Inventory Marked

Lot 4 Schabert Crossing

FREELANCE **H&H HOMES**

PLAN REVISIONS

II-08-17 COMPLETED CONSTRUCTION DOCUMENTS INCLUDING CLIENT REVIEW COMMENTS.

11-16-11 MIRRORED PLANS TO CREATE LEFT HAND GARAGE VERSION

09-12-18 STANDARD CLIENT CHANGES PER CLIENT WALK-THRU NOTES DATED 08-30-18. CHANGES INCLUDE BUT NOT LIMITED TO THE FOLLOWING: REMOVE OPT. LAUNDRY TUB, REMOVE KITCHEN ISLAND KNEEWALLS, CHANGE KITCHEN ISLAND COUNTER TOP TO HAVE 12" OVERHANGS, REMOVE O.H.C. ABOVE FRIDGE, ADD PLUMBING DROP UNDER CABINET, REMOVE GARAGE SERVICE DOORS. REMOVE OPT. RAILING AT STAIRS, REVISE ALL SECONDARY CLOSETS AND LINENS TO HAVE BI-FOLD DOORS, REMOVE WINDOW GRIDS AT SIDES AND REAR ELEVATIONS, REVISE DATA DROPS TO BE I PHONE IN KITCHEN AND I T.Y. IN OWNERS SUITE AND GATHERING ROOM ONLY, REMOVE COVERED PORCH OPTION, REVISE KITCHEN LIGHTING TO BE 4-BULB FLOURESCENT LIGHT.

PLAN SPECIFIC CHANGES INCLUDE BUT NOT LIMITED TO THE FOLLOWING: REMOVE TRIANGLE CHASE, SHIFT GARAGE ENTRY DOOR TIGHT TO CORNER, EXTEND CLOSET BELOW STAIRS, REMOVE MIDDLE WINDOW IN GATHERING ROOM, REMOVE OPT. WINDOW IN CORNER OF GATHERING ROOM, REMOVE BOTTOM TREAD AT STAIR AND ADD TREAD AT UPPER FLOOR, REMOVE OPT. WINDOW AT LOFT, REMOVE OPT. DOOR AT BATH 2, MAKE STANDARD I BOUL 30" VANITY IN EXTERIOR CORNER OF BATH 2, MAKE 60" 2 BOWL VANITY AT BATH 2 WITH OPT. BEDROOM 4, REMOVE OPT. WINDOW AT BEDROOM 3, REMOVE OPT. WINDOW AT BEDROOM 2.

ELEVATIONS - REMOVE WINDOW GRIDS FROM SIDES AND REARS. ELEVATION "A" ROOF - FLUSH OVERHANGS ON LEFT AND RIGHT SIDE GABLES ELEVATION "C" ROOF - CHANGE REAR HIP TO BE GABLE WITH 8" OVERHANG.

12-02-19 CHANGED BATHROOM NAMING CONVENTION PER H#H REQUIREMENTS. REVISED ALL MASTERS TO OWNER'S COMMENTS, VERIFIED ALL HOR HGTS WERE AT LEAST 1'-0".

2-01-20 VERIFIED ROOM SIZES AND DIMENSIONS. CHANGED GATHERING ROOM DIMENSIONS TO 14'-10" X 14'-10". UPDATED DIMENSIONS TO PAD AND PATIO IN REAR. CHANGE WASHER, DRYER, AND REFRIGERATOR TO OPTIONAL COMPONENTS. ADDED COACH LIGHT AT OPT, I-CAR GARAGE WITH WIRING. VERIFIED MASTERS WAS CHANGED TO OWNER'S CHANGE 2X4 WALL AT REAR GARAGE WALL TO 2X6. ADDED ROOF VENT CALCULATIONS. UPDATED FOR NCRC 2018 AND SC 2018 IRC. UPDATED SLAB INTERFACE PLAN AND OPTIONS. ADDED ADDITIONAL 3-0 5-0 WINDOW FOR VENTILATION REQIMTS IN THE OWNER'S BEDROOM. ADDED INSULATION DETAIL TO PLAN SHEETS. ADDED OPTIONAL DBL OVEN IN KITCHEN. CHANGE ALL CEILING FANS TO OPTIONAL.

04-01-20 REMOVED HANSEN BOX AND DRYER VENT. GATHERING WAS CHANGED TO FAMILY. CAFE WAS CHANGED TO CASUAL DINING. CREATED NEW SHEETS FOR FIRST FLOOR PLAN AND SECOND FLOOR PLAN OPTIONS. UPDATED CUTSHEETS ADDED (2) HOSE BIBBS RIGHT AND LEFT SIDE OF THE HOUSE. CHANGED 2X4 WALL AT LEFT GARAGE WALL TO 2X6. REMOVED OUTLETS, PHONES AND TV'S FROM ELECTRICAL PLANS. ADDED CARBON MONOXIDE DETECTOR AT BEDROOMS UPDATED THE SF AS FOLLOWS: 1 CAR GARAGE WAS 251 SF, NOW 252 SF ELEV-A PORCH WAS 31 SF, NOW 33 SF CREATED ELEVATION FARMHOUSE 'B'. CREATED ELEVATION ARTS AND CRAFTS 'D'. CHANGED CORNER BOARDS ON ELEVATIONS TO BE IX4 TRIM BOARD. SHOWED COACH LIGHTS ON ELEVATIONS. ADDED DIAGONAL DIMENSIONS ON SLAB INTERFACE PLAN. CREATED LEFT HAND GARAGE VERSION. REMOVED ELEVATION C. UPDATED SQ. FT. LOG. TO ELIMINATE SQ. FT. ROUNDING. FIRST FLOOR WAS 864 SF, NOW 863 SF. SECOND FLOOR WAS 1063 SF, NOW 1062 SF. 2 CAR GARAGE WAS 252 SF, NOW 251 SF. PORCH AT ELEV. B WAS 14 SF, NOW 13 SF. FLIPPED GARDEN TUB AT OPT. OWNER'S BATH 2 AND 3. CHANGED SHUTTERS TO BE 14" WIDE.

10-15-20 CHANGED EXTERIOR WALL AT FOYER AND LOFT TO BE 2x6. CHANGED LOFT DIMENSIONS TO 13'-2"X9'-10".

10-20-20 ADDED WINDOW SCHEDULE CHANGED POUDER ROOM DOOR TO 2'6" CHANGED GARAGE WALL FROM 2X6 TO 2X4 EXCEPT AT STAIRS ADDED DECORATIVE GABLE DETAIL FOR ELEVATION B ADDED DECORATIVE BRACKET DETAIL FOR ELEVATION D REMOVED COLUMN BASE AND CHANGED COLUMN TO 8" SQUARE FULL HEIGHT COLUMN ON CHANGED ALL WINDOW, DOOR, & GARAGE TRIM TO 4" CHANGED BEDROOM 2 CLOSET DOOR FROM 2/6 BIFOLD TO 2/6 STD CHANGED BEDROOM 3 CLOSET DOOR FROM 2/6 BIFOLD TO 2/6 STD. CHANGED CLOSET LAUNDRY FROM (2)2/6 BIFOLD DOORS TO 5/0 BISWING CHANGED LINEN CLOSET DOOR AT BATH 2 FROM 2/0 BIFOLD TO 2/0 STD. CHANGED LINEN CLOSET DOOR AT OWNER'S BATH FROM 2/6 BIFOLD TO 2/6 STD.

SQUARE FOOTAGE			
HEATED AREAS ELEV 'A'			
FIRST FLOOR	863 SQ. FT.		
SECOND FLOOR	1062 SQ. FT.		
TOTAL HEATED SF	1925 SQ. FT.		
UNHEATED AREAS			
1 CAR GARAGE	251 SQ. FT.		
COVERED AREAS			
FRONT PORCH	33 SQ. FT.		
UNCOVERED AREAS			
OPTIONAL PATIO	80 SQ. FT.		
UNHEATED OPTIONS			
OPTIONAL 1-CAR GARAGE	240 SQ. FT.		

SQUARE FOOTAGE				
HEATED AREAS ELEV 'B'				
FIRST FLOOR	863 SQ. FT.			
SECOND FLOOR	1062 SQ. FT.			
TOTAL HEATED SF	1925 SQ. FT.			
UNHEATED AREAS				
1 CAR GARAGE	251 SQ. FT.			
COVERED AREAS				
FRONT PORCH	73 SQ. FT.			
UNCOVERED AREAS				
OPTIONAL PATIO	80 SQ. FT.			
UNHEATED OPTIONS				
OPTIONAL 1-CAR GARAGE	240 SQ. FT.			

SQUARE FOOTAGE			
HEATED AREAS	ELEV 'D'		
FIRST FLOOR	863 SQ. FT.		
SECOND FLOOR	1062 SQ. FT.		
TOTAL HEATED SF	1925 SQ. FT.		
UNHEATED AREAS			
1 CAR GARAGE	251 SQ. FT.		
COVERED AREAS			
FRONT PORCH	88 SQ. FT.		
UNCOVERED AREAS			
OPTIONAL PATIO	80 SQ. FT.		
UNHEATED OPTIONS			
OPTIONAL 1-CAR GARAGE	240 SQ. FT.		





DRAWINGS ON 11"x17" SHEET ARE ONE HALF THE SCALE NOTED

Right) (Garage HOMES **EELANCE** H&H EM EM

1927

TITLE REVISION LOG

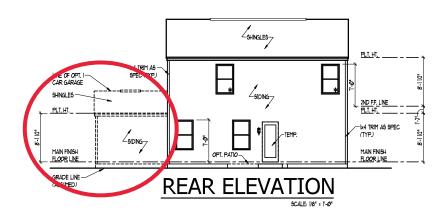
ISQUANCE OF PLANS FROM THIS DRAFFER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERFY ALL NOTES, DYENSIONS, AND ADVERENCE TO APPLICABLE BUILDING CODES FROM TO CONTRICTION OF ANY CONSTRUCTION.

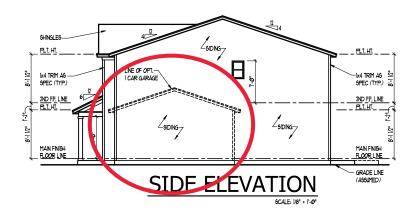
ANY DISCREPANCY OF ERROR IN YOTES, DYENSIONS, OR ADVERSENCE TO APPLICABLE BUILDING CODES SHALL BE BROADED TO THE ATTENTION OF THE DRAFFER'S OFFICE FOR CORRECTION BEFORE

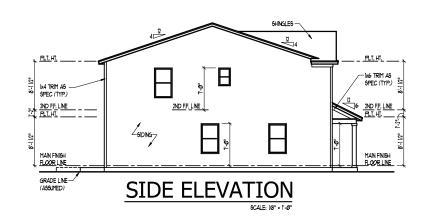
COMMENCEMENT OF ANY CONSTRUCTION.

ANY REVISIONS OR CHANGES, NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.

F ANY MODIFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFFERS OFFICE, THE DRAFFER SHALL NOT BE HELD RESPONSIBLE.



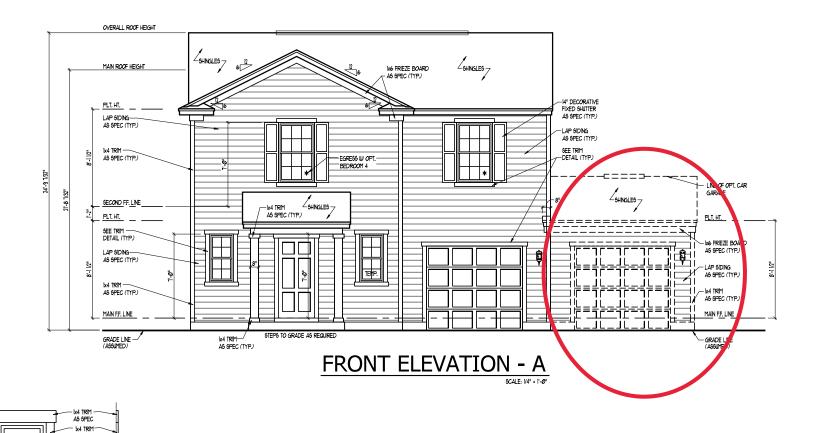


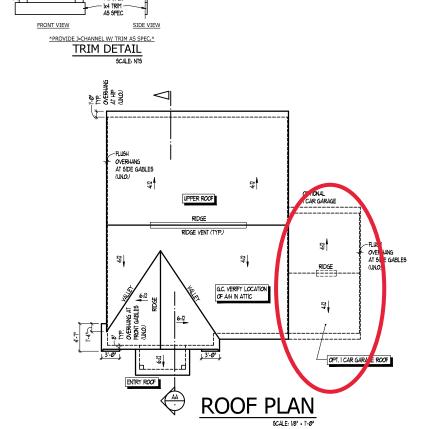


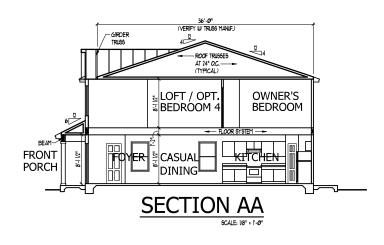
ISSUANCE OF PLANS FROM THIS DRAFTER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERRY ALL NOTES, DYENSIONS, AND ADHERNICE TO APPLICABLE BUILDING CODES PRACT OF CHROND IN NOTES, DYENSIONS, OR ADHERNICE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER'S OFFICE FOR CORRECTION BEFORE COMPRECION OF ANY CONSTITUTION.

