

NOTICE TO CONTRACTOR
 All construction must comply with current NC Building Codes and is subject to field inspection and verification.

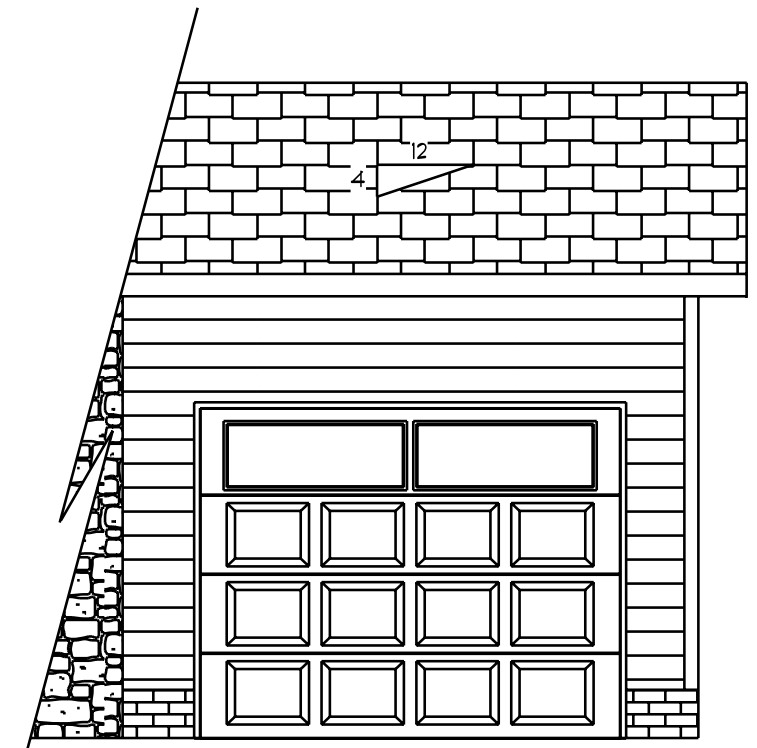
APPROVED
 Limited building only review
 Permit holder responsible for full compliance with the code

08/23/2022

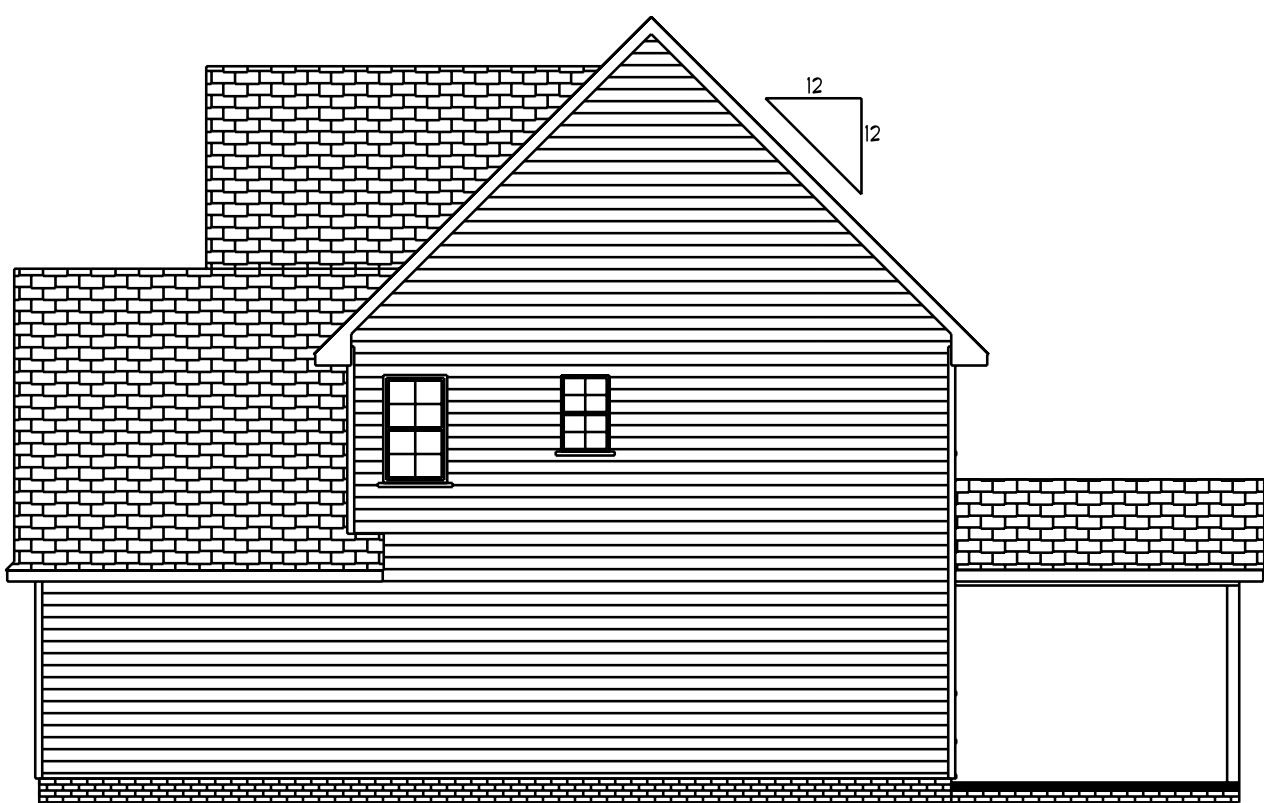




Front Elevation
 Scale: 1/4" = 1'0"



Optional
 3rd Garage



Right Elevation
 Scale: 1/8" = 1'0"



Rear Elevation
 Scale: 1/8" = 1'0"

