

REVISION LOG	
REVISION:001	DATE: -

1. -

5 DC - 4575 Old US 421 Lillington 27546  
Smithfield LC - RH Garage

# 2010 Smithfield - RH

## 'LOW COUNTRY' ELEVATION



ARCHITECTURAL DRAWINGS	
Sheet No.	Sheet Description
0.0	Cover Sheet
1.1	Foundation (Slab)
1.1.1	Foundation Options (Slab)
1.2	Foundation (Crawl)
1.2.1	Foundation Options (Crawl)
2.1	First Floor Plan
2.1.1	First Floor Plan Options
2.2	Second Floor Plan
2.2.1	Second Floor Plan Options
2.3	Opt. Third Floor
2.4	Covered Patio Plans & Elevations (Slab)
2.4.1	Covered Deck Plans & Elevations (Crawl)
2.5	Extended Cafe Elevations & Roof Plan (Slab)
2.5.1	Extended Cafe Elevations & Roof Plan (Crawl)
3.1	Front & Rear Elevations (Slab)
3.1.1	Front & Rear Elevations (Crawl)
3.1.2	Front & Rear Elevations (Slab) Attic Option
3.1.3	Front & Rear Elevations (Crawl) Attic Option
3.2	Side Elevations (Slab)
3.2.1	Side Elevations (Crawl)
3.2.2	Side Elevations (Slab) Attic Option
3.2.3	Side Elevations (Crawl) Attic Option
3.3	Roof Plan
5.1	First Floor Electrical
5.2	Second Floor Electrical
5.2.1	Second Floor Options Electrical
5.3	Opt. Third Floor Electrical



SQUARE FOOTAGE		
	LOW COUNTRY	
	UNHEATED	HEATED
FIRST FLOOR	0	846
SECOND FLOOR	0	1159
FRONT PORCH	56	0
2 CAR GARAGE	414	0
PATIO	144	0
<b>SUBTOTALS</b>	<b>614</b>	<b>2005</b>
<b>TOTAL UNDER ROOF</b>	<b>2619</b>	
OPTIONS		
	UNHEATED S.F.	HEATED S.F.
UNFIN. THIRD FLOOR	+554	0
FINISHED THIRD FLOOR	0	+554
EXTENDED CAFE	-144	+120
PATIO W/ EXT CAFE	+150	0
EXTENDED FAMILY	0	+29
COVERED PATIO/ DECK	144	0
EXT. FRONT PORCH	+69	0

**DESIGN CRITERIA:**

THIS PLAN IS TO BE BUILT IN CONFORMANCE WITH THE  
2018 NORTH CAROLINA STATE BUILDING CODE: RESIDENTIAL CODE  
DIMENSIONS SHALL GOVERN OVER SCALE, AND CODE SHALL GOVERN OVER DIMENSIONS.

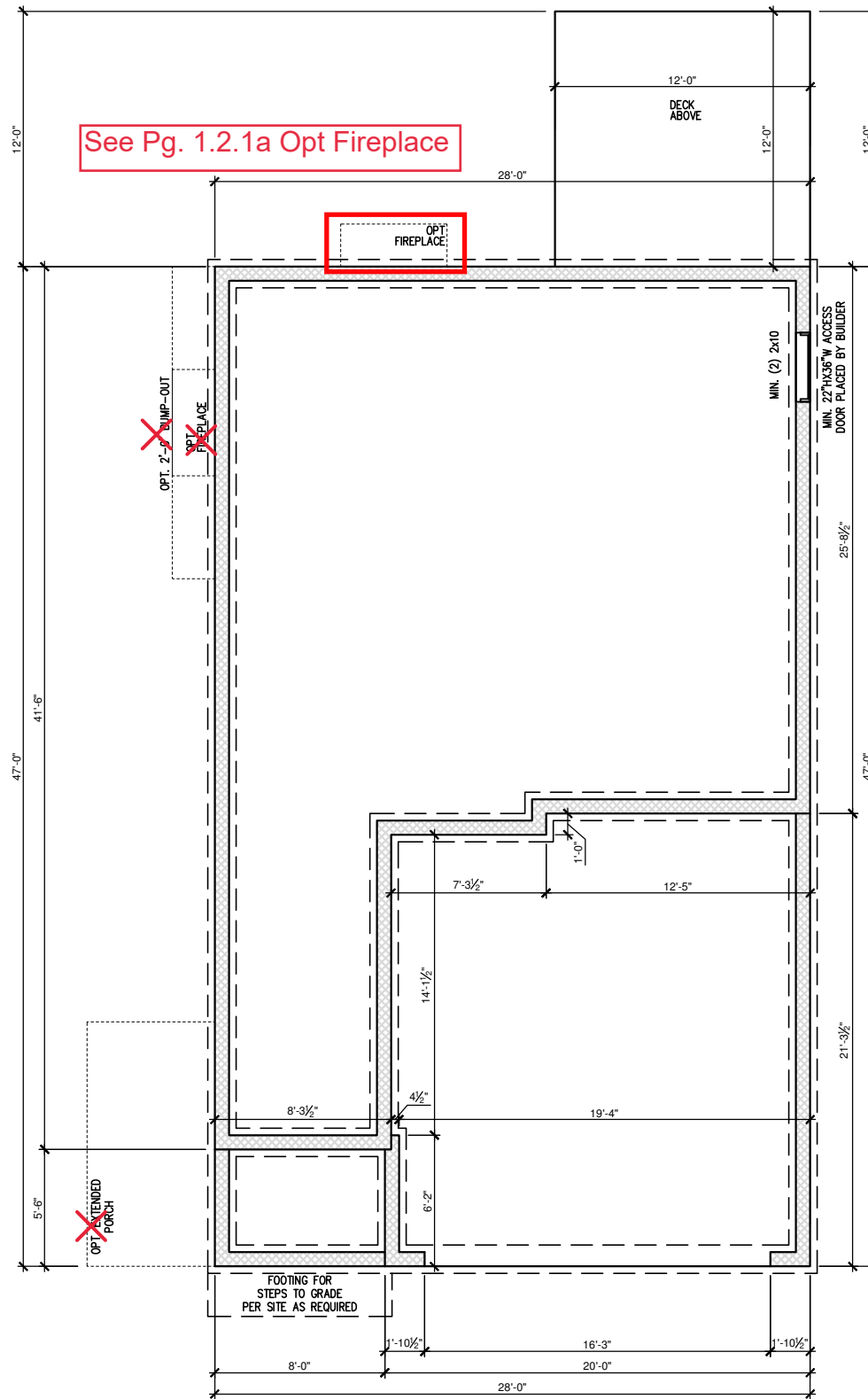
REV. #	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

2010 - SMITHFIELD - RH  
Cover Sheet 'Low Country'

DRAWN BY:  
South Designs  
ISSUE DATE:  
10/29/2021  
CURRENT REVISION DATE:  
---

SCALE:  
1/8" = 1'-0"

SHEET  
0.0a

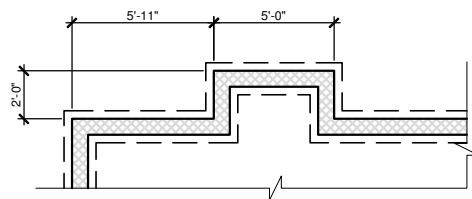


**CRAWL FOUNDATION PLAN 'LOW COUNTRY'**  
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

REV. #	DESCRIPTION	DATE
1	---	---
2	---	---
3	---	---
4	---	---
5	---	---
6	---	---
7	---	---
8	---	---

**2010 - SMITHFIELD - RH**  
 ---  
 Crawl Foundation 'Low Country'

DRAWN BY:  
 South Designs  
 ISSUE DATE:  
 10/29/2021  
 CURRENT REVISION DATE:  
 ---  
 SCALE:  
 1/8" = 1'-0"  
 SHEET  
**1.2a**



**CRAWL FND W/ OPT. REAR FIREPLACE**  
 SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

REV. #	DESCRIPTION	DATE
1	---	---
2	---	---
3	---	---
4	---	---
5	---	---
6	---	---
7	---	---
8	---	---

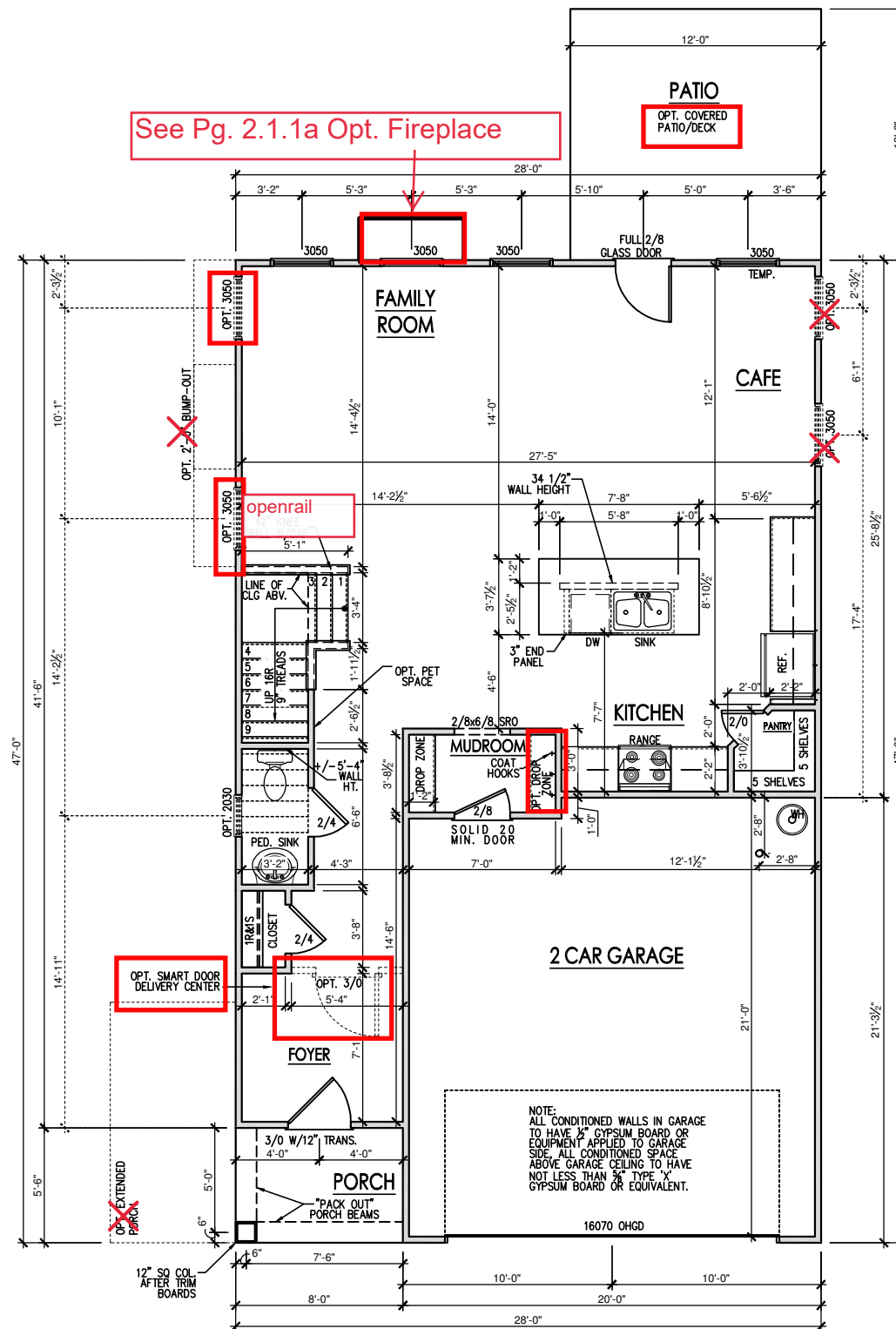
**2010 - SMITHFIELD - RH**  
 ----  
 Crawl Foundation Options 'Low Country'

DRAWN BY:  
 South Designs  
 ISSUE DATE:  
 10/29/2021  
 CURRENT REVISION DATE:  
 ---  
 SCALE:  
 1/8" = 1'-0"

**General Floor Plan Notes**

General Floor Plan Notes shall apply unless noted otherwise on plan.

1. Wall Heights: Typically 9'-1 1/2" at first floor, 8'-1 1/2" at second floor, and 8'-1 1/2" at attics U.N.O. All walls are constructed using a double top plate. Splices at Double Top Plate do not need to occur at Vertical Studs but must be at least 24" apart from Joint in other Top Plate layer. Special wall heights are noted on plans where they occur.
2. Wall Thickness is typically 3 1/2". 2x6 frame shall be used at walls that back up to plumbing fixtures. Walls greater than 10' high shall be framed with 2x6 framing or greater and will be noted as a special condition where it occurs on plan.
3. Typical header height shall be 6'-11" AFF at First Floor, and 6'-11" AFF at Second Floor U.N.O.
4. Jacks: Openings up to 3'-4" wide shall have (1) 2x4 jack stud SPF on each side. Openings greater than 3'-4" wide shall have (2) 2x4 jack studs SPF on each side.
5. Soffits, Coffered Ceilings, Trey Ceilings and other significant ceiling plan elements are shown on the floor plans and are denoted as single dashed lines. Unless specifically call out as included, Kitchens **do not** include soffits over wall cabinetry.
6. Door & Window Frames, where occurring near corners, shall be a minimum of 4 1/2" from corner. Except for walk-in closets with doors near a corner, doors at closets shall be centered on closet.
7. Windows: Shall have at least (1) window in each sleeping room, that meets egress. Shall be provided with tempered glass at hazardous glazing areas. False windows shall be installed with obscure glazing.
8. Closets for clothing or coat storage shall be equipped with 1 rod/shelf. Closets for linen shall have 4 open equal shelves. Closets for pantries shall have 4 equal wood shelves, painted.
9. Stair treads shall be a min of 9" deep, risers shall be a maximum of 8 1/4", unless noted otherwise, per the current North Carolina Residential Code
10. Handrails and Guards of stairs shall be 34" above the finished surface of the ramp surface of the stair. Handrails at landings and overlooks of multilevel spaces shall be 36" above finished floor. Guards (pickets or balusters) shall be spaced with no more than 4" between guards.
11. Attic Access shall be provided at all attic area with a height greater than 30". Minimum clear attic access shall be 20" x 30". Pull down stairs and access doors in knee walls meeting minimum criteria are also acceptable.
12. Garage Door to Living Space shall be 2'-8" x 6'-8" minimum size and shall be 20 minute fire rated and weather sealed.
13. Garage Walls, as a minimum, shall be separated from living space by installing 1/2" gypsum board on the garage side of the wall. With habitable space above, the inside of all garage walls require 1/2" GWB supporting 5/8" type X GWB on ceiling.