ANY REVISIONS OR CHANGES NOT RELIEDED TO THE CORRECTION OF BERRORS THAT ARE MADE AFTER THE PHAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FIES.

FAIT MODIFICATIONS ARE THADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTER'S OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.







FOTAL UNDER ROC VENTING AREA RE FOTAL REQUIREM	QUIRED:	1115 SQ, F LOWER: <u>1.</u> :	T. / 300 = 86 UPPER:	1115 SQ FT. 3.72 SQ FT. 1.86
LOWER AREA VEN	TING			
SOFFIT VENT	SIZE:	PER UNIT:	# UNITS:	PROVIDED:
	-	.041 SF/LF	51'-11"	2.13
	LOWER AR	EA VENTING P	ROVIDED:	-
UPPER AREA VENT	ING			
RIDGE VENT	SIZE:	PER UNIT:	# UNITS:	PROVIDED:
	-	.125 SF/LF	16'-0"	2.00
	TIPPER ARE	A VENTING PR	OVIDED:	-

ELEVATIONS, ROOF PLAN, & SECTION - TRADITIONAL 'A'





DRAWINGS ON 11"XIT" SHEET ARE ONE HALF THE SCALE NOTED

Right) (Garage H&H HOMES **FREELANCE**

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• TITLE
FRONT ELEVATION
REAR ELEVATION
RIGHT ELEVATION
LEFT ELEVATION
ROOF PLAN
BUILDING SECTION
•

LARGE FORMAT PRINTS ARE TO SCALE AS NOTED. 11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE



I.S.THOMPS ENGINEERING,

FREELANCE 1 & H HOMES

150 MPH ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT: ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS, ENGINEER'S SEAL DOES NOT CERTIFT DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF SYSTEM: STRUCTURAL DESIGN FER NORTH CAROLINA RESIDENTIAL CODE, 2018

- CAROLINA RESIDENTIAL CODE, 2018
 EDITION WITH SPECIAL CONSIDERATION TO
 CHAPTER 45 ("HIGH WIND ZONES" FOR BØ
 INTH WINDS).
 BUILDER IS TO PROVIDE FRAMING
 CONNECTIONS AS REQUIRED BY CHAPTER
 45 ("HIGH WIND ZONES" FOR BØ IMPH
 WINDS) OF THE NORTH CAROLINA
 FESIDENTIAL CODE, 2018 EDITION
 FOUNDATION ANCHORAGE TO COMPLY WITH
 SECTION 4504 OF THE NORTH CAROLINA
 FESIDENTIAL CODE, 2018 EDITION
 INEAN ROOF HEIGHT IS LESS THAN 39 FEET.
 WILL IL CHAPTON PERSIAN FOR 243 PSF ETERMENT.
- PEAN ROOF HEIGHT IS LESS THAN 39 FETT.

 WALL CLADDNG DESIGNED FOR 423 PSF

 AND -32 PSF (V- INDICATE POSITIVE /

 NEGATIVE PRESENER (TYP).

 ROOF CLADDNG DESIGNED FOR 422 PSF

 AND -32 PSF FOR ROOF PITCHES 1/12 TO

 2/2 AND 44 PSF AND -51 PSF FOR ROOF

 PITCHED 225/12 TO 1/2.

 1/6*1 OSB SHEATHING IS REQUIRED ON ALL

 EXTERIOR WALLS.

 WALLS TO BE BRACKED IN ACCORDANCE

 WITH SECTION REQUIR OF THE NORTH

 CAROLINA RESIDENTIAL CODE, 2018

 FOITION AND 45 MOTED ON IL MASS
- CAROLINA RESIDENTIAL CODE, 2018
 EDITION AND 45 NOTED ON PLANS,
 ENERGY EFFICIENCY COMPLIANCE AND
 INSULATION VALUES OF THE BUILDING TO
 BE IN ACCORDANCE WITH CHAPTER II OF
 THE NCRC, 2018 EDITION.

120 MPH ULTIMATE DESIGN WIND SPEED NOTES FOR LESS THAN 30' MEAN ROOF HEIGHT:

- 30' MEAN ROOF HEIGHT:

 1. ENGINEER'S SEAL APPLIES ONLY 10
 STRICTURAL COMPONENTS. ENGINEER'S SEAL
 DOES NOT CERTIFT DIPHENSIONAL
 ACCURACY OR ARCHITECTURAL LATOUT
 NOLLDING ROOF SYSTEM.

 2. STRICTURAL DESKIN PER NORTH CAROLINA
 RESIDENTIAL CODE, 10% EDITION.

 3. INSTALL IZ" ANCHOR BOLTS 6'-0" OC. AND
 UTHIN! "O" PROMED OF EACH CORNER
 ANCHOR BOLTS MIST EXTEND A NINIMM OF
 1" INTO MASONEY OR CONCRETE. LOCATE
 BOLTS MIST EXTEND A NINIMM OF
 1" INTO MASONEY OR CONCRETE. LOCATE
 DOLT WITHIN HIDDLE THIRD OF PLATE WIDTH.
 4. PEAN ROOF PRESIDENCE FOR 10% PRIMI
 UNDS.

 6. WALL CLADDING DESKINED FOR 15% PSF
 AND -10 PSF FOR ROOF PITCHES 10% TO 10%
 1. ROOF CLADDING DESKINED FOR 15% PSF
 AND -10 PSF FOR ROOF PITCHES 10% TO 10%
 1. NOTAL TICK! O'RS SHEATHING ON ALL
 EXTERIOR WALLS OF ALL STORIES IN
 ACCORDANCE WITH SECTION RESP. 10%
 1. NOTAL TICK! O'RS SHEATHING ON ALL
 EXTERIOR WALLS OF ALL STORIES IN
 ACCORDANCE WITH SECTION RESP. 10%
 1. REPORT EFFICIENCY COMPLIANCE AND
 NINGLATION VALUES OF THE BUILDING TO BE
 IN ACCORDANCE WITH CHAPTER II O'F THE
 WORE, INFORMATION

 10. NETER TO NOTES AND DETAIL SHEETS FOR
 ACCORDANCE WITH CHAPTER II O'F THE
 WORE, SETTION.

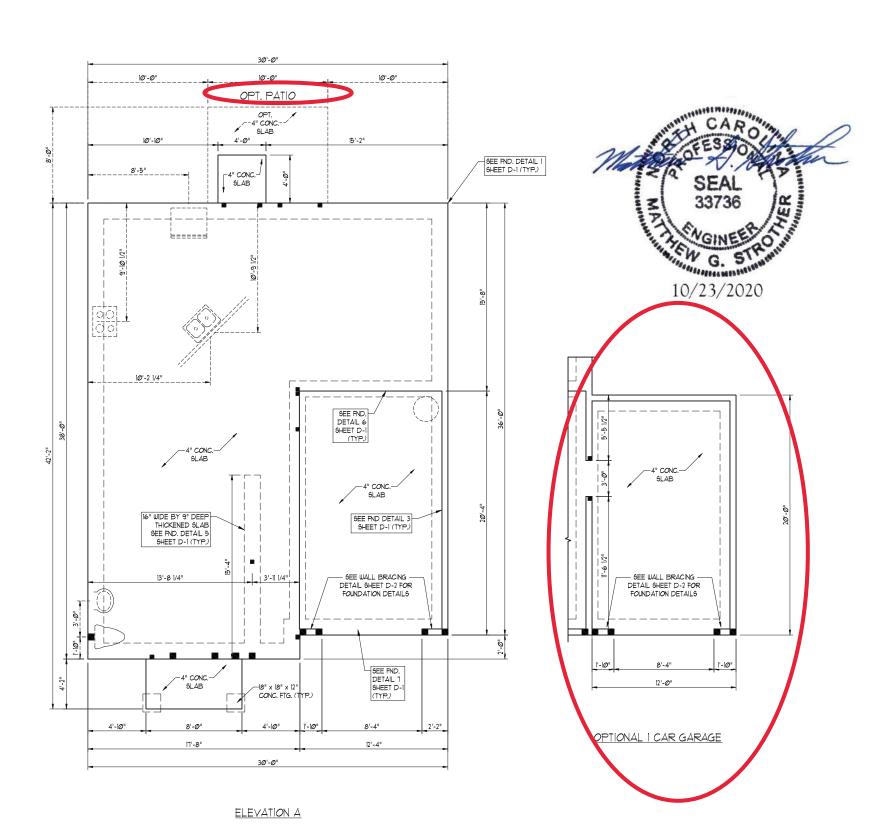
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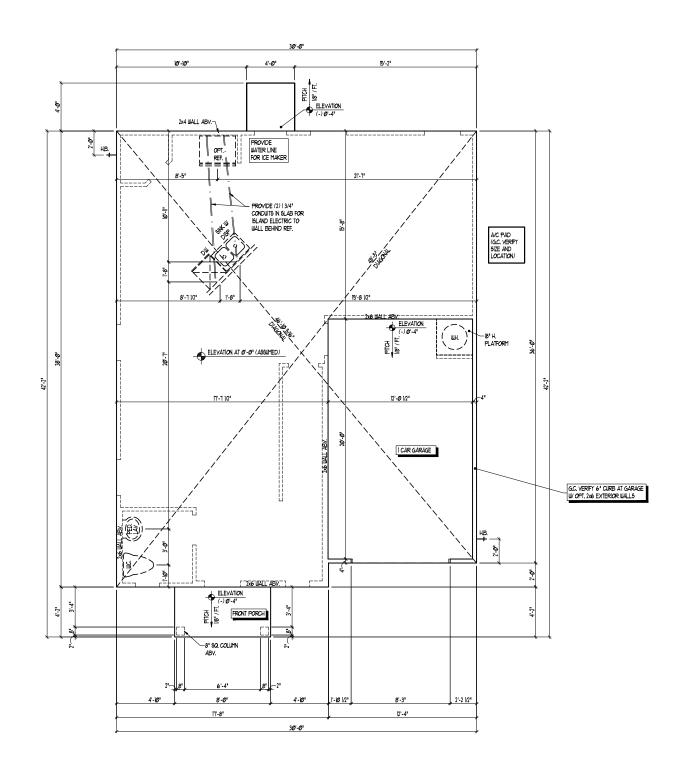
DRAWN BY: PURL HOME:

GINEERED BY: WFB

SHEET: 3 OF: 13

S-1.2a FOUNDATION PLAN









DRAWINGS ON II"x11" SHEET ARE ONE HALF THE SCALE NOTED

FREELANCE (Garage Right) H&H HOMES

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• TITLE SLAB INTERFACE PLAN

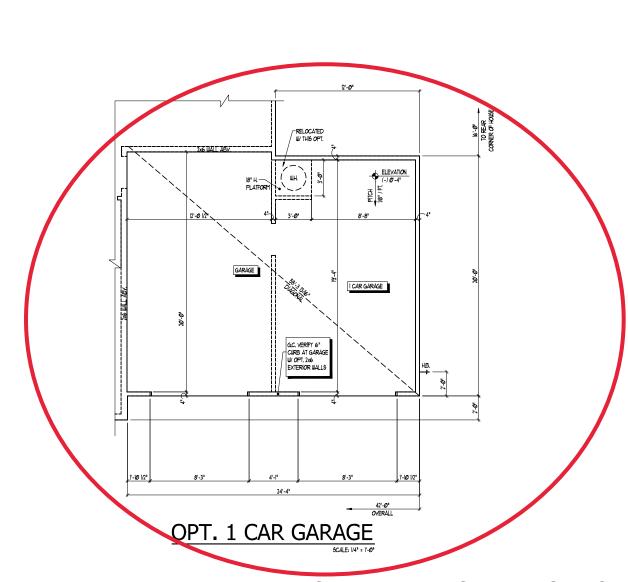
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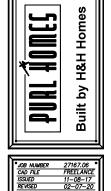
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FANY TOODIFICATIONS ARE MADE TO THEER PLAYS BY ANY OTHER PARTY OTHER THAN THE DRAFTER'S OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.