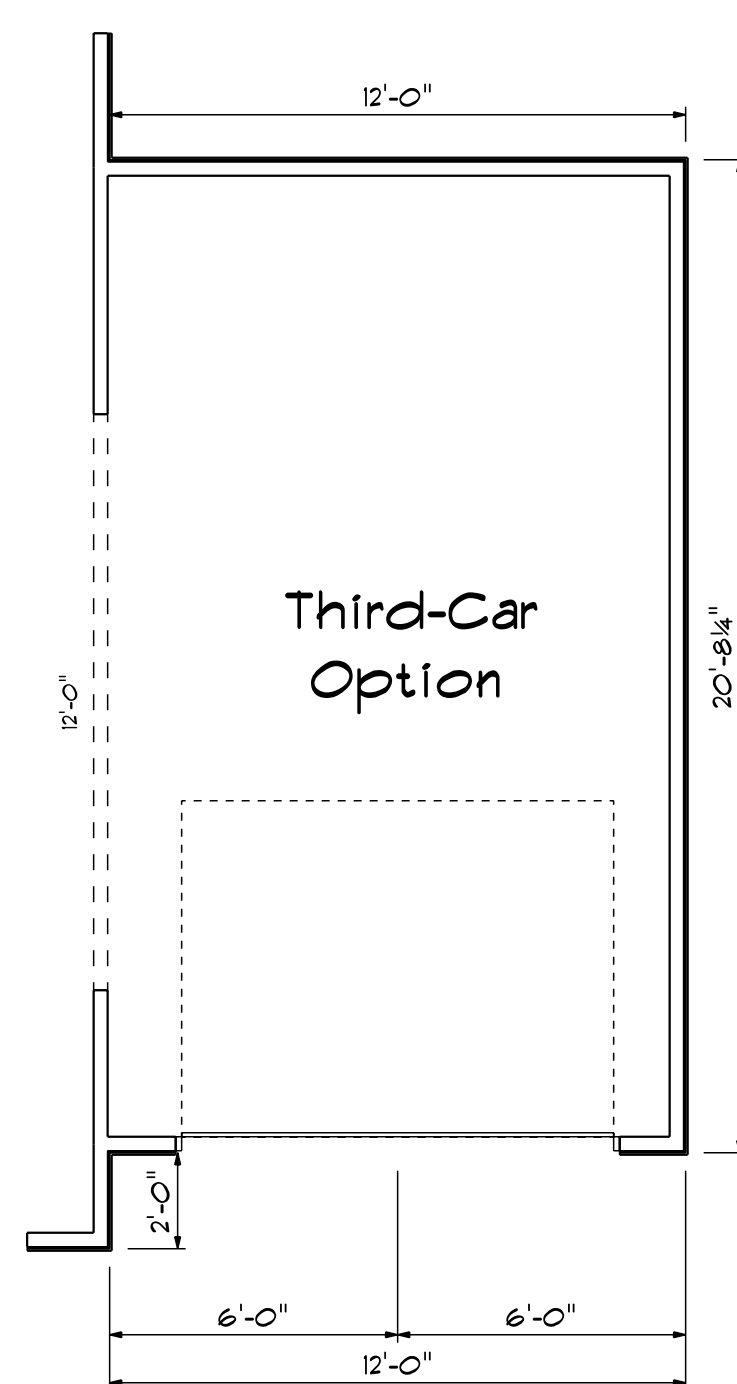
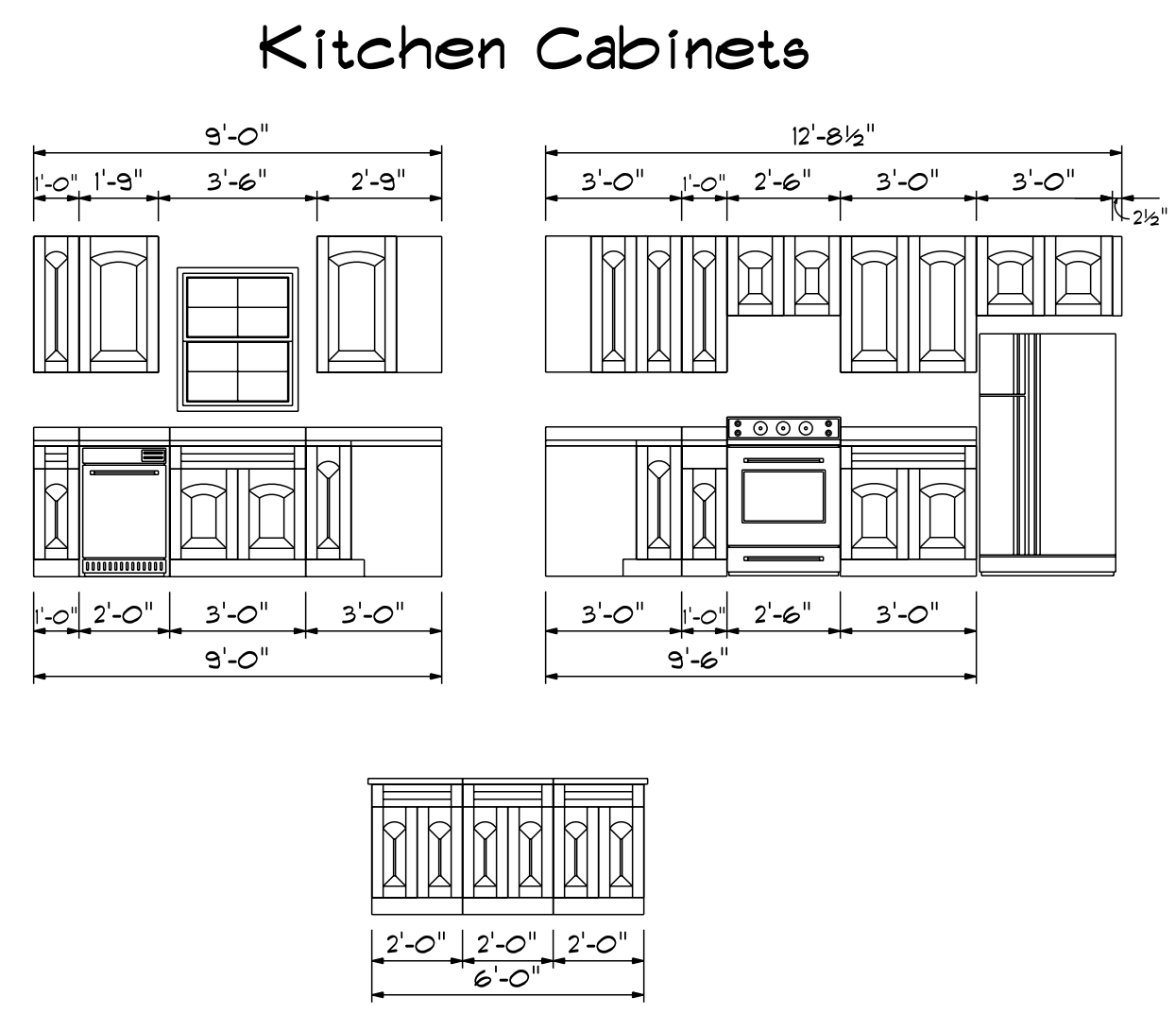
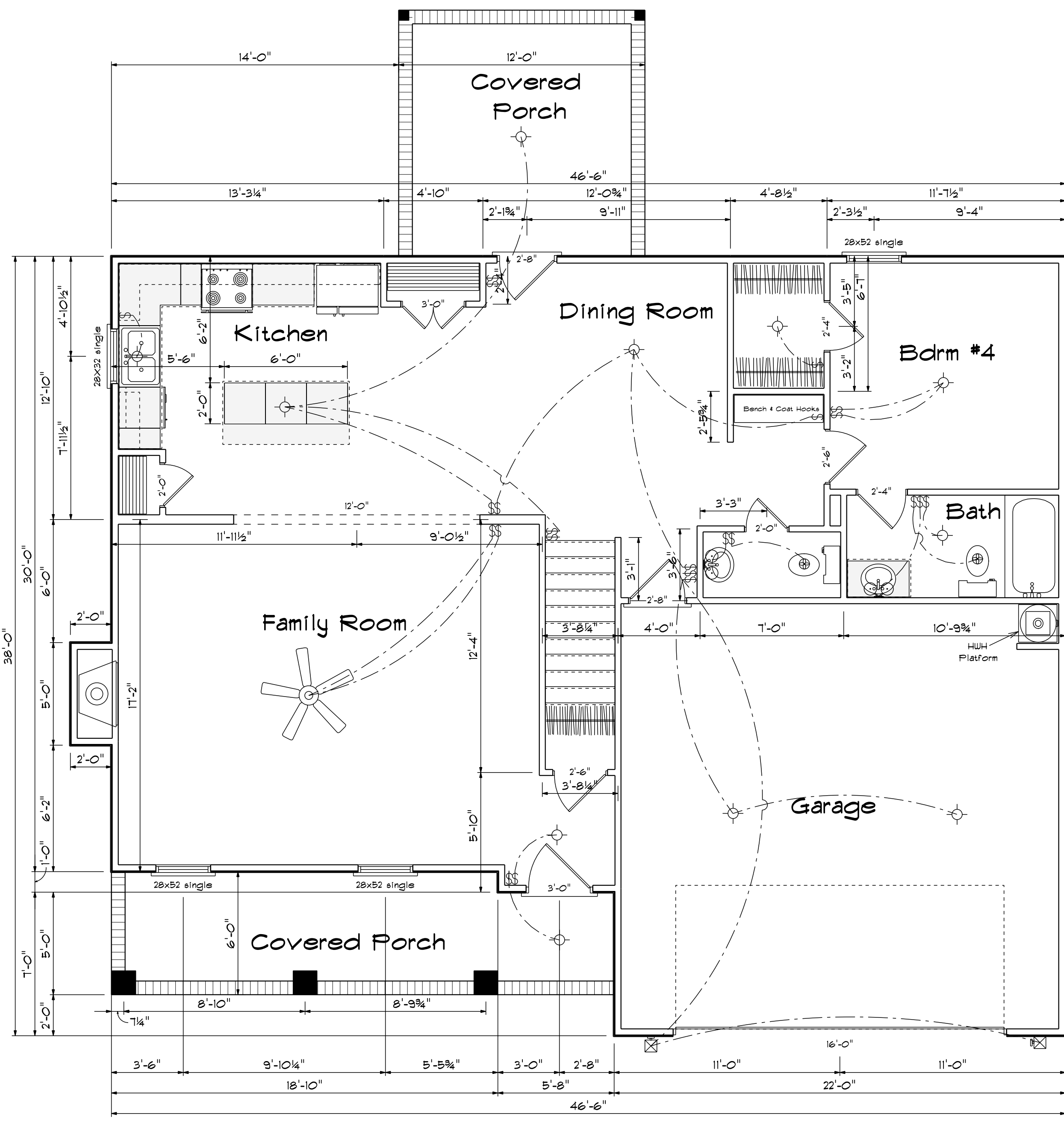


