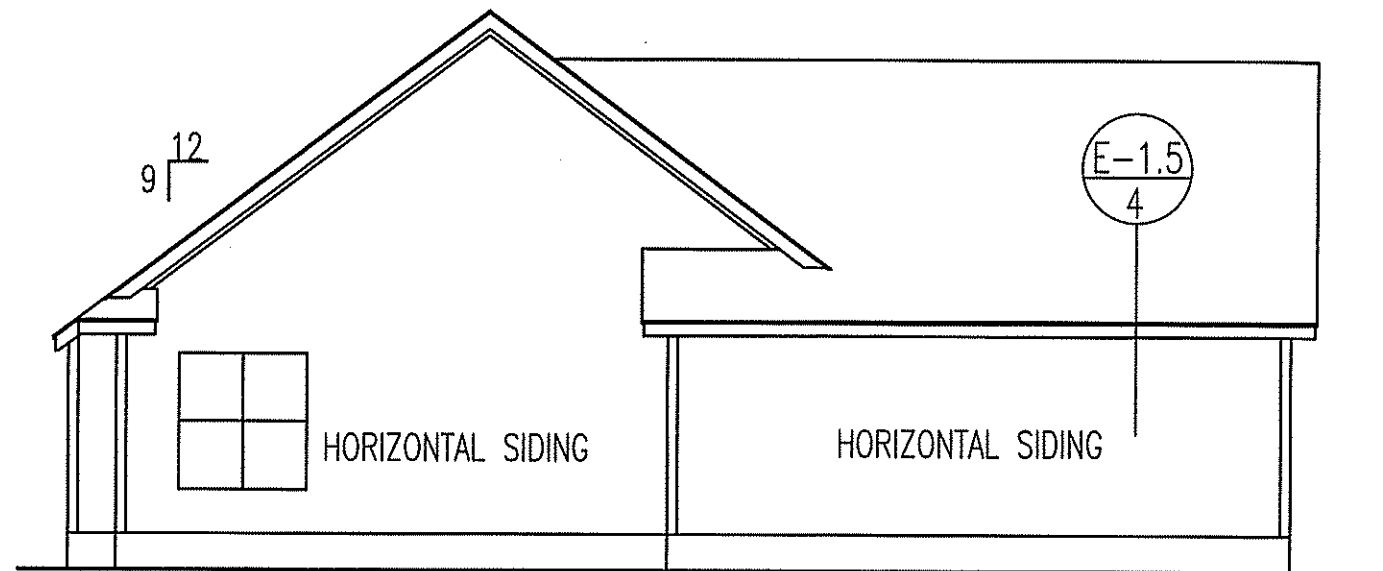


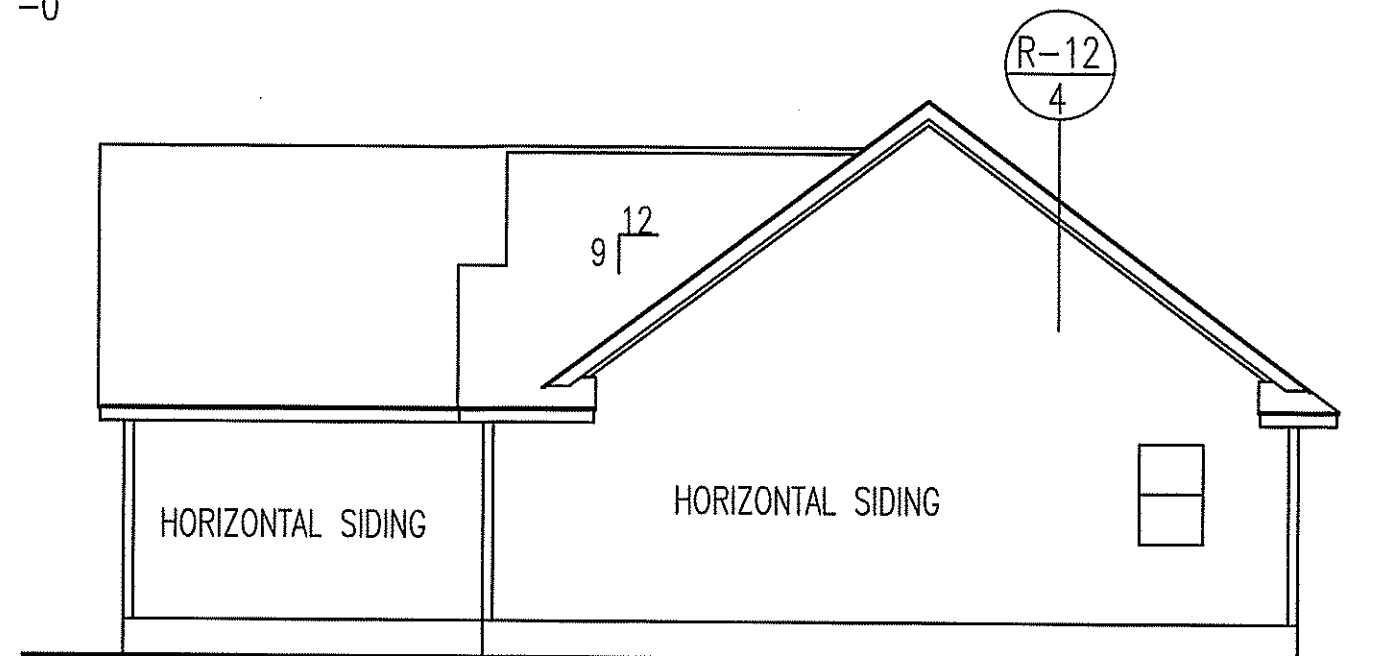
BONUS ROOM
DROPPED 1'-0"



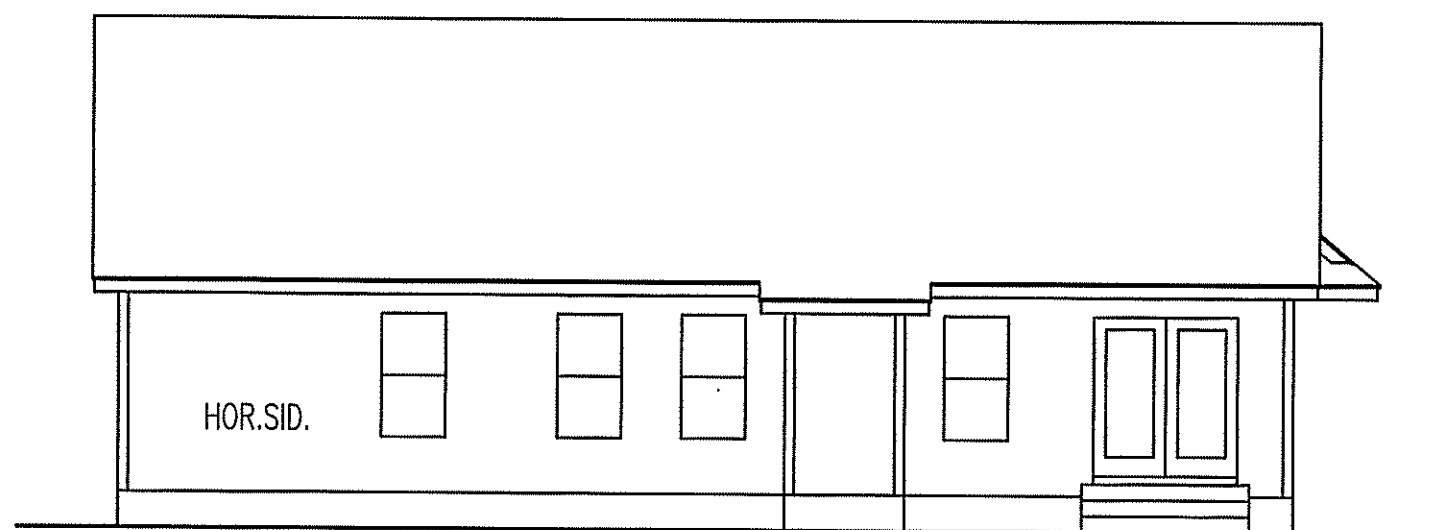
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION
SCALE: 1/8" = 1'-0"

TM DESIGNS
RESIDENTIAL PLANS BY TINA MCFADDEN
(910) 354-4736 TMDESIGNS2016@GMAIL.COM

EXCLUSIVE RESIDENCE DESIGN FOR:
WELTONS

LOT:

NAME: Stanton

© 2017. COPYRIGHT ALL RIGHTS RESERVED

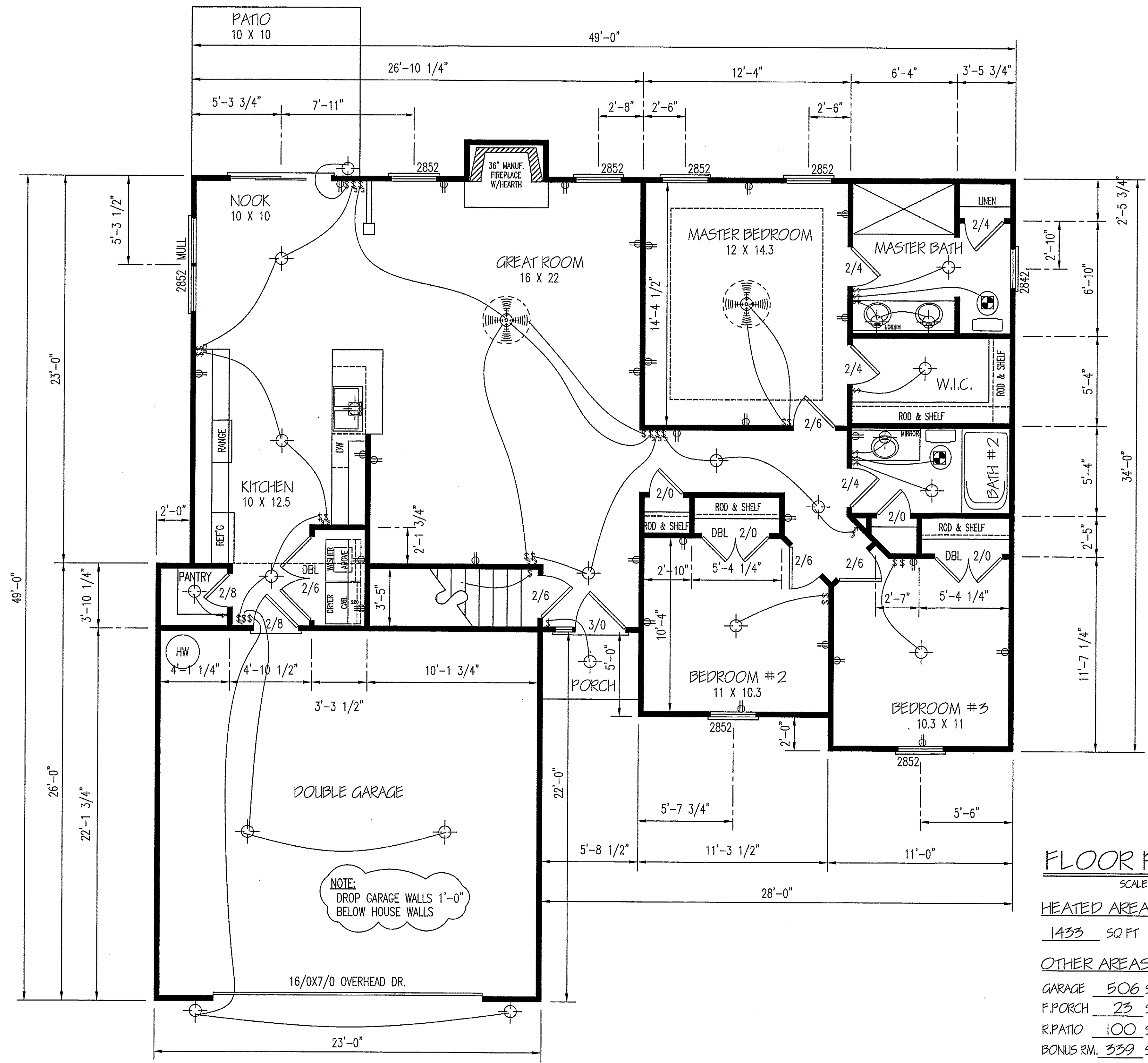
TM DESIGNS WILL NOT BE LIABLE FOR ANY ERRORS NOT BROUGHT TO THEIR ATTENTION PRIOR TO THE START OF CONSTRUCTION. WHILE EVERY EFFORT WAS MADE IN THE PREPARATION OF THESE DRAWINGS AND DIMENSIONS TO AVOID ERRORS THE OWNER AND/OR BUILDER SHALL VERIFY ALL DIMENSIONS, DETAILS, LOCAL AND STATE CODES.

I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2012 INTERNATIONAL BUILDING CODES

THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT. NOT TO BE REUSED

PLAN NUMBER
RG14-A01

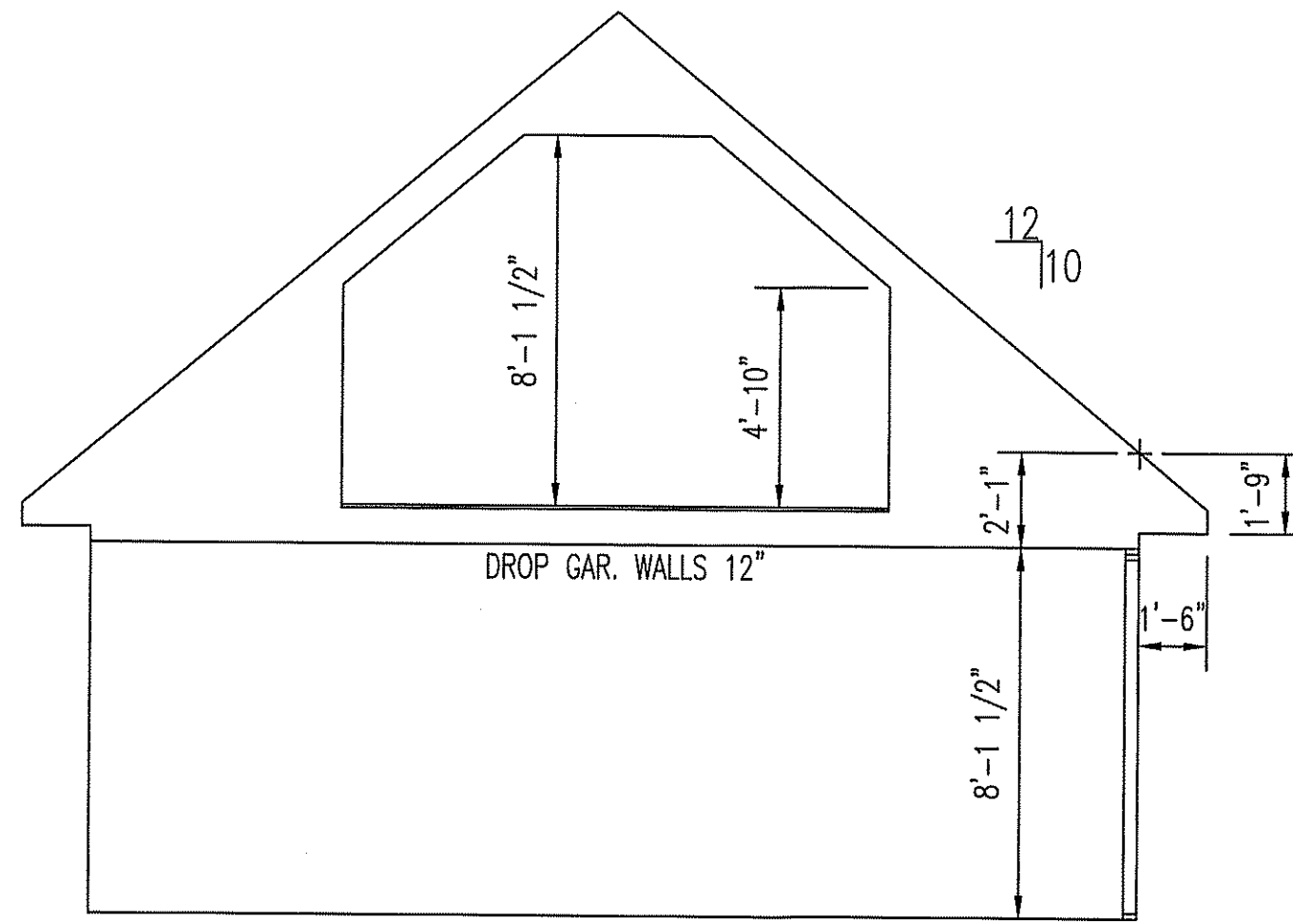
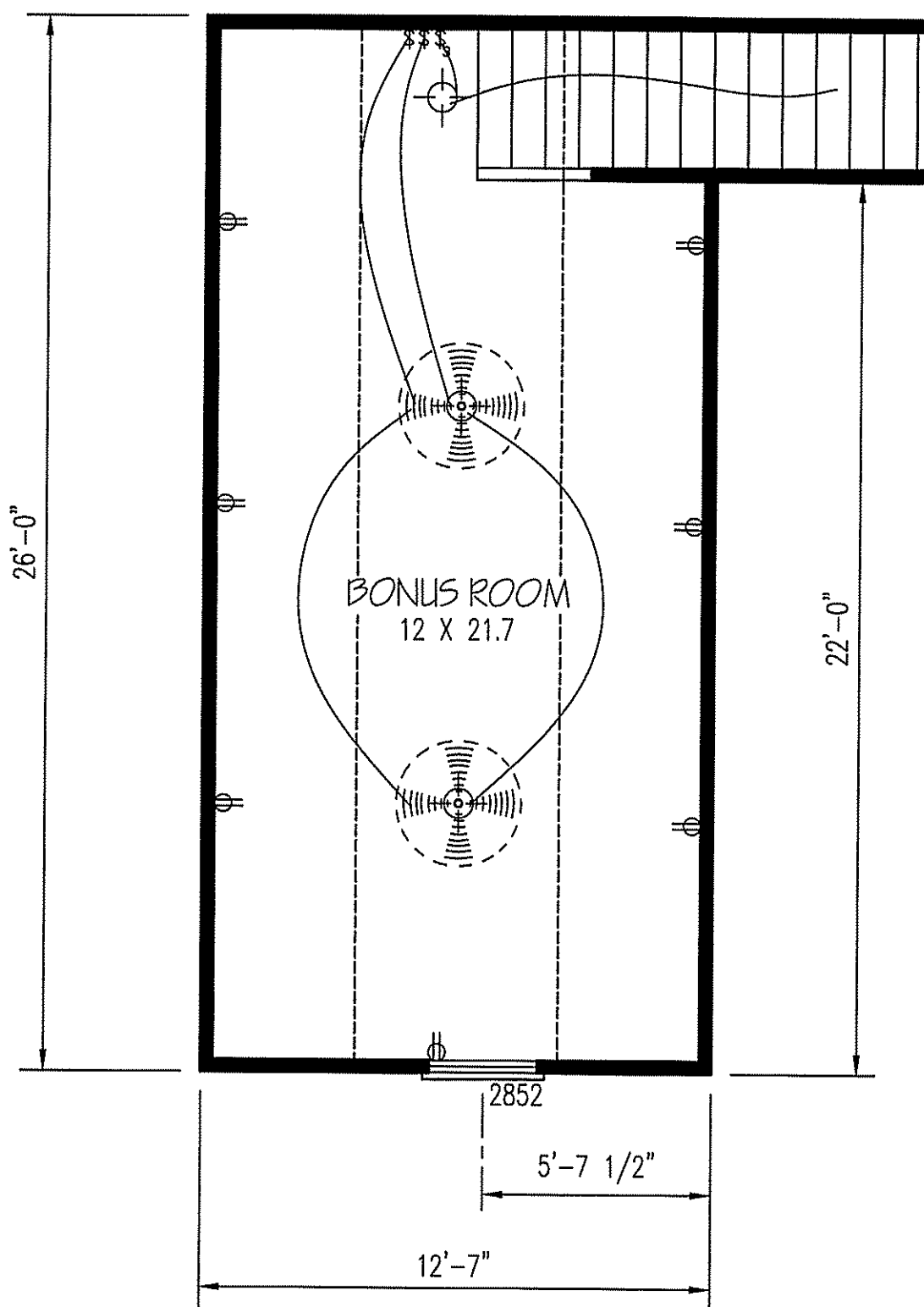
1	GARAGE	F	L
	DATE:	5/19/17	