SLAB INTERFACE PLAN
ELEVATION A SHOWN
SMILAR AT ALL ELEVATIONS (NO FLUMBING CHANGES)

SCALE: 1/4" = 1'-0"







DRAWINGS ON II"XIT" SHEET ARE ONE HALF THE SCALE NOTED

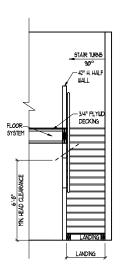
FREELANCE (Garage Right) H&H HOMES

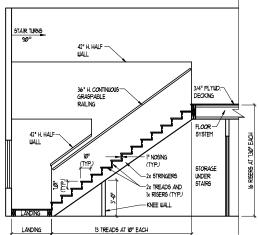
1927

SLAB INTERFACE PLAN
OPTIONS
-

A1.1

SLAB INTERFACE PLAN OPTIONS

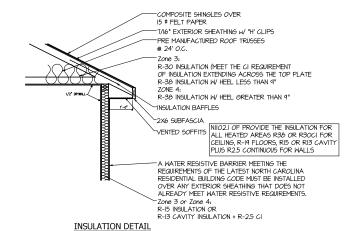




L HALF		
	a citi mi suim	
H. CONTINUOUS SPABLE ING	3/4" PLYWD.— DECKING	<u> </u>
	FLOOR— SYSTEM	Д НОК
I' NO6NG	\$TORAGE	35 AT 130° EACH

STAIR SECTION 5CALE: 1/4" = 1'-0"

WINDOW SCHEDULE					
MARK	8	SIZE	TYPE HEAD		
WARK	WIDTH	HEIGHT	TIPE	HEIGHT	
1	3'0"	5'0"	SINGLE HUNG	7'0"	
2	2'0"	4'0"	SINGLE HUNG	7'0"	
(3)	2'0"	3'0"	SINGLE HUNG	7'0"	
SEE F	LAN FOR	NOTES ON	EGRESS, TEMP., &	ETC.	



ISQUANCE OF PLANS FROM THIS DRAFTER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERFY ALL NOTES, DYENSIONS, AND ADHERENCE TO APPLICABLE BUILDING COODES FROM TO CONTROLLETHON OF ANY CONSTRUCTION.

ANY DISCREPANCY OF ERROR IN NOTES, DYENSIONS, OR ADHERENCE TO APPLICABLE BUILDING COODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER'S OFFICE FOR CORRECTION BEFORE CONSECUENCE ANY CONSTRUCTION SET

COMMENCEMENT OF ANY CONSTRUCTION.

COMPENSION OF ANY CONSTRUCTION
ANY REVISION OR CHAMES, NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE
AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT TO ADDITIONAL FEES.
F JAYN TOURICATIONS ARE MADE TO THESE PLANS BY JAYY OTHER PARTY OTHER THAN THE
DRAFTER'S OFFICE, THE DRAFTER GHALL MOT BE HELD RESPONSIBLE.

* * * * * * STAIR NOTES:

RAILING

BALUSTERS SHALL BE SPACED SO THAT A 4" SPHERE CANNOT PASS THROUGH.

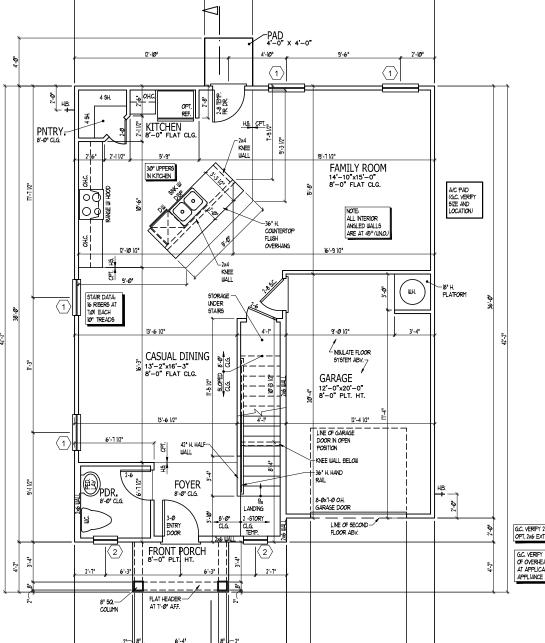
THE TRIANGULAR OFENINGS FORMED BY THE RISER TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRIUAY ARE PERMITTED TO BE A SUCH A SIZE THAT A SPHERE OF 6 INCHES CANNOT PASS THROUGH

OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4 3/8 INCHES TO PASS THROUGH

HANDRALS HANDRALLS FOR STAIRLIAYS SHALL BE CONTINUOUS FOR THE RILL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOUEST RISER. HANDRALL BIDDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTO OR SHACK THERMINATE IN NEWEL POSTS OR SHACK THE MINITERIAL POSTS OR SHACK THE MINITERIAL POSTS OR SHACK OF NOT LESS THAN 1-1/2 NICH BETWEEN THE WALL AND HANDRALLS.

CONTINUOUS GRASPABLE HANDRAIL MUST MEET TYPE ONE OR TYPE TWO CRITERIA

* * * * * * * * *



2'-Ø"

12'-4"

THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2 NOH (I.7) mm (STPSIM BOJARD APPLIED TO THE GARAGE SIDE GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY

SEPARALED HORTH A HABITABLE MOUTH ABOVE BY THE YE OF SHAND THE SEPARATION IS A FLOOR-CELLEN ASSEMBLY, THE STRICKINE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2 INCH (2.7 mm) GYPSUM BOARD OR EQUIVALENT.

8'-0"

AA A3Ø

11'-8'

4'-0"

G.C. VERIFY 2x4 EXTERIOR WALLS (UN.O. OPT. 2x6 EXTERIOR WALLS

G.C. VERIFY INSTALLATION OF OVERHEAD GAS DROPS AT APPLICABLE APPLIANCE LOCATIONS

SQUARE FOOTA	SQUARE FOOTAGE		
HEATED AREAS	ELEV 'A'		
FIRST FLOOR	863 SQ. FT.		
SECOND FLOOR	1062 SQ. FT.		
TOTAL HEATED SF	1925 SQ. FT.		
UNHEATED AREAS			
1 CAR GARAGE	251 SQ. FT.		
COVERED AREAS			
FRONT PORCH	33 SQ. FT.		
UNCOVERED AREAS			
OPTIONAL PATIO	80 SQ. FT.		
UNHEATED OPTIONS			
OPTIONAL 1-CAR GARAGE	240 SQ. FT.		

1927

PUPL

JOB NUMBER CAD FILE ISSUED REVISED

DRAWINGS ON 11"x17"

Right)

(Garage

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HOME

H&H

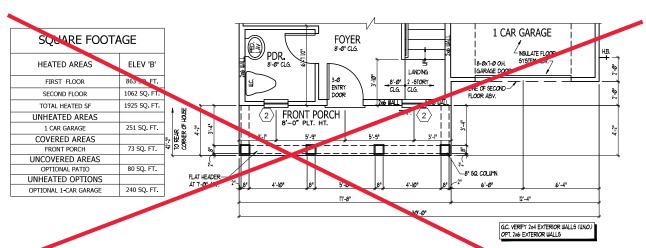
SHEET ARE ONE HALF THE SCALE NOTED

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Built

• TITLE MAIN FLOOR PLAN STAIR SECTIONS INSULATION DETAIL

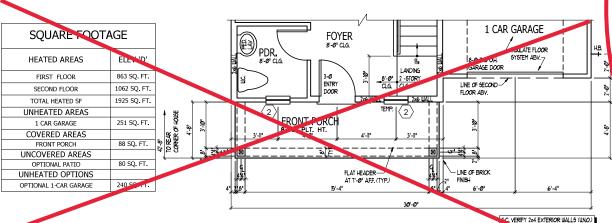




PARTIAL FIRST FLOOR - B

	*	30°-0°		
		PATIO 10'-0"x8'-0"		
 6-	ø-ø'	Ø'-Ø'	<i>1</i> 0-ø'	
			<u>(1)</u>	
+	4 SH. OHC. ST PANTRY REF.	H. C.		
	<u>OF</u>	PT. PATIO		

WINDOW SCHEDULE				
MARK		SIZE	TYPE	HEAD
WARK	WIDTH	HEIGHT	11112	HEIGHT
1	3'0"	5'0"	SINGLE HUNG	7'0"
(2)	2'0"	4'0"	SINGLE HUNG	7'0"
(3)	2'0"	3,0,,	SINGLE HUNG	7'0"
SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC.				

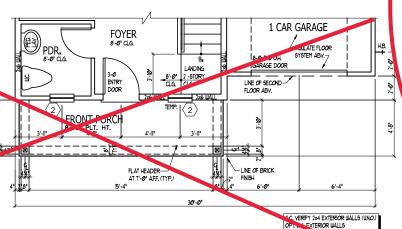


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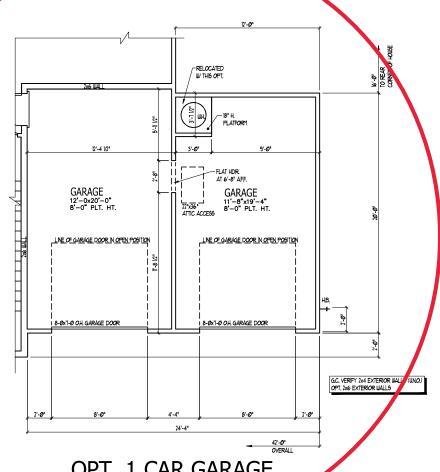
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ANY REVISIONS OR CHANCES, NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SIBLECT TO ADDITIONAL FEES.

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PARTIAL FIRST FLOOR - D



OPT. 1 CAR GARAGE

FIRST FLOOR PLAN OPTIONS





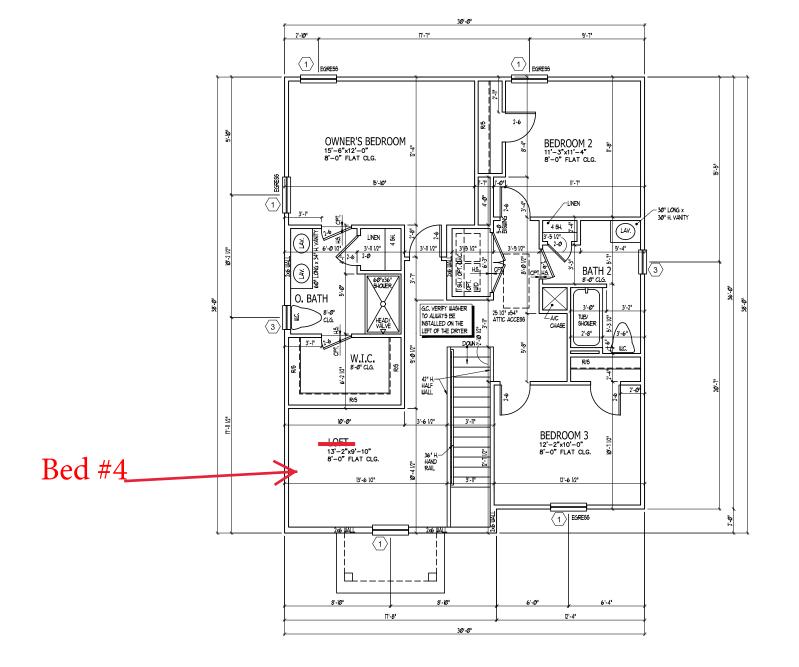
DRAWINGS ON 11"x17" SHEET ARE ONE HALF THE SCALE NOTED

Right) (Garage H&H HOMES **FREELANCE**

1927

TITLE
MAIN FLOOR PLAN OPTIONS

WINDOW SCHEDULE				
MARK	_	SIZE	TYPE	HEAD
	WIDTH	HEIGHT		HEIGHT
1	3'0"	5'0"	SINGLE HUNG	7'0"
(2)	2'0"	4'0"	SINGLE HUNG	7'0"
(3)	2'0"	3'0"	SINGLE HUNG	7'0"
SEE F	SEE PLAN FOR NOTES ON EGRESS, TEMP., & ETC.			



ISSUANCE OF PLAYS FROM THIS DRAFTER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERRY ALL NOTES, DYENSIONS, AND ADHERINCE TO APPLICABLE BUILDING CODES PRIOR TO COMPENCIPENT OF ANY CONSTRUCTION.

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FANY TOODIFICATIONS ARE TADE TO THEER PLAYS BY ANY OTHER PARTY OTHER THAN THE DRAFTER'S OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.

Built by H&H Homes PURE



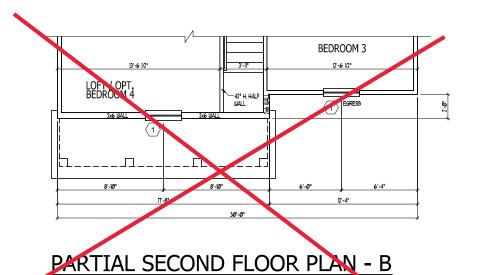
DRAWINGS ON 11"x17" SHEET ARE ONE HALF THE SCALE NOTED

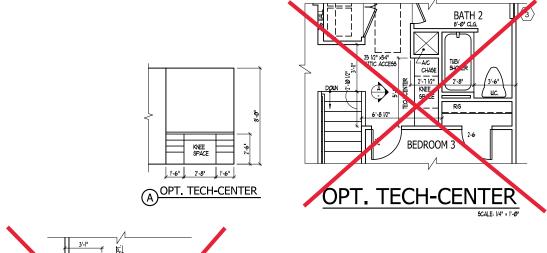
FREELANCE (Garage Right) H&H HOMES

1927



SECOND FLOOR PLAN A





BEDROOM 4 13'-2"x10'-0" 8'-0" FLAT CLG.

