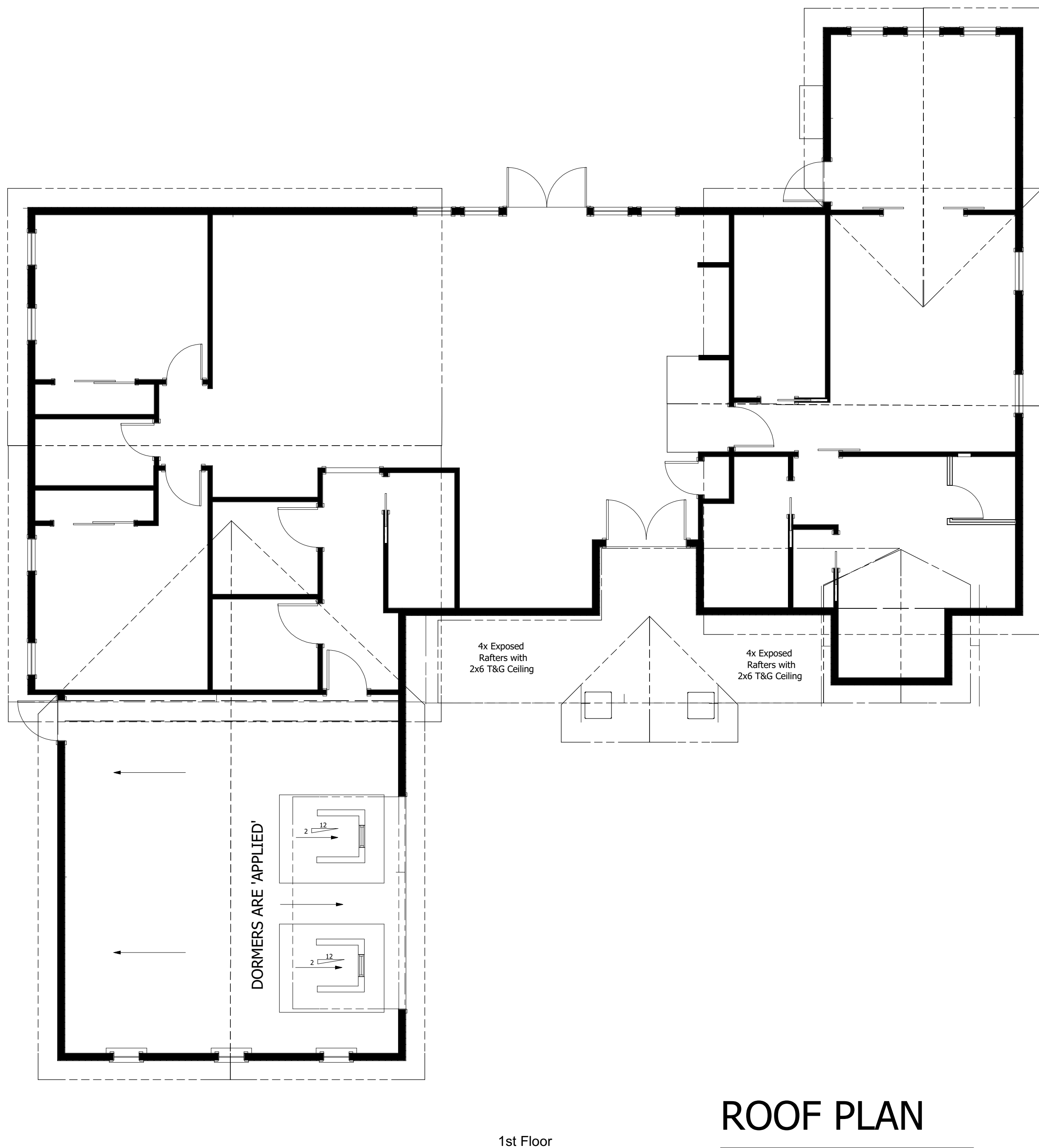
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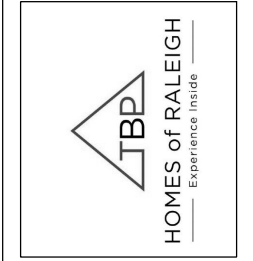
SHEET:

**A5**





CONTRACTOR TO FLASH ROOF AS REQUIRED BY CODE AND COMMONLY PRACTICED TO PROVIDE A WEATHERTIGHT CONDITION



NO.	DESCRIPTION	BY	DATE

SHEET TITLE: ROOF PLAN

PROJECT DESCRIPTION: CATALINA

DRAWINGS PROVIDED BY: TBP Homes of Raleigh  
107 Fayetteville St  
Raleigh, NC 27601



# ROOF PLAN

ALL JOIST, BEAM, POST AND HEADER SIZES TO BE SPECIFIED BY STRUCTURAL ENGINEER. RENTFROW DESIGN, LLC NOT RESPONSIBLE FOR ANY OF THE ABOVE SPECIFICATIONS. THESE BEAM AND JOIST LAYOUTS ARE APPROXIMATE, SEE ENGINEERED DRAWINGS OR MANUFACTURES LAYOUTS FOR EXACT LOCATIONS.

## NOTES:

- 1- All roof overhangs are 24", UNO.
- 2- All roof pitches are 7:12, UNO.
- 3- All ceiling pitches are 5:12, UNO.
- 4- All soffits to be flat and fascia to be plumb cut.
- 5- All truss heels to be 12" minimum.
- 6- See plans and elevations for varying wall heights.

DATE:

SCALE:

SHEET:

**A6**