FLOOR PLAN
 SCALE: 1/4" = 1'-0"

HEATED AREA
 1433 SQ FT

OTHER AREAS
 GARAGE 506 SQ FT
 F.PORCH 23 SQ FT
 R.PATIO 100 SQ FT
 BONUS RM. 339 SQ FT



EXCLUSIVE RESIDENCE DESIGN FOR:

WELLONS

NAME: Stanton

LOT:

© 2017. COPYRIGHT ALL RIGHTS RESERVED
 TM DESIGNS SHALL NOT BE LIABLE FOR ANY ERRORS NOT BROUGHT TO THEIR ATTENTION PRIOR TO THE START OF CONSTRUCTION. WHILE EVERY EFFORT WAS MADE IN THE PREPARATION OF THESE DRAWINGS AND DIMENSIONS TO AVOID ERRORS THE OWNER AND/OR BUILDER SHALL VERIFY ALL DIMENSIONS, DETAILS, LOCAL AND STATE CODES.

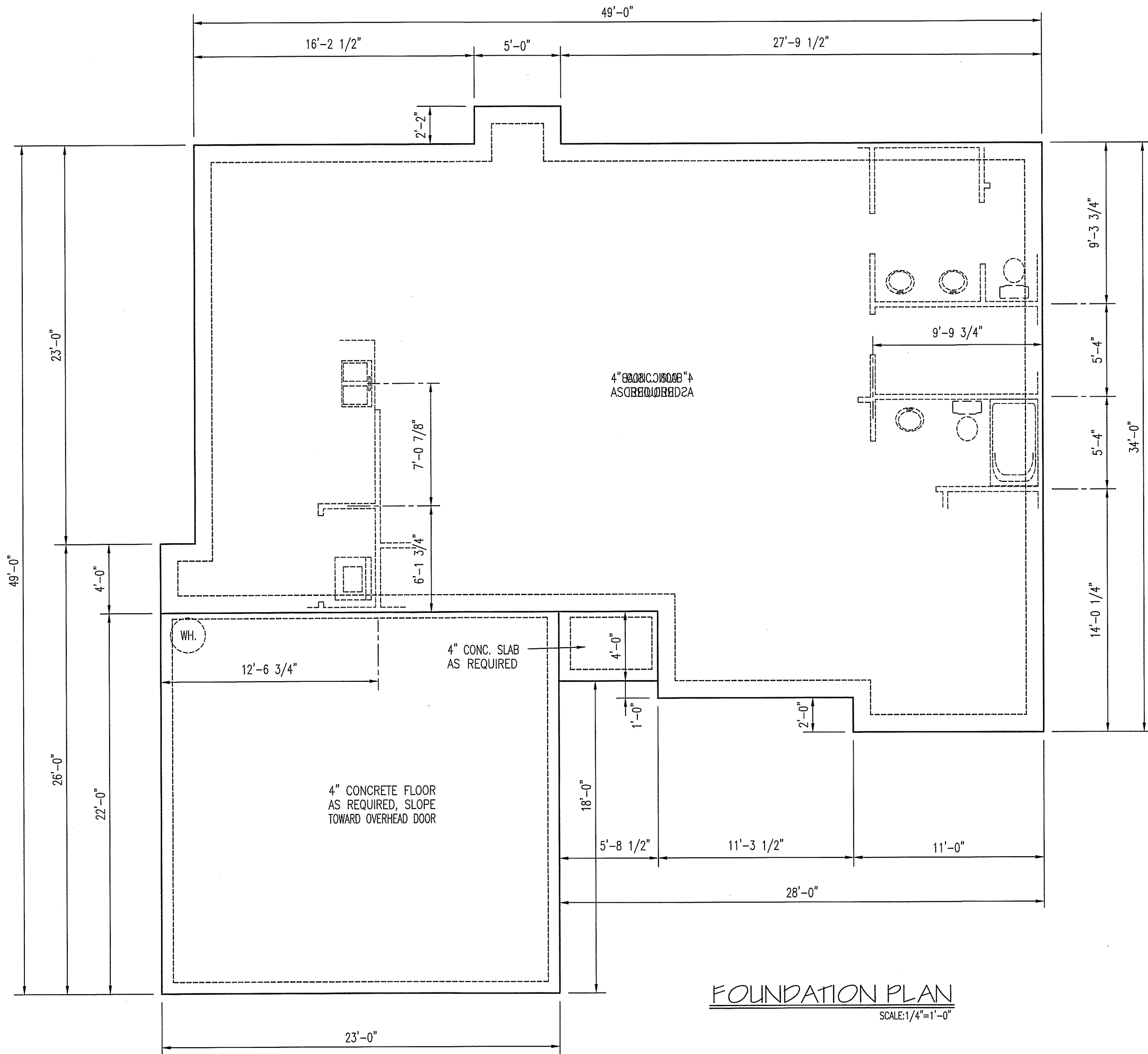
I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2012 INTERNATIONAL BUILDING CODES

THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED

PLAN NUMBER
 RG14-A01

2 B	GARAGE	F	L
	DATE:	5/19/17	

TM DESIGNS
 RESIDENTIAL PLANS BY TINA MCFADDEN
 (910) 354-4736 TMDESIGNS2016@GMAIL.COM



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

T M DESIGNS
RESIDENTIAL PLANS BY TINA MCFADDEN
(910) 354-4736 TMDESIGNS2016@GMAIL.COM

EXCLUSIVE RESIDENCE DESIGN FOR:
WELTONS

NAME: Stanton
LOT:

© 2017 COPYRIGHT ALL RIGHTS RESERVED
T M DESIGNS WILL NOT BE LIABLE FOR ANY ERRORS NOT BROUGHT TO THEIR ATTENTION PRIOR TO THE START OF CONSTRUCTION. WHILE EVERY EFFORT WAS MADE IN THE PREPARATION OF THESE DRAWINGS AND DIMENSIONS TO AVOID ERRORS THE OWNER AND/OR BUILDER SHALL VERIFY ALL DIMENSIONS, DETAILS, LOCAL AND STATE CODES.
I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2012 INTERNATIONAL BUILDING CODES
THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED

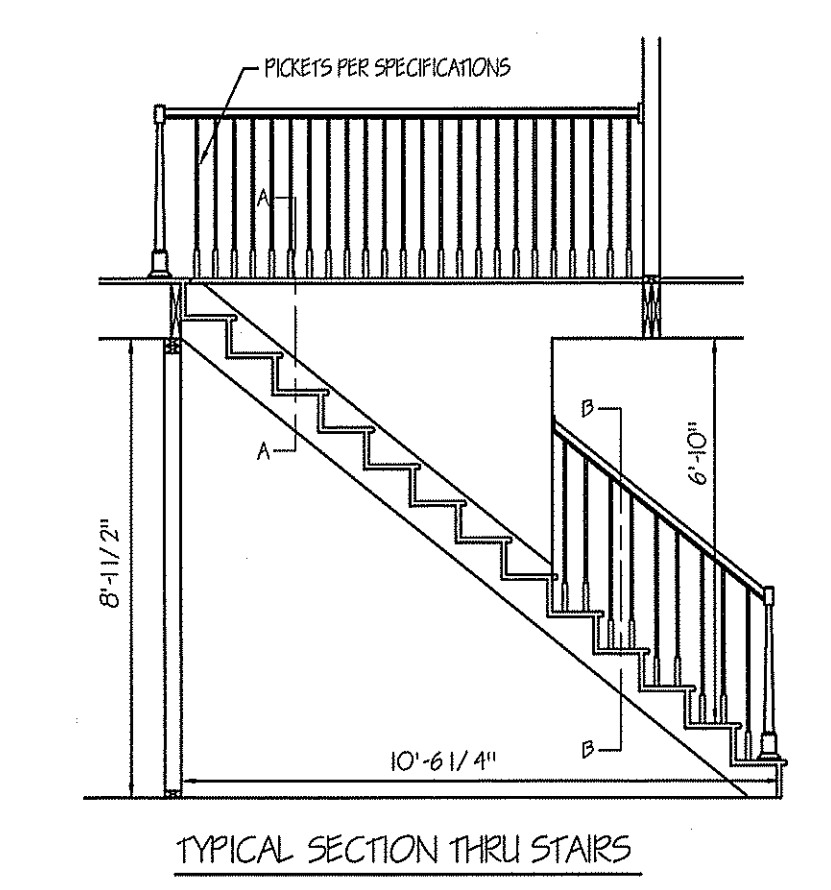
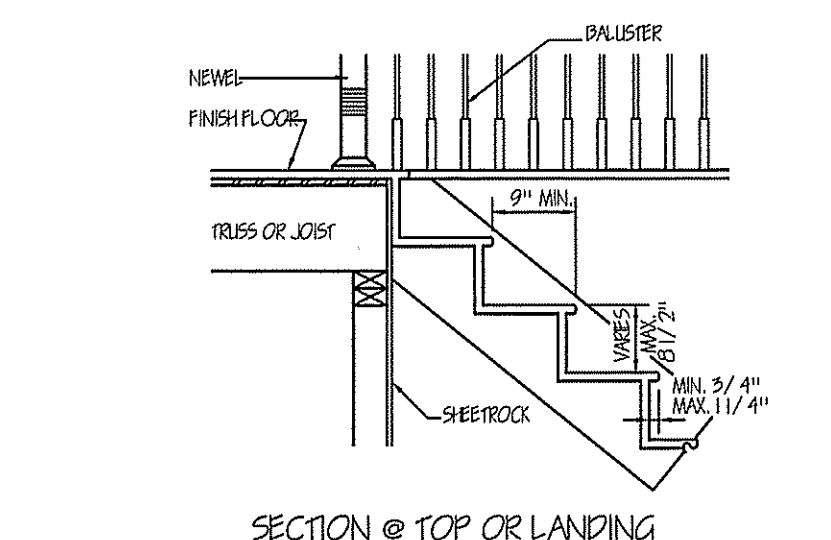
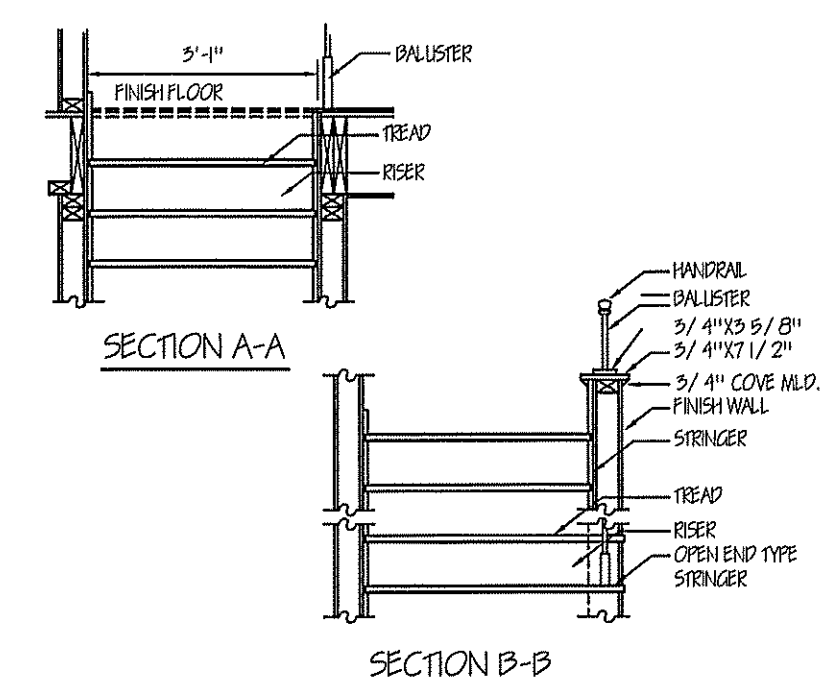
PLAN NUMBER
RG14-A01

3 GARAGE F L
DATE: 5/19/17

© 2016. COPYRIGHT ALL RIGHTS RESERVED
TM DESIGNS WILL NOT BE LIABLE FOR ANY ERRORS NOT BROUGHT TO THEIR ATTENTION PRIOR TO THE START OF CONSTRUCTION. WHILE EVERY EFFORT WAS MADE IN THE PREPARATION OF THESE DRAWINGS AND DIMENSIONS TO AVOID ERRORS THE OWNER AND/OR BUILDER SHALL VERIFY ALL DIMENSIONS, DETAILS, LOCAL AND STATE CODES.
I HEREBY CERTIFY THAT THIS DRAWING MEETS LOCAL CODES, 2012 INTERNATIONAL BUILDING CODES
THIS IS FOR THE CONSTRUCTION OF ONE HOUSE ON A SINGLE LOT, NOT TO BE REUSED

PLAN NUMBER
DETAILS

DA DATE: 7/27/16



ELECTRICAL LEGEND
*** NOTE: SWITCHED RECEPTACLES ARE HALF HOT AND HALF SWITCHED

- LIGHT-JUNCTION BOX
- RECESSED LIGHT
- ⊞ EXHAUST FAN
- ⊞ LIGHT-FAN COMBINATION
- ⊞ FLOOD LIGHTS
- ⊞ FLUORESCENT TUBE
- ⊞ FLUORESCENT LIGHT FIXTURE
- ⊞ CEILING FANS W/VAR-CONTROL
- ⊞ CEIL. FANS W/VAR-CONTROL & LIGHT
- ⊞ TYPICAL WALL RECEPTACLE
- ⊞ FLOOR RECEPTACLE
- ⊞ CEILING RECEPTACLE
- ⊞ WATERPROOF RECEPTACLE
- ⊞ 220 RECEPTACLE
- ⊞ MASTER SWITCH TO ALL FLOOD LIGHTS
- ⊞ TYPICAL SWITCH
- ⊞ 3-WAY OR MORE (see plan) SWITCHING
- ⊞ DIMMER SWITCH
- ⊞ PANEL BOX
- ⊞ TELEVISION JACKS (T.V.)
- ⊞ TELEPHONE JACKS
- ⊞ SMOKE DETECTOR

PIER AND FOOTING SIZES FOR SUPPORT OF GIRDERS

AREA ²	ONE STORY		TWO STORY		TWO & ONE HALF STORY	
	PIER 3/4	FOOTING	PIER 3/4	FOOTING	PIER 3/4	FOOTING
50	8" X 16"	16" X 24" X 8"	8" X 16"	16" X 30" X 8"	8" X 16"	16" X 30" X 8"
100	8" X 16"	16" X 24" X 8"	8" X 16"	24" X 24" X 10"	16" X 16"	30" X 30" X 10"
150	8" X 16"	24" X 24" X 8"	16" X 16"	32" X 32" X 10"	16" X 16"	36" X 36" X 10"
200	8" X 16"	28" X 28" X 10"	16" X 16"	36" X 36" X 10"	16" X 16"	47" X 44" X 12"
250	-	-	16" X 16"	40" X 40" X 12"	16" X 24"	48" X 48" X 12"
300	-	-	16" X 16"	44" X 44" X 12"	16" X 24"	54" X 54" X 12"