OPT. OWNER'S BATH 2

OPT. OWNER'S BATHS

G.C. VERIFY 2x4 EXTERIOR WALLS (UN.O.) OPT, 2x6 EXTERIOR WALLS



Built by H&H Homes

DRAWINGS ON 11"x17"

SHEET ARE ONE HALF THE SCALE NOTED

Right)

(AV.)

BEDROOM 3 12'-2"x10'-0" 8'-0" FLAT CLG.

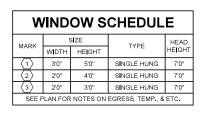
OPT. BEDROOM 4 ILO LOFT

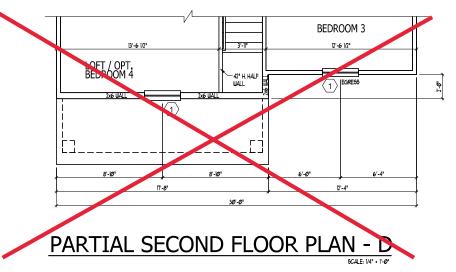
LAV.

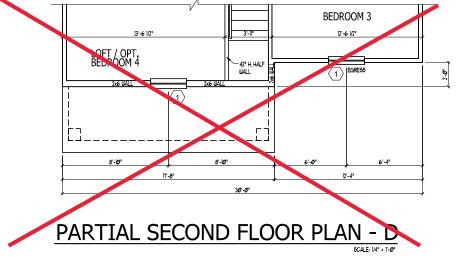
(Garage H&H HOMES **FREELANCE**

1927

SECOND FLOOR PLAN OPTIONS A2.3







ISSUANCE OF PLANS FROM THIS DRAFTER'S OFFICE SHALL NOT RELIEVE THE BUILDER OF RESPONSIBILITY TO REVIEW AND VERRY ALL NOTES, DYENSIONS, AND ADHERENCE TO APPLICABLE BUILDING CODES PRIOR TO CONTRICTION.

ANY DISCREPANCY OF ERROR IN NOTES, DIFFENSIONS, OR ADHERENCE TO APPLICABLE BUILDING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DRAFTER'S OFFICE FOR CORRECTION BEFORE COMPRECTION OF ANY CONSTRUCTION.

ANY REVISIONS OR CHANCES, NOT RELATED TO THE CORRECTION OF BROOMS THAT ARE MADE AFTER THE FINAL PLANS HAVE BEEN COMPLETED SHALL BE SUBJECT OF ADDITIONAL FIES.

IF ANY THOOFICATIONS ARE MADE TO THESE PLANS BY ANY OTHER PARTY OTHER THAN THE DRAFTER'S OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.

ELECTRICAL KEY

DUPLEX CONVENIENCE QUILET

DUPLEX QUILET ABOVE COUNTER

HEATHERPROOF DUPLEX OUTLET

GROUND FAULT INTERRUPTER DUPLEX OUTLET

HALF-SWITCHED DUPLEX OUTLET

SPECIAL PURPOSE OUTLET

DUPLEX OUTLET IN FLOOR

220 VOLT OUTLET

WALL SWITCH

THREE-WAY SWITCH

FOUR-WAY SWITCH DIMMER SWITCH

CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
WALL MOUNTED INCANDESCENT LIGHT FIXTURE

RECESSED INCANDESCENT LIGHT FIXTURE LIGHT FIXTURE WITH PULL CHAIN

TRACK LIGHT

FLUORESCENT LIGHT FIXTURE

EXHAUST FAN

EXHAUST FANALIGHT COMBINATION

ELECTRIC DOOR OPERATOR (OPTIONAL)

PUSHBUTTON SWITCH (OPTIONAL)

CARBON MONOXIDE DETECTOR

SMOKE DETECTOR

(SD(A)) SMOKE / CARBON MONO. COMBO DETECTOR TELEVISION (OPTIONAL)

ELECTRIC METER ELECTRIC PANEL

DISCONNECT SWITCH

SPEAKER (OPTIONAL)

ROUGH-IN FOR OPT. CEILING FAN

CEILING MOUNTED INCANDESCENT LIGHT FIXTURE IV ROUGH-IN FOR OPT. CEILING FAN

NOTES:

1. PROVIDE AND INSTALL <u>GROUND FAULT CIRCUIT-INTERRUPTERS</u> (GFL) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.

3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP, PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.

4. ALL BA AND 20A RECEPTACLES IN SLEEPING ROOMS, FAHLLY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LERRANGE, DEBS, SURGOVIS, RECREATION ROOMS, CLOSETS, HALLINGS, AND SHILAR AREAS MILL, REQUIRE A COMENSATION TYPE AFFAL DEVICE AND TAMPER-PROOF RECEPTACLES PER NEC. 2011 406.12 AND 406.15

5, ALL IBA AND 2014 180Y RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GF.C.I. PROTECTED (GF1).

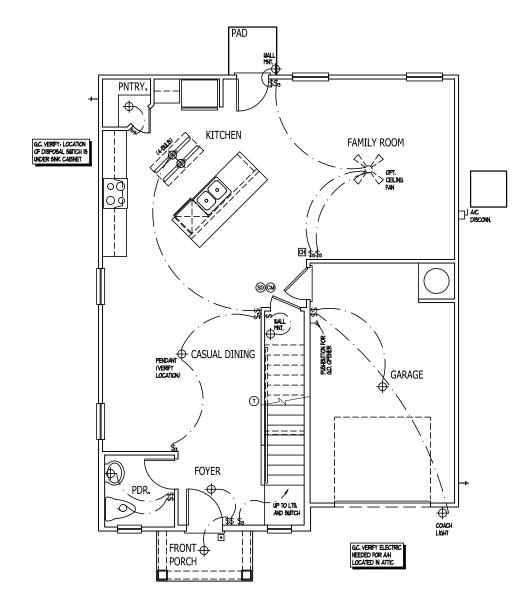
6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO BISURE THAT ALL ELECTRICAL WORK IS IN FILL COMPLIANCE WITH NEP A 10, NEC. 2811, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.

1. EVERY BUILDING HAVING A ROSSIL-RIEL-BURNING HEATER OR APPLIANCE, FREFILACE, OR AN ATTACHED GARACE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING

8. ALAPTS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRNS WEN SUCH WIRNS IS SERVED FROM THE LOCAL POWER WITHTY, SUCH ALARYS SHALL HAVE BATTERY BACKIP, COTENATION OFFICE/CARED NOWADIOE ALAPHOS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

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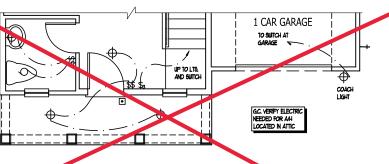
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Right) (Garage **FREELANCE** HOME H&H

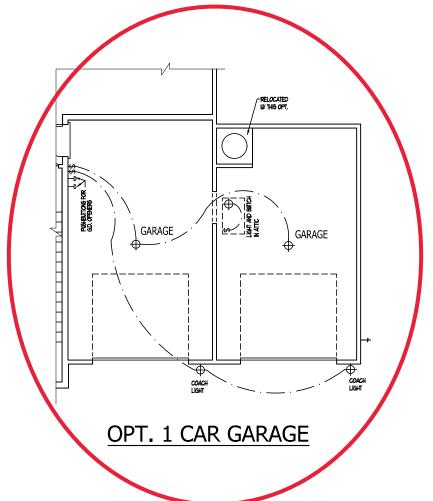
1927





<u> PARTIAL FIRST FLOOR - B</u>





FIRST FLOOR ELECTRICAL PLAN OPTIONS





Right) (Garage HOMES **FREELANCE** H&H

1927

TITLE ELECTRIC AT PLAN OPTIONS

ELECTRICAL KEY

- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER HEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX QUILLET
- HALF-SWITCHED DUPLEX OUTLET
- DUPLEX OUTLET IN FLOOR
- 220 VOLT OUTLET
- MALL SUITCH
- THREE-WAY SWITCH FOUR-WAY SWITCH
- DIMMER SWITCH
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE RECESSED INCANDESCENT LIGHT FIXTURE
- LIGHT FIXTURE WITH PULL CHAIN TRACK LIGHT
- FLUORESCENT LIGHT FIXTURE
- EXHAUST FAN
- EXHAUST FANLIGHT COMBINATION
- ELECTRIC DOOR OPERATOR (OPTIONAL) CHIMES (OPTIONAL)
- PUSHBUTTON SWITCH (OPTIONAL)
- CARBON MONOXIDE DETECTOR
- SMOKE / CARBON MONO, COMBO DETECTOR TELEPHONE (OPTIONAL)
- **▼** TELEVISION (OPTIONAL)
- THERMOSTAT
- ELECTRIC METER ELECTRIC PANEL
- DISCONNECT SWITCH
- SPEAKER (OPTIONAL)
- ROUGH-IN FOR OPT, CEILING FAN
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE UV ROUGH-IN FOR OPT. CEILING FAN

1. PROVIDE AND NSTALL <u>GROUND FAULT CIRCUIT-INTERRUPTERS</u> (GFL) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.

3. ALL SYCKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONTORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SYCKE DETECTORS.

4. ALL BA AND 20A RECEPTACLES IN SLEEPING ROOMS, FAMILY ROOMS, DNING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DIBIS, SURROOMS, RECREATION ROOMS, CLOSETS, HALLMAYS, AND SHILLAR AREAS WILL REGUIRE A COMENIATION TYPE AFCL DEVICE AND TAMPER-PROOF RECEPTACLES FER N.E.C. 2011 46621 AND 46635

5, ALL BA AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE G.F.C.I. PROTECTED (G.F.I.).

6. IT IS THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO ENSURE THAT ALL ELECTRICAL WORK IS IN TRUL COMPLIANCE WITH NEPA. TO, NEC. 2011, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDNANCES.

1. EVERY BUILDING HAVING A FORGIL-RUEL-BURNING HEATER OR APPLIANCE, FIREFLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR NOTALLED WITHIN 10 PEET OF EACH ROOM USED FOR SLEEPING PURPOSES.

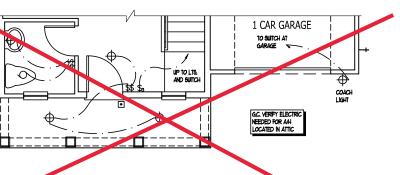
8. A LARY'S SHALL RECEIVE THEIR FROMARY POWER FROM THE BUILDING WIRNS WHEN SUCH WIRNS IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARY'S SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARY'S SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY

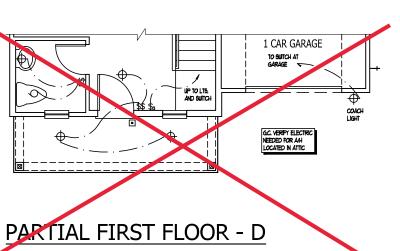
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ANY REVISIONS OR CHARLES, NOT RELATED TO THE CORRECTION OF ERRORS THAT ARE MADE AFTER THE THALL PLANS HAVE BEEN COMPETED SHALL BE SUBJECT TO ADDITIONAL FIESS.

FAIN TODOPICATIONS ARE TADOE TO TREET PLANS BY ANY TORRE PARTY OTHER THAN THE DRAFTER'S OFFICE, THE DRAFTER SHALL NOT BE HELD RESPONSIBLE.





ELECTRICAL KEY

DUPLEX CONVENIENCE OUTLET

DUPLEX OUTLET ABOVE COUNTER

LEATHERPROOF DUPLEX OUTLET

GROUND FAULT INTERRUPTER DUPLEX OUTLET

HALF-SWITCHED DUPLEX OUTLET

HO SPECIAL PURPOSE OUTLET

DUPLEX OUTLET N FLOOR 220 VOLT OUTLET

WALL SWITCH

THREE-WAY SWITCH

FOUR-WAY SWITCH

DIMMER SWITCH

CEILING MOUNTED INCANDESCENT LIGHT FIXTURE

WALL MOUNTED INCANDESCENT LIGHT FIXTURE

RECESSED INCANDESCENT LIGHT FIXTURE

LIGHT FIXTURE WITH FULL CHAIN TRACK LIGHT

FLUORESCENT LIGHT FIXTURE

EXHAUST FAN

EXHAUST FANALIGHT COMBINATION

ELECTRIC DOOR OPERATOR (OPTIONAL)

PUSHBUTTON SWITCH (OPTIONAL)

CARBON MONOXIDE DETECTOR (SD) SMOKE DETECTOR

(SD(CA)) SMOKE / CARBON MONO. COMBO DETECTOR

TELEPHONE (OPTIONAL)

TELEPHONE (OPTIONAL)

THERMOSTAT

ELECTRIC METER

ELECTRIC PANEL ___ DISCONNECT SWITCH

SPEAKER (OPTIONAL)

ROUGH-IN FOR OPT, CEILING FAN

CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W ROUGH-IN FOR OPT. CEILING FAN

NOTES:

1. PROVIDE AND INSTALL <u>GROUND FAULT CIRCUIT-INTERRUPTERS</u> (GFL) AS INDICATED ON PLANS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.

