



REVISIONS

06-19-22

CORRECTION PLAT
DUNCAN'S
CROSSING
SUBDIVISION

PIN 0589-71-6222.000 &
0589-91-6866.000
SR 1253 (HOLDER ROAD)
UPPER LITTLE RIVER
TOWNSHIP
HARNETT COUNTY
NORTH CAROLINA

OWNER
BS LAND, LLC.
468 Shamal Road
Angier, North Carolina 27501
Phone: (919) 598-5845

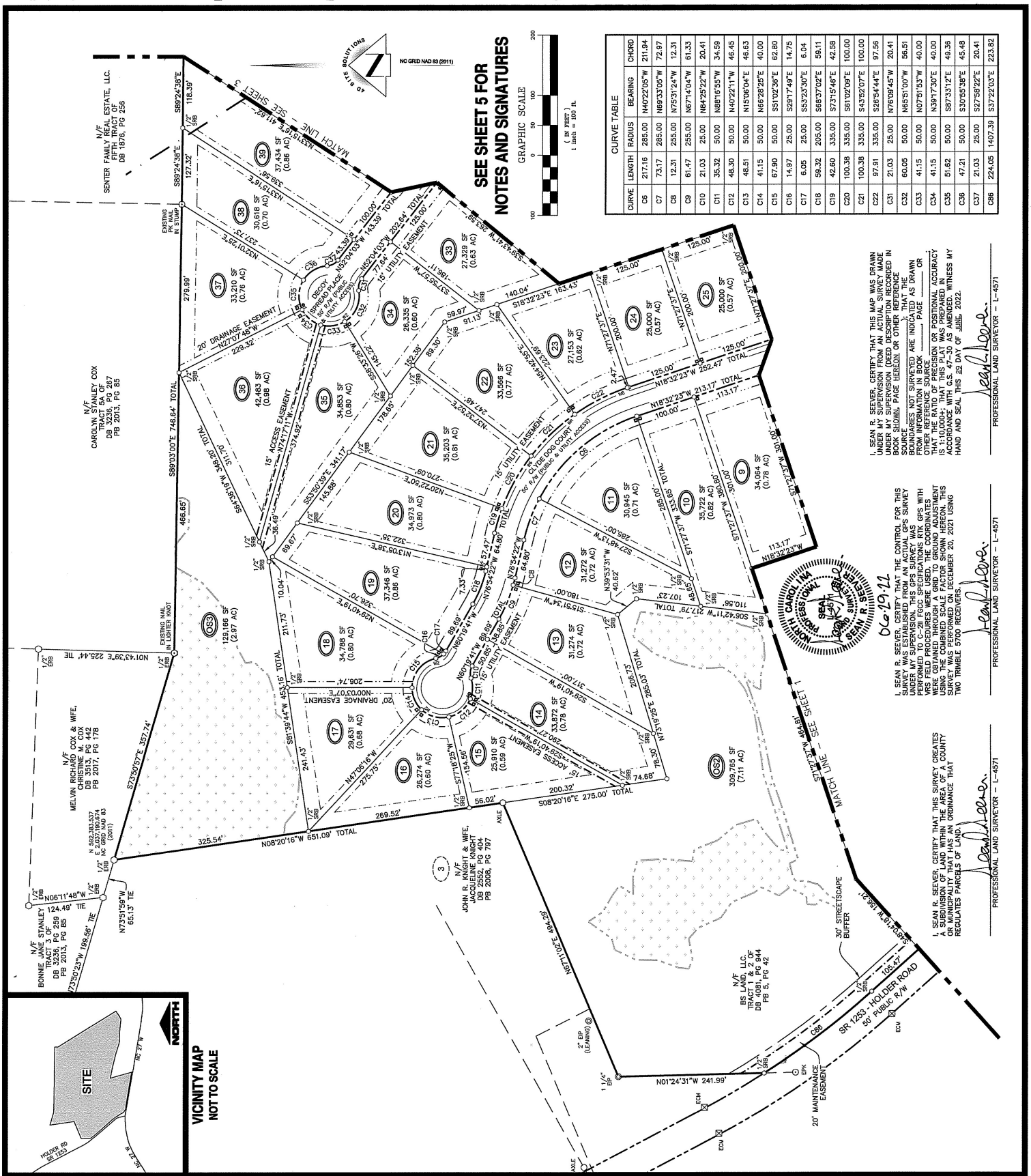
CLIENT
WELLONS
CONSTRUCTION, INC.
PO Box 780
Dunn, North Carolina 28335
Phone: (919) 892-6630

PROJECT INFORMATION
SURVEYED BY: CLIFF
DRAWN BY: SEAN
CHECKED BY: JIMMY
PROJECT NUMBER: 1871.