CONVENTIONAL LIGHT-FRAME CONSTRUCTION

STORY	12	12	12	12
1 STORY	12	12	12	12
2 STORY	15	15	12	12
3 STORY	23	17	12	12

4-INCH BRICK VENEER OVER LIGHT FRAME OR 8-INCH HOLLOW CONCRETE MASONRY

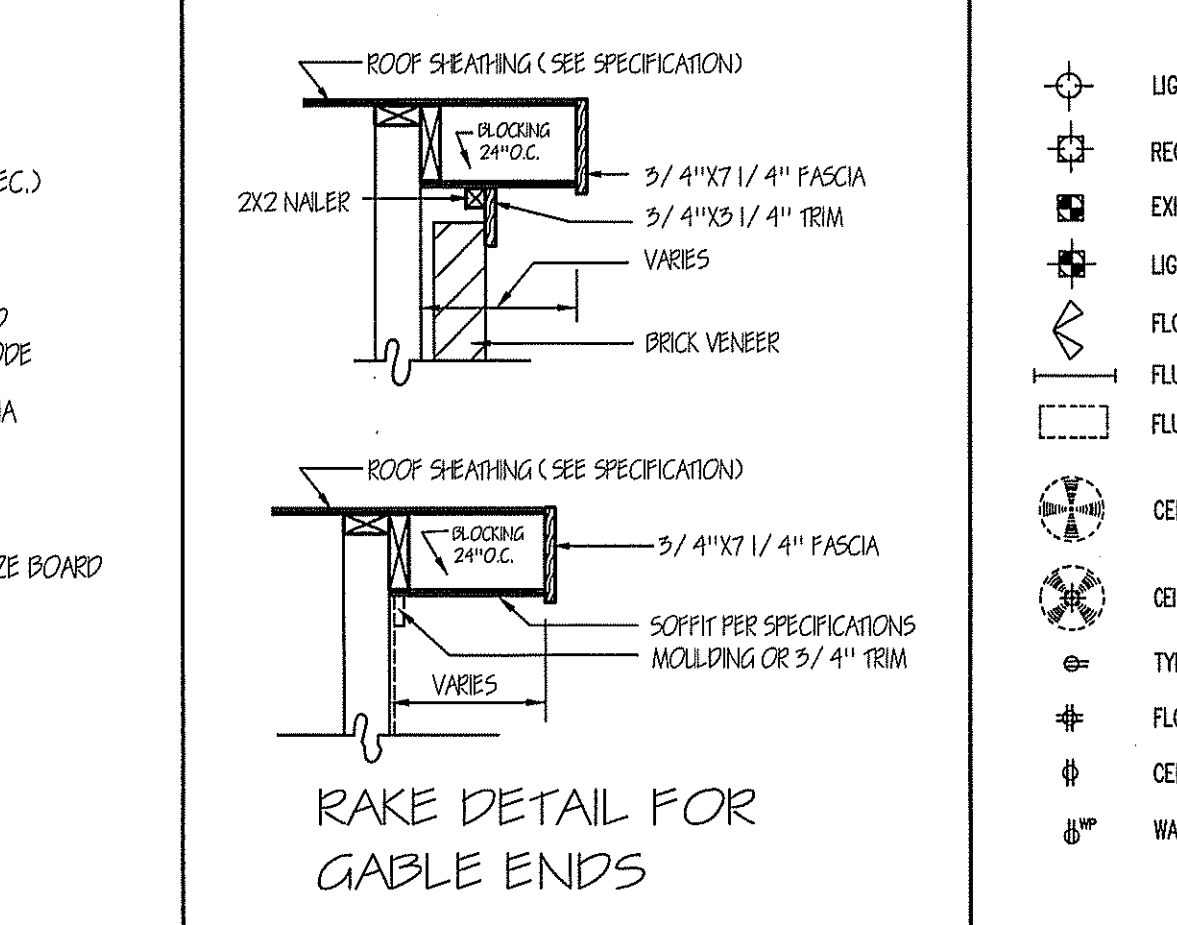
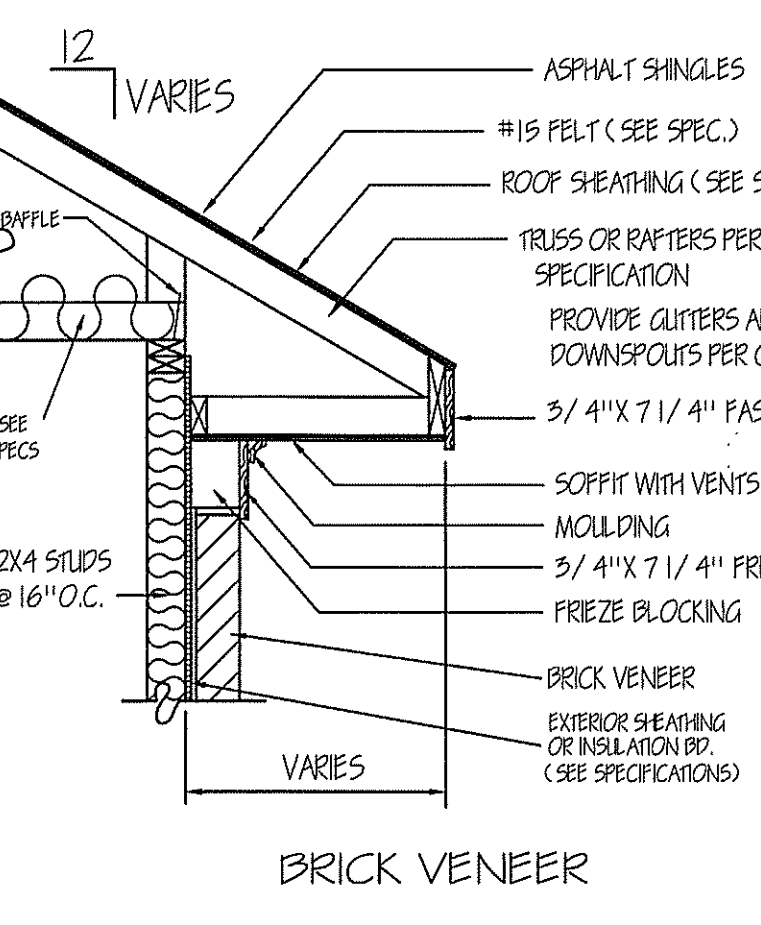