2. UNLESS OTHERWISE NOICATED, INSTALL SUTCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE PHISHED FLOOR:

OUTLETS. ... 14"

TELEPHONE ... 14" (INLESS ABV COUNTERTOP)

TELEPHONE ... 14"

3. ALL SMOKE DETECTORS SHALL BE HARDWRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP, PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS.

4. ALL BA AND 20A RECEPTACLES IN SLEEPING ROOMS, FAHLLY ROOMS, DINING ROOMS, LIMMS ROOMS, PARLORS, LIBRARIES, DENS, SUNGOVIS, RECREATION ROOMS, CLOSETS, HALLIMYS, AND SHILLAR AREAS HILL, REQUIRE A COMBINION TYPE AFF.L DEVICE AND TAMPER-PROOF RECEPTACLES PER N.E., 2011 406.12 AND 406.15

5. ALL ISA AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GFCL PROTECTED (GF1).

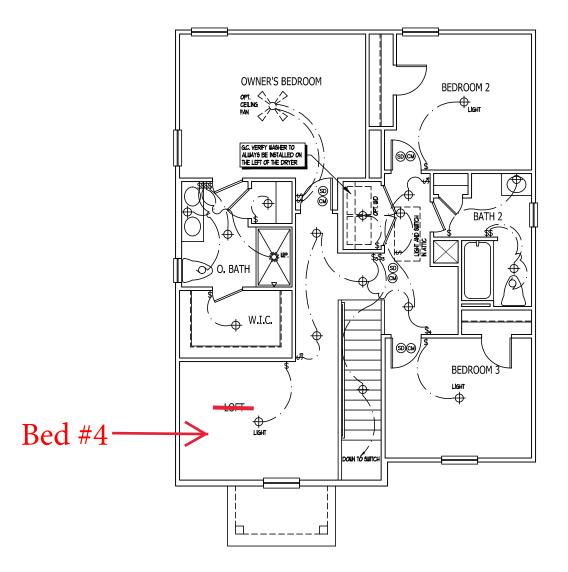
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1. EVERY BUILDING HAVING A FOSGIL-REL-BURNING HEATER OR APPLIANCE, FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONODICE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING

8. ALAPTS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRNS WEN SUCH WIRNS IS SERVED FROM THE LOCAL POWER WITHTY, SUCH ALARYS SHALL HAVE BATTERY BACKIP COMPANION OF WORKE/CARED NOWOWING ALAPHS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.

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Right) (Garage **FREELANCE** HOMES H&H

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ELECTRICAL KEY

DUPLEX CONVENIENCE OUTLET

DUPLEX OUTLET ABOVE COUNTER

HALF-SWITCHED DUPLEX OUTLET

SPECIAL PURPOSE OUTLET

DUPLEX OUTLET IN FLOOR

220 VOLT OUTLET WALL SWITCH

FOUR-WAY SWITCH

DIMMER SWITCH

CEILING MOUNTED INCANDESCENT LIGHT FIXTURE WALL MOUNTED INCANDESCENT LIGHT FIXTURE

RECESSED INCANDESCENT LIGHT FIXTURE

LIGHT FIXTURE WITH PULL CHAIN

TRACK LIGHT

FLUORESCENT LIGHT FIXTURE EXHAUST FAN

EXHAUST FANLIGHT COMBINATION

ELECTRIC DOOR OPERATOR (OPTIONAL)

PUSHBUTTON SWITCH (OPTIONAL) CARBON MONOXIDE DETECTOR

SMOKE DETECTOR

(SD(A) SMOKE / CARBON MONO. COMBO DETECTOR

TELEPHONE (OPTIONAL) М

TELEVISION (OPTIONAL) **▼**

ELECTRIC METER

ELECTRIC PANEL

DISCONNECT SWITCH SPEAKER (OPTIONAL)

ROUGH-IN FOR OPT, CEILING FAN

CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W ROUGH IN FOR OPT. CEILING FAN

1. PROVIDE AND INSTALL <u>GROUND FAULT CIRCUIT-INTERRUPTERS</u> (GFL) AS INDICATED ON PLAYS OR AS ITEM NO. 4 AND 5 BELOW INDICATES.

2. UNLESS OTHERWISE NOICATED, INSTALL SUTCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISHED FLOOR SUTCHES. . . . 42* OUTLETS 14*

TELEPHONE...14" (UNLESS ABV COUNTERTOP)
TELEVISION...14"

3. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONTORED BATTERY BACKUP, PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE <u>DETECTORS</u>.

4. ALL BA AND 20A RECEPTACLES IN SLEEPING ROOMS, FAHILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLONS, LIERARIES, DEIS, SUNGOOMS, RECREATION ROOMS, COGETS, HALLWAYS, AND SHAWAR AREAS WILL REQUIRE A COMBANTON TYPE AFFALL DEVICE AND TAMPER-PROOF RECEPTACLES PER N.E.C. 2011 406.12 AND 406.13

5. ALL BA AND 20A 120V RECEPTACLES LOCATED IN THE GARAGE AND UTILITY ROOMS SHALL BE GF.C.I. PROTECTED (G.F.I).

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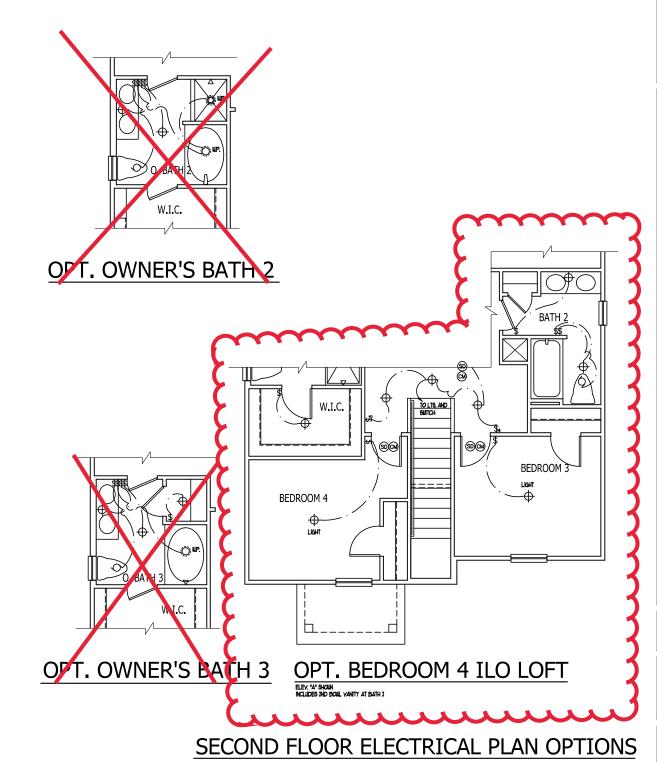
1. EVERY BUILDING HAVING A FOSGIL-RIEL-BURNING HEATER OR APPLIANCE, FREFILACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE DETECTOR INSTALLED WITHIN 10 FEET OF EACH ROOM USED FOR SLEEPING

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Right) Φ Garage ANCE HOME 田 H&H EN EN

1927

TITLE ELECTRIC AT PLAN OPTIONS

DEPTH AND SPACING

LARGE FORMAT PRINTS ARE TO SCALE AS NOTED. 11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE

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STRUCTURAL NOTES:

ALL FRAMING LUMBER TO BE SPF *2 (UNO). ALL TREATED LUMBER TO BE SYP 2 (UNO.)

*NOTE: ALL FIRST FLOOR EXTERIOR

(UNO). 2 x 6 @ 16" O.C. FIRST FLOOR

CONSTRUCTED IN LIEU OF 2 x 4 WALLS

(UNO). ALL INTERIOR LOAD BEARING

AND NON-LOAD BEARING WALLS ARE

TO BE 2 x 4 SPF #2 @ 24" O.C. (UNO).

WALLS ARE TO BE 2 x 4 @ 16" O.C.

EXTERIOR WALLS MAY BE

- ALL LOAD BEARING HEADERS TO BE (2) 2 x 6 (UNO). INSTALL AN EXTRA JOIST UNDER WALLS
- PARALLEL TO FLOOR JOISTS WHERE NOTED ON THE PLANS. WINDOW AND DOOR HEADERS TO BE
- SUPPORTED W/ (1) JACK STUD AND (1) KING STUD EA. END (UNO.). SEE TABLE R602.7.5 FOR ADDITIONAL KING STUD REQUIREMENTS. SQUARES DENOTE POINT LOADS WHICH
- REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO.)
- FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/16" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" O.C. IN THE FIELD.
- FOR HIGH WIND ZONES, SECURE ALL EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS, AND GIRDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3" OC PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GIRDERS AND DOUBLE SILL PLATES THEIR FULL DEPTH ALL 4 x 4 POSTS SHALL BE ANCHORED TO
- SLABS W/ SIMPSON ABU44 POST BASES (OR EQUAL) AND 6 x 6 POSTS W/ ABU66 POST BASES (OR EQUAL) (UNO). ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT CONNECTORS AT TOP (UNO.)
- FOR FIBERGLASS, ALUMINUM, OR COLUMN ENG. BY OTHERS, SECURE TO SLAB w/ (2) METAL ANGLES USING 2" CONC. SCREWS. FASTEN ANGLES TO COLUMNS W/ 1/4" THROUGH BOLTS III/ NUTS AND IIIASHERS LOCATE ANGLES ON OPPOSITE SIDES OF COLUMN. THROUGH BOLTS MUST BE INSTALLED PRIOR TO SETTING COLUMN.
- IØ. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

TABLE R602.15 MINIMUM NUMBER OF FULL HEIGHT STUDS

Δ	AT EACH END OF HEADERS IN EXTERIOR WAI				
۲	HEADER SPAN (FEET)	MAXIMUM STUD S (PER TABLE			
(FEET)	16	24			
	UP TO 31	1	1		
	4'	2	1		
	8'	3	2		
	121	5	3		
	16'	6	4		

CARO

10/23/2020

NOTE: BCI 4500s-1.8 JOISTS MAY BE INSTALLED IN LIEU OF TJI 110 JOISTS AT THE INDICATED ON THE PLAN

> 12'-Ø" SIDE 2B (3) 2 x 12 CONT. FROM CORNER TO CORNER W/ (2) 2 x 6 EA, BRG, PT, 2'-Ø" PORTAL FRAME, SEE METHOD PF ON WALL BRACING DETAIL SHEET D-2 12'-0" SIDE IB RECTANGLE B PTIONAL I CAR GARAGE

METHOD: CS-IISP/PE TOTAL REQUIRED LENGTH: 2.38'
TOTAL PROVIDED LENGTH: 6'

SIDE 2B

METHOD: CS-WSP

BRACED WALL DESIGN

TOTAL REQUIRED LENGTH: 9.88'
TOTAL PROVIDED LENGTH: 14' SIDE 2A METHOD: C5-WSP TOTAL REQUIRED LENGTH: 9,88' TOTAL PROVIDED LENGTH: 20'

SIDE IA METHOD: CS-IUSP/PE

RECTANGLE A

BRACED WALL DESIGN NOTES:

NCRC 2018 EDITION.

BRACED WALL DESIGN PER SECTION R602.10 OF THE

CS-WSP REFERS TO "CONTINUOUS SHEATHING - WOOD

STRUCTURAL PANELS" CONTRACTOR IS TO INSTALL 1/16" OSB ON ALL EXTERIOR WALLS ATTACHED W/8d NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.

"GB REFERS TO "GYPSUM BOARD" CONTRACTOR IS TO INSTALL

1/2" (MIN.) GYPSUM WALL BOARD WHERE NOTED ON THE PLANS. FASTEN GB WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED T" O.C.

ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND

BOTTOM PLATES.

BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH.

FOR HIGH WIND ZONES, BRACE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NCRC 2018 EDITION.

SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED

SIDE 3A METHOD: CS-WSP TOTAL REQUIRED LENGTH: 8.01' TOTAL PROVIDED LENGTH: 32' SIDE 4A METHOD: C5-WSP

TOTAL REQUIRED LENGTH: 80T'

TOTAL PROVIDED LENGTH: 20'

TOTAL REQUIRED LENGTH: 10.01' TOTAL PROVIDED LENGTH: 23.6' SIDE 4B METHOD: C5-W5P TOTAL REQUIRED LENGTH: 21

SIDE 3B 4 4A COMBINED

METHOD: CS-WSP/GB

TOTAL REQUIRED LENGTH: 2.38'
TOTAL PROVIDED LENGTH: 12.0'

RECTANGLE B

EXTRA JOIST EXTRA JOIST 14" TJI 11Ø @ 24" O.C. 2 Ξį (3) 2 x 6 EA, BRG, PT. PORTAL FRAME. SEE METHOD |-PF ON WALL BRACING DETAIL SHEET D-2 2 x 6 9 12" O.C. BALLOON FRAMED EXTERIOR

STAIRWELL WALL W/(2) KING

EXTRA JOIST

EXTRA JOIS

(2) 2 x 10 (TYP.,

OPT, PATIO

30'-0" SIDE 2A

(4)2 x 6

-(2) 1 3/4" x 9 1/4" LVL

w/ (2) JACKS EA, END

EXTRA JOIST

□@

3'-6"

ELEVATION A

-4 x 4 TRTD.

POST MIN.

30'-0" SIDE 1A

ATE: OCTOBER 23, 2020 HES) RAWN BY: PURL HOME NEERED BY: WFB

FREELANCE I & H HOMES

SHEET: 7 OF: 13

S-2a SECOND FLOOR FRAMING PLAN

LARGE FORMAT PRINTS ARE TO SCALE AS NOTED. 11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE

> *NOTE: ALL SECOND FLOOR EXTERIOR WALLS AND ATTIC WALLS ARE TO BE 2 x 4 SPF #2 @ 24" O.C. 2 x 6 SPF #2 @ 24" O.C. SECOND FLOOR EXTERIOR WALLS MAY BE CONSTRUCTED IN LIEU OF 2 \times 4 WALLS (UNO). ALL INTERIOR LOAD BEARING AND NON-LOAD BEARING WALLS ARE TO BE 2 x 4 SPF #2 @ 24" O.C. (UNO).

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BRACED WALL DESIGN NOTES:

- BRACED WALL DESIGN PER SECTION R602.10 OF THE
- NCRC 2016 EDITION.
 C5-USP REFERS TO "CONTINUOUS SHEATHING WOOD STRUCTURAL PANELS" CONTRACTOR IS TO INSTALL 1/16" OSB ON ALL EXTERIOR WALLS ATTACHED W 8d NAILS SPACED 6"
 OC. ALONG PANEL EDGES AND 12" OC. IN THE FIELD.
 'GB REFERS TO "GYPSUM BOARD" CONTRACTOR IS TO INSTALL
- 1/2" (MIN) GYPSUM WALL BOARD WHERE NOTED ON THE PLANS. FASTEN GB WITH 1 1/4" SCREWS OR 1 5/8" NAILS SPACED T" O.C. ALONG PANEL EDGES AND IN THE FIELD INCLUDING TOP AND BOTTOM PLATES.

 BRACED WALL DESIGN APPLIED IN WIND ZONES UP TO 130 MPH.
- FOR HIGH WIND ZONES, BRACE WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 45 OF THE NCRC 2018 EDITION. SEE NOTES AND DETAIL SHEETS FOR ADDITIONAL BRACED
- WALL INFORMATION.

- PER SECTION R602.103.2 OF THE 2018 NCRC, THE AMOUNT OF BRACING ON THE SECOND FLOOR EXCEEDS THE AMOUNT REQUIRED FOR THE FIRST FLOOR AND NO BRACED WALL
- ANALYSIS IS REQUIRED.
 SHEATH ALL EXTERIOR WALLS WITH 1/16" OSB SHEATHING ATTACHED WITH 8d NAILS AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD.

STRUCTURAL NOTES:

- ALL FRAMING LUMBER TO BE SPF #2 (UNO).
- ALL TREATED LUMBER TO BE 6YP *2 (UNO.) ALL LOAD BEARING HEADERS TO BE (2) 2 > 6 (UNO).
- WINDOW AND DOOR HEADERS TO BE SUPPORTED W/ (1) JACK STUD AND (1) KING STUD EA, END (UNO.), SEE TABLE R602.7.5 FOR ADDITIONAL KING STUD REQUIREMENTS
- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. ALL SQUARES TO BE (2) STUDS (UNO.)
- FOR HIGH WIND ZONES, ALL EXTERIOR WALLS TO BE SHEATHED WITH 1/16" OSB SHEATHING WITH JOINTS BLOCKED AND SECURED WITH 8d NAILS AT 3" O.C. ALONG EDGES AND 6" OC IN THE FIELD FOR HIGH WIND ZONES, SECURE ALL
- EXTERIOR WALL SHEATHING PANELS TO DOUBLE TOP PLATES, BANDS, JOISTS, AND GIRDERS WITH (2) ROWS OF 8d NAILS STAGGERED AT 3" O.C. PANELS SHALL EXTEND 12" BEYOND CONSTRUCTION JOINTS AND SHALL OVERLAP GIRDERS AND DOUBLE SILL PLATES THEIR FULL DEPTH. REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

TABLE R60215 MINIMUM NUMBER OF FULL HEIGHT STUDS

AT EACH END C	JE HEADERS IN E.	XIERIOR WAL
HEADER SPAN (FEET)	MAXIMUM STUD S (PER TABL	PACING (INCHE E R6023(5)
(1221)	16	24
UP TO 31	1	1
4'	2	1
8'	3	2
12'	5	3
16'	6	4

AND PROPERTY.

ELEVATION A

-2 x 6 @ 12" O.C. BALLOON FRAMED WALL FROM BELOW

NO STRUCTURAL CHANGES FOR OPTIONAL OWNER'S BATHS

GIRDER TRUSS ENG. BY OTHERS

W/ (3) 2 x 4 OR (3) 2 x 6 EA/ END

ROOF TRUSSES ENG. BY OTHERS

10/23/2020

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ATE: OCTOBER 23, 2020

RAWN BY: PURL HOME: GINEERED BY: WFB

SHEET: 9 OF: 13

S-3a CEILING FRAMING PLAN

NO STRUCTURAL CHANGES

OPTIONAL BEDROOM 4

LARGE FORMAT PRINTS ARE TO SCALE AS NOTED. 11" x 17" PRINTS ARE ONE HALF THE NOTED SCALE



STRUCTURAL NOTES:

- STRUCTURAL NOTES:

 ALL FRAMING LUMBER TO BE 12
 SPF (UNO).

 CIRCLES DENOTE (3) 2 x 4 POSTS
 FOR ROOF SUPPORT.

 FRAME DORN'ER WALLS ON TOP
 OF DOUBLE OR TRIPLE RAFTERS.

 HIP SPLICES ARE TO BE SPACED
 A MIN. OF 8-07. FASTE
 MEMBERS WITH THREE ROUS OF
 12d NAILS 9 16 ° 0C. (TYP)

 STICK FRAME OVER-FRAMED
 ROOF SECTIONS W 2 x 8 RIDGES,
 2 x 6 RAFTERS 9 16 ° 0C. AND
 FLAT 2 x 10 VALLEYS OR USE
 VALLEY TRUSSES.

 FASTEN FLAT VALLEYS TO
 RAFTERS OR TRUSSES WITH
 SIMPSON H25A HURRICANE TIES 9
 2" 0C. MAX. PASS HURRICANE
 TIES THROUGH NOTCH IN ROOF
 SHEATHING. EACH RAFTER 16 TO
 BE FASTENED TO THE FLAT
 VALLEY WITH A HIN. OF (6) 12'd
 TOE NAILS.

 REFER TO SECTION REQUIRED UPILIFT
 RESISTANCE AT RAFTERS AND
 TRUSSES.

 REFER TO NOTES AND DETAIL
- TRUSSES.
 REFER TO NOTES AND DETAIL SHEETS FOR ADDITIONAL STRUCTURAL INFORMATION.

J.S. THOMPSON
ENGINEERING, INC

FREELANCE H & H HOMES



10/23/2020

ELEVATION A

-ROOF TRUSSES

ENG. BY OTHERS

OPT. I-CAR GARAGE

GIRDER TRUSS ENG. BY OTHERS ROOF RUSSES

ENG. BY OTHERS

DATE: OCTOBER 23, 2020

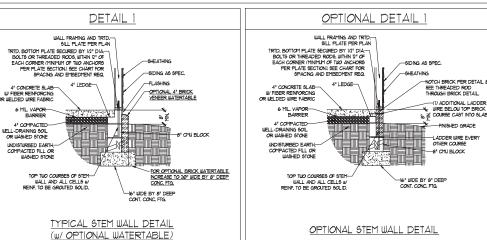
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GINEERED BY: WFB

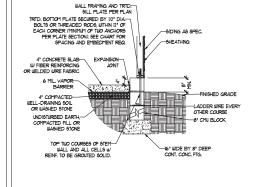
SHEET: 11 OF: 13

S-4a ROOF FRAMING PLAN

STEMWALL DETAILS

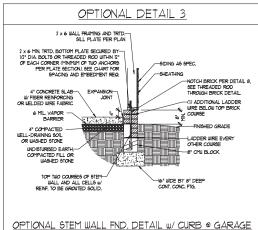


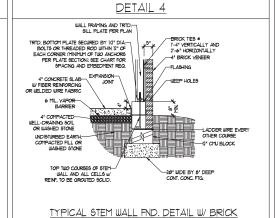
WALL FRAMING AND TRTD.— SILL PLATE PER PLAN SILL PLATE FER PLAN RITID, BOTTOM PLATE SECURED BY 1/2" DIA— BOLTS OR THREADED RODS, WITHIN 12" OF EACH CORNER (MINIMUM OF TWO ANCHORS) PER PLATE SECTION). SEE CHART FOR PLATE SECTION IS INSERTMENT DEFA -4" BRICK VENEER -FLASHING 4" CONCRETE SLAB— W FIBER REINFORCING R WELDED WIRE FABRIC 6 MIL. VAPOR-BARRIER 4" COMPACTED— WELL-DRAINING SOIL OR WASHED STONE ---LADDER WIRE EVER OTHER COURSE TYPICAL STEM WALL FND. W/ BRICK DETAIL TYPICAL STEM WALL FND. DETAIL W/ CURB @ GARAGE

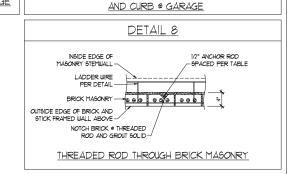


DETAIL 3

H BRICK PER DETAIL 8.







MASONRY STEMWALL SPECIFICATIONS							
WALL HEIGHT (FEET)	MASONRY WALL TYPE						
	8" CMU	4" BRICK AND 4" CMU	4" BRICK AND 8" CMU	12" CMU			
2 AND BELOW	UNGROUTED	GROUT SOLID	UNGROUTED	UNGROUTED			
3	UNGROUTED	GROUT SOLID	UNGROUTED	UNGROUTED			
4	GROUT SOLID	GROUT SOLID w/ *4 REBAR # 48" O.C.	GROUT SOLID	GROUT SOLID w/ *4 REBAR # 64" O.C.			
5	GROUT SOLID w/ *4 REBAR # 36 * O.C.	NOT APPLICABLE	GROUT SOLID w/ *4 REBAR # 36" O.C.	GROUT SOLID w/ *4 REBAR # 64" O.C.			
6	GROUT SOLID w/ *4 REBAR @ 24" O.C.	NOT APPLICABLE	GROUT SOLID w/ *4 REBAR # 24" O.C.	GROUT SOLID w/ *4 REBAR # 64" O.C.			
1 AND GREATER	ENGINEERED DESIGN BASED ON SITE CONDITIONS						

STRUCTURAL NOTES:

- WALL HEIGHT MEASURED FROM TOP OF FOOTING TO TOP OF THE WALL.
- TIE MULTIPLE WYTHES TOGETHER WITH LADDER WIRE AT 16" O.C. VERTICALLY. CHART APPLICABLE FOR HOUSE FOUNDATION ONLY, CONSULT ENGINEER FOR DESIGN OF GARAGE
- 3. CHART APPLICABLE FOR HOUSE FOUNDATION ONLY, CONSULT ENGINEER FOR DESIGN OF GARAGE FOUNDATION NOT COTYCH OF HOUSE.

 4. BACKFILL OF ELLA WET, VET WASHED STONE IS ALLOWABLE.

 5. BACKFILL OF WELL DRAINED OR SAND GRAVEL MIXTURE SOILS (45 PSF.FT BELOW GRADE). CLASSIFIED AS GROUP! ACCORDING TO INMITED SOILS CLASSIFICATION SYSTEM IN ACCORDING. TO INMITED SOILS CLASSIFICATION SYSTEM IN ACCORDING. TO INMITED SOILS CLASSIFICATION SYSTEM IN ACCORDING. BY THE PLAST OF THE 2018 INTERNATIONAL RESIDENTIAL CODE ARE ALLOWABLE.