**FIRST FLOOR PLAN 'LOW COUNTRY'**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

REV. #	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

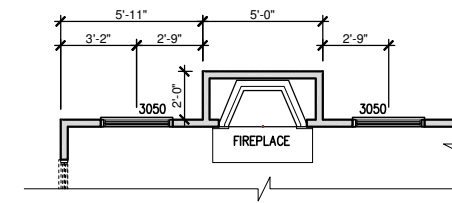
**2010 - SMITHFIELD - RH**  
First Floor Plan 'Low Country'

DRAWN BY: South Designs
ISSUE DATE: 10/29/2021
CURRENT REVISION DATE: ---
SCALE: 1/8" = 1'-0"
SHEET <b>2.1a</b>

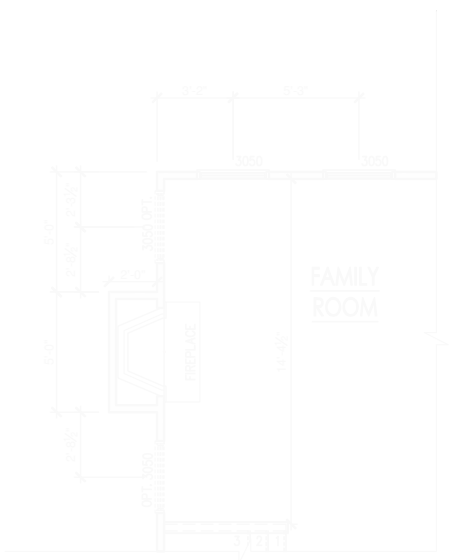
**General Floor Plan Notes**

General Floor Plan Notes shall apply unless noted otherwise on plan.

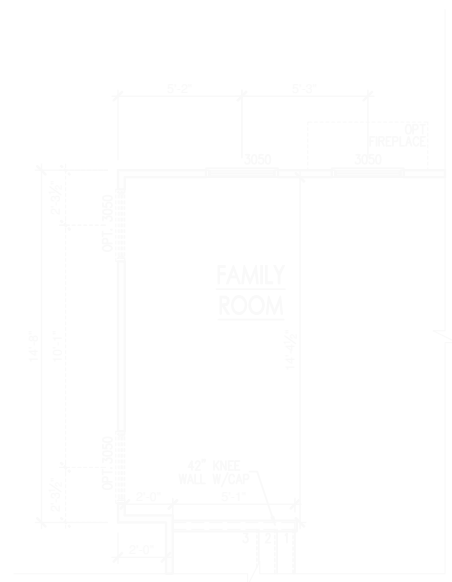
1. Wall Heights: Typically 9'-1 1/2" at first floor, 8'-1 1/2" at second floor, and 8'-1 1/2" at attics U.N.O. All walls are constructed using a double top plate. Splices at Double Top Plate do not need to occur at Vertical Studs but must be at least 24" apart from Joint in other Top Plate layer. Special wall heights are noted on plans where they occur.
2. Wall Thickness is typically 3 1/2". 2x6 frame shall be used at walls that back up to plumbing fixtures. Walls greater than 10' high shall be framed with 2x6 framing or greater and will be noted as a special condition where it occurs on plan.
3. Typical header height shall be 6'-11" AFF at First Floor, and 6'-11" AFF at Second Floor U.N.O.
4. Jacks: Openings up to 3'-4" wide shall have (1) 2x4 jack stud SPF on each side. Openings greater than 3'-4" wide shall have (2) 2x4 jack studs SPF on each side.
5. Soffits, Coffered Ceilings, Trey Ceilings and other significant ceiling plan elements are shown on the floor plans and are denoted as single dashed lines. Unless specifically call out as included, Kitchens **do not** include soffits over wall cabinetry.
6. Door & Window Frames, where occurring near corners, shall be a minimum of 4 1/2" from corner. Except for walk-in closets with doors near a corner, doors at closets shall be centered on closet.
7. Windows: Shall have at least (1) window in each sleeping room, that meets egress. Shall be provided with tempered glass at hazardous glazing areas. False windows shall be installed with obscure glazing.
8. Closets for clothing or coat storage shall be equipped with 1 rod/shelf. Closets for linen shall have 4 open equal shelves. Closets for pantries shall have 4 equal wood shelves, painted.
9. Stair treads shall be a min of 9" deep, risers shall be a maximum of 8 1/4", unless noted otherwise, per the current North Carolina Residential Code
10. Handrails and Guards of stairs shall be 34" above the finished surface of the ramp surface of the stair. Handrails at landings and overlooks of multilevel spaces shall be 36" above finished floor. Guards (pickets or balusters) shall be spaced with no more than 4" between guards.
11. Attic Access shall be provided at all attic area with a height greater than 30". Minimum clear attic access shall be 20" x 30". Pull down stairs and access doors in knee walls meeting minimum criteria are also acceptable.
12. Garage Door to Living Space shall be 2'-8" x 6'-8" minimum size and shall be 20 minute fire rated and weather sealed.
13. Garage Walls, as a minimum, shall be separated from living space by installing 1/2" gypsum board on the garage side of the wall. With habitable space above, the inside of all garage walls require 1/2" GWB supporting 5/8" type X GWB on ceiling.



**OPT. REAR FIREPLACE**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**OPT. SIDE FIREPLACE**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**OPT. 2' EXTENDED FAMILY**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**OPT. PET PALACE**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**OPT. 4' FRONT PORCH EXTENSION**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



REV.#	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

**2010 - SMITHFIELD - RH**  
-----  
First Floor Options 'Low Country'

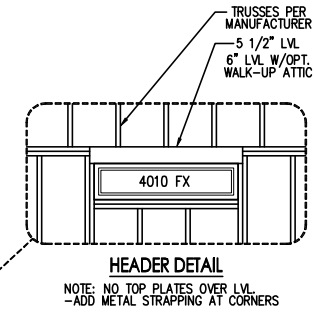
DRAWN BY:  
South Designs  
ISSUE DATE:  
10/29/2021  
CURRENT REVISION DATE:  
---  
SCALE:  
1/8" = 1'-0"

SHEET  
**2.1.1a**

**General Floor Plan Notes**

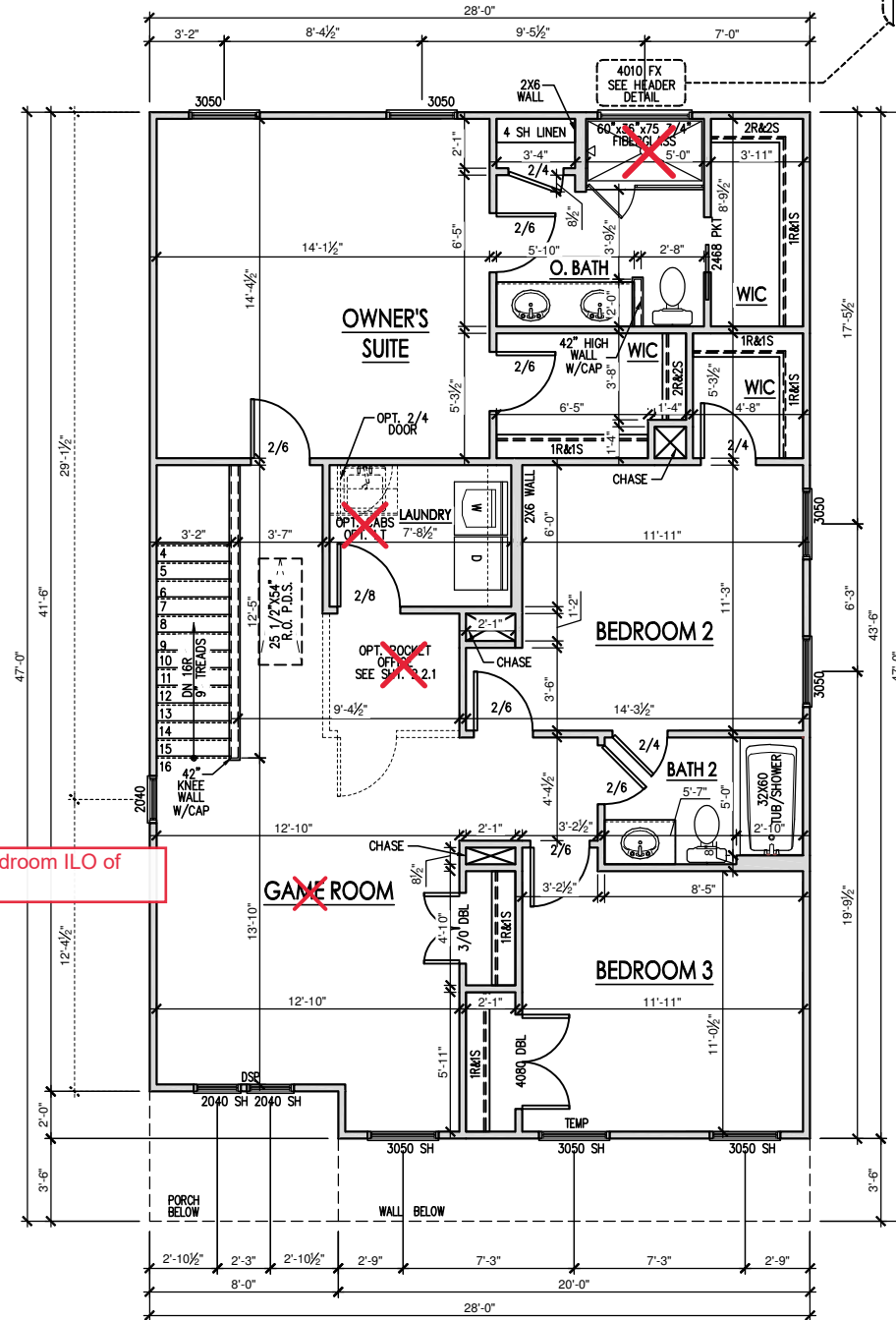
General Floor Plan Notes shall apply unless noted otherwise on plan.

1. Wall Heights: Typically 9'-1 1/2" at first floor, 8'-1 1/2" at second floor, and 8'-1 1/2" at attics U.N.O. All walls are constructed using a double top plate. Splices of Double Top Plate do not need to occur at Vertical Studs but must be at least 24" apart from Joint in other Top Plate layer. Special wall heights are noted on plans where they occur.
2. Wall Thickness is typically 3 1/2". 2x6 frame shall be used at walls that back up to plumbing fixtures. Walls greater than 10' high shall be framed with 2x6 framing or greater and will be noted as a special condition where it occurs on plan.
3. Typical header height shall be 6'-11" AFF at First Floor, and 6'-11" AFF at Second Floor U.N.O.
4. Jacks: Openings up to 3'-4" wide shall have (1) 2x4 jack stud SPF on each side. Openings greater than 3'-4" wide shall have (2) 2x4 jack studs SPF on each side.
5. Soffits, Coffered Ceilings, Trey Ceilings and other significant ceiling plan elements are shown on the floor plans and are denoted as single dashed lines. Unless specifically call out as included, Kitchens **do not** include soffits over wall cabinetry.
6. Door & Window Frames, where occurring near corners, shall be a minimum of 4 1/2" from corner. Except for walk-in closets with doors near a corner, doors at closets shall be centered on closet.
7. Windows: Shall have at least (1) window in each sleeping room, that meets egress. Shall be provided with tempered glass at hazardous glazing areas. False windows shall be installed with obscure glazing.
8. Closets for clothing or coat storage shall be equipped with 1 rod/shelf. Closets for linen shall have 4 open equal shelves. Closets for pantries shall have 4 equal wood shelves, painted.
9. Stair treads shall be a min of 9" deep, risers shall be a maximum of 8 1/4", unless noted otherwise, per the current North Carolina Residential Code
10. Handrails and Guards of stairs shall be 34" above the finished surface of the ramp surface of the stair. Handrails at landings and overlooks of multilevel spaces shall be 36" above finished floor. Guards (pickets or balusters) shall be spaced with no more than 4" between guards.
11. Attic Access shall be provided at all attic area with a height greater than 30". Minimum clear attic access shall be 20" x 30". Pull down stairs and access doors in knee walls meeting minimum criteria are also acceptable.
12. Garage Door to Living Space shall be 2'-8" x 6'-8" minimum size and shall be 20 minute fire rated and weather sealed.
13. Garage Walls, as a minimum, shall be separated from living space by installing 1/2" gypsum board on the garage side of the wall. With habitable space above, the inside of all garage walls require 1/2" GWB supporting 5/8" type X GWB on ceiling.



see Pg 2.2.1a Opt Shower with Seat

See Pg. 2.2.1 Opt 4th Bedroom ILO of Gameroom



**SECOND FLOOR PLAN 'LOW COUNTRY'**

SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

REV. #	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

**2010 - SMITHFIELD - RH**  
Second Floor Plan 'Low Country'

DRAWN BY:  
South Designs  
ISSUE DATE:  
10/29/2021  
CURRENT REVISION DATE:  
---

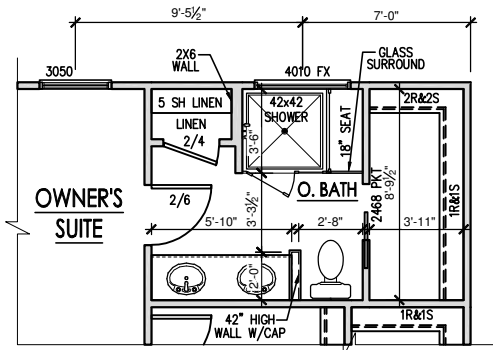
SCALE:  
1/8" = 1'-0"

SHEET  
**2.2a**

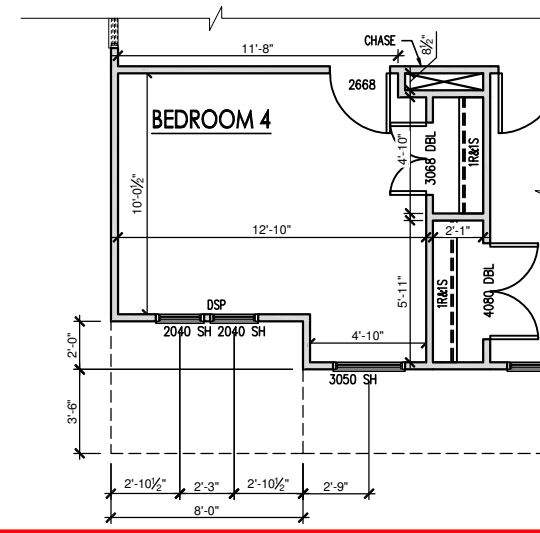
**General Floor Plan Notes**

General Floor Plan Notes shall apply unless noted otherwise on plan.