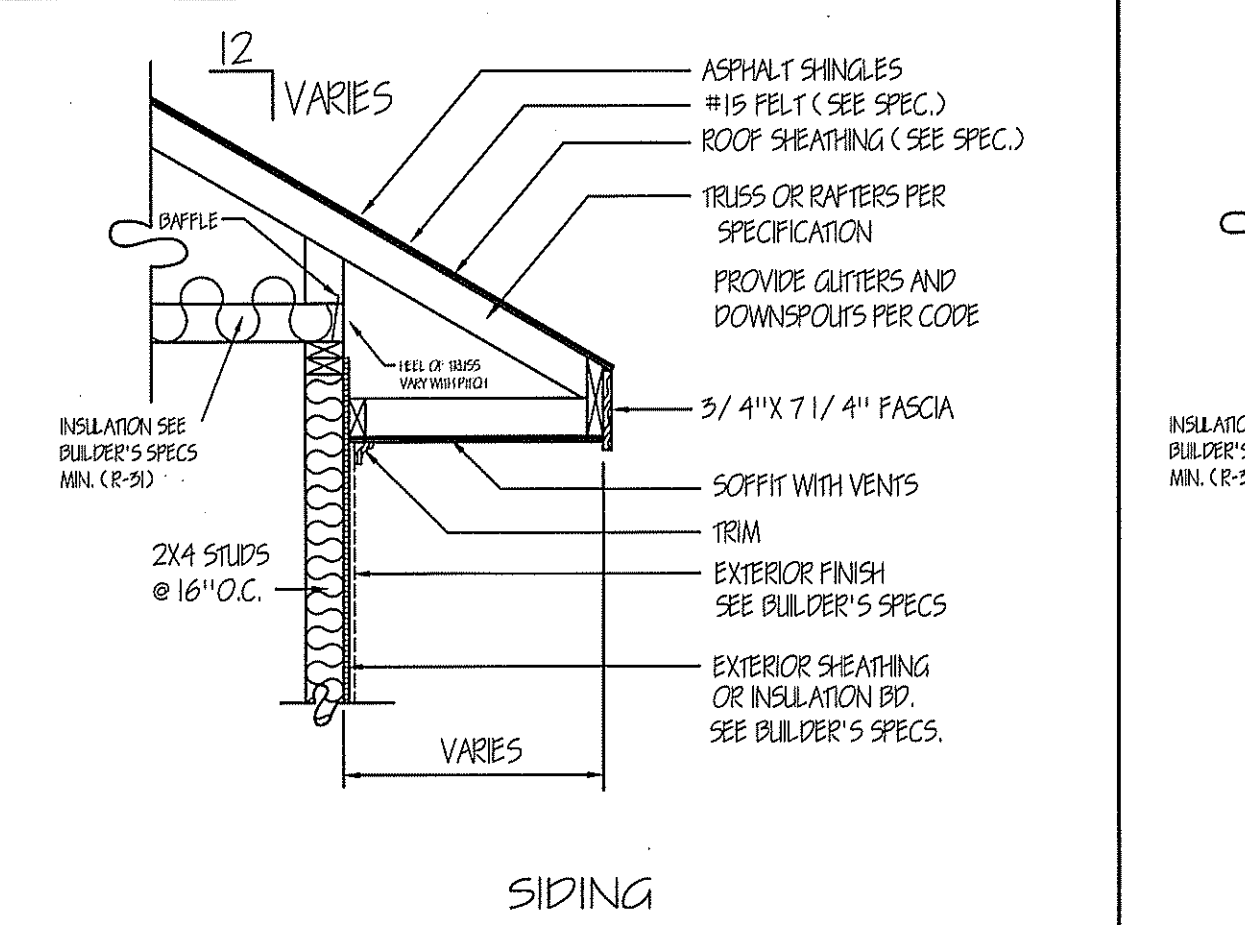
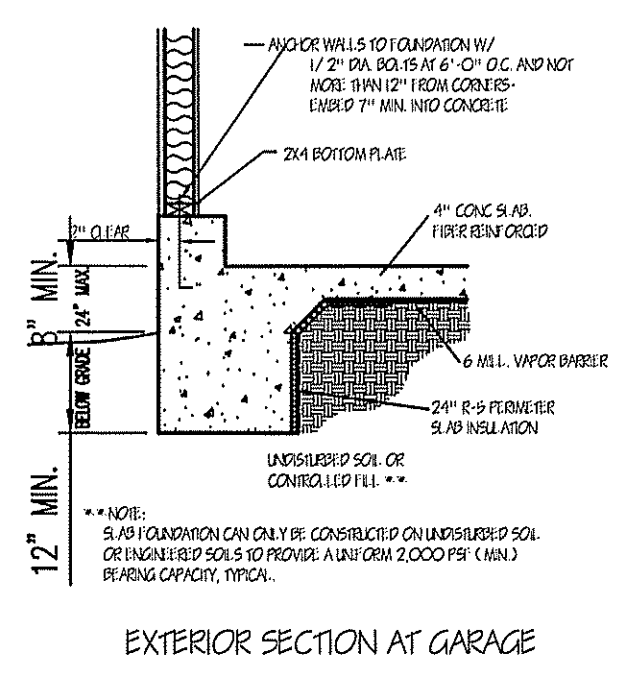
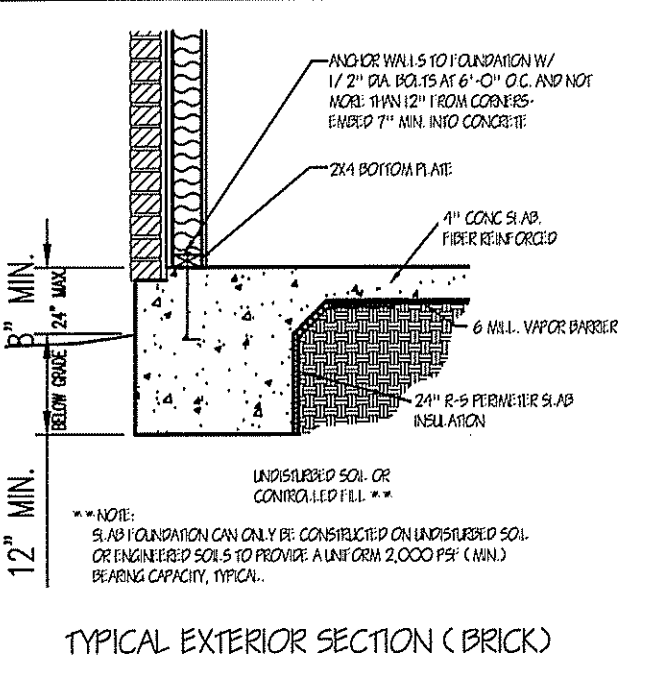
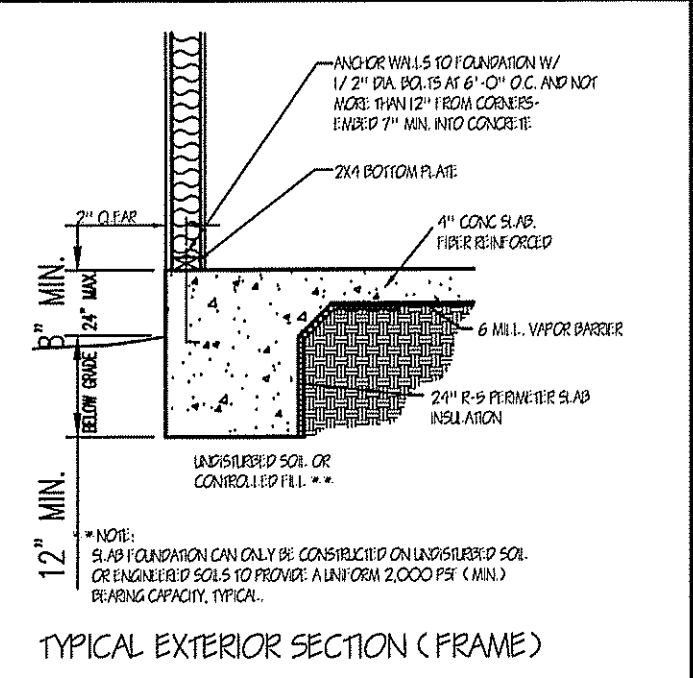
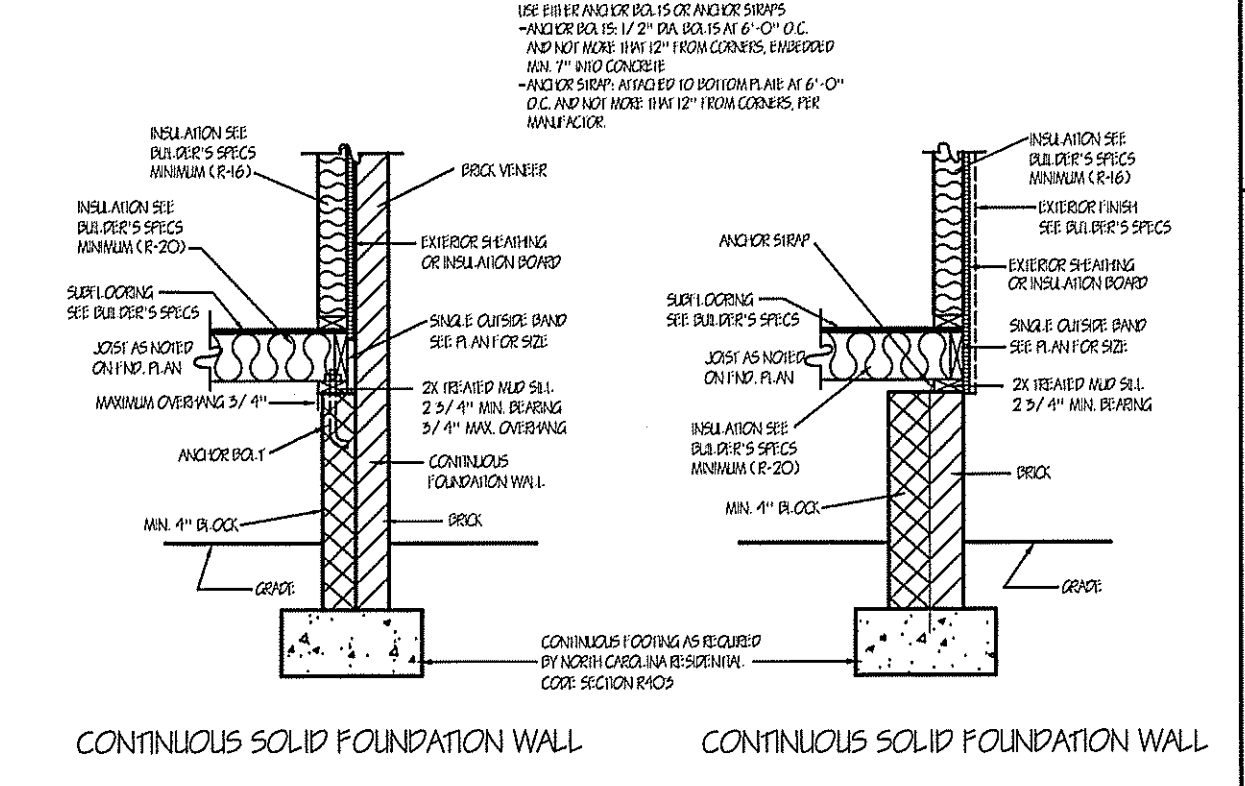
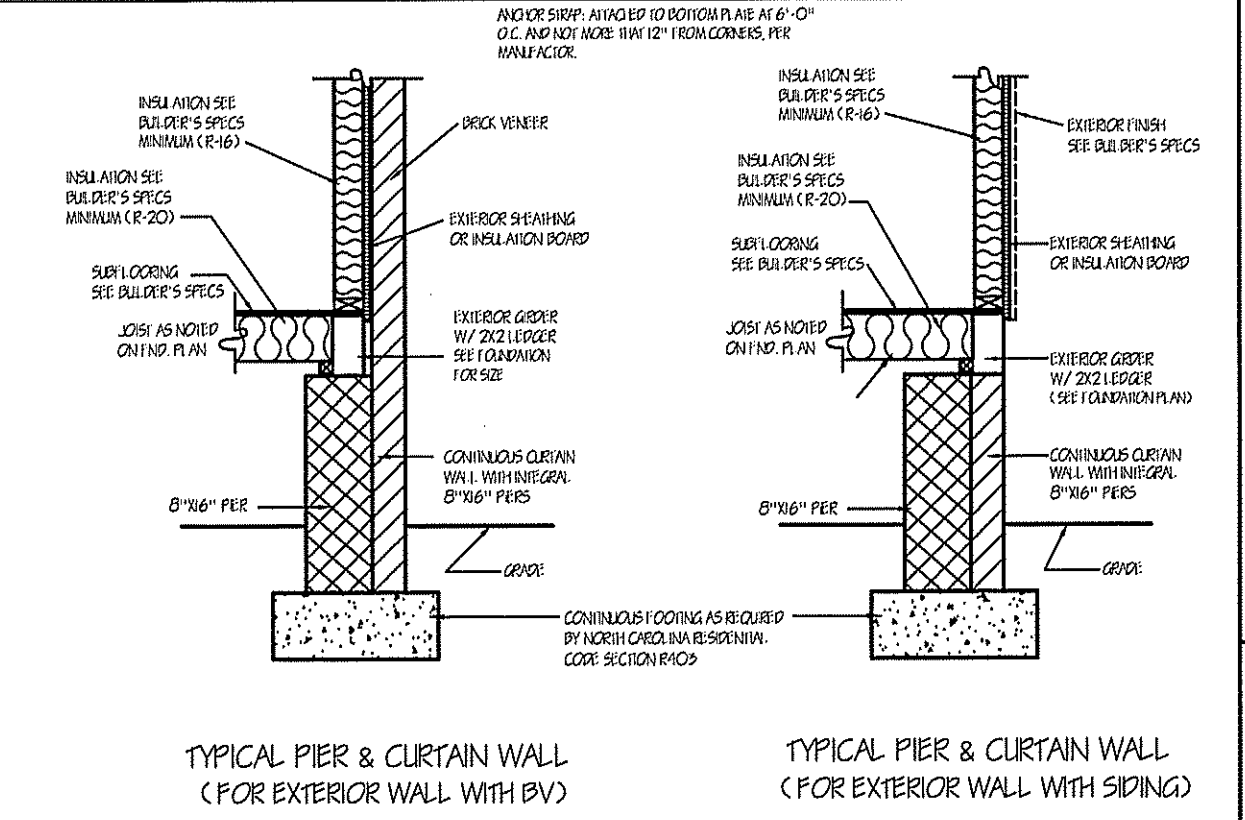