 6. PREP SLAS PER SEOSE] AND TESSES ASSESS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE. MINIMUM 74" LAP SPLICE LENGTH.

 1. LOCATE REBAR N CENTER OF FOUNDATION WALL.

 8. WHERE REQUIRED, FILL BLOCK SOLID WITH TYPE "S" MORTAR OR 30000 PSI GROUT, USE OF "LOW LIFT GROUTING" METHOD REQUIRED WHEN FILLING WALLS WITH GROUT AT HEIGHTS OF 5" AND GREATER.

ANCHOR SPACING AND EMBEDMENT					
WIND ZONE	12Ø MPH	13Ø MPH			
SPACING	6'-0" O.C.	4'-Ø" O.C.			
EMBEDMENT	יד	B" INTO MASONRY T" INTO CONCRETE			



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> SPEED WIND MPH ULTIMATE DESIGN FOUNDATION DETAILS 130 MPH.

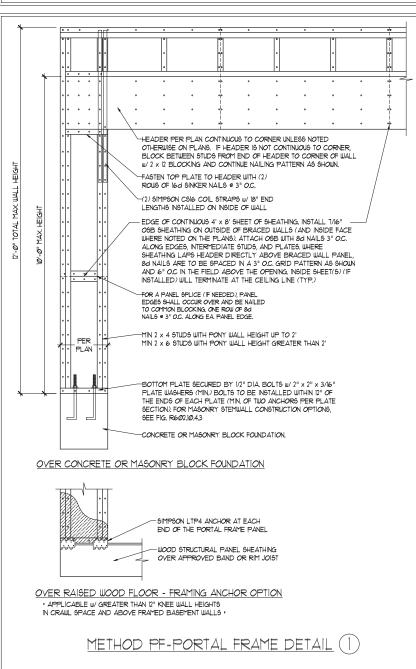
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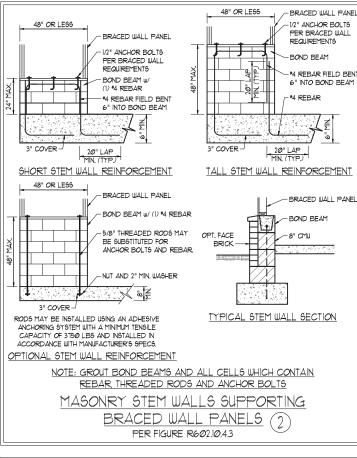
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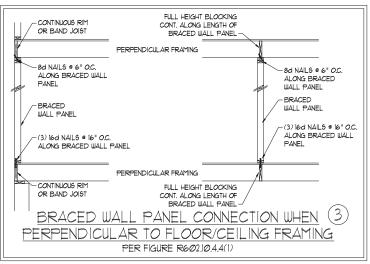
D-1 FOUNDATION DETAILS

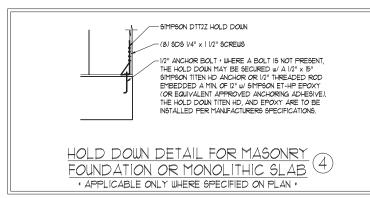
GENERAL WALL BRACING NOTES:

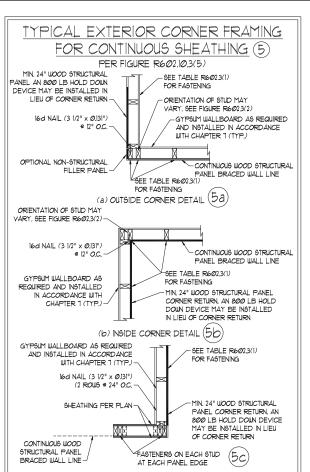
- WALL BRACING DESIGNED IN ACCORDANCE WITH CHAPTER 6 OF THE 2018 NC RESIDENTIAL BUILDING CODE (NCRC.) TABLES AND FIGURES REFERENCED ARE FROM THE 2018 NCRC.
 SEE THIS SHEET FOR GENERAL DETAILS. REFER TO THE 2018 NCRC FOR ADDITIONAL INFORMATION AS NEEDED.
- BRACED EXTERIOR WALLS SUPPORTING ROOF TRUSSES AND RAFTERS, INCLUDING STORIES BELOW THE TOP FLOOR, HAVE
- BEEN DESIGNED PER R602.3.5 (3), WALL SHEATHING AND FASTENERS HAVE BEEN DESIGNED TO RESIST COMBINED UPLIFT AND SHEAR FORCES IN ACCORDANCE WITH ACCEPTED ENGINEERED PRACTICE. 4. SEE STRUCTURAL SHEETS FOR BRACED WALL LOCATIONS DIMENSIONS HOLD DOWN TYPE AND LOCATIONS BRACED WALL
- LINE KEY WITH WALL DESIGN SUMMARY OF REQUIRED/PROVIDED TOTALS FOR EACH WALL LINE AND ANY SPECIAL NOTES OR REQUIREMENTS.
- ALL EXTERIOR WALLS ARE TO BE SHEATHED WITH CS-WSP IN ACCORDANCE WITH SECTION R602.10.3 UNLESS NOTED OTHERWISE.
- 6. ALL EXTERIOR AND INTERIOR WALLS TO HAVE 1/2" GYP9UM INSTALLED, WHEN NOT USING METHOD "GB", GYP9UM TO BE FASTENED PER TABLE RT023.5. METHOD GB TO BE FASTENED PER TABLE R602.10.1
- CS-USP REFERS TO THE "CONTINUOUS SHEATHING WOOD STRUCTURAL PANELS" WALL BRACING METHOD. 1/16" OSB SHEATHING IS TO BE INSTALLED ON ALL EXTERIOR WALLS ATTACHED W/ 6d COMMON NAILS OR 8d (2 1/2" LONG x Ø/13" DIAMETER) NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD (UNO.).
- GB REFERS TO THE "GYPSUM BOARD" WALL BRACING METHOD. 1/2" (MIN.) GYPSUM WALL BOARD IS TO BE INSTALLED ON BOTH \$10E\$ OF THE BRACED WALL FASTENED WITH 11/4" SCREUS OR 15/8" NAILS SPACED TO OC. ALONG PANEL EDGES INCLUDING TOP AND BOTTOM PLATES AND INTERMEDIATE SUPPORTS (UN.O.). YERRY ALL FASTENER OPTIONS FOR 1/2" AND 5/8" GYPSUM PRIOR TO CONSTRUCTION. FOR INTERIOR FASTENER OPTIONS SEE TABLE RT02.35. FOR EXTERIOR FASTENER OPTIONS SEE TABLE R602.3(I). EXTERIOR GB TO BE INSTALLED VERTICALLY.
- REQUIRED BRACED WALL LENGTH FOR EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE ARE INTERPOLATED PER TABLE R&OZ. 103, METHOD C6-146P CONTRIBUTES 115 ACTUAL LENGTH, METHOD GB CONTRIBUTES 5 115 ACTUAL LENGTH, AND METHOD PF CONTRIBUTES 15 ITMES 115 ACTUAL LENGTH.











LARGE FORMAT PRINTS ARE TO SCALE AS NOTED. II" x IT" PRINTS ARE ONE HALF THE NOTED SCALE KING STUDS BETWEEN GARAGE HEADERS PER PLAN -GRADE AND PORTAL FRAME -GARAGE HEADER PER PLAN 2) 5'-I ONG SIMPSON CSIG STRAPS TOP AND BOTTOM OF INSIDE FACE OF BEAM TO TIE VERTICAL STRAPS PER PORTAL FRAME DETAIL HEADERS TOGETHER JACK STUDS SUPPORTING HEADERS PER PLAN PORTAL FRAME CONNECTION DETAIL BETWEEN GARAGE DOOR HEADERS REFERENCE PORTAL FRAME DETAIL FOR ALL OTHER PORTAL FRAME INFORMATION)

SCALE NOTE:

BRACED WALL PANEL (8) CONNECTION TO PERPENDICULAR RAFTERS PER FIGURE R602.10.4.5(1) SOLID BLOCKING BETWEEN RAFTERS OR TRUSSES ATTACHED TO TOP PLATES WITH 8d NAILS 6" O.C. ALONG LENGTH

> BRACED WALL PANEL CONNECTION TO PERPENDICULAR ROOF TRUSSES PER FIGURE R602.10.4.5(3) (OR ALTERNATIVE: FIGURE R602,10,4,5(2)) x BLOCKING NAILING PER TABLE 6'-0" MAX.

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ATE: OCTOBER 30, 2013 RAWN BY: IST

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IGN WIND S
ID DETAILS

TIMATE DESIGNATION :

MPH ULTI BRACING 1

MPH - 130 | WALL I

(5)

S

D-2 BRACED WALL NOTES AND DETAILS AND PF DETAILS

(c) GARAGE DOOR CORNER DETAIL (SEE PLAN FOR ADDITIONAL STRUCTURAL INFORMATION OR ALTERNATE CONFIGURATIONS) BRACED WALL PANEL CONNECTION WHEN 6 PARALLEL TO FLOOR/CEILING FRAMING PER FIG R602 10 4 4(2) -FULL HEIGHT BLOCKING & ADDITIONAL FRAMING 16" O.C. ALONG LENGTH OF MEMBER DIRECTLY ABOVE BRACED WALL PANEL - CONTINUOUS RIM OR BAND JOIST BRACED WALL PANEL TOE NAIL (3) 8d NAILS AT 8d NAILS @ 6" O.C. ALONG -8d NAILS @ 6" O.C. ALONG EA, BLOCKING MEMBER BRACED WALL PANEL BRACED WALL PANEL - BRACED WALL PANEL (3) 16d NAILS @ 16" O.C. -(3) 16d NAILS @ 16" O.C. AT EA. BLOCKING ALONG BRACED WALL PANEL ALONG BRACED WALL PANEL MEMBER

>(2) 16d NAILS EA. SIDE

FULL HEIGHT BLOCKING @

16" O.C. ALONG LENGTH OF BRACED WALL PANEL

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ADDITIONAL FRAMING

MEMBER DIRECTLY BELOW BRACED WALL PANEL

BRACED WALL PANEL

BRACED WALL PANEL

(3) 16d NAILS @ 16" O.C.

TINUOUS RIM W/ FINGER

JOISTS OR DBL. BAND JOIST

LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.

II" x IT" PRINTS ARE ONE HALF THE NOTED SCALE

SON INCZROS 189.9921

GINEERING, IN GINEERING, IN 6 WARDAR, SULTE ION ALEICH, NC.7765 PHONE, 6197 7899919 PAX (619) 7899921 N.C. LICENSE NO. C.1733

> MPH - 130 MPH ULTIMATE DESIGN WIND SPEED STANDARD STRUCTURAL NOTES

DATE: NOVEMBER 14, 2018

20

DRAWN BY: JES

ENGINEERED BY: JST

S-O STRUCTURAL NOTES

10/23/2020

GENERAL NOTES

- I. ENGINEER'S SEAL APPLIES ONLY TO STRUCTURAL COMPONENTS INCLUDING ROOF RAFTERS, HIPS, VALLEYS, RIDGES, FLOORS, WALLS, BEAMS, HEADERS, COLUMNS, CANTILEYERS, OFFSET LOAD BEARING WALLS, PIERS, GIRDER SYSTEM AND FOOTING. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OF ARCHITECTURAL LAYOUT INCLUDING ROOF. ENGINEER'S SEAL DOES NOT APPLY TO I-JOIST OR FLOOR/ROOF TRUSS LAYOUT DESIGN AND ACCURACY.
- 2. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE (NCRC), 2018 EDITION, PLUS ALL LOCAL CODES AND REGULATIONS. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK, NOR WILL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONSTRUCTION WORK.
- 3. STRUCTURAL DESIGN BASED ON THE PROVISIONS OF THE NCRC, 2018 EDITION (R301.4 R301.1)

DESIGN CRITERIA:	LIVE LOAD (PSF)	DEAD LOAD (PSF)	DEFLECTION (IN)	
ATTIC WITH LIMITED STORAGE	20	10	L/240 (L/360 w/ BRITTLE FINISHES)	
ATTIC WITHOUT STORAGE	10	10	L/36Ø	
DECK\$	40	10	L/360	
EXTERIOR BALCONIES	40	10	L/36Ø	
FIRE ESCAPES	40	10	L/36Ø	
HANDRAILS/GUARDRAILS	200 LB OR 50 (PLF)	10	L/36Ø	
PASSENGER VEHICLE GARAGE	50	10	L/360	
ROOMS OTHER THAN SLEEPING ROOM	40	10	L/360	
SLEEPING ROOMS	3Ø	10	L/36Ø	
STAIRS	40	10	L/36Ø	
WIND LOAD	(BASED ON TABLE R3Ø12(4) WIND ZONE AND EXPOSURE)			
GROUND SNOW LOAD: Pa	2Ø (PSF)			

- I-JOIST SYSTEMS DESIGNED WITH 12 PSF DEAD LOAD AND DEFLECTION (IN) OF L/480
- FLOOR TRUSS SYSTEMS DESIGNED WITH 15 PSF DEAD LOAD
- 4. FOR 115 AND 120 MPH WIND ZONES, FOUNDATION ANCHORAGE 15 TO COMPLY WITH SECTION R403.16 OF THE NCRC, 2016 EDITION. FOR 130 MPH, 140 MPH, AND 150 MPH WIND ZONES, FOUNDATION ANCHORAGE 15 TO COMPLY WITH SECTION 4504 OF THE NCRC, 2016 EDITION.
- 5. ENERGY EFFICIENCY COMPLIANCE AND INSULATION VALUES OF THE BUILDING TO BE IN ACCORDANCE WITH CHAPTER II OF THE NCRC, 2018 EDITION.

