



ECS Southeast, LLP

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Fayetteville, NC 28304
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LETTER OF TRANSMITTAL

January 13, 2023
W.S. Wellons Realty
PO Box 766
Spring Lake, NC 28390
ATTN: Accounts Payable

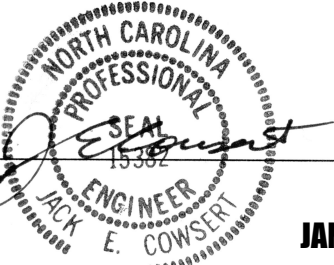
RE: **Wellons Realty Lot 150**
ECS Job # **33:6204-K**

Permits:
Location: **59 Basswood Ct.**
Spring Lake, NC 28390

Field Reports For your use As requested

CC: W.S. Wellons Realty - Jason Wellons

ENCL: Field Report # 3 1/13/2023



JAN 13 2023

Jack Cowsert, P.E.
Office Manager

Aaron Kyle Adair
Team Leader

Disclaimer

1. This report (and any attachments) shall not be reproduced except in full without prior written approval of ECS.
2. The information in this report relates only to the activities performed on the report date.
3. Where appropriate, this report includes statements as to compliance with applicable project drawings, and specifications for the activities, performed on this report date.
4. Incomplete or non-conforming work will be reported for future resolution.
5. The results of samples and/or specimens obtained or prepared for subsequent laboratory testing will be presented in separate reports/documents.



ECS Southeast, LLP
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 Fayetteville, NC 28304
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FIELD REPORT

Project **Wellons Realty Lot 150**
 Location **Spring Lake, NC**
 Client **W.S. Wellons Realty**
 Contractor **None Listed**

Project No. **33:6204-K**
 Report No. **3**
 Day & Date **Friday 1/13/2023**
 Weather **45 °/ Sunny**
 On-Site Time **2.25**
 Lab Time **0.00**
 Travel Time* **0.00**
 Total **2.25**
 Re Obs Time **0.00**

Remarks

Trip Charges*	Tolls/Parking*	Mileage*	Time of Arrival	Departure
Chargeable Items			7:45A	10:00A

* Travel time and mileage will be billed in accordance with the contract.

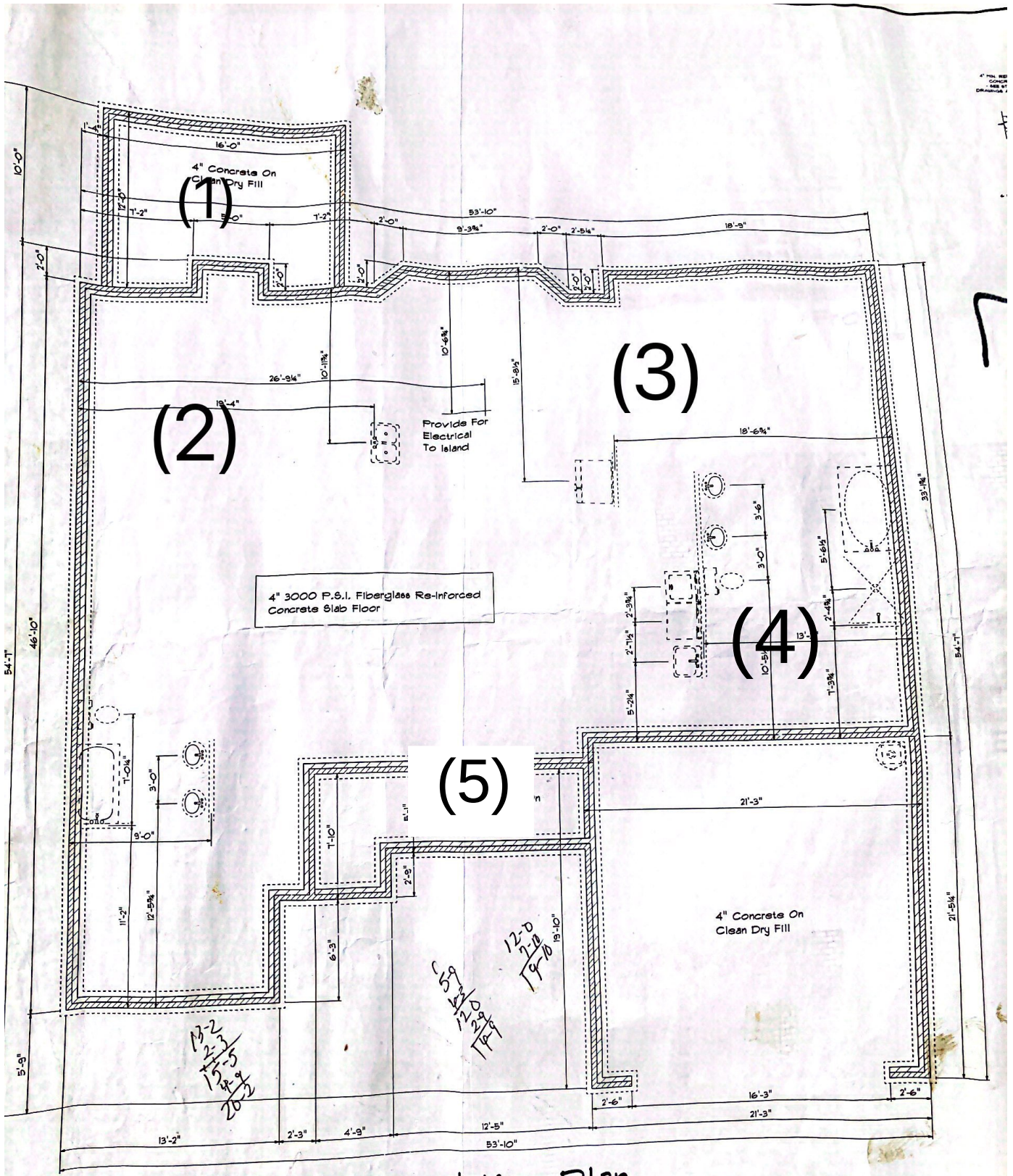
Summary of Services Performed (field test data, locations, elevations & depths are estimates) & Individuals Contacted.