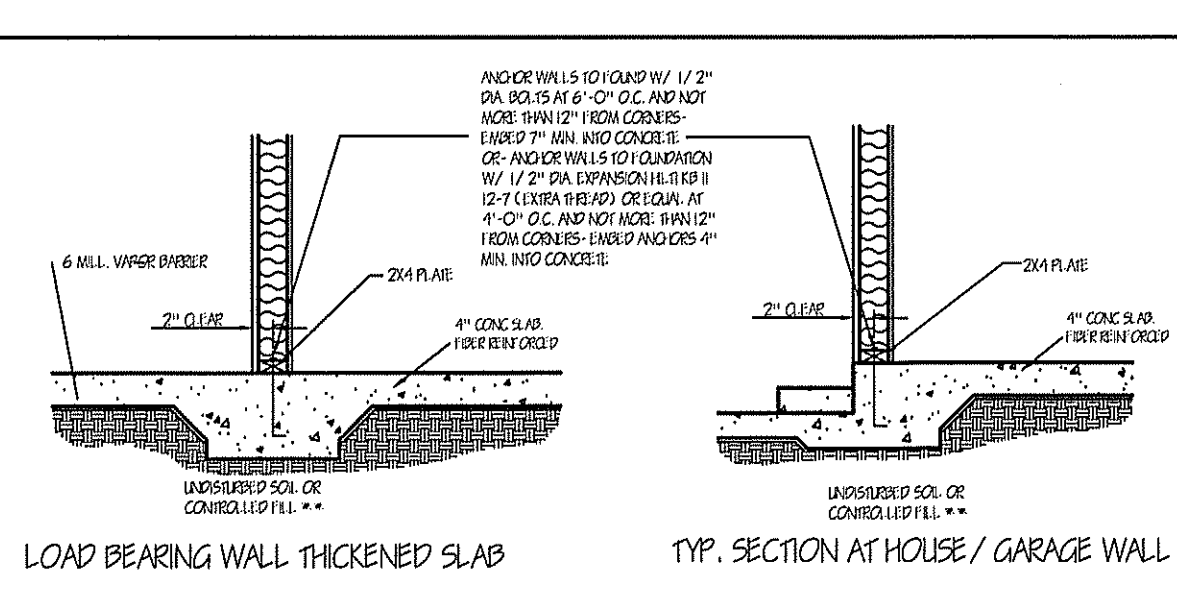
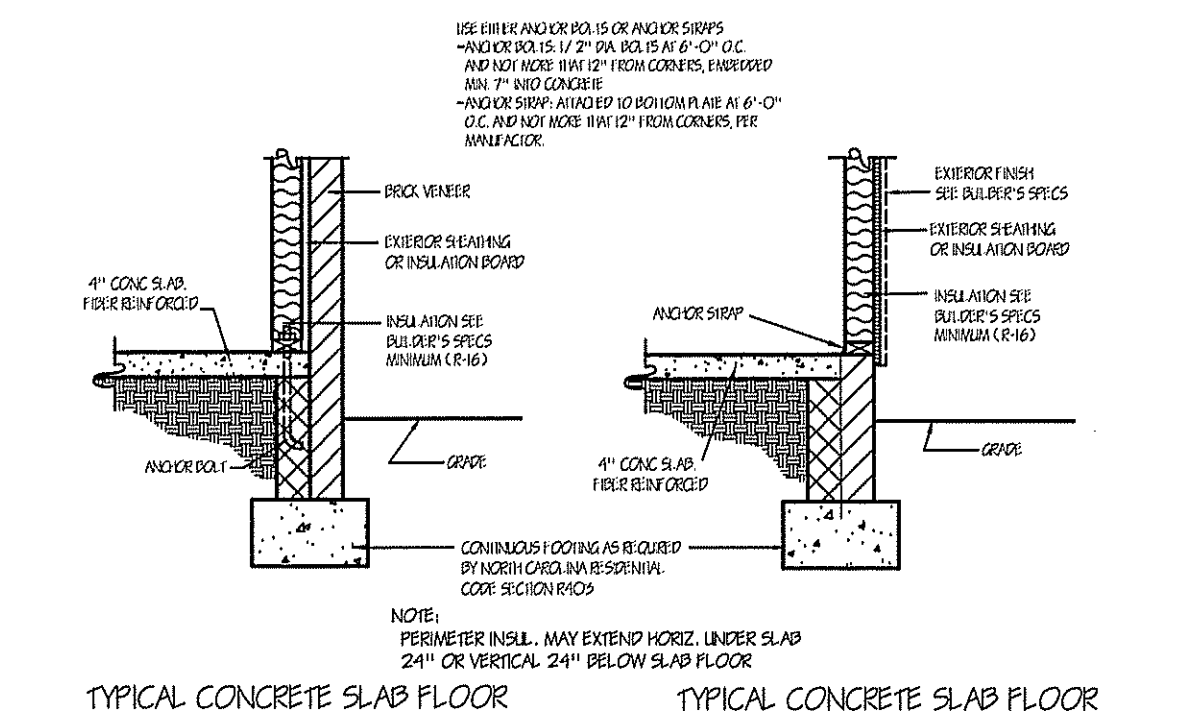
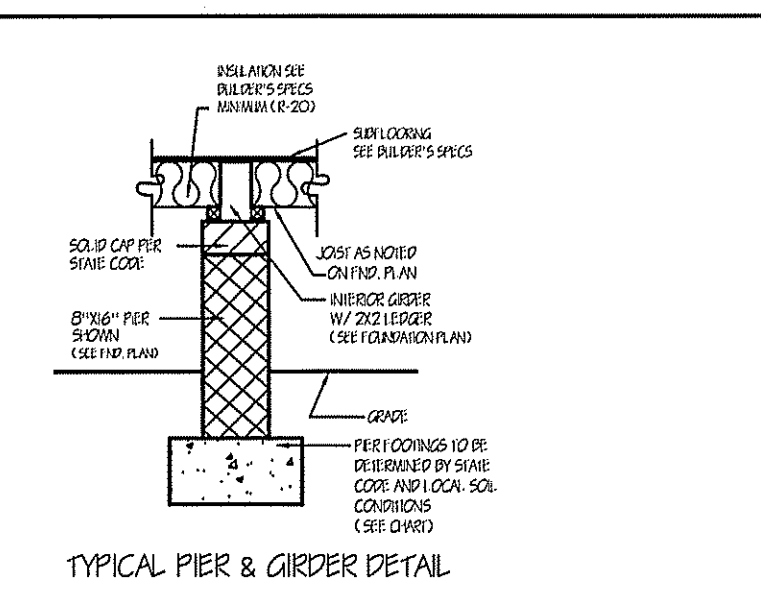
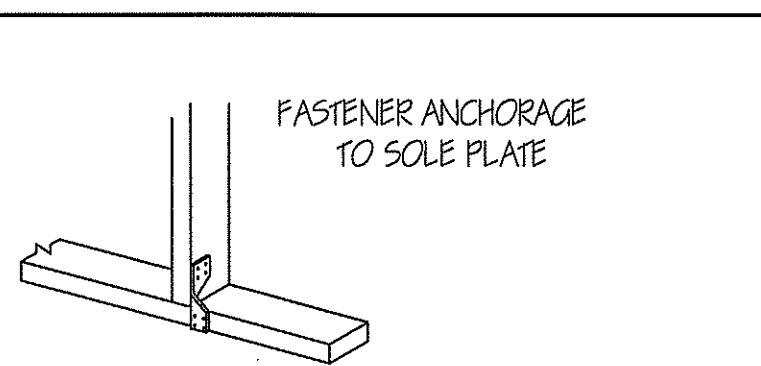
STORY	12	12	12	12
1 STORY	12	12	12	12
2 STORY	15	15	12	12
3 STORY	32	24	16	12