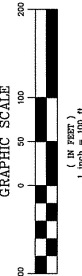
DRAWING SCALE
HORIZONTAL: 1"=100'

DATE SURVEYED
JUNE 10, 2022

SHEET NUMBER
2



SEE SHEET 5 FOR
NOTES AND SIGNATURES

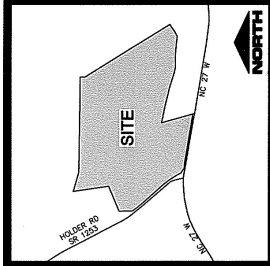


CURVE TABLE with columns: CURVE LENGTH, RADIUS, CHORD, BEARING

I, SEAN R. SEEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION... PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY... PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEEVER, CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND. PROFESSIONAL LAND SURVEYOR - L-4571





REVISIONS
06-19-22

PROJECT NAME
CORRECTION PLAT
DUNCAN'S
CROSSING
SUBDIVISION

PIN 0539-71-6223.000 &
0539-61-6366.000
SR 1253 (HOLDER ROAD)
UPPER LITTLE RIVER
TOWNSHIP
HARNETT COUNTY
NORTH CAROLINA

OWNER
BS LAND, LLC.
488 Standal Road
Angier, North Carolina 27501
Phone: (919) 638-5845

CLIENT
WELLONS
CONSTRUCTION,
INC.
PO Box 730
Dunn, North Carolina 28368
Phone: (919) 682-6880

PROJECT INFORMATION

SURVEYED BY:	CLIFF
DRAWN BY:	SEAN
CHECKED BY:	JIMMY
PROJECT NUMBER:	1671

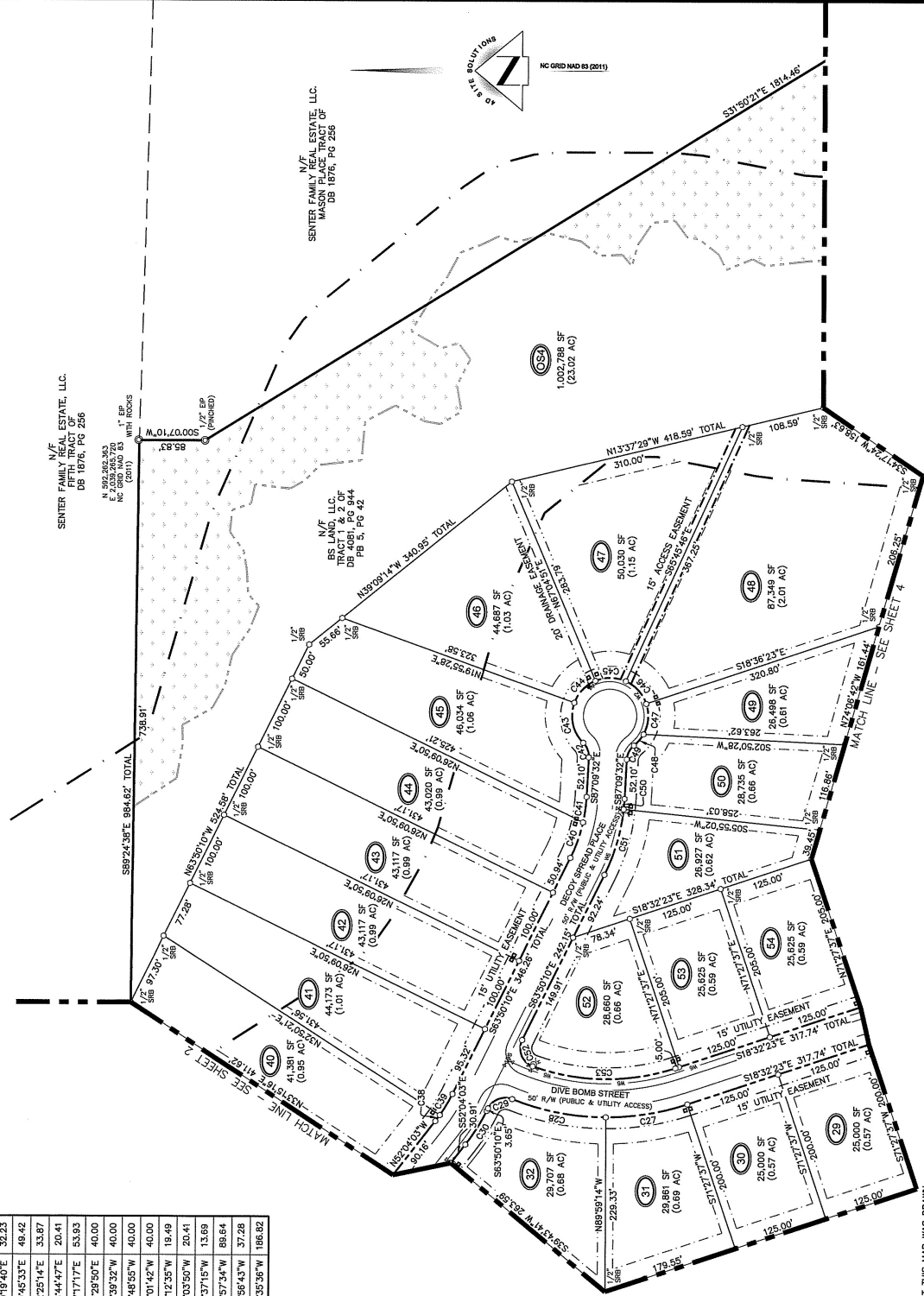
DRAWING SCALE
HORIZONTAL: 1"=100'