1. Wall Heights: Typically 9'-1 1/2" at first floor, 8'-1 1/2" at second floor, and 8'-1 1/2" at attics U.N.O. All walls are constructed using a double top plate. Splices at Double Top Plate do not need to occur at Vertical Studs but must be at least 24" apart from Joint in other Top Plate layer. Special wall heights are noted on plans where they occur.
2. Wall Thickness is typically 3 1/2". 2x6 frame shall be used at walls that back up to plumbing fixtures. Walls greater than 10' high shall be framed with 2x6 framing or greater and will be noted as a special condition where it occurs on plan.
3. Typical header height shall be 6'-11" AFF at First Floor, and 6'-11" AFF at Second Floor U.N.O.
4. Jacks: Openings up to 3'-4" wide shall have (1) 2x4 jack stud SPF on each side. Openings greater than 3'-4" wide shall have (2) 2x4 jack studs SPF on each side.
5. Soffits, Coffered Ceilings, Trey Ceilings and other significant ceiling plan elements are shown on the floor plans and are denoted as single dashed lines. Unless specifically call out as included, Kitchens **do not** include soffits over wall cabinetry.
6. Door & Window Frames, where occurring near corners, shall be a minimum of 4 1/2" from corner. Except for walk-in closets with doors near a corner, doors at closets shall be centered on closet.
7. Windows: Shall have at least (1) window in each sleeping room, that meets egress. Shall be provided with tempered glass at hazardous glazing areas. False windows shall be installed with obscure glazing.
8. Closets for clothing or coat storage shall be equipped with 1 rod/shelf. Closets for linen shall have 4 open equal shelves. Closets for pantries shall have 4 equal wood shelves, painted.
9. Stair treads shall be a min of 9" deep, risers shall be a maximum of 8 1/4", unless noted otherwise, per the current North Carolina Residential Code
10. Handrails and Guards of stairs shall be 34" above the finished surface of the ramp surface of the stair. Handrails at landings and overlooks of multilevel spaces shall be 36" above finished floor. Guards (pickets or balusters) shall be spaced with no more than 4" between guards.
11. Attic Access shall be provided at all attic area with a height greater than 30". Minimum clear attic access shall be 20" x 30". Pull down stairs and access doors in knee walls meeting minimum criteria are also acceptable.
12. Garage Door to Living Space shall be 2'-8" x 6'-8" minimum size and shall be 20 minute fire rated and weather sealed.
13. Garage Walls, as a minimum, shall be separated from living space by installing 1/2" gypsum board on the garage side of the wall. With habitable space above, the inside of all garage walls require 1/2" GWB supporting 5/8" type X GWB on ceiling.



**OPT. SHOWER W/ SEAT**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**OPT. BEDROOM 4 I.L.O. GAMEROOM**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

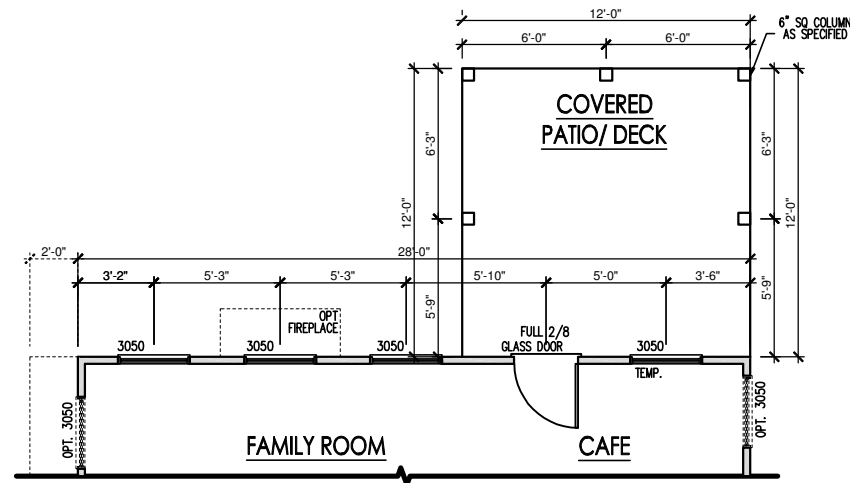
REV. #	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

DRAWN BY:  
South Designs

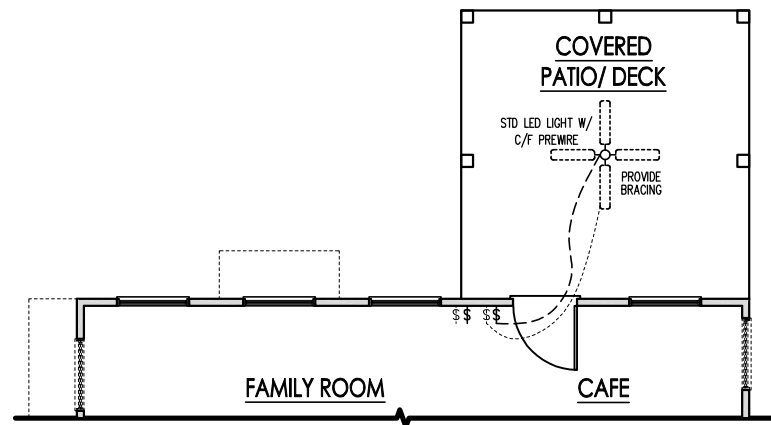
ISSUE DATE:  
10/29/2021

CURRENT REVISION DATE:  
---

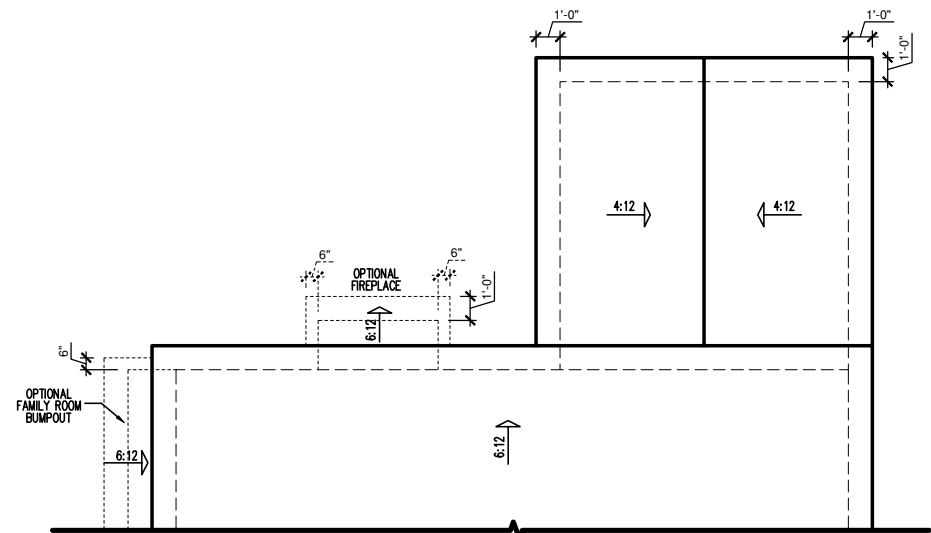
SCALE:  
1/8" = 1'-0"



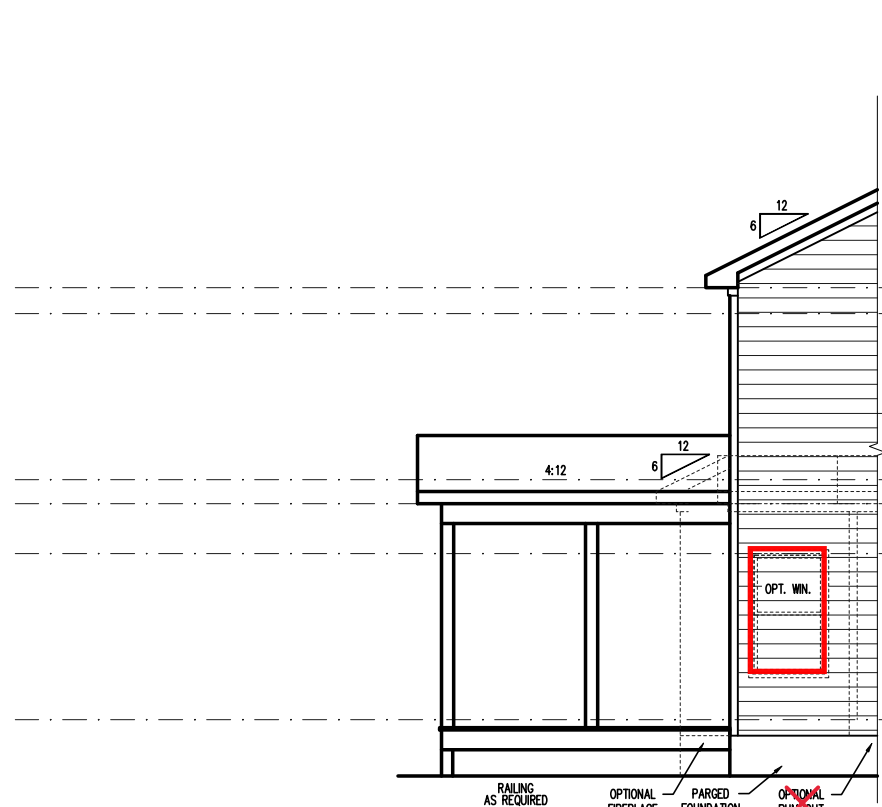
**COVERED PORCH FLOOR PLAN**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



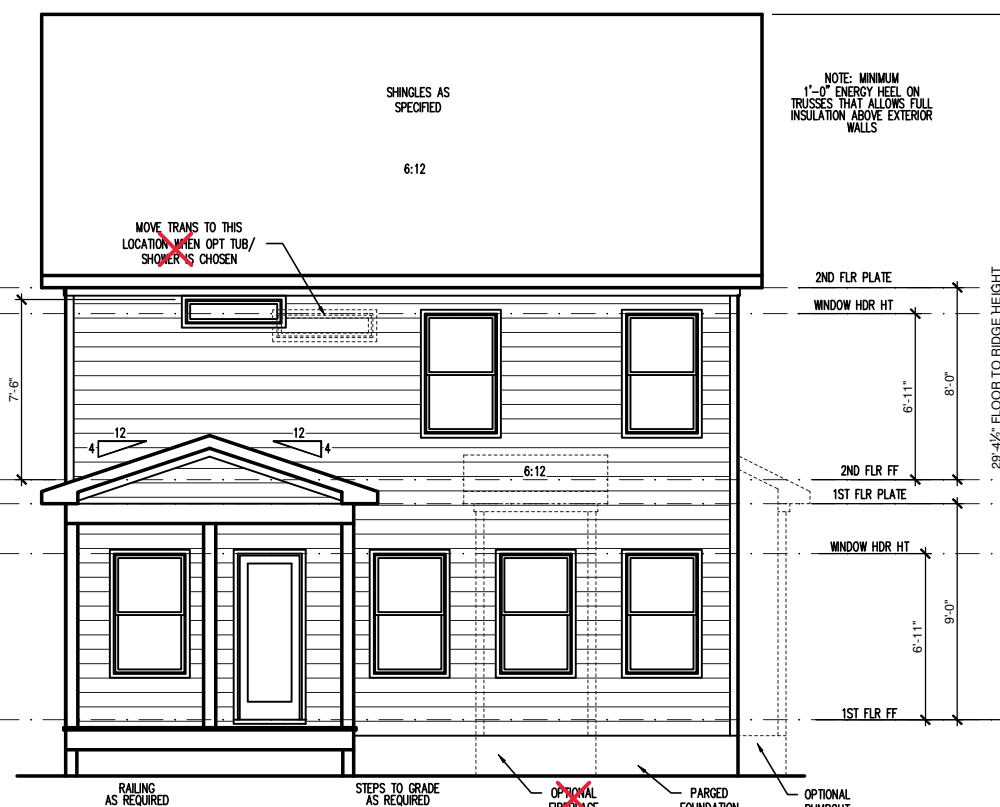
**COVERED PORCH ELECTRICAL**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**COVERED PORCH ROOF PLAN**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**PARTIAL LEFT SIDE ELEVATION (CRAWL)**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**COVERED PORCH REAR ELEVATION (CRAWL)**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

REV. #	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

**2010 - SMITHFIELD - RH**  
Covered Porch Plans & Elevations (Crawl) 'Low Country'

DRAWN BY:  
South Designs  
ISSUE DATE:  
10/29/2021  
CURRENT REVISION DATE:  
—  
SCALE:  
1/8" = 1'-0"  
SHEET  
**2.4.1a**