The undersigned arrived on site, as requested, to check the bearing capacity of backfilled soils via hand auger/DCP method for residential stem wall backfill. Please see the attached sketch and data sheet for details.

A hand auger was used to advance the boreholes to different depths noted on the boring logs. Dynamic Cone Penetrometer (DCP) test were performed in the hand auger boreholes by a 1.5 inch diameter cone driven into the soil by a 15 pound ring weight with a free fall of 20 inches. The number of blows required to drive the cone into the soil a distance of 1.75 inches is termed the DCP Value and is indicated for each test on the hand auger.

A total of 5 hand auger/DCP evaluations were performed to the depth of native soil sub grade elevation. Test results indicated that the materials in place (at the locations and elevations tested) did appear to be suitable to support a design bearing capacity 2,000 psf.

ECS will return, upon request, to perform additional services.



Cameron Hall
 1-13-23
 Lot 150
 Po # 6204
 W/O # 70440

Legend
 Bearing Observation
 (#) = DCP Location





Report of Spread Footing - Foundation Observations

Project: Wellons Realty Lot 150
 Location: 59 Basswood Ct.
 Spring Lake - Cumberland - NC - 28390
 Contractor: None Listed

Project No.: 33:6204-K
 Day/Date: 1/13/2023

Footing Number	Location	Size (W x H x L)		Footing Bottom Elevation		Description of Steel Placed	Description of Subgrade Material	Required Blow Counts # of Blows / Increment	Design Bearing Pressure
		Design	Actual	Design **	Depth of Undercut (in)				
1	back porch	x x	x x	N/A			0,-1(Brown SAND),-2/-3 (Natural Soil)	6 0(4,5,4)-1(7,8,5)-2 (6,8,12)-3(12,17,15)	2000
2	West portion	x x	x x	N/A			0,-1(Brown SAND)-2/-3 (Natural Soil)	6 0(5,6,8)-1(14,17,17)-2 (17,18,18)-3(17,18,19)	2000
3	north portion	x x	x x	N/A			0,-1,-2(Brown SAND)-3 (Natural Soil)	6 0(5,6,7)-1(8,11,12)-2 (14,21,21)-3(9,10,12)	2000
4	south east portion	x x	x x	N/A			0,-1(Brown SAND)-2/-3 (Natural Soil)	6 0(5,7,8)-1(12,12,12)-2 (9,16,16)-3(12,16,18)	2000
5	Front porch	x x	x x	N/A			0/-3(Brown SAND)	6 0(4,4,5)-1(4,4,9)-2 (5,6,7)-3(9,9,10)	2000

** SGE: Subgrade Elevation to be determined by surveyor.

By: Cameron R. Hall



Report of Spread Footing - Foundation Observations

Project: Wellons Realty Lot 150
Location: 59 Basswood Ct.
Spring Lake - Cumberland - NC - 28390
Contractor: None Listed

Project No.: 33:6204-K
Day/Date: 1/13/2023

ECS Southeast, LLP

WO: 70440