FOOTING AND FOUNDATION NOTES

- FOUNDATION DESIGN BASED ON A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF. CONTACT GEOTECHNICAL ENGINEER IF BEARING CAPACITY IS NOT ACHIEVED.
- 3. PROPERLY DEWATER EXCAVATION PRIOR TO POURING CONCRETE WHEN BOTTOM OF CONCRETE GLAB IS AT OR BELOW WATER TABLE. IF APPLICABLE, 3/4" - I" DEEP CONTROL JOINTS ARE TO BE SAUED WITHIN 4 TO 12 HOURS OF CONCRETE FINISHING AND WALL LOCATIONS HAVE BEEN MARKED. ADJUST WHERE NECESSARY.
- 4. CONCRETE SHALL CONFORM TO SECTION R4022 OF THE NCRC, 2018 EDITION. CONCRETE REINFORCING STEEL TO BE ASTM A615 GRADE 60. WELDED WIRE FABRIC TO BE ASTM A185. MAINTAIN A MINIMUM CONCRETE COVER AROUND REINFORCING STEEL OF 3" IN FOOTINGS AND 11/2" IN SLASS. FOR POWED CONCRETE WALLS, CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE INSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 3/4". CONCRETE COVER FOR REINFORCING STEEL MEASURED FROM THE OUTSIDE FACE OF THE WALL SHALL NOT BE LESS THAN 11/2" FOR \$5 BARS OR SYMALLER, AND NOT LESS THAN 11/2" FOR \$6 BARS OR LARGER.
- 5. MASONRY UNITS TO CONFORM TO ACE 530/ASCE 5/TMS 402. MORTAR SHALL COMFORM TO ASTM CITA
- 6. THE UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED FOUR TIMES THEIR LEAST DIMENSION FOR WHILLED HOLLOW CONCRETE MASONRY WITS AND TEN TIMES THEIR LEAST DIMENSION FOR SOLID OR SOLID FILLED PIERS. PERS MAY BE FILLED SOLID WITH CONCRETE OR TYPE M OR S MORTAR. PIERS AND WALLS SHALL BE CAPPED WITH 8' OF SOLID MASONRY.
- THE CENTER OF EACH OF THE PIERS SHALL BEAR IN THE MIDDLE THIRD OF ITS RESPECTIVE FOOTING, EACH GIRDER SHALL BEAR IN THE MIDDLE THIRD OF THE PIERS.
- 8. ALL CONCRETE AND MASONRY FOUNDATION WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION REVA OF THE NCRC, 2018 EDITION OR IN ACCORDANCE WITH ACI 318, ACI 313, NCMA TRE63-A OR ACE 530/MSCE 517116 402. MASONRY FOUNDATION WALLS ARE TO BE REINFORCED PER TABLE REVOLUCIATION WALLS (ARE TO BE REINFORCED PER TABLE REVOLUCIATION WALLS ARE TO BE REINFORCED PER TABLE REVOLUCIATION STEP CONCRETE FOUNDATION WALLS TO 2 x 6 FRAMED WALLS AT 16" OC. WHERE GRADE PERMITS (UNO).

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FRAMING NOTES

- ALL FRAMING LUMBER SHALL BE 12 9PF MINIMUM (Fb = 815 PS), Fv = 315 PS), E = 16000000 PS)) UNLESS NOTED OTHERWISE (UNO). ALL TREATED LUMBER SHALL BE 12 SYP MINIMUM (Fb = 915 PS), Fv = 115 PS), E = 16000000 PS)) UNLESS NOTED OTHERWISE (UNO).
- 2. LAMINATED VENEER LUMBER (LVL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fo =2600 PSI, Fv = 285 PSI, E = 1900000 PSI. LAMINATED STRAND LUMBER (LSL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fo = 2325 PSI, Fv = 310 PSI, E = 18500000 PSI. PARALLEL STRAND LUMBER (PSL) UP TO 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2500 PSI, E = 18000000 PSI. PARALLEL STRAND LUMBER (PSL) MORE THAN 1" DEPTH SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fc = 2900 PSI, E = 20000000 PSI. NSTALL ALL CONNECTIONS PER MANUFACTURER'S SPECIFICATIONS.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS

A. W AND WT SHAPES: ASTM A992
B. CHANNELS AND ANGLES: ASTM A36
C. PLATES AND BARS: ASTM A36
D. HOLLOW STRUCTURAL SECTIONS: ASTM A500 GRADE B
E. STEEL PIPE: ASTM A53, GRADE B, TYPE E OR S

4. STEEL BEAMS SHALL BE SUPPORTED AT EACH END WITH A MINIMUM BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH (UNO). PROVIDE SOLID BEARING FROM BEAM SUPPORT TO FOUNDATION. BEAMS SHALL BE ATTACHED AT THE BOTTOM FLANGE TO EACH SUPPORT AS FOLLOWS (UNO).

 A. WOOD FRAMING
 (2) 1/2" DIA, x 4" LONG LAG SCREWS

 B. CONCRETE
 (2) 1/2" DIA, x 4" WEDGE ANCHORS

C. MASONRY (FULLY GROUTED) (2) 1/2" DIA. x 4" LONG SIMPSON TITEN HD ANCHORS

LATERAL SUPPORT IS CONSIDERED ADEQUATE PROVIDING THE JOISTS ARE TOE NAILED TO THE 2x NAILER ON TOP OF THE STEEL BEAM, AND THE 2x NAILER IS SECURED TO THE TOP OF THE STEEL BEAM w/ (2) ROUS OF SELF TAPPING SCREWS ** I6" O.C., OR (2) ROUS OF 1/2" DIAM'ETER BOLTS ** I6" O.C. IF I/2" BOLTS ARE USED TO FASTEN THE NAILER, THE STEEL BEAM SHALL BE FABRICATED w/ (2) ROUS OF 9/16" DIAM'ETER HOLTS ** I6" O.C.

- SQUARES DENOTE POINT LOADS WHICH REQUIRE SOLID BLOCKING TO GIRDER OR FOUNDATION. SHADED SQUARES DENOTE POINT LOADS FROM ABOVE WHICH REQUIRE SOLID BLOCKING TO SUPPORTING MEMBER BELOW.
- 6. ALL LOAD BEARING HEADERS TO CONFORM TO TABLE R602.7(1) AND R602.7(2) OF THE NCRC, 2018 EDITION OR BE (2) 2 x 6 WITH (1) JACK AND (1) KING STUD EACH END (UNO), WHICHEVER IS GREATER ALL HEADERS TO BE SECURED TO EACH JACK STUD WITH (4) 8d NAILS. ALL BEAMS TO BE SUPPORTED WITH (2) STUDS AT EACH BEARING POINT (UNO). INSTALL KING STUDS PER SECTION R602.15 OF THE NORTH CAROLINA RESIDENTIAL CODE, 2018 EDITION.
- 1. ALL BEAMS, HEADERS, OR GIRDER TRUSSES PARALLEL TO WALL ARE TO BEAR FULLY ON (1) JACK OR (2) STUDS MINIMUM OR THE NUMBER OF JACKS OR STUDS NOTED. ALL BEAMS OR GIRDER TRUSSES FERRENDICULAR TO WALL AND SUPPORTED BY (3) STUDS OR LESS ARE TO HAVE 1 1/2* MINIMUM BEARING (UNO). ALL BEAMS OR GIRDER TRUSSES PERPENDICULAR TO WALL AND SUPPORTED BY MORE THAN (3) STUDS OR OTHER NOTED COLUMN ARE TO BEAR FULLY ON SUPPORT COLUMN FOR ENTIRE WALL DEPTH (UNO). BEAM ENDS THAT BUTT INTO ONE ANOTHER ARE TO EACH BEAR EQUAL LENGTHS (UNO).
- 8. FLITCH BEAMS SHALL BE BOLTED TOGETHER USING 1/2" DIAMETER BOLTS (ASTM A3Ø1) WITH WASHERS PLACED AT THREADED END OF BOLT.
 BOLTS SHALL BE SPACED AT 24" CENTERS (MAXIMUM), AND STAGGERED AT TOP AND BOTTOM OF BEAM (2" EDGE DISTANCE), WITH (2) BOLTS
- 9. ALL I-JOIST OR TRUSS LAYOUTS ARE TO BE IN COMPLIANCE WITH THE OVERALL DESIGN SPECIFIED ON THE PLANS. ALL DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
- 10. BRACED WALL PANELS SHALL BE CONSTRUCTED ACCORDING TO THE NORTH CAROLINA RESIDENTIAL CODE 2018 EDITION WALL BRACING CRITERIA. THE AMOUNT, LENGTH, AND LOCATION OF BRACING SHALL COMPLY WITH ALL APPLICABLE TABLES IN SECTION R602.10.
- II. PROVIDE DOUBLE JOIST UNDER ALL WALLS PARALLEL TO FLOOR JOISTS. PROVIDE SUPPORT UNDER ALL WALLS PARALLEL TO FLOOR TRUSSES OR I-JOISTS PER MANIFACTURER'S SPECIFICATIONS. INSTALL BLOCKING BETWEEN JOISTS OR TRUSSES FOR POINT LOAD SUPPORT FOR ALL POINT LOADS ALONG OFFSET LOAD LINES.
- 2. FOR ALL HEADERS SUPPORTING BRICK VENEER THAT ARE LESS THAN 8"-0" IN LENGTH, REST A 6" x 4" x 5//6" STEEL ANGLE WITH 6" MINIMUM EMBEDMENT AT SIDES FOR BRICK SUPPORT (UND). FOR ALL HEADERS 8"-0" AND GREATER IN LENGTH, BOLT A 6" x 4" x 5//6" STEEL ANGLE TO HEADER WITH 1/2" LAG SCREWS AT 12" OC. STAGGERED FOR BRICK SUPPORT. FOR ALL BRICK SUPPORT AT ROOF LINES, BOLT A 6" x 4" x 5//6" STEEL ANGLE TO (2) 2 x 10" BLOCKING INSTALLED W (4) 12" ANALS EA. PLY BETWEEN WALL STUDS WITH (2) ROUS OF 1/2" LAG SCREWS AT 12" OC. STAGGERED AND IN ACCORDANCE WITH SECTION R103.82.1 OF THE NORC, 2018 EDITION.
- . FOR STICK FRAMED ROOFS: CIRCLES DENOTE (3) 2 x 4 POSTS FOR ROOF MEMBER SUPPORT. HIP SPLICES ARE TO BE SPACED A MINIMUM OF 8'-0". FASTEN MEMBERS WITH THREE ROWS OF 12d NAILS AT 16" O.C. FRAME DORMER WALLS ON TOP OF DOUBLE OR TRIPLE RAFTERS AS SHOWN (UNO).
- 14. FOR TRUSSED ROOFS: FRAME DORMER WALLS ON TOP OF 2 x 4 LADDER FRAMING AT 24" O.C. BETWEEN ADJACENT ROOF TRUSSES. STICK FRAME OVER-FRAMED ROOF SECTIONS WITH 2 x 6 RIDGES, 2 x 6 RAFTERS AT 16" O.C. AND FLAT 2 x 10 VALLEYS (UNO).
- 5. ALL 4 x 4 AND 6 x 6 POSTS TO BE INSTALLED WITH 100 LB CAPACITY UPLIFT CONNECTORS TOP AND BOTTOM (UNO.) POSTS MAY BE SECURED USING ONE SIMPSON HE OR LITSU UPLIFT CONNECTOR FASTENED TO THE BAND AT THE BOTTOM AND THE BEAM AT THE TOP OF EACH POST. ONE IS "SECTION OF SIMPSON CSIS COIL STRAPPING WITH (8) 8d HDG NAILS AT EACH END MAY BE USED IN LIEU OF EACH TWIST STRAP IF DESIRED. FOR MASONRY OR CONCRETE FOUNDATION USE SIMPSON POST BASE.

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