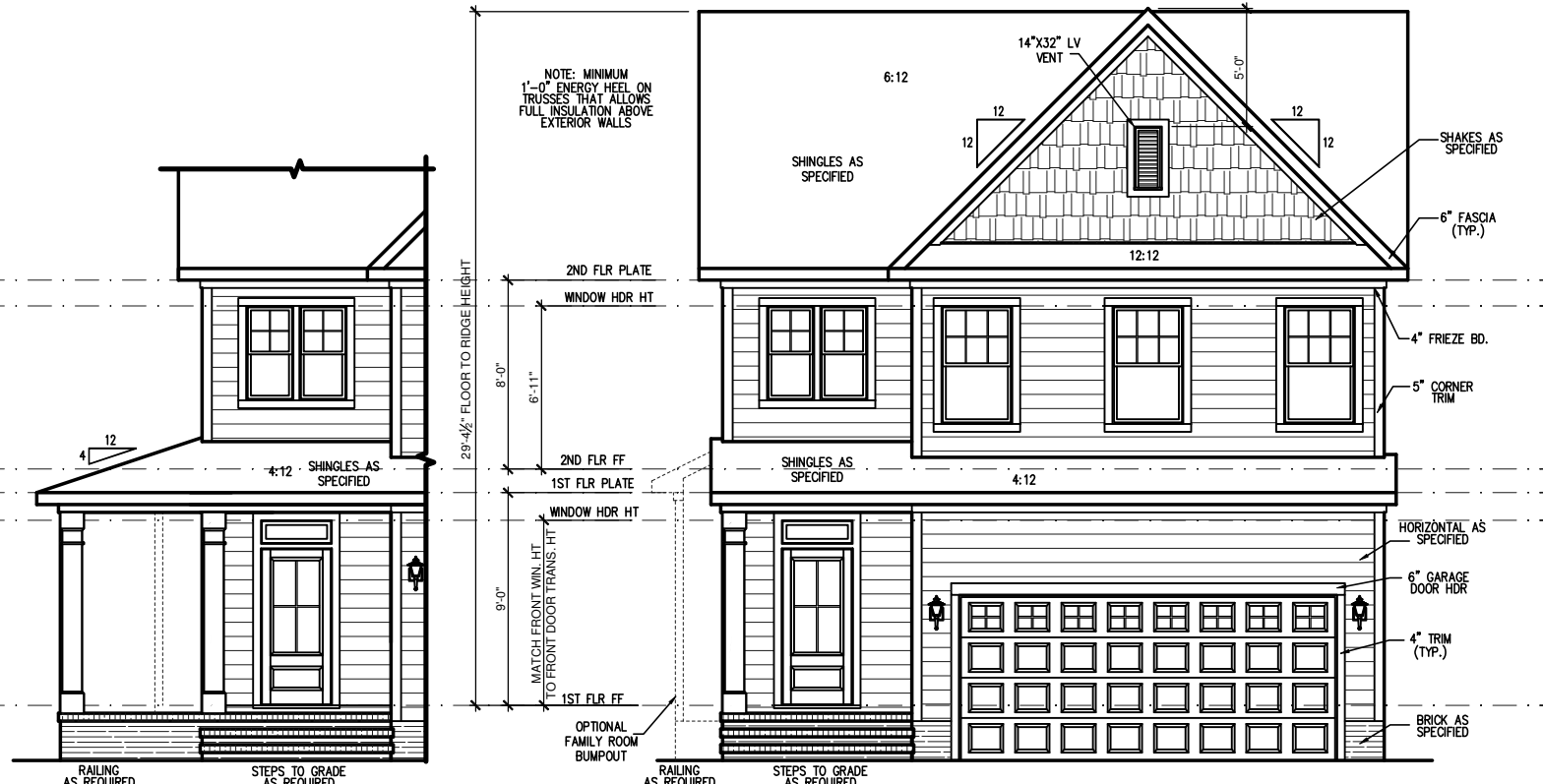
**General Elevation Notes**

General Elevation Notes shall apply unless noted otherwise on plan.

1. Roof shall be finished with architectural composition shingles with slopes as noted on plan.
2. Ridge Vent shall be provided and installed on all ridges greater than 6' in length per manufacturer's specifications.
3. Soffit Vent shall be continuous soffit vent
4. House Wrap, "Tyvek" or approved equal shall be installed over entire exterior wall per manufacturer's specifications and recommendations.
5. Flashing shall be provided above all door and window openings, above finish wall material changes and at wall surfaces where lower roof areas abut vertical wall surfaces.
6. Porch Railings shall be provided at all porch walking surfaces greater than 30" above adjacent finished grade. It shall be 36" high with guards spaced no more than 4" apart. Consult community specifications for material.
7. Finish Wall Material shall be as noted on elevation drawings.
8. Brick Veneer, if included on elevation shall be tied to wall surface with galvanized corrugated metal ties at a rate of 24" oc horizontally and 16" oc vertically so that no more than 2.67sf of brick is supported by (1) tie. Space between face of wall and back face of brick shall be limited to a maximum of 1". Flashing shall be provided behind brick above all wall openings and at base of brick wall. Flashing shall be a minimum of 6-mil poly or other corrosion resistant material and shall be installed so that it laps under the house wrap material a minimum of 2". Weepholes shall be provided at a rate of 48" oc and shall not be less than 3/16" in diameter and shall be located immediately above flashing.
9. Brick Veneer Support Lintels shall be provided if brick veneer is included on elevation. Lintels shall be provided as listed in the following schedule and shall have a minimum bearing length of 6". Masonry Lintels shall be provided so that deflection is limited to L/600.

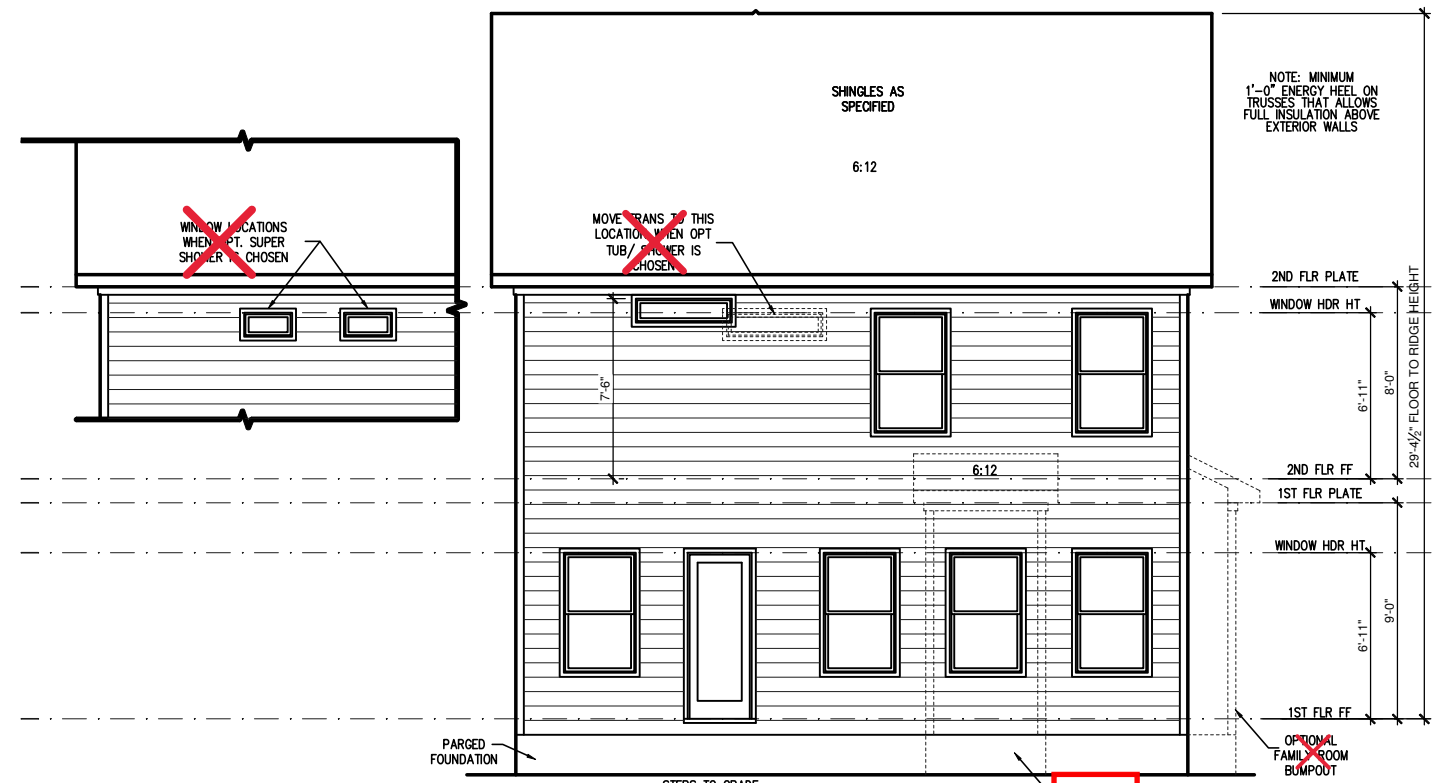
**Masonry Opening Lintel Schedule**

Opening Size	Angle
up to 4'-0"	3-1/2" x 3-1/2" x 5/16"
4'-1" to 5'-6"	4" x 3-1/2" x 5/16" LLV
5'-7" to 6'-4"	5" x 3-1/2" x 5/16" LLV
6'-7" to 8'-4"	6" x 3-1/2" x 5/16" LLV
8'-5" to 16'-4"	7" x 4" x 3/8" LLV



**OPT. EXTENDED PORCH**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

**FRONT ELEVATION "LOW COUNTRY" (CRAWL)**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**REAR ELEVATION "LOW COUNTRY" (CRAWL)**  
SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

REV. #	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		

**2010 - SMITHFIELD - RH**  
**Front & Rear Elevations (Crawl) 'Low Country'**

DRAWN BY:  
South Designs  
ISSUE DATE:  
10/29/2021  
CURRENT REVISION DATE:  
SCALE:  
1/8" = 1'-0"  
SHEET  
**3.1.1a**

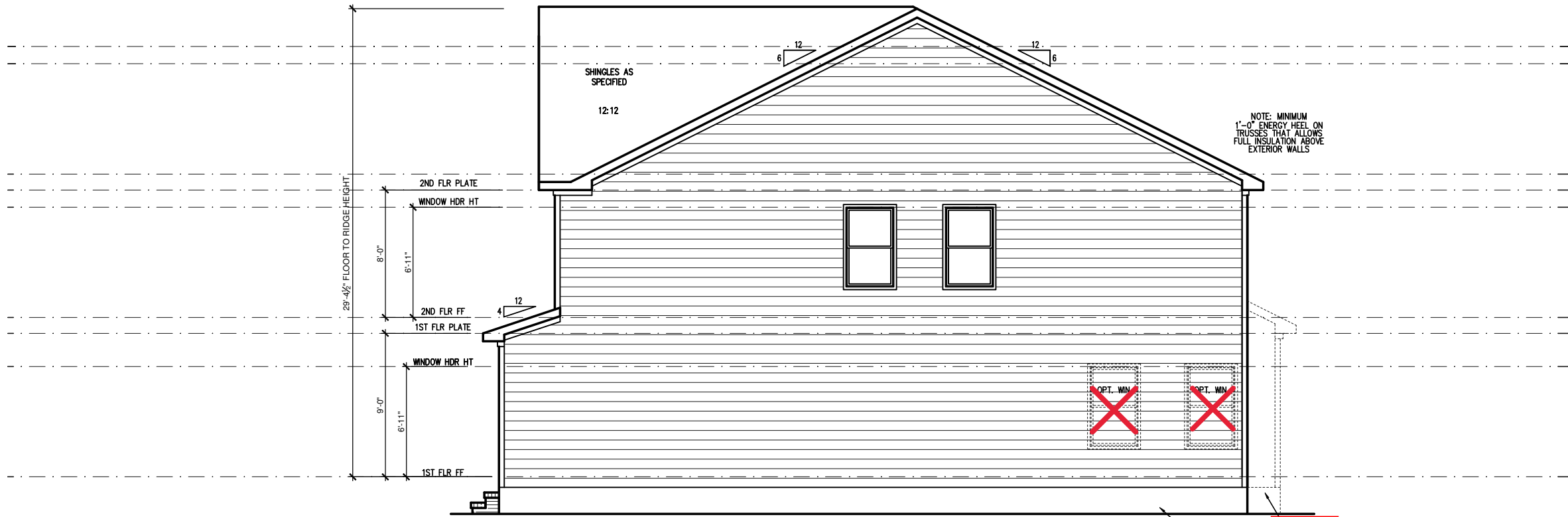
**General Elevation Notes**

General Elevation Notes shall apply unless noted otherwise on plan.

1. Roof shall be finished with architectural composition shingles with slopes as noted on plan.
2. Ridge Vent shall be provided and installed on all ridges greater than 6' in length per manufacturer's specifications.
3. Soffit Vent shall be continuous soffit vent
4. House Wrap, "Tyvek" or approved equal shall be installed over entire exterior wall per manufacturer's specifications and recommendations.
5. Flashing shall be provided above all door and window openings, above finish wall material changes and at wall surfaces where lower roof areas abut vertical wall surfaces.
6. Porch Railings shall be provided at all porch walking surfaces greater than 30" above adjacent finished grade. It shall be 36" high with guards spaced no more than 4" apart. Consult community specifications for material.
7. Finish Wall Material shall be as noted on elevation drawings.
8. Brick Veneer, if included on elevation shall be tied to wall surface with galvanized corrugated metal ties at a rate of 24" oc horizontally and 16" oc vertically so that no more than 2.67sf of brick is supported by (1) tie. Space between face of wall and back face of brick shall be limited to a maximum of 1". Flashing shall be provided behind brick above all wall openings and at base of brick wall. Flashing shall be a minimum of 6-mil poly or other corrosion resistant material and shall be installed so that it laps under the house wrap material a minimum of 2". Weepholes shall be provided at a rate of 48" oc and shall not be less than 3/16" in diameter and shall be located immediately above flashing.
9. Brick Veneer Support Lintels shall be provided if brick veneer is included on elevation. Lintels shall be provided as listed in the following schedule and shall have a minimum bearing length of 4". Masonry Lintels shall be provided so that deflection is limited to L/600.