Left Elevation
 Scale: 1/8" = 1'0"

DATE: 1/1/2021
 REVISED
 DRAWING#

SCALE: 1/4"
 DRAWN BY
 APPROVED

Charlotte



FIRST FLOOR OPENING SCHEDULE			
PRODUCT CODE	SIZE	HINGE	COUNT
36X80 COLONIAL A 1	3'-0"	R	1
60X80 FRENCH A 2	5'-0"	RN	1
192X84 - 8 PANEL - 4 WINDOW	16'-0"	U	1
2-4 Door Unit	2'-4"	R	1
2-4 Door Unit	2'-4"	L	1
2-6 Door Unit	2'-6"	R	2
2-8 Door Unit	2'-8"	L	1
3-0 Doublehung Door Unit	3'-0"	LR	1
20 pocket	2'-0"	N	1
28X32 single	2'-8" x 3'-2"	N	1
28x52 single	2'-8" x 5'-2"	N	1
28x52 triple	8'-0" x 5'-2"	NA	1

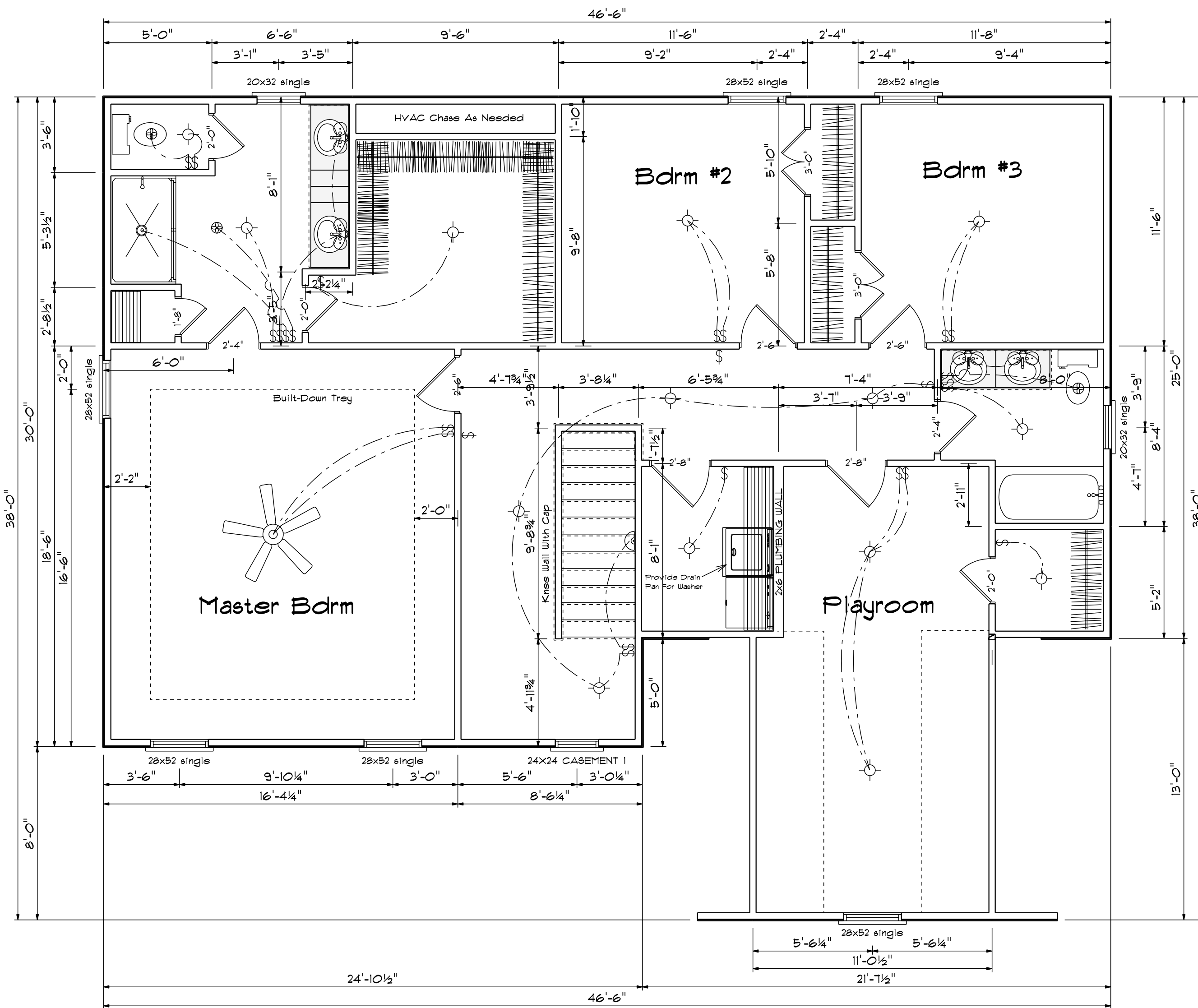
Areas	
First Floor	1123
Second Floor	1404
=====	
Total Heated	2527
Garage	461
Front Porch	128
Covered Porch	144
Optionag Garage	257