DATE SURVEYED
JUNE 10, 2022

SHEET NUMBER
3

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C27	106.47	335.00	N09°15'48"W	108.00
C28	125.75	335.00	N10°45'58"E	125.01
C29	37.24	25.00	N21°09'30"W	33.89
C30	52.38	255.00	S07°57'07"E	52.28
C38	9.85	205.00	S52°28'36"E	9.84
C39	32.26	205.00	S59°19'40"E	32.23
C40	49.54	205.00	S70°45'33"E	49.42
C41	33.91	205.00	S82°25'14"E	33.87
C43	21.03	25.00	N68°44'47"E	20.41
C43	95.96	50.00	N77°17'17"E	53.93
C44	41.15	50.00	S46°28'50"E	40.00
C46	41.15	50.00	S00°39'32"W	40.00
C46	41.15	50.00	S77°48'55"W	40.00
C47	41.15	50.00	N85°01'42"W	40.00
C48	19.62	50.00	N50°12'35"W	19.49
C49	21.03	25.00	N63°03'50"W	20.41
C50	13.69	255.00	N85°37'15"W	13.69
C51	90.11	255.00	N73°57'34"W	89.64
C52	42.08	25.00	S67°26'43"W	37.28
C53	190.34	285.00	S00°35'36"W	188.92



SEE SHEET 5 FOR
NOTES AND SIGNATURES

GRAPHIC SCALE
1 inch = 100 ft.



I, SEAN R. SEIVER, CERTIFY THAT THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN HARNETT COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

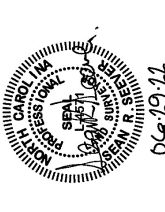
Sean R. Seiver
PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEIVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY PERFORMED TO C-201 FDCG SPECIFICATIONS. THE GPS WITH VRS FIELD PROCEDURES WERE USED. THE COORDINATES ARE IN NAD 83. THE SURVEY WAS PERFORMED USING THE COMBINED SCALE FACTOR SHOWN HEREON. THIS SURVEY WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS.

Sean R. Seiver
PROFESSIONAL LAND SURVEYOR - L-4571

I, SEAN R. SEIVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY. THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK PAGE OR THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10,000. THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY HAND AND SEAL THIS 22 DAY OF JUNE, 2022.