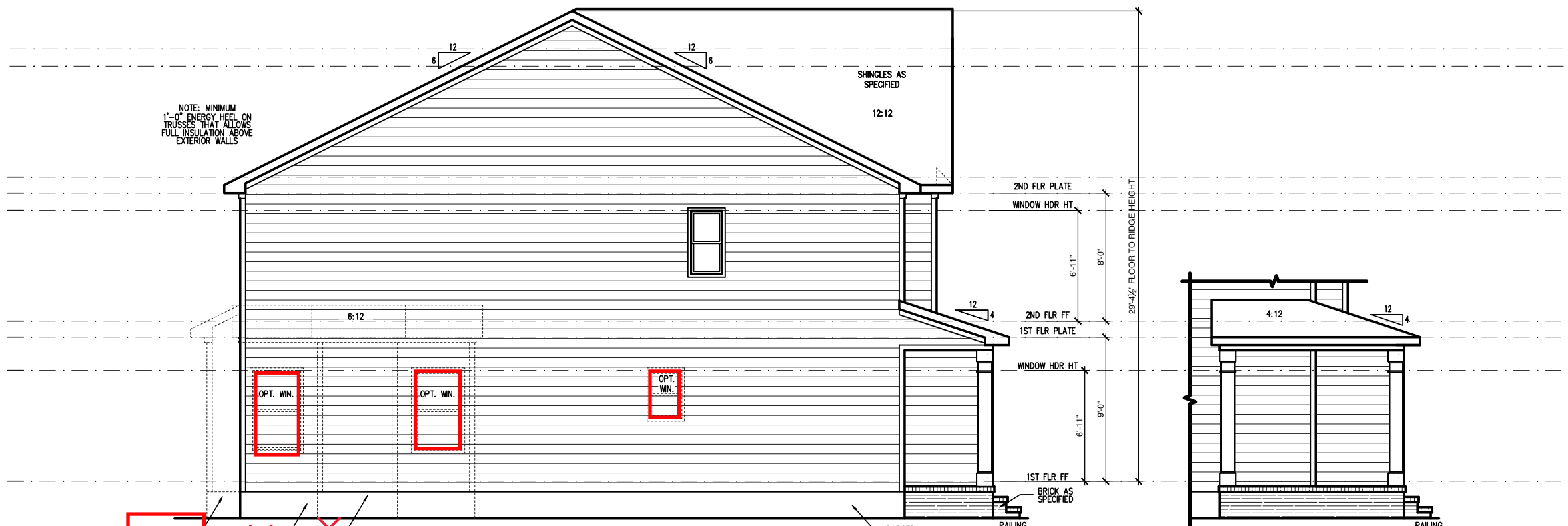
**Masonry Opening Lintel Schedule**

Opening Size	Angle
up to 4'-0"	3-1/2" x 3-1/2" x 5/16"
4'-1" to 5'-6"	4" x 3-1/2" x 5/16" LLV
5'-7" to 6'-6"	5" x 3-1/2" x 5/16" LLV
6'-7" to 8'-4"	6" x 3-1/2" x 5/16" LLV
8'-5" to 16'-4"	7" x 4" x 3/8" LLV



**RIGHT SIDE ELEVATION "LOW COUNTRY" (CRAWL)**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17



**LEFT SIDE ELEVATION "LOW COUNTRY" (CRAWL)**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

**OPT. EXTENDED PORCH**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

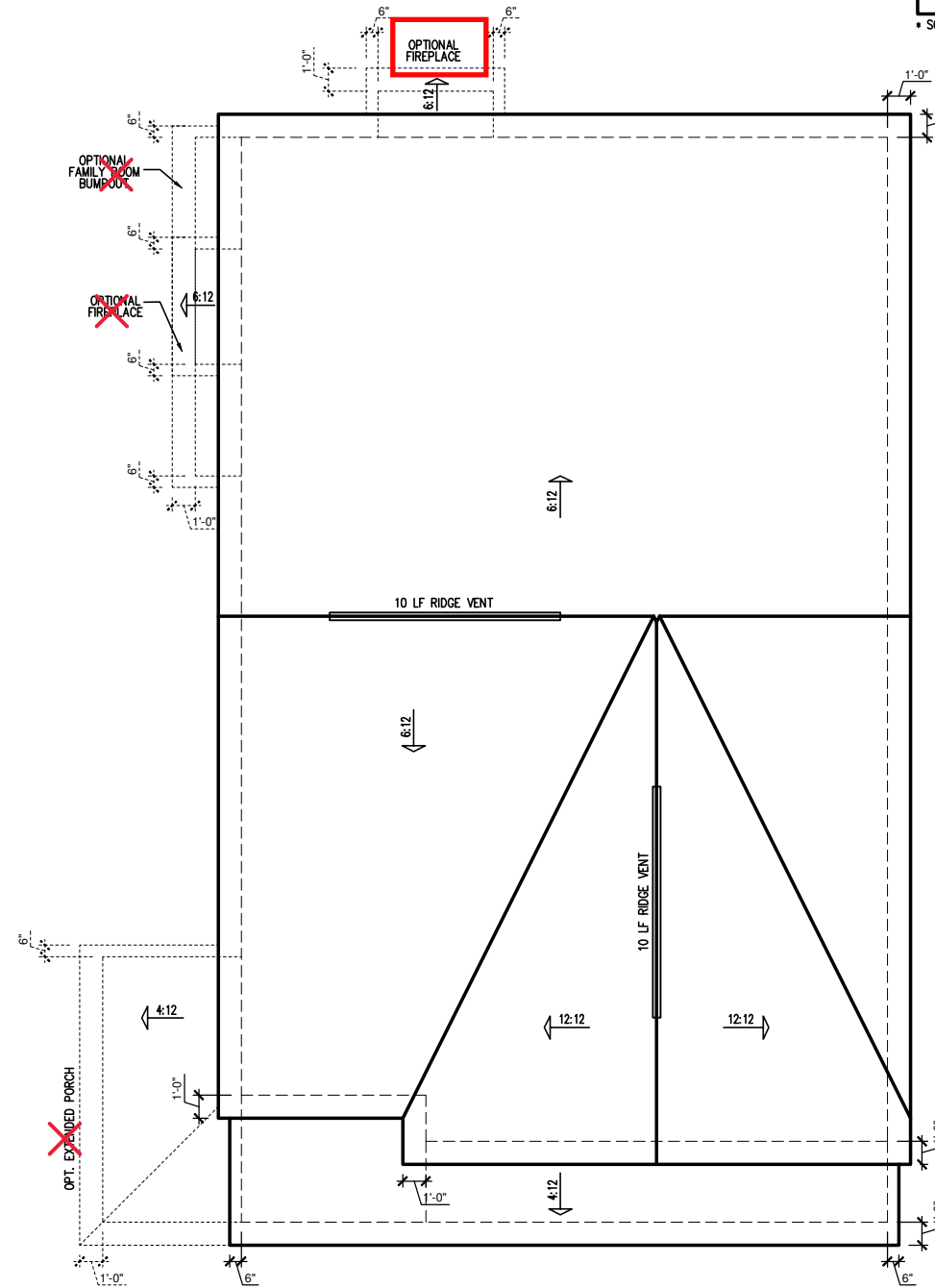
REV. #	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		

DRAWN BY:  
South Designs  
ISSUE DATE:  
10/29/2021  
CURRENT REVISION DATE:

SCALE:  
1/8" = 1'-0"

ATTIC VENT SCHEDULE								
"LOW COUNTRY" ELEVATION								
MAIN HOUSE		SQ FTG	1202	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT. LARGE (SQ. FT. EACH)	POT. SMALL (SQ. FT. EACH)	RIDGE VENT (SQ. FT. PER LF)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. PER LF)
				0.4236	0.2778	0.125	0.1944	0.0625
<b>RIDGE VENT</b>	1.60	2.00	2.50	52.63	0	0	20.00	
<b>SOFFIT VENTS</b>	2.40	2.00	2.25	47.37			0	36.00
<b>TOTAL (MIN)</b>	4.01	4.01	4.75	100.00	POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

\* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION



"LOW COUNTRY" ROOF PLAN

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

REV. #	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

2010 - SMITHFIELD - RH

Roof Plan 'Low Country'

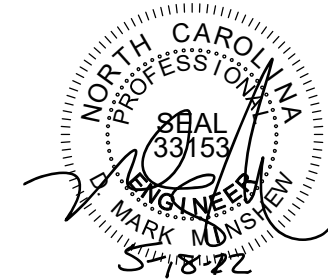
DRAWN BY:  
South Designs

ISSUE DATE:  
10/29/2021

CURRENT REVISION DATE:  
---

SCALE:  
1/8" = 1'-0"

SHEET  
**3.3a**



**TRUSS SYSTEM REQUIREMENTS**

NC (2018 NCGC): Wind: 115-120 mph

- TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE WITH SEALED STRUCTURAL PLANS. ANY NEED TO CHANGE TRUSSES SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
- TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
- ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SFF #2 OR #3 PLATES OR LEDGERS (UNO).
- ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

**WOOD I-JOISTS**

(SHALL BE ONE OF THE FOLLOWING OR EQUAL):

- TJI 210 BY TRUS JOIST
- LPI 20 PLUS BY LP
- BCI 5000s 1.8 BY BC

**HEAVY WOOD I-JOISTS**

(SHALL BE ONE OF THE FOLLOWING OR EQUAL):

- TJI 360 BY TRUS JOIST
- LPI 42 PLUS BY LP
- BCI 60s 2.0 BY BC

- ALL WOOD I-JOISTS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- INSTALL SQUASH BLOCKS, WEB STIFFENERS, ETC. AS REQUIRED BY AND ACCORDING TO THE I-JOIST MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
- HANGERS FOR I-JOISTS ARE THE RESPONSIBILITY OF THE I-JOIST SUPPLIER.
- FLOOR TRUSSES BY MANUFACTURER MAY BE SUBSTITUTED FOR ANY I-JOISTS.

**FOUNDATION STRUCTURAL NOTES**

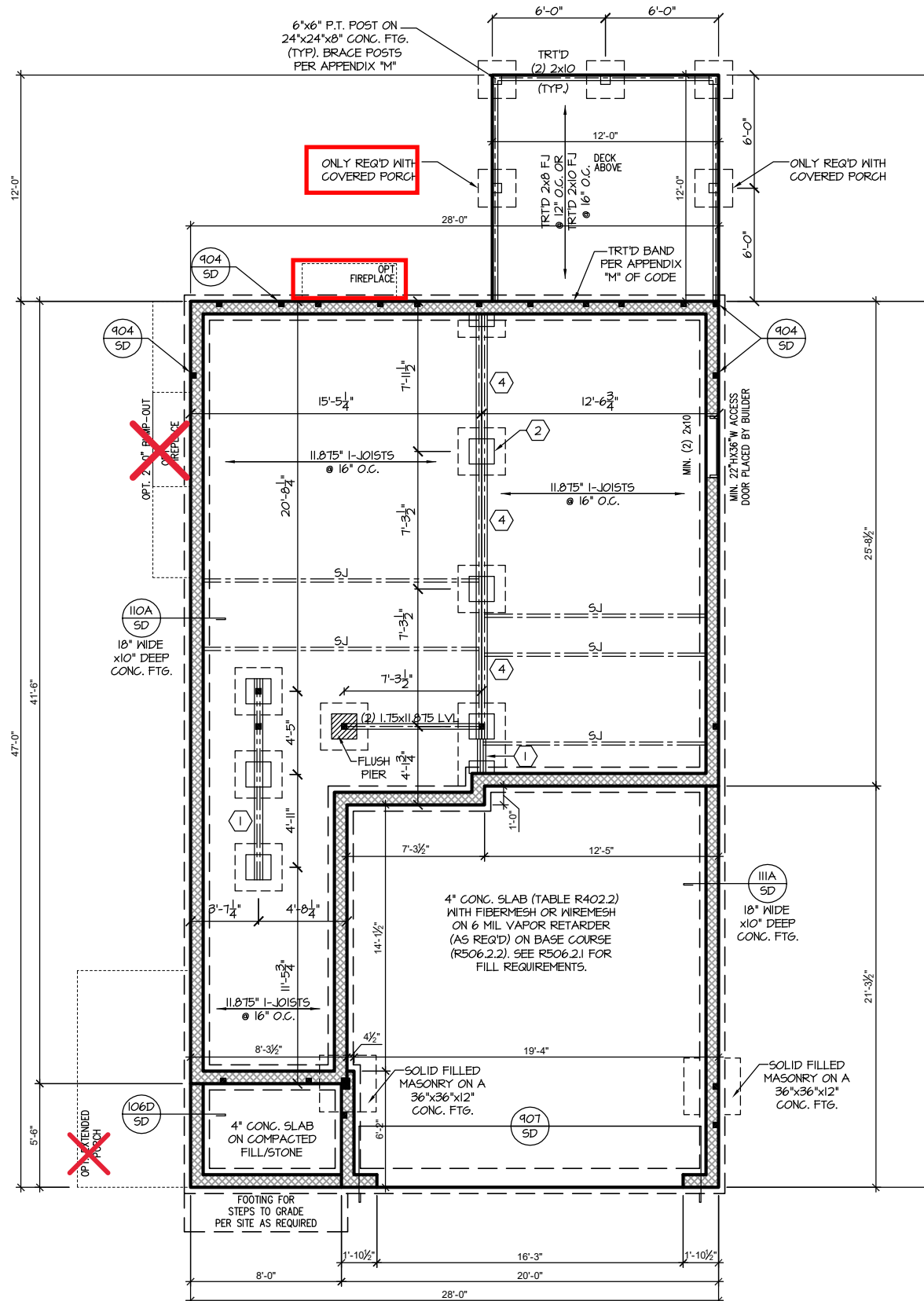
NC (2018 NCGC): Wind: 115-120 mph - CRAWL

- (3)2x10 SYP#2, SFF#2, OR HEM-FIR#2 GIRDER (TYPICAL, UNO)
- CONCRETE BLOCK PIER SIZE SHALL BE:
 

SIZE	HOLLOW	SOLID
8x16	UP TO 32"	UP TO 5'-0"
12x16	UP TO 48"	UP TO 9'-0"
16x16	UP TO 64"	UP TO 12'-0"
24x24	UP TO 96"	

 WITH 30" x 30" x 10" CONCRETE FOOTING, UNO.
- WALL FOOTING AS FOLLOWS
 

DEPTH:	8" - UP TO 2 STORY
	10" - 3 STORY
WIDTH:	
SIDING:	16" - UP TO 2 STORY
	20" - 3 STORY
BRICK:	16" - 1 STORY
	20" - 2 STORY
	24" - 3 STORY
- FOR FOUNDATION WALL HEIGHT AND BACKFILL REQUIREMENTS, REFER TO CODE TABLE R404.1.1 (1 THRU 4) NOTE: ASSUMED SOIL BEARING CAPACITY = 2000 PSF. CONTRACTOR MUST VERIFY SITE CONDITIONS AND CONTACT SOILS ENGINEER IF MARGINAL OR UNSTABLE SOILS ARE ENCOUNTERED.
- (4) 2x10 SFF #2 OR SYP #2 GIRDER
- (2) 1.75x4.25 LVL OR LSL GIRDER
- (3) 1.75x4.25 LVL OR LSL GIRDER
- " " DESIGNATES A SIGNIFICANT POINT LOAD TO HAVE SOLID BLOCKING TO PIER. SOLID BLOCK ALL BEAM BEARING POINTS NOTED TO HAVE THREE OR MORE STUDS TO END, TYPICAL.
- ABBREVIATIONS:
  - "S.J." = SINGLE JOIST
  - "D.J." = DOUBLE JOIST
  - "T.J." = TRIPLE JOIST
- ADJUST SUBFLOOR THICKNESS OR JOIST SPACING AS REQ'D FOR FLOOR FINISH MATERIALS.