First Floor Plan
Scale: 1/4" = 1'-0"

DATE: 1/1/2021
REVISID
DRAWING#

SCALE: 1/4"
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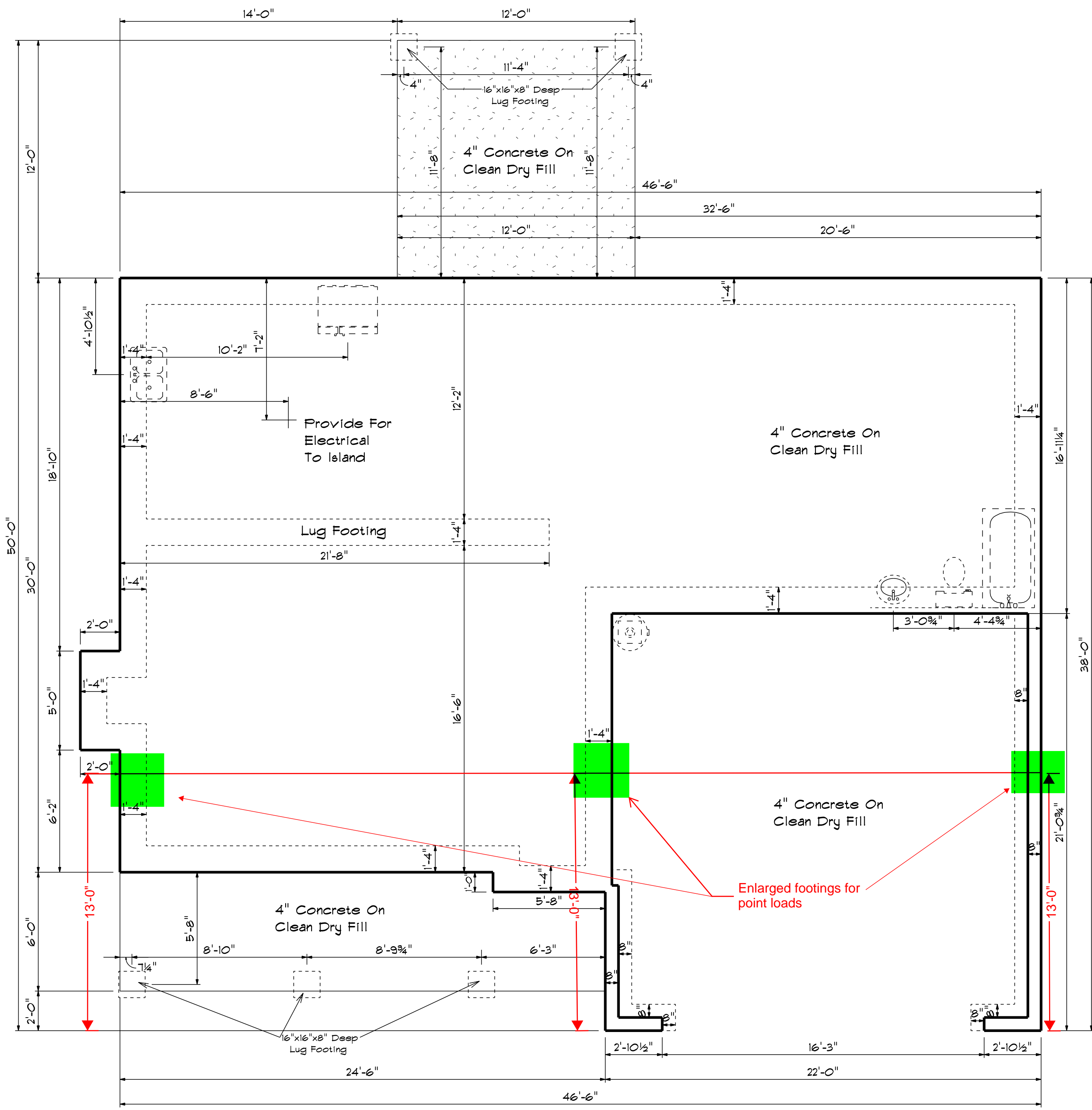
SECOND FLOOR OPENING SCHEDULE			
PRODUCT CODE	SIZE	HINGE	COUNT
1-6 Door Unit	1'-4"	R	1
2-0 Door Unit	2'-0"	R	1
2-4 Door Unit	2'-4"	R	1
2-4 Door Unit	2'-4"	L	2
2-6 Door Unit	2'-6"	R	2
2-6 Door Unit	2'-6"	L	1
2-8 Door Unit	2'-8"	R	2
3-0 Doublehung Door Unit	3'-0"	LR	2
20x32 single	2'-0" x 3'-2"	N	2
28x52 single	2'-8" x 5'-2"	N	5
28x52 triple	8'-0" x 5'-2"	NA	1

Second Floor Plan
 Scale: 1/4" = 1'-0"