Sean R. Seiver
PROFESSIONAL LAND SURVEYOR - L-4571



REVISIONS
06-19-21

PROJECT NAME
CORRECTION PLAT
DUNCAN'S
CROSSING
SUBDIVISION

PIN 0639-71-8223.000 &
0639-81-8366.000
SR 1293 (HOLDER ROAD)
UPPER LITTLE RIVER
TOWNSHIP
HARNETT COUNTY
NORTH CAROLINA

OWNER
BS LAND, LLC.
468 Starnel Road
Angier, North Carolina 27501
Phone: (919) 892-8805

CLIENT
WELLONS
CONSTRUCTION,
INC.
PO Box 790
Dunn, North Carolina 28335
Phone: (919) 892-6630

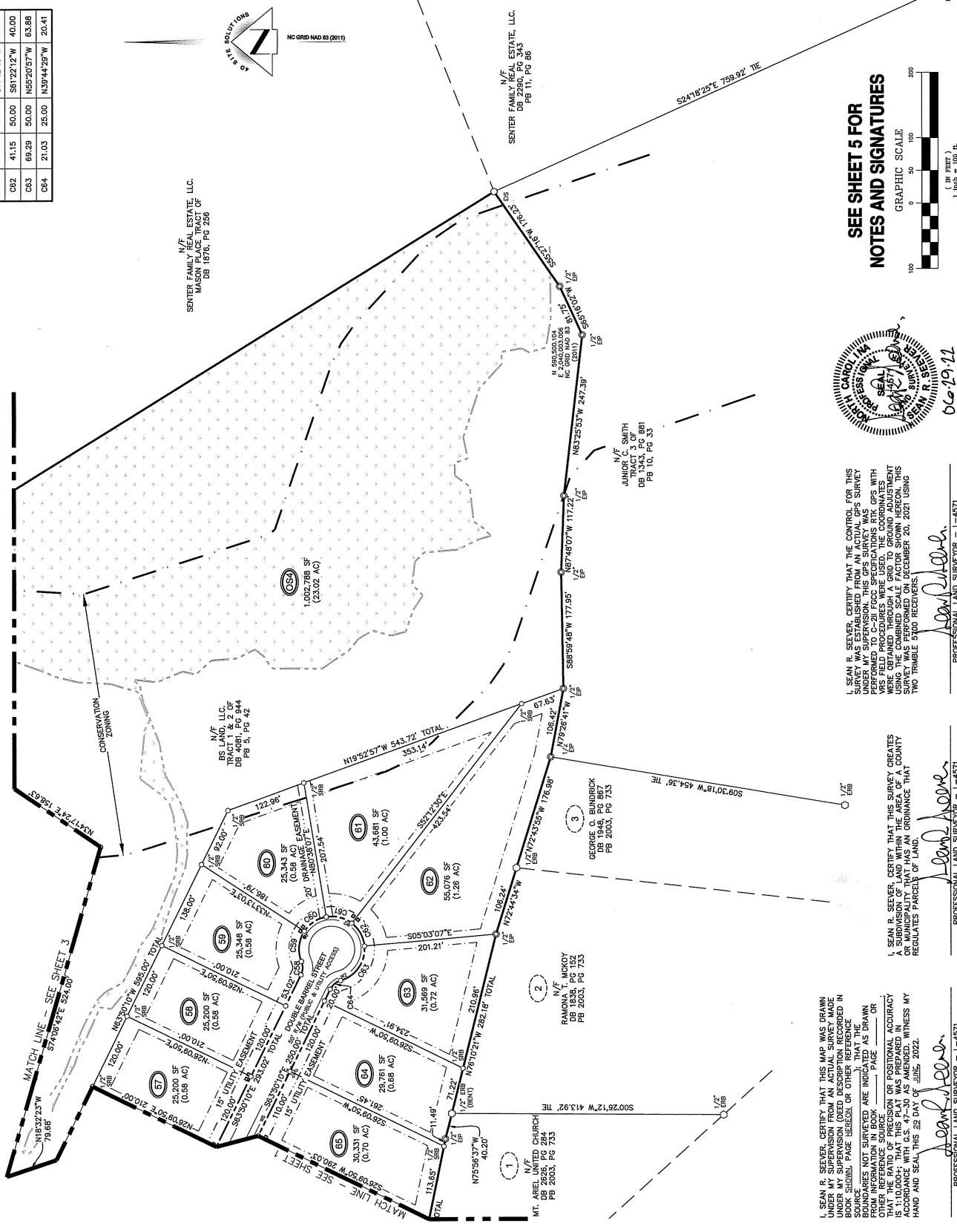
PROJECT INFORMATION

SURVEYED BY:	CLIFF
DRAWN BY:	SEAN
CHECKED BY:	JIMMY
PROJECT NUMBER:	1871

DRAWING SCALE
HORIZONTAL: 1"=100'
DATE SURVEYED
JUNE 10, 2022
SHEET NUMBER
4 OF 5

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C58	21.03	25.00	S87°55'52"E	20.41
C59	48.21	50.00	S84°24'15"E	46.36
C60	41.38	50.00	S33°04'25"E	40.21
C61	41.15	50.00	S1°12'49"W	40.00
C62	41.15	50.00	S81°22'12"W	40.00
C63	66.29	50.00	N52°20'57"W	63.88
C64	21.03	25.00	N39°44'25"W	20.41



I, SEAN R. SEEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY PERFORMED TO C-200 PRECISION SPECIFICATIONS BY GPS WITH VERIFIED PROCEDURES WERE USED. THE COORDINATES WERE OBTAINED THROUGH A GRID TO GROUND ADJUSTMENT SURVEY THAT WAS PERFORMED ON DECEMBER 20, 2021 USING TWO TRIMBLE 5700 RECEIVERS.

SEAN R. SEEVER
PROFESSIONAL LAND SURVEYOR - L-4871

I, SEAN R. SEEVER, CERTIFY THAT THIS SURVEY CREATES AN EASEMENT THAT HAS AN ORIGINANCE THAT REGULATES PARCELS OF LAND.

SEAN R. SEEVER
PROFESSIONAL LAND SURVEYOR - L-4871