**CRAWL FOUNDATION PLAN 'LOW COUNTRY'**

SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

Engineers seal applies only to structural components on this document. Seal does not include construction means, methods, techniques, sequences, procedures or safety precautions. Any deviations or discrepancies on plans are to be brought to the immediate attention of Southern Engineers. Failure to do so will void Southern Engineer's liability. Seal is valid for projects permitted one year from date of seal. Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

**Southern Engineers, P.A.**  
3716 Benson Drive, Raleigh, NC 27609  
Phone: (919) 878-1617  
License: C-4772  
www.southernengineers.com

**NEW HOME, INC.**

**SMITHFIELD**  
Garage Right

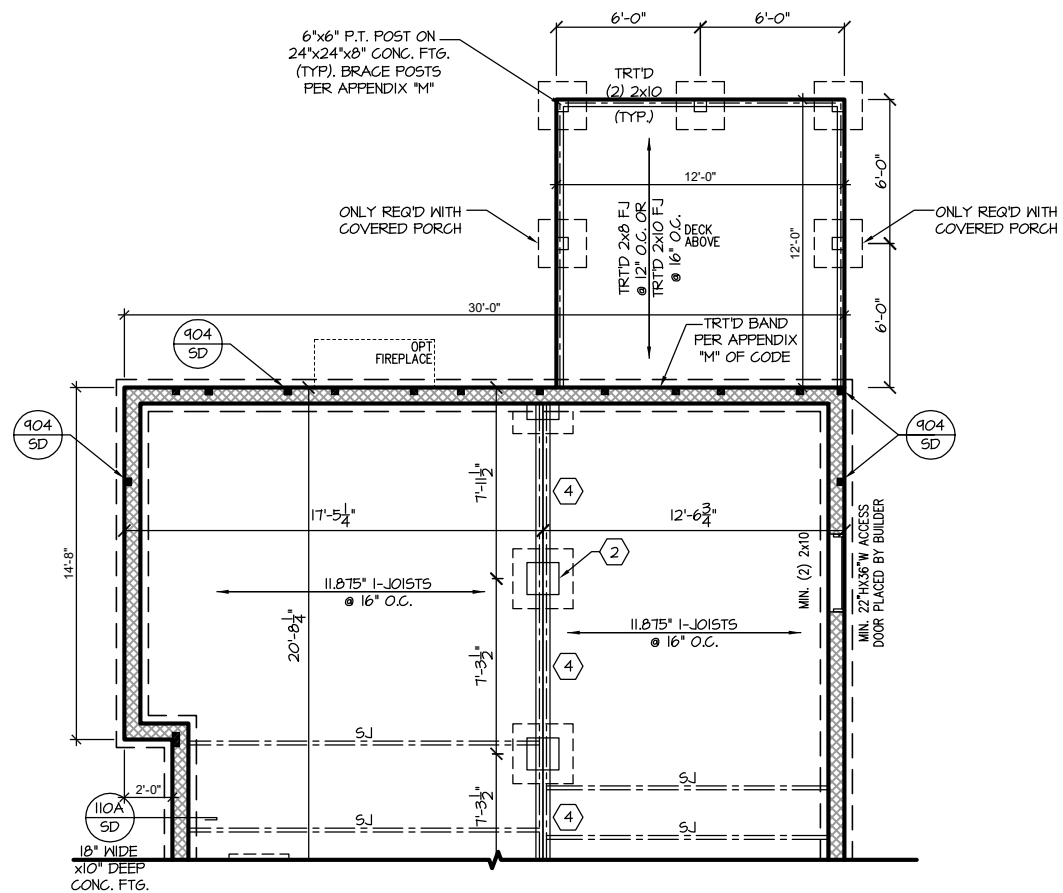


Engineers seal applies only to structural components on this document.  
Seal does not include construction means, methods, techniques, sequences, procedures or safety precautions.  
Any deviations or discrepancies on plans are to be brought to the immediate attention of Southern Engineers. Failure to do so will void Southern Engineer's liability.  
Seal is valid for projects permitted one year from date of seal.  
Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

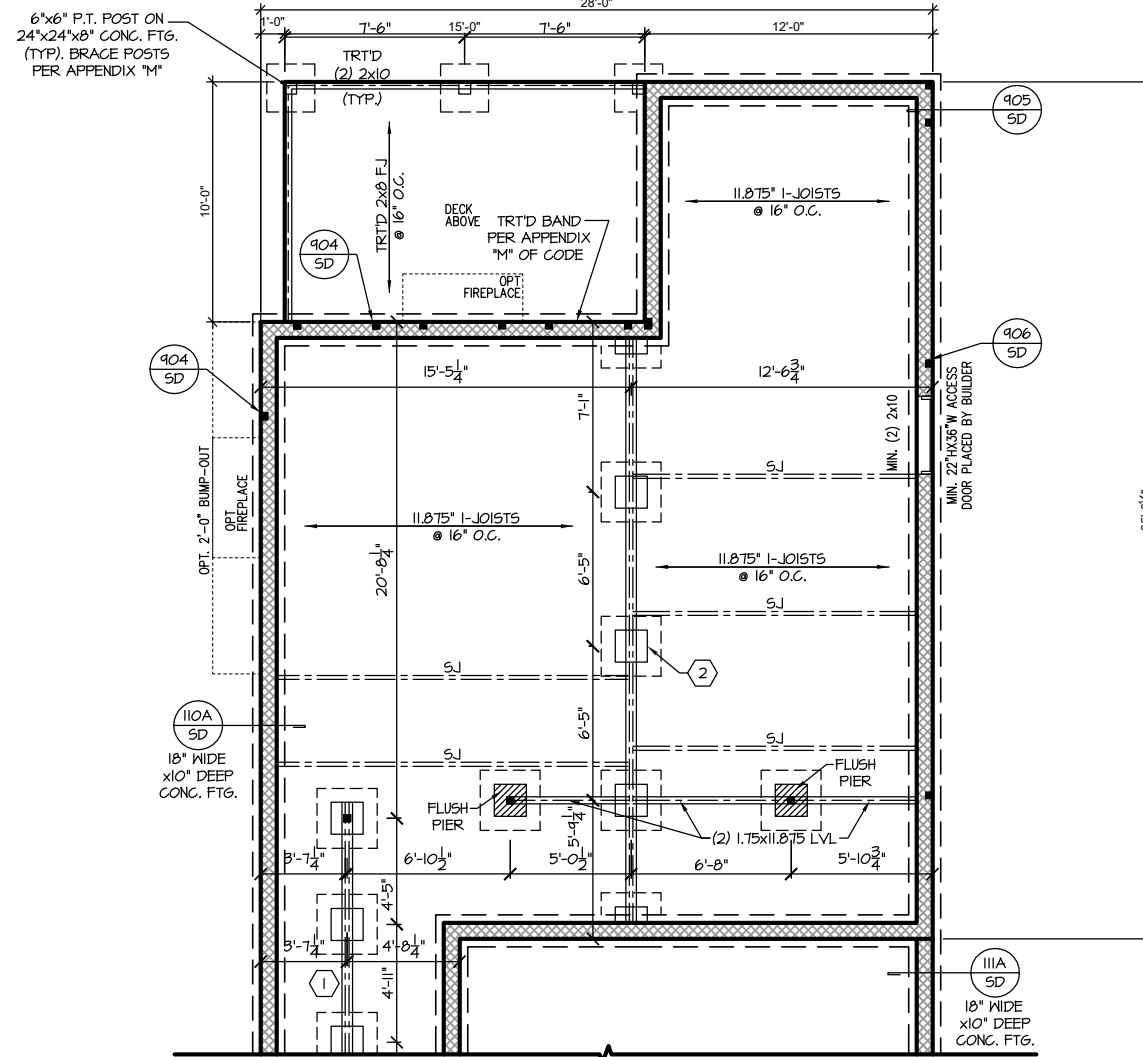
**Southern Engineers, P.A.**  
3716 Benson Drive, Raleigh, NC 27609  
Phone: (919) 878-1617  
License: C-4772  
www.southernengineers.com

**NEW HOME, INC.**

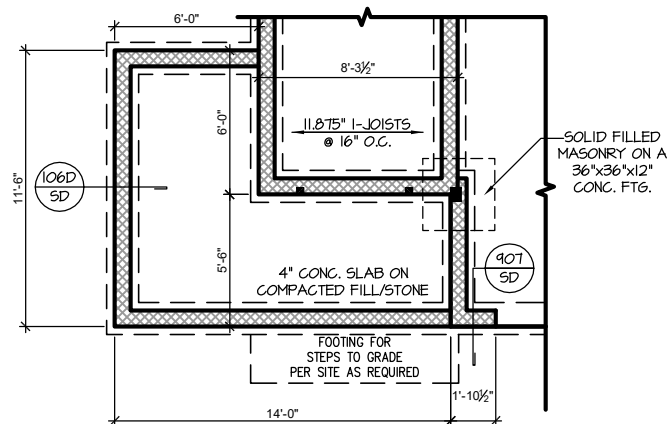
**SMITHFIELD**  
Garage Right



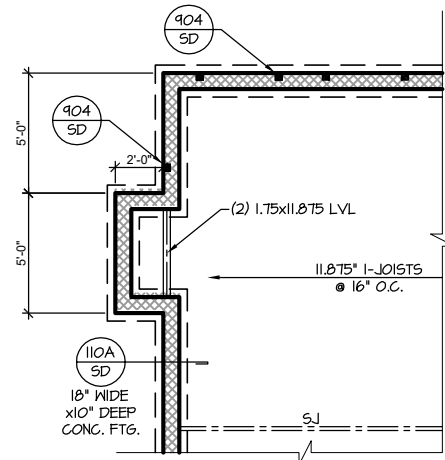
**CRAWL FND. W/ OPT. EXTENDED FAMILY ROOM**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



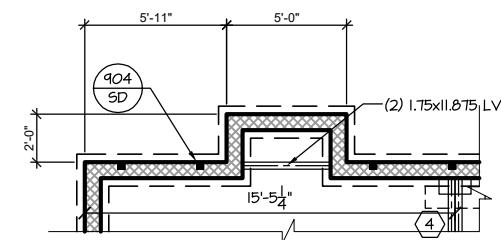
**CRAWL FND. W/ OPT. EXTENDED CAFE**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



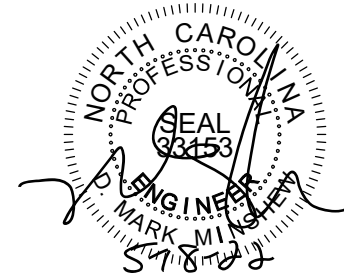
**CRAWL FND. W/ OPT. EXTENDED FRONT PORCH**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**CRAWL FND W/ OPT. SIDE FIREPLACE**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**CRAWL FND W/ OPT. REAR FIREPLACE**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



Engineers seal applies only to structural components on this document. Seal does not include construction means, methods, techniques, sequences, procedures or safety precautions. Any deviations or discrepancies on plans are to be brought to the immediate attention of Southern Engineers. Failure to do so will void Southern Engineer's liability. Seal is valid for projects permitted one year from date of seal. Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

**Southern Engineers, P.A.**  
3716 Benson Drive, Raleigh, NC 27609  
Phone: (919) 878-1617  
License: C-4772  
www.southernengineers.com

**NEW HOME, INC.**

**SMITHFIELD**  
Garage Right

**TRUSS SYSTEM REQUIREMENTS**

NC (2018 NGRG): Wind: 115-120 mph

- TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE WITH SEALED STRUCTURAL PLANS. ANY NEED TO CHANGE TRUSSES SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
- TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
- ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SFF #2 OR #3 PLATES OR LEDGERS (UNO).
- ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

**HEADER/BEAM & COLUMN NOTES**

- ALL EXTERIOR AND LOAD BEARING HEADERS SHALL BE MIN. (2)2x6 (4" WALL) OR (3)2x6 (6" WALL) WITH (1) SUPPORT STUD, UNLESS NOTED OTHERWISE.
- THE NUMBER SHOWN AT BEAM AND HEADER SUPPORTS INDICATES THE NUMBER OF SUPPORT STUDS REQUIRED IN STUD POCKET OR COLUMN. THE NUMBER OF KING STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS SHALL BE ACCORDING TO ITEM "K" IN TABLE R602.3(5) OR AS BELOW PER NCDOL COMMENTARY "KING STUDS AT WALL OPENINGS" REVISED 1-4-2020.
  - UP TO 3' SPAN: (1) KING STUD
  - OVER 3' UP TO 6' SPAN: (2) KING STUDS
  - OVER 6' UP TO 9' SPAN: (3) KING STUDS
  - OVER 9' UP TO 12' SPAN: (4) KING STUDS
  - OVER 12' UP TO 15' SPAN: (5) KING STUDS