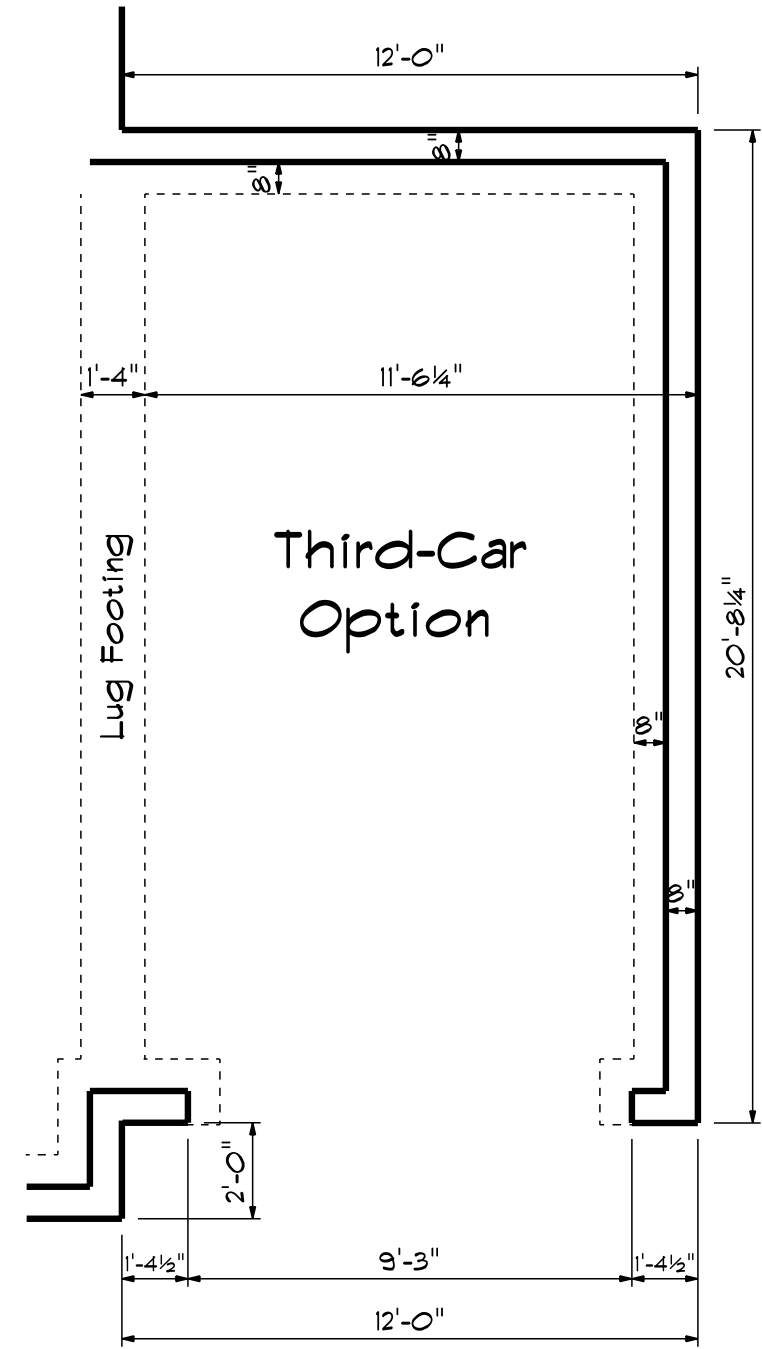
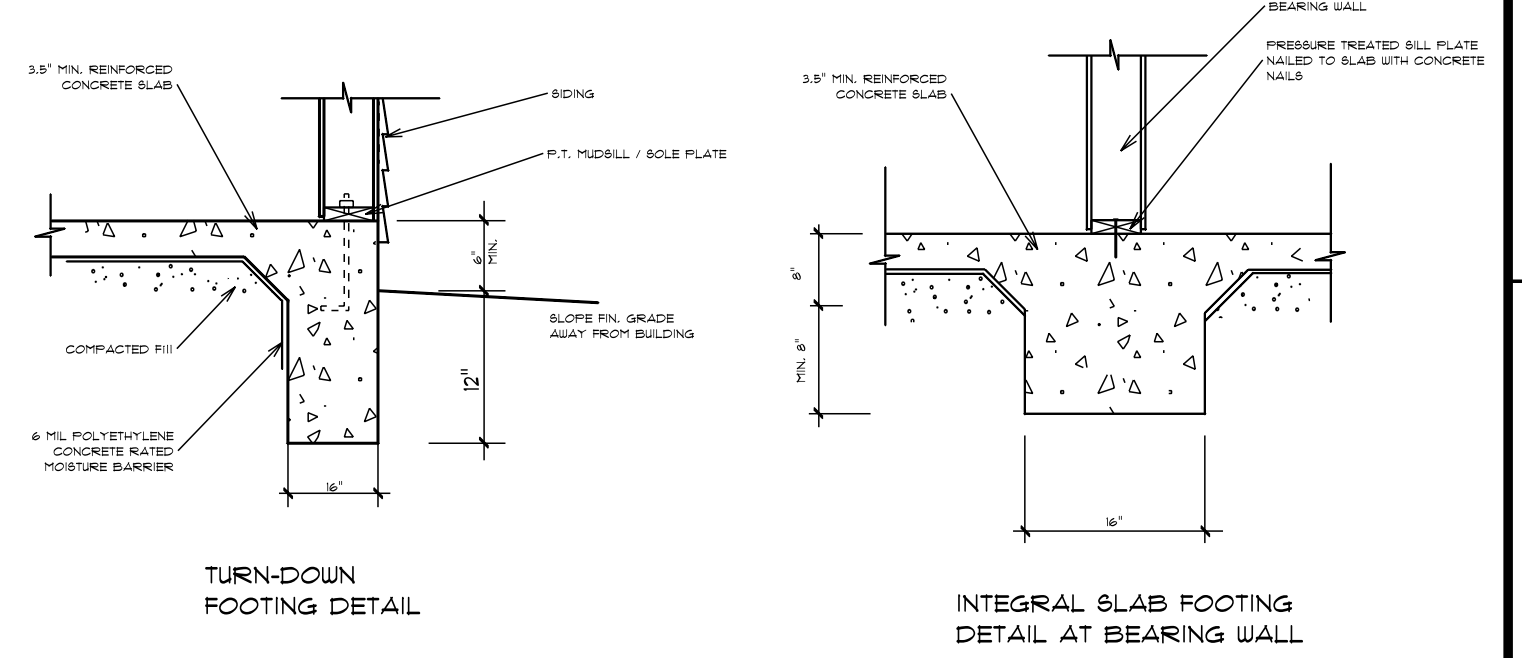
DATE: 1/1/2021
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SCALE: 1/4"
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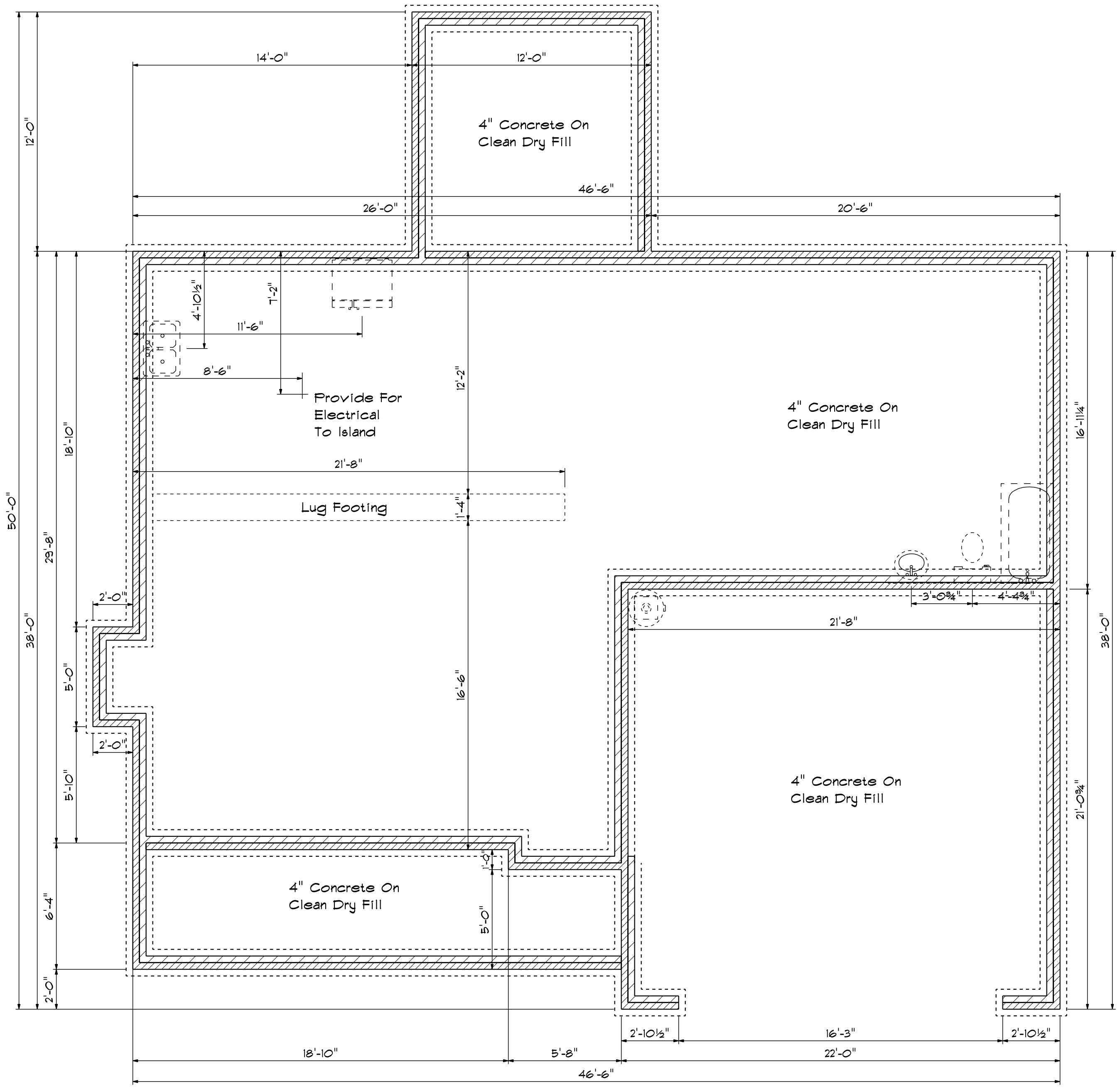