8-INCH SOLID OR FULLY CROUTLED MASONRY

STORY	16	16	12	12
1 STORY	16	16	12	12
2 STORY	29	21	14	12
3 STORY	42	32	21	16

NOTES:
FOUNDATION DETAILS SHOWN ARE BASED ON ASSUMED SOIL BEARING CAPACITY OF 2500 PSF. LOCAL SITE CONDITIONS MUST BE INVESTIGATED. ALL FOOTINGS TO BE LOCATED BELOW FROST DEPTH.

1. PIER SIZES ARE BASED ON HOLLOW CMU CAPPED WITH 4" OF SOLID MASONRY FOR 1 (ONE) STORY AND 8" OF SOLID MASONRY FOR 2 (TWO) AND 1-1/2 2 STORY HOUSES. MORTAR SHALL BE TYPE S.
2. FOOTING SIZES ARE BASED ON 2000 PSI ALLOWABLE SOIL BEARING AND 2500 PSI CONCRETE.
3. CENTER OF PIERS SHALL BEAR IN THE MIDDLE 1/3 OF THE FOOTING, AND GIRDERS SHALL CENTER IN THE MIDDLE 1/3 OF THE PIERS, EXCEPT EXTERIOR GIRDERS. FOOTING SHALL BE FULL THICKNESS OVER THE ENTIRE AREA OF THE FOOTING.
4. PIER SIZES GIVEN ARE MINIMUM, FOR HEIGHT/THICKNESS LIMITATIONS SEE SECTION 606.5
5. AREA AT FIRST LEVEL SUPPORTED BY PIER AND FOOTING (SQ. FT.)
MINIMUM FOOTING THICKNESS IS 6" FOR 1 STORY, 8" FOR 1-1/2, 2, 2-1/2 2 STORY AND 10" FOR 3 STORY

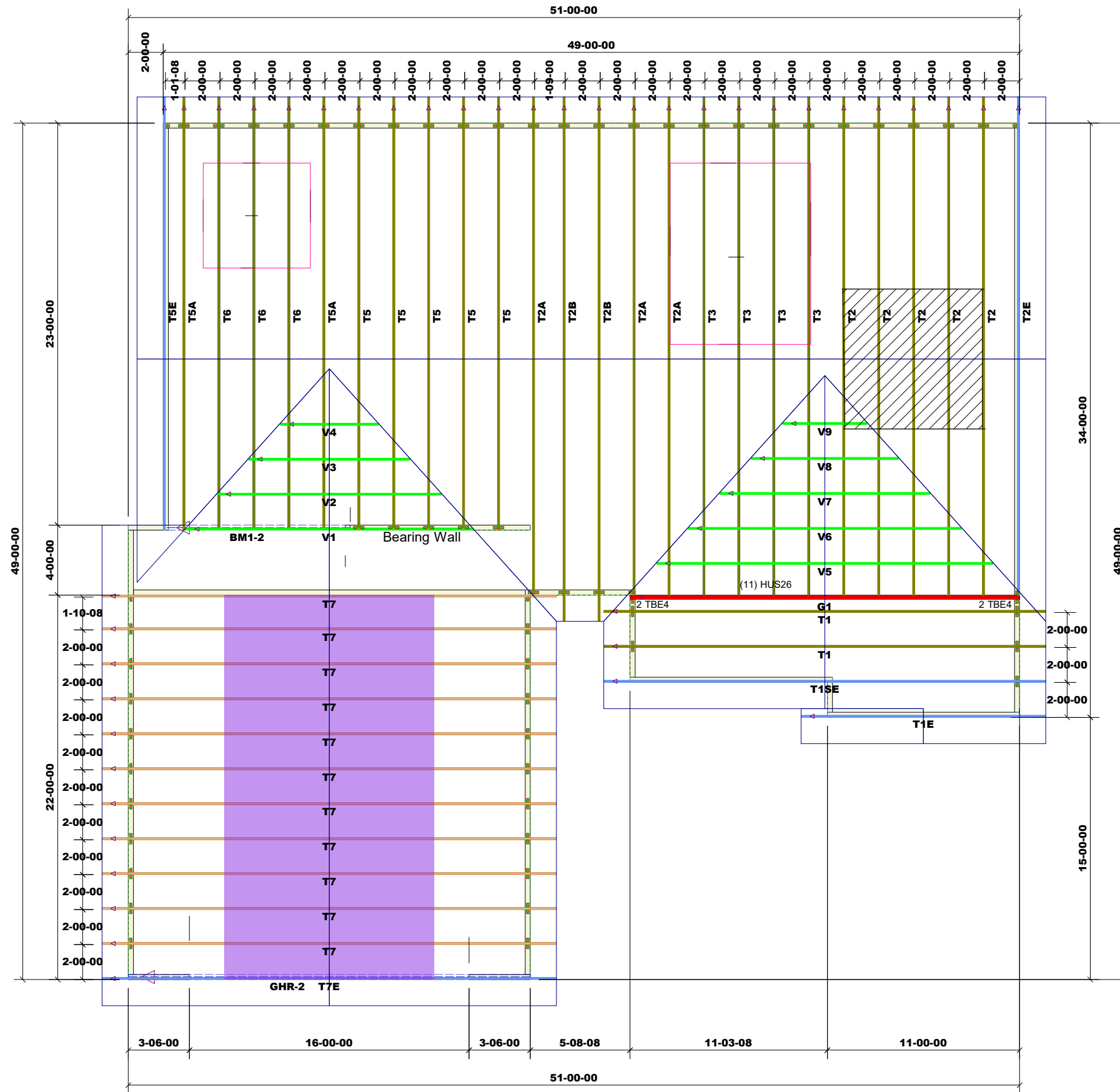


12 VARIES
12 VARIES
12 VARIES

THIS LAYOUT IS INTENDED FOR THE PURPOSE OF TRUSS LOCATION AND PLACEMENT ONLY. REFER TO THE BUILDING PLANS FOR ACTUAL BUILDING CONSTRUCTION.



DEDICATED TO QUALITY AND EXCELLENCE
200 EMMETT ROAD
DUNN, NORTH CAROLINA 28334
PHONE: 910-892-8400



Garage Walls Dropped 12"

LVL BY Others To Be Included In Frame Pack

Products						
PlotID	Length	Product	Plies	Net Qty	Fab Type	
BM1-2	12-00-00	1-3/4" x 9-1/4" VERSA-LAM® 2.0 3100 SP	2	2	FF	
GHR-2	24-00-00	1-3/4" x 11-7/8" VERSA-LAM® 2.0 3100 SP	2	2	FF	

1st Level Roof Area	2935.03
2nd Level Roof Area	0

PROJECT:	RG14-A01 Stanton		
CUSTOMER:	Wellon Homes		
MODEL:	RG14-A01 Stanton		
QUOTE #:	28169	PRINT DATE:	8/19/2021
DRAWN BY:	Rodney Evans	SCALE:	N.T.S

TOP LIVE LOAD:	20.0 lb/ft ²
TOP DEAD LOAD:	10.0 lb/ft ²
BOTTOM DEAD LOAD:	10.0 lb/ft ²
WIND SPEED:	130 mph

GENERAL NOTES:

- DO NOT CUT OR MODIFY TRUSSES
- TRUSSES ARE SPACED 24" ON CENTER UNLESS OTHERWISE NOTED
- REFER TO THE INDIVIDUAL TRUSS DESIGN DRAWINGS FOR THE LOCATION OF LATERAL BRACING AND MULTI-PLY CONNECTION REQUIREMENTS.
- PER ANSI TPI 1-2002 THE TRUSS ENGINEER IS RESPONSIBLE FOR TRUSS TO TRUSS CONNECTIONS AND TRUSS PLY TO PLY CONNECTIONS. THIS TRUSS PLAN RECOMMENDS TRUSS TO BEARING CONNECTIONS AND TRUSS TO BEAM CONNECTIONS WHICH SHALL BE REVIEWED BY THE BUILDING DESIGNER. IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER TO RESOLVE ALL ROOF FORCES ADEQUATELY TO THE FOUNDATION.