**FRAMING NOTES**

NC (2018 NGRG): Wind: 115-120 mph

- BRACING METHOD AND TYPE: CONTINUOUSLY SHEATHED WSP; CS-WSP. NOTE THAT THE WALL BRACING AMOUNT PROVIDED ON THE PLANS (DETAILS AND SPECIFICATIONS) IS GREATER THAN THE AMOUNT OF WALL BRACING REQUIRED BY SECTION R602.10 OF THE CODE. SEE NOTES BELOW FOR DETAILS AND SPECIFICATIONS FOR WALL BRACING AND WALL FRAMING.
- EXTERIOR WALL SHEATHING: WALLS SHALL BE BRACED BY SHEATHING WALLS ON ALL STORIES WITH WOOD STRUCTURAL PANEL SHEATHING (WSP) (EXPOSURE B: 1/16", EXPOSURE C: 15/32"). SHEATHING SHALL BE ATTACHED WITH 8d NAILS AT A 6"/12" NAILING PATTERN (6" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES.
- WSP SHEATHING SHALL EXTEND TO THE UPPERMOST DOUBLE BEARING PLATE. BLOCK AT ROOF PER SECTION R602.10.4.5 AND ATTACH BRACED WALLS PER CODE. WSP SHEATHING BETWEEN FLOORS SHALL BE SPLICED ALONG CONTINUOUS BAND OR THE WSP SHEATHING MAY BE SPLICED ACROSS STUDS (CONTINUOUS ACROSS FLOOR SYSTEM) WITH BLOCKING AT PANEL EDGES. (MINIMUM 12" BEYOND FLOOR BREAK) OR OTHER APPROVED METHOD.
- "HD" = HOLD-DOWN. HOLD-DOWN DEVICE (NOTED AS "HD" ON PLANS) SHALL BE AN 800 POUND CAPACITY ASSEMBLY AS NOTED ON PLANS. SEE DETAILS FOR HD ASSEMBLY.
  - \*\*GROUND/FIRST FLOOR: USE "HD HOLD-DOWN DETAIL" ON SD SHEET (OR EQUIV.)
  - \*\*UPPER FLOORS: ATTACH BASE OF KING STUD WITH A SIMPSON CS22 STRAP DOWN ACROSS THE BAND AND DOWN TO A STUD BELOW OR HEADER BELOW. EXTEND STRAP 7" MIN ALONG EACH STUD (OR HEADER) AND ATTACH EACH END W/ (1) 8d NAILS.
- INTERIOR BRACED WALL: (NOTED AS "IBW" ON PLANS) ATTACH 1/2" GYPSUM BOARD (GB) ON EACH SIDE OF WALL WITH A MIN. OF 5d COOLER NAILS OR #6 SCREWS @ 7" O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.
- INTERIOR BRACED WALL-WOOD STRUCTURAL PANEL: (NOTED AS "IBW-WSP" ON PLANS). ATTACH ONE SIDE WITH 5/8" WSP SHEATHING WITH 8d NAILS AT A 6"/12" NAILING PATTERN (6" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES. ATTACH GB OVER WSP AS REQUIRED. ATTACH OPPOSITE SIDE WITH 1/2" GB WITH A MIN. OF 5d COOLER NAILS OR #6 SCREWS @ 7" O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.

**WOOD I-JOISTS**

(SHALL BE ONE OF THE FOLLOWING OR EQUAL):

- TJI 210 BY TRUS JOIST
- LP1 20 PLUS BY LP
- BC1 5000s 1.8 BY BC

**HEAVY WOOD I-JOISTS**

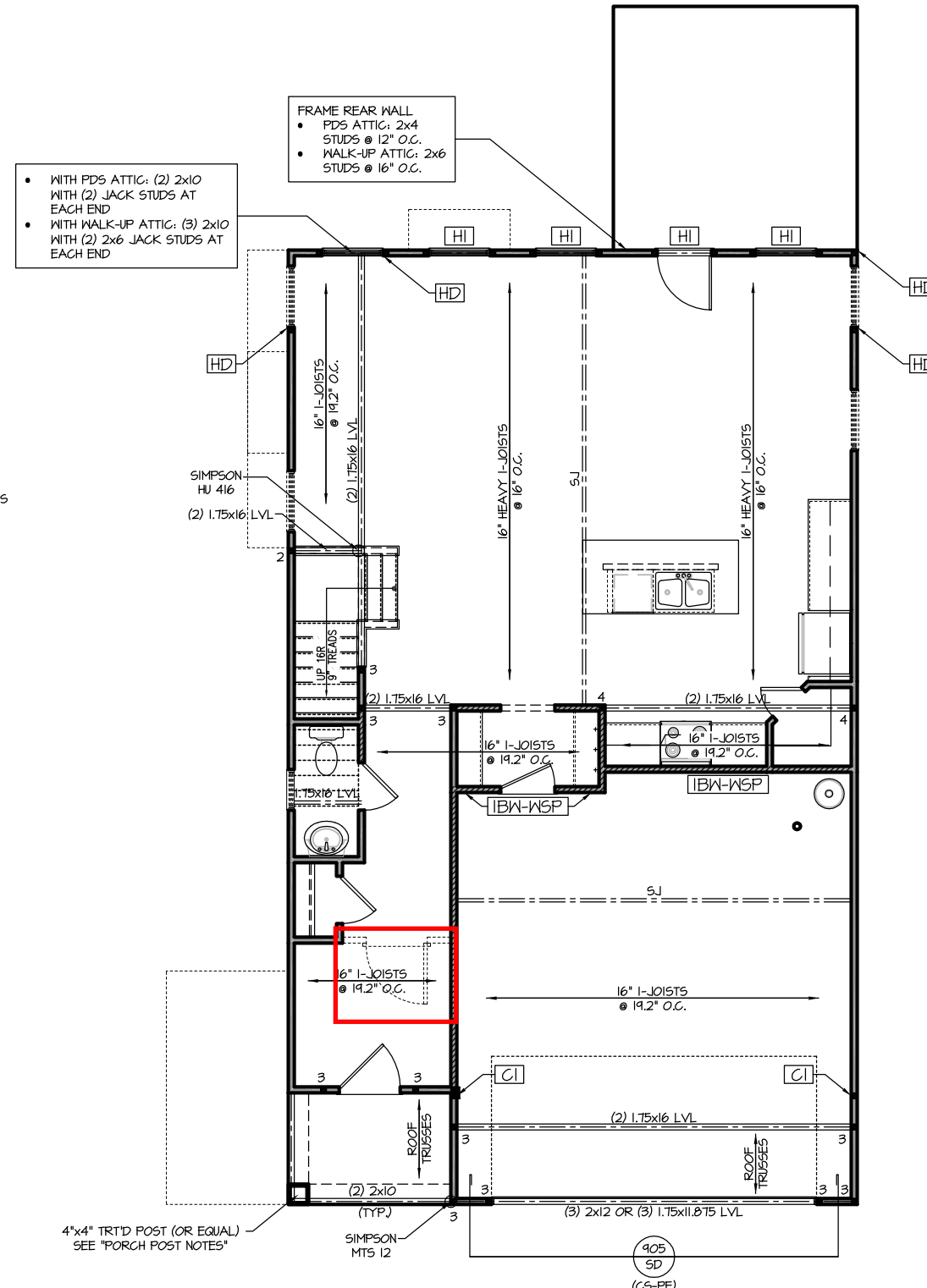
(SHALL BE ONE OF THE FOLLOWING OR EQUAL):

- TJI 360 BY TRUS JOIST
- LP1 42 PLUS BY LP
- BC1 60s 2.0 BY BC

- ALL WOOD I-JOISTS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- INSTALL SQUASH BLOCKS, WEB STIFFENERS, ETC. AS REQUIRED BY AND ACCORDING TO THE I-JOIST MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
- HANGERS FOR I-JOISTS ARE THE RESPONSIBILITY OF THE I-JOIST SUPPLIER.
- FLOOR TRUSSES BY MANUFACTURER MAY BE SUBSTITUTED FOR ANY I-JOISTS.

**PORCH POST NOTES:**

- 4"x4" (6"x6") TRTD POST (OR EQUAL).
  - ATTACH TRUSSES (RAFTERS) AT PORCH WITH HURRICANE CONNECTORS.
  - POST CAP: SIMPSON AC4-MAX (AC6-MAX)
  - POST CAP AT CORNER: (2) SIMPSON LCE4 (MITER HEADER AT CORNER). HIGH WIND; ADD (1) SIMPSON H6.
  - POST BASE: SIMPSON ABU44 (ABU66).
    - MONO: 3/8" ANCHOR (EMBED 7")
    - CMU: 3/8" ANCHOR (EXTEND TO FOOTING - HIGH WIND ONLY)
  - POST BASE: WOOD FOUNDATION: (2) SIMPSON CS16 STRAPS AT POSTS. EXTEND 12" ONTO EACH POST (UPPER AND LOWER) OR TO GIRDER.
- NOTE: EQUIVALENT POST CAP AND BASE ACCEPTABLE.

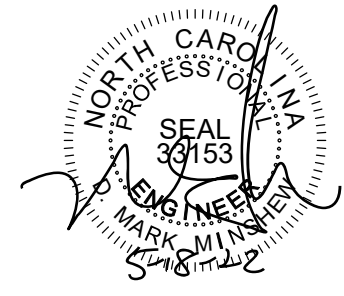


- |    |  |
|----|--|
| HI | <ul style="list-style-type: none"> <li>WITH PDS ATTIC: (2) 2x12 WITH (2) JACK STUDS AT EACH END</li> <li>WITH WALK-UP ATTIC: (3) 2x10 WITH (2) 2x6 JACK STUDS AT EACH END</li> </ul>   |
| CI | <ul style="list-style-type: none"> <li>WITH PDS ATTIC: 3.5"x5.25" PSL/LVL COLUMN</li> <li>WITH WALK-UP ATTIC: 3.5"x7" PSL/LVL COLUMN</li> <li>WITH BOTH OPTIONS INSTALL A 2x4 STUD ON EACH SIDE OF COLUMN AND ATTACH WITH (2) ROWS OF 12d NAILS @ 6" O.C.</li> </ul> |

FRAMING NOTE: ALL DIMENSIONAL LUMBER ON THIS SHEET MAY BE SFF #2 OR SYP #2, UNLESS SPECIFICALLY NOTED OTHERWISE.

**FIRST FLOOR PLAN 'LOW COUNTRY'**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

Roof Truss Version

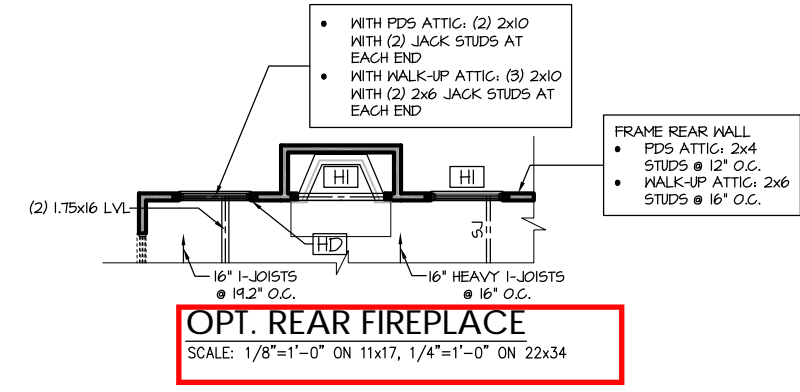
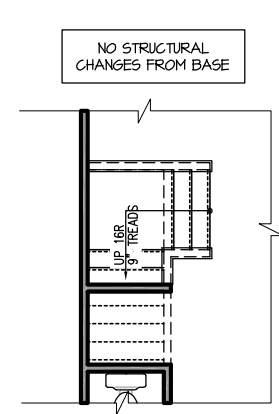


Engineers seal applies only to structural components on this document.  
Seal does not include construction means, methods, techniques, sequences, procedures or safety precautions.  
Any deviations or discrepancies on plans are to be brought to the immediate attention of Southern Engineers. Failure to do so will void Southern Engineer's liability.  
Seal is valid for projects permitted one year from date of seal.  
Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

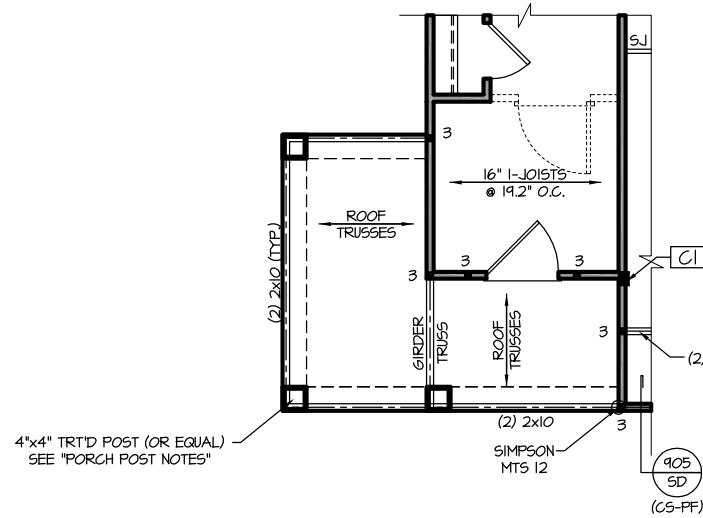
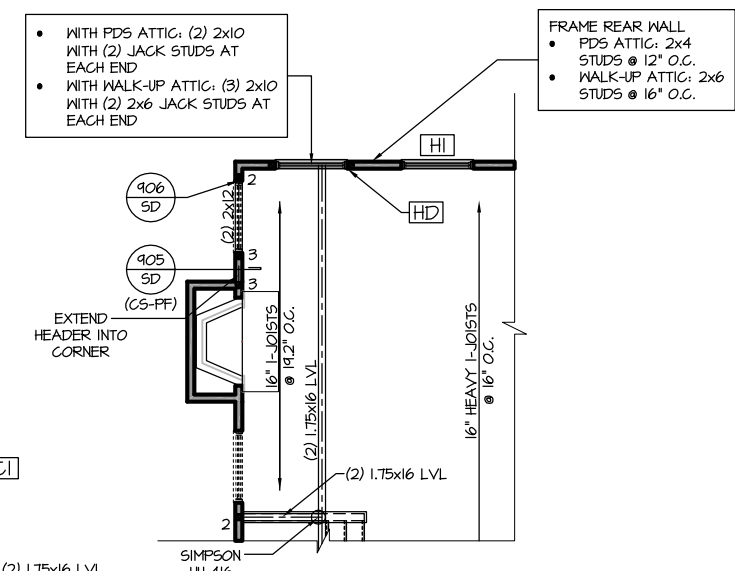
**Southern Engineers, P.A.**  
3716 Benson Drive, Raleigh, NC 27609  
Phone: (919) 878-1617  
License: C-4772  
www.southernengineers.com