Foundation Plan
 Scale: 1/4" = 1'-0"



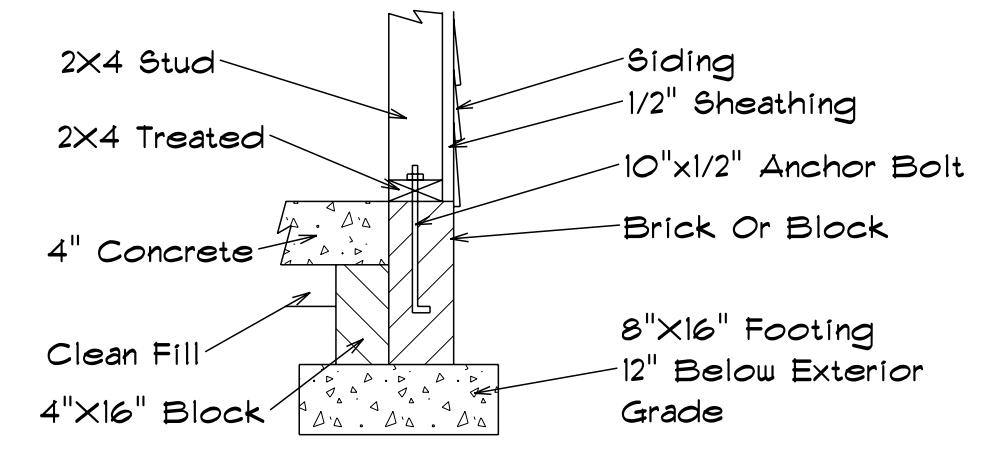
DATE: 1/11/2021
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DRAWING#
SCALE: 1/4"
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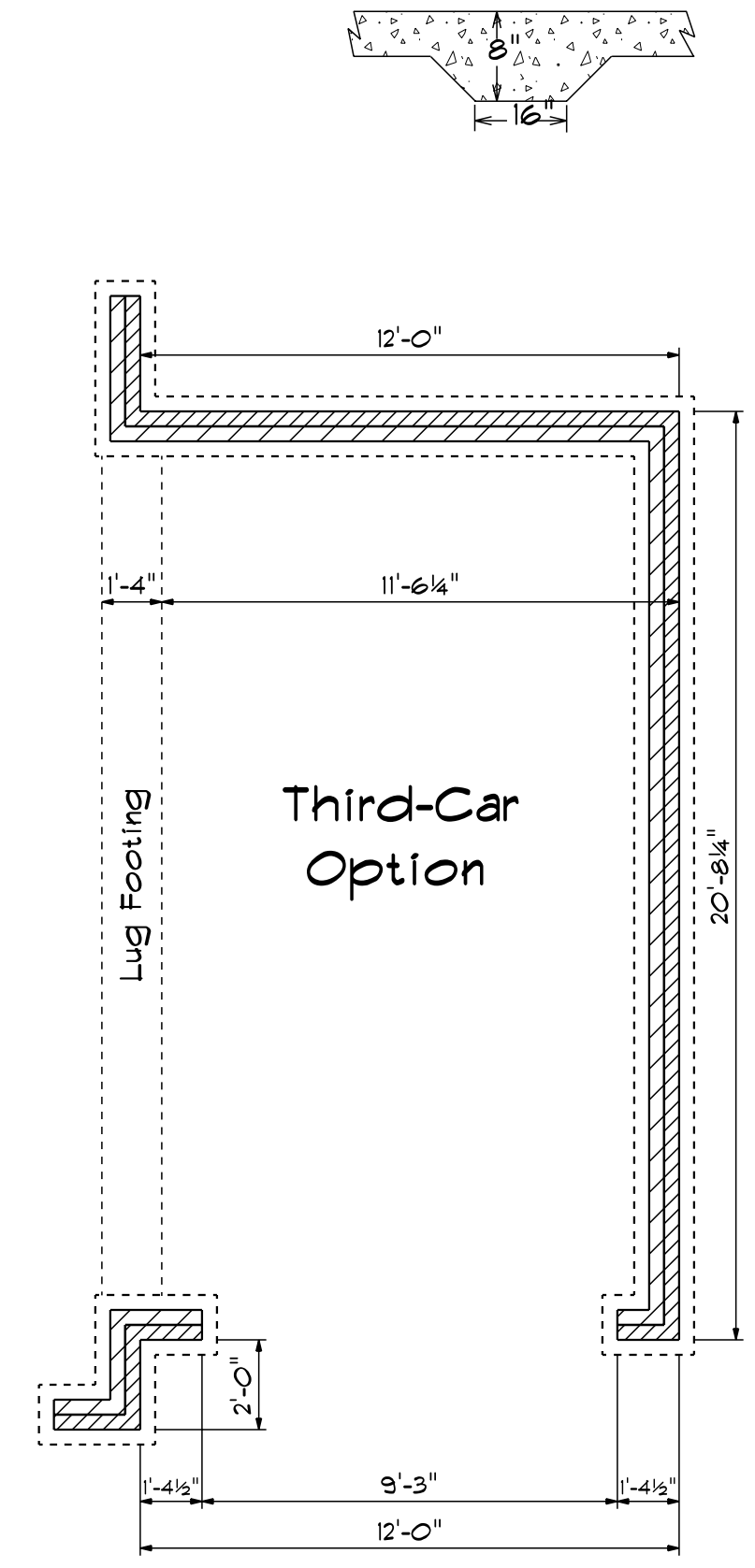