I, SEAN R. SEEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN BOOK SHOWING PAGE RECORD OR OTHER REFERENCE SOURCE. THE SURVEY AND THE INFORMATION THEREON OR FROM INFORMATION IN BOOK SHOWING PAGE RECORD OR OTHER REFERENCE SOURCE ARE INDICATED AS DRAWN OR AS AMENDED. THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY HAND AND SEAL THIS 22 DAY OF JUNE, 2022.

SEAN R. SEEVER
PROFESSIONAL LAND SURVEYOR - L-4871



06-19-22

REVISIONS

CERTIFICATE OF OWNERSHIP AND DEDICATION
I, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON...

DATE: 7-5-22
REGISTER OFFICER: [Signature]

HARNETT COUNTY, NORTH CAROLINA
FILED FOR REGISTRATION ON THE 5th DAY OF JULY AT 11:53 AM (P.M.) AND DULY RECORDED IN MAP BOOK 2122 AT PAGE 318-322.
Matthew S. Willis
Blaine Kaula B. Carrel - Deputy

DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS

PROPOSED SUBDIVISION ROAD
CONSTRUCTION STANDARDS CERTIFICATION
APPROVED: [Signature] DISTRICT ENGINEER
DATE: 7-5-22

ACCEPTED FOR THE NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS

BY: [Signature] DISTRICT ENGINEER
DATE: 7-5-22

CERTIFICATE OF OWNERSHIP AND DEDICATION
I, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON...

DATE: 7-5-22
OWNER'S SIGNATURE: [Signature]
BS LAND, LLC.

I HEREBY CERTIFY THAT STORMWATER CONVEYANCE AND CONTROL MEASURES HAVE BEEN COMPLETED IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION SPECIFICATIONS TO THE BEST OF OUR ABILITIES...

DATE: 7-5-22
OWNER'S SIGNATURE: [Signature]
BS LAND, LLC.

PUBLIC PLAT DECLARATION

ALL ROADS IN THIS SUBDIVISION ARE HEREBY DECLARED TO BE PUBLIC ROADS. THE DESIGN AND CONSTRUCTION OF THESE ROADS SHALL BE THE RESPONSIBILITY OF THE SUBDIVISION OWNER...