Foundation Plan
 Scale: 1/4" = 1'-0"

Foundation Detail Siding



Lug Footing Detail



DATE: 1/1/2021
 REVISED
 DRAWING#

SCALE: 1/4"
 DRAWN BY
 APPROVED

Charlotte



ROOF & FLOOR TRUSSES & BEAMS

Reilly Road Industrial Park
 Fayetteville, N.C. 28309
 Phone: (910) 864-8787
 Fax: (910) 864-4444

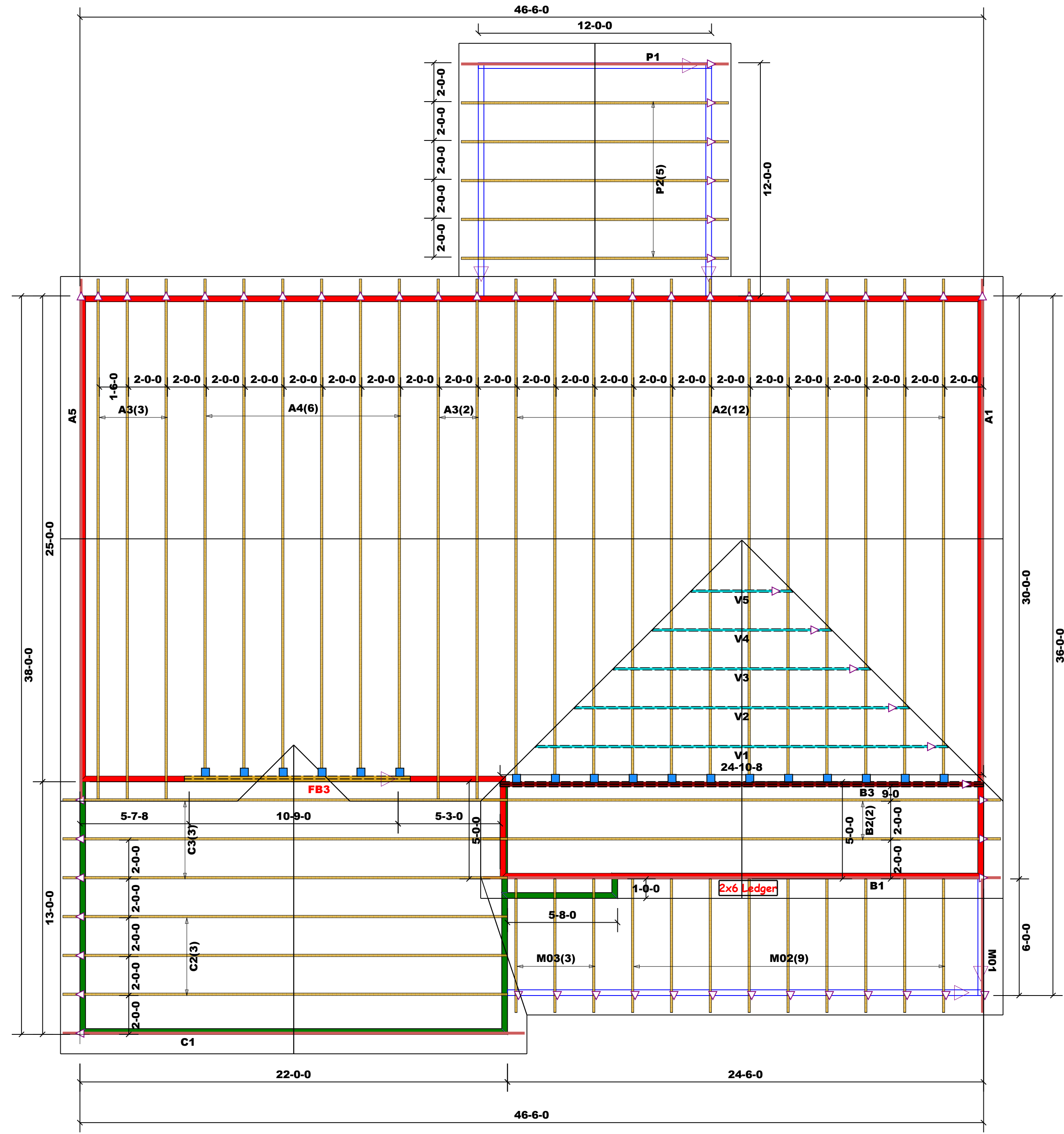
Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The contractor shall refer to the attached Tables (derived from the prescriptive Code requirements) to determine the minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for any reaction that exceeds those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature *Marshall Naylor*
Marshall Naylor

LOAD CHART FOR JACK STUDS

(BASED ON TABLES R502.5(1) & (b))
 NUMBER OF JACK STUDS REQUIRED @ EA END OF HEADER/GIRDER

END REACTION (UP TO)	REQ'D STUDS FOR (1) PLY HEADER	END REACTION (UP TO)	REQ'D STUDS FOR (2) PLY HEADER	END REACTION (UP TO)	REQ'D STUDS FOR (4) PLY HEADER
1700	1	2550	1	3400	1
3400	2	5100	2	6800	2
5100	3	7650	3	10200	3
6800	4	10200	4	13600	4
8500	5	12750	5	17000	5
10200	6	15300	6		
11900	7				
13600	8				
15300	9				



HUS26	USP	18	NA	16d/3-1/2"	16d/3-1/2"
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- = 1st Level Wall
- = 2nd Level Wall

Products				
PlotID	Length	Product	Plies	Net Qty
FB3	12-0-0	1-3/4"x 11-7/8" LVL Kerto-S	2	2

Truss Placement Plan
 SCALE: 1/4"=1'

BUILDER	Ben Stout Real Estate	CITY / CO.	Harnett County / Harnett
JOB NAME	Lot 53 Liberty Meadows	ADDRESS	61 Solomon Dr.
PLAN	Charlotte	MODEL	Roof
SEAL DATE	N/A	DATE REV.	08/04/22
QUOTE #	Quote #	DRAWN BY	Marshall Naylor
JOB #	J0822-3983	SALES REP.	Marshall Naylor

▲ = Indicates Left End of Truss
(Reference Engineered Truss Drawing)
Do NOT Erect Truss Backwards

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult BCSI-B1 and BCSI-B3 provided with the truss delivery package or online @ sbcindustry.com



ROOF & FLOOR TRUSSES & BEAMS
 Reilly Road Industrial Park
 Fayetteville, NC 28309
 Phone: (910) 864-8787
 Fax: (910) 864-4444

Bearing reactions less than or equal to 3000# are deemed to comply with the prescriptive Code requirements. The minimum foundation size and number of wood studs required to support reactions greater than 3000# but not greater than 15000#. A registered design professional shall be retained to design the support system for all reactions that exceed those specified in the attached Tables. A registered design professional shall be retained to design the support system for all reactions that exceed 15000#.

Signature: *Marshall Naylor*
 Title: *Marshall Naylor*

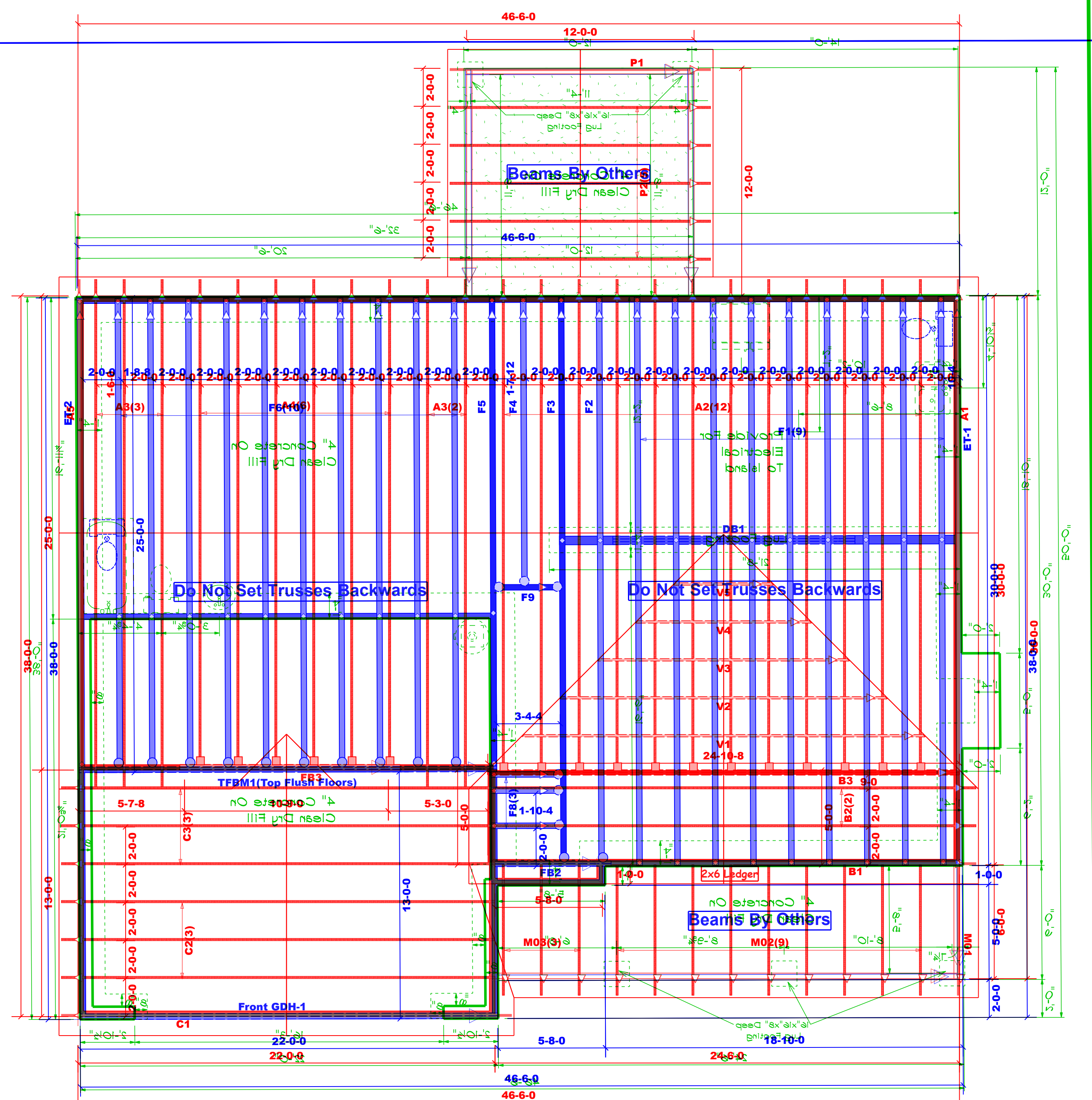
LOAD CHART FOR JACK STUDS
 (BASED ON TABLE 500.2(1) AND (2))

END REACTION (UP TO)	REQ'D STUDS FOR EACH HEAVY/HEADER	END REACTION (UP TO)	REQ'D STUDS FOR EACH HEAVY/HEADER
1700	1	2550	1
3400	2	5100	2
5100	3	7650	3
6800	4	10200	4
8500	5	12750	5
10200	6	15300	6
11900	7		
13600	8		
15300	9		

CITY / CO. Harnett County / Harnett
ADDRESS 61 Solomon Dr.
MODEL Floor
DATE REV. 08/04/22
DRAWN BY Marshall Naylor
SALES REP. Marshall Naylor

BUILDER Ben Stout Real Estate
JOB NAME Lot 53 Liberty Meadows
BUILDER Ben Stout Real Estate
JOB NAME Lot 53 Liberty Meadows
CHARLOTTE Charlotte
DATE N/A
PLAN Charlotte
SEAL DATE N/A
SEAL N/A
QUOTE # J0822-3984
QUOTE # J0822-3984

JOB # J0822-3983
SALES REP. Marshall Naylor



FOUNDATION PLAN
 Scale 1/4" = 1'-0"

HUS26	USP	18	NA	16d/3-1/2"	16d/3-1/2"
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1st Level Wall
2nd Level Wall

PlotID	Length	Product	Piles	Net Qty
FB3	12-0-0	1-3/4" x 11-7/8" LVL Kerto-S	2	2

HUS410	USP	12	NA	16d/3-1/2"	16d/3-1/2"
MSH422	USP	6	Varies	10d/3"	10d/3"

Truss Placement Plan
 SCALE: 1/4" = 1'-0"

PlotID	Length	Product	Piles	Net Qty
Front GDH-1	22-0-0	1-3/4" x 11-7/8" LVL Kerto-S	2	2
DB1	1-3/4" x 11-7/8" LVL Kerto-S		3	3
FB2	1-3/4" x 14" LVL Kerto-S		2	2
TFBM1(Top Flush Floors)	22-0-0	1-3/4" x 23-7/8" LVL Kerto-S	2	2

▲ = Indicates Left End of Truss
 (Reference Engineered Truss Drawing)
 Do NOT Erect Truss Backwards

▲ = Indicates Left End of Truss

THIS IS A TRUSS LAYOUT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design. The specification of the truss design is the responsibility of the building designer. See individual drawings for truss design details. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and foundations is the responsibility of the building designer.