TOTAL AREA (BY COORDINATE COMPUTATION)
4,977,047 Sq. (107.37 AC)

PIN: 0539-71-6223.000 & 0539-81-8366.000

TOWNSHIP: UPPER LITTLE RIVER
LAND USE CLASSES: AGRICULTURAL & RURAL RESIDENTIAL, ENVIRONMENTALLY SENSITIVE

ZONING: RA-30 & CONSERVATION

35' FRONT
10' SIDE
25' REAR

TO VERIFY SETBACK INFORMATION CONTACT THE HARNETT COUNTY REGISTER OF DEEDS

SOURCE OF TITLE:
REGISTER OF DEEDS
HARNETT COUNTY
REGISTER OF DEEDS

I, SEAN R. SEEVER, CERTIFY THAT THE CONTROL FOR THIS SURVEY WAS ESTABLISHED FROM AN ACTUAL GPS SURVEY UNDER MY SUPERVISION...

PROFESSIONAL LAND SURVEYOR - L-4571

I, HEREBY CERTIFY THAT THE DEVELOPMENT DEPICTED HEREON HAS BEEN GRANTED FINAL PLAT STATUS AND IS SUBJECT TO THE PLANNING AND PUBLIC UTILITIES OF HARNETT COUNTY...

APPROVED: [Signature] DEVELOPMENT REVIEW CHAIRMAN
DATE: 7-5-22

CERTIFICATE OF IMPROVEMENTS MAINTENANCE
I HEREBY CERTIFY THAT I ASSUME ALL FINANCIAL AND LEGAL RESPONSIBILITIES FOR THE MAINTENANCE AND IMPROVEMENT OF THE CROSSING SUBDIVISION UNTIL SUCH TIME THAT THEY ARE ACCEPTED FOR MAINTENANCE BY THE NCDOT.

DATE: 7-5-22
OWNER: [Signature]
BS LAND, LLC.

NOTES:

- 1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
2. COMBINED SCALE FACTOR: 0.99987479
3. LOCALIZATION POINT N: 590.372796 E: 2.07550103
4. DISTANCES MEASURED VIA NORTH CAROLINA GEODETIC SURVEY VIRTUAL REFERENCE SYSTEM
5. THE HORIZONTAL AND VERTICAL CONTROL FOR THIS SURVEY WERE ESTABLISHED BY THE HARNETT COUNTY REGISTER OF DEEDS...

THIS CORRECTION PLAT HAS BEEN PREPARED AND RECORDED FOR THE SOLE PURPOSE OF ADDING THE OWNER'S NAME TO THE TITLE BLOCK AND DOES NOT OTHERWISE ALTER LINES OR CHANGE ANY OTHER ASPECTS OF THE PRIOR PLAT RECORDED IN PB 2022, PG 293.

I, SEAN R. SEEVER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE NCDOT PLAT BOOK SHOWING PAGE HEREON OR OTHER REFERENCE SOURCE...

PROFESSIONAL LAND SURVEYOR - L-4571

CORRECTION PLAT
DUNCAN'S CROSSING SUBDIVISION

PIN 0539-71-6223.000 & 0539-81-8366.000
SR 1293 (HOLDER ROAD) UPPER LITTLE RIVER TOWNSHIP HARNETT COUNTY NORTH CAROLINA

OWNER

BS LAND, LLC.

468 Shand Road Angler, North Carolina 27601 Phone: (919) 838-8845

CLIENT

WELLONS CONSTRUCTION, INC.

PO Box 730 Dunn, North Carolina 28335 Phone: (919) 832-8630

PROJECT INFORMATION

Table with 2 columns: Field Name, Value. Includes SURVEYED BY, DRAWN BY, CHECKED BY, PROJECT NUMBER, CLIFF, SEAN, JIMMY, 1871.

DRAWING SCALE

HORIZONTAL: 1"=200'

DATE SURVEYED

JUNE 10, 2022

SHEET NUMBER

5

OF 5



06-19-22

I, SEAN R. SEEVER, CERTIFY THAT THIS SURVEY CREATES OR SUBSTANTIALLY CHANGES THE BOUNDARIES OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

PROFESSIONAL LAND SURVEYOR - L-4571