**NEW HOME, INC.**

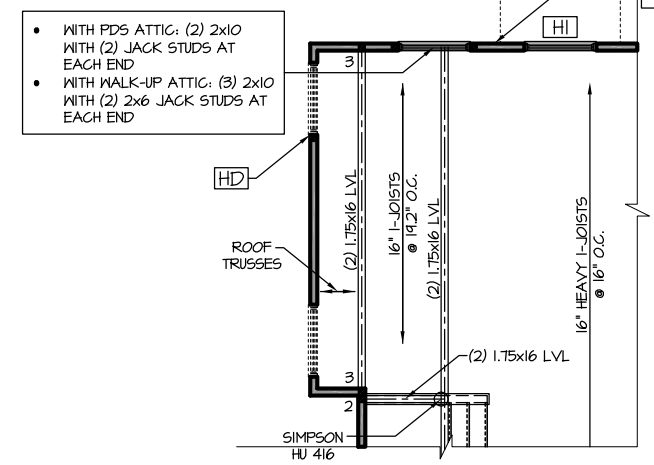
**SMITHFIELD**  
Garage Right



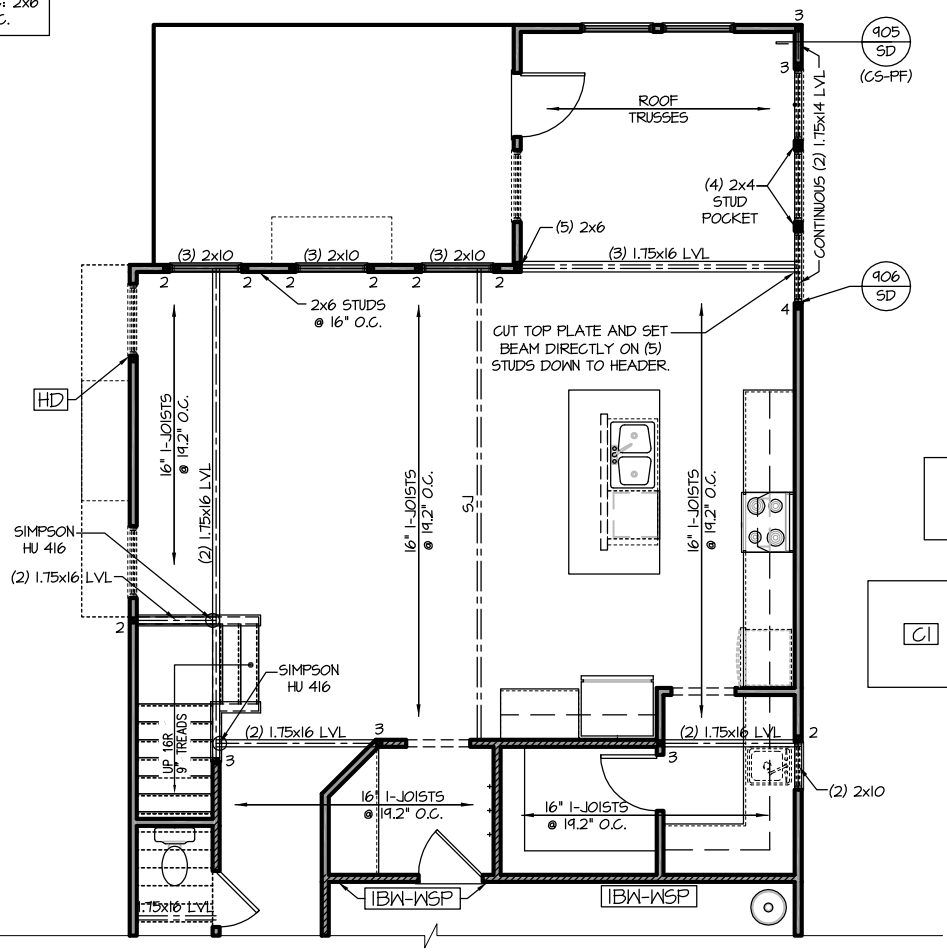
**OPT. PET PALACE**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**OPT. 4' FRONT PORCH EXTENSION**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

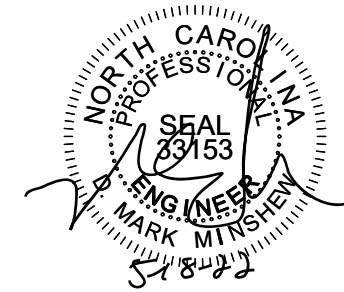


**OPT. 2' EXTENDED FAMILY**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**OPT. KITCHEN W/ EXTENDED CAFE**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

- [HI] WITH PDS ATTIC: (2) 2x12 WITH (2) JACK STUDS AT EACH END
- [HI] WITH WALK-UP ATTIC: (3) 2x10 WITH (2) 2x6 JACK STUDS AT EACH END
- [CI] WITH PDS ATTIC: 3.5"x5.25" PSL/LVL COLUMN
- [CI] WITH WALK-UP ATTIC: 3.5"x7" PSL/LVL COLUMN
- [CI] WITH BOTH OPTIONS INSTALL A 2x4 STUD ON EACH SIDE OF COLUMN AND ATTACH WITH (2) ROWS OF 12d NAILS @ 6" O.C.



**TRUSS SYSTEM REQUIREMENTS**

NC (2018 NGRG): Wind: 115-120 mph

1. TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE WITH SEALED STRUCTURAL PLANS. ANY NEED TO CHANGE TRUSSES SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
2. TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
3. ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SFF #2 OR #3 PLATES OR LEDGERS (UNO).
4. ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

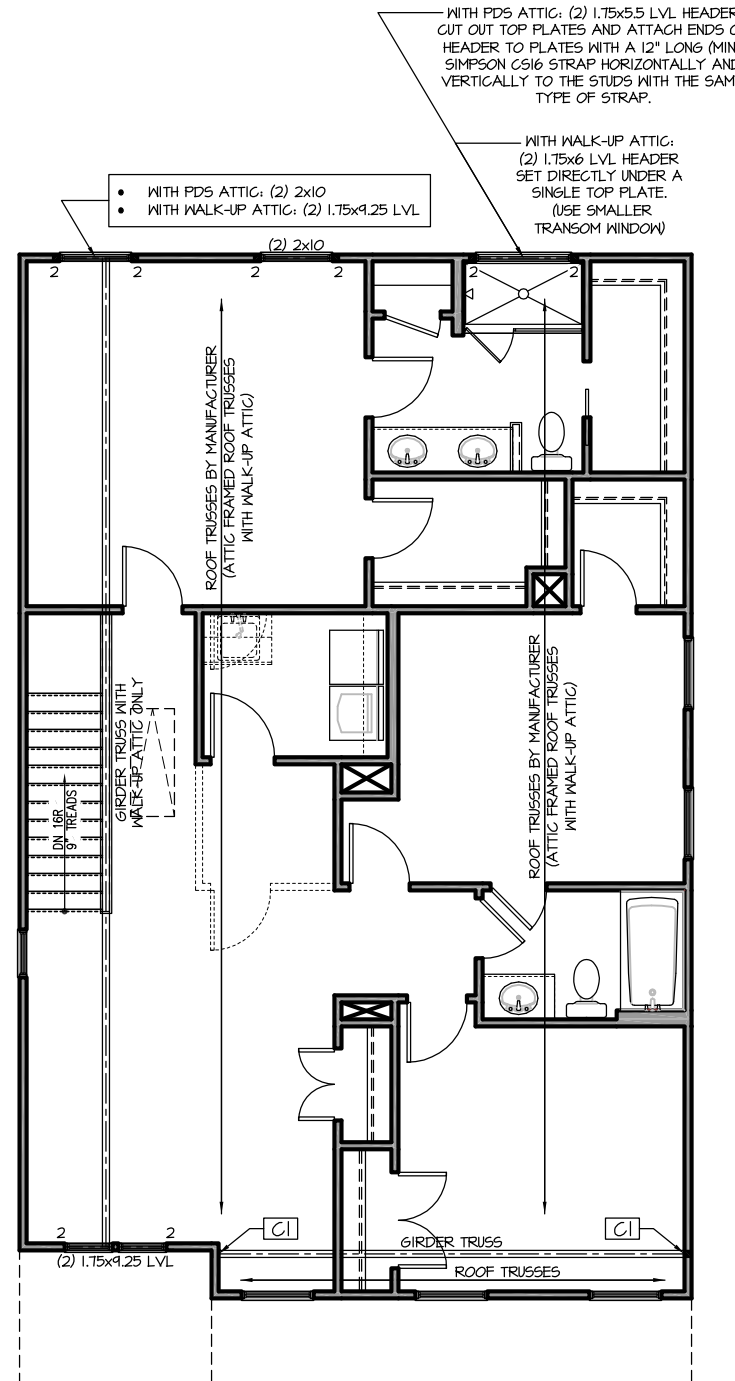
**HEADER/BEAM & COLUMN NOTES**

1. ALL EXTERIOR AND LOAD BEARING HEADERS SHALL BE MIN. (2)2x6 (4" WALL) OR (3)2x6 (6" WALL) WITH (1) SUPPORT STUD, UNLESS NOTED OTHERWISE.
2. THE NUMBER SHOWN AT BEAM AND HEADER SUPPORTS INDICATES THE NUMBER OF SUPPORT STUDS REQUIRED IN STUD POCKET OR COLUMN. THE NUMBER OF KING STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS SHALL BE ACCORDING TO ITEM "d" IN TABLE R602.3(5) OR AS BELOW PER NCDOL COMMENTARY "KING STUDS AT WALL OPENINGS" REVISED 1-4-2020:
  - UP TO 3' SPAN: (1) KING STUD
  - OVER 3' UP TO 6' SPAN: (2) KING STUDS
  - OVER 6' UP TO 9' SPAN: (3) KING STUDS
  - OVER 9' UP TO 12' SPAN: (4) KING STUDS
  - OVER 12' UP TO 15' SPAN: (5) KING STUDS

**FRAMING NOTES**

NC (2018 NGRG): Wind: 115-120 mph

1. BRACING METHOD AND TYPE: CONTINUOUSLY SHEATHED WSP; CS-WSP. NOTE THAT THE WALL BRACING AMOUNT PROVIDED ON THE PLANS (DETAILS AND SPECIFICATIONS) IS GREATER THAN THE AMOUNT OF WALL BRACING REQUIRED BY SECTION R602.10 OF THE CODE. SEE NOTES BELOW FOR DETAILS AND SPECIFICATIONS FOR WALL BRACING AND WALL FRAMING.
2. EXTERIOR WALL SHEATHING: WALLS SHALL BE BRACED BY SHEATHING WALLS ON ALL STORIES WITH WOOD STRUCTURAL PANEL SHEATHING (WSP) (EXPOSURE B: 1/16", EXPOSURE C: 15/32"). SHEATHING SHALL BE ATTACHED WITH 8d NAILS AT A 6"X12" NAILING PATTERN (6" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES.
3. WSP SHEATHING SHALL EXTEND TO THE UPPERMOST DOUBLE BEARING PLATE. BLOCK AT ROOF PER SECTION R602.10.4.5 AND ATTACH BRACED WALLS PER CODE. WSP SHEATHING BETWEEN FLOORS SHALL BE SPLICED ALONG CONTINUOUS BAND OR THE WSP SHEATHING MAY BE SPLICED ACROSS STUDS (CONTINUOUS ACROSS FLOOR SYSTEM) WITH BLOCKING AT PANEL EDGES. (MINIMUM 12" BEYOND FLOOR BREAK) OR OTHER APPROVED METHOD.
4. "HD" = HOLD-DOWN: HOLD-DOWN DEVICE (NOTED AS "HD" ON PLANS) SHALL BE AN 800 POUND CAPACITY ASSEMBLY AS NOTED ON PLANS. SEE DETAILS FOR HD ASSEMBLY.
  - \*\*GROUND/FIRST FLOOR: USE "HD HOLD-DOWN DETAIL" ON SD SHEET (OR EQUIV.)
  - \*\*UPPER FLOORS: ATTACH BASE OF KING STUD WITH A SIMPSON CS22 STRAP DOWN ACROSS THE BAND AND DOWN TO A STUD BELOW OR HEADER BELOW. EXTEND STRAP 7" MIN ALONG EACH STUD (OR HEADER) AND ATTACH EACH END W/ (1) 8d NAILS.
5. INTERIOR BRACED WALL: (NOTED AS "IBW" ON PLANS) ATTACH 1/2" GYPSUM BOARD (GB) ON EACH SIDE OF WALL WITH A MIN. OF 5d COOLER NAILS OR #6 SCREWS @ 7" O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.
6. INTERIOR BRACED WALL-WOOD STRUCTURAL PANEL: (NOTED AS "IBW-WSP" ON PLANS). ATTACH ONE SIDE WITH 1/8" WSP SHEATHING WITH 8d NAILS AT A 6"X12" NAILING PATTERN (6" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS). INSTALL BLOCKING AT ALL PANEL EDGES. ATTACH GB OVER WSP AS REQUIRED. ATTACH OPPOSITE SIDE WITH 1/2" GB WITH A MIN. OF 5d COOLER NAILS OR #6 SCREWS @ 7" O.C. ALONG THE EDGES AND AT INTERMEDIATE SUPPORTS.



C1

- WITH PDS ATTIC: (6) 2x4 COLUMN. ATTACH EACH STUD WITH (2) 12d NAILS @ 6" O.C.
- WITH WALK-UP ATTIC: 3.5"x7" PSL/LVL COLUMN INSTALL A 2x4 STUD ON EACH SIDE OF COLUMN AND ATTACH WITH (2) ROWS OF 12d NAILS @ 6" O.C.

FRAMING NOTE: ALL DIMENSIONAL LUMBER ON THIS SHEET MAY BE SFF #2 OR SYP #2, UNLESS SPECIFICALLY NOTED OTHERWISE.

**Southern Engineers, P.A.**  
3716 Benson Drive, Raleigh, NC 27609  
Phone: (919) 878-1617  
License: C-4772  
www.southernengineers.com

**NEW HOME, INC.**

**SMITHFIELD**  
Garage Right

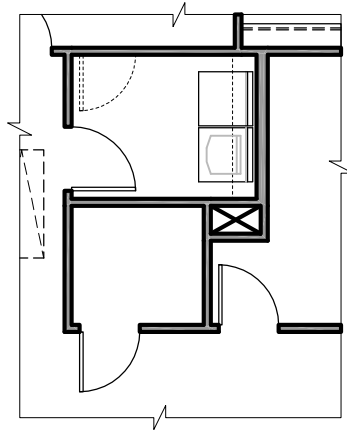
**SECOND FLOOR PLAN 'LOW COUNTRY'**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34

Roof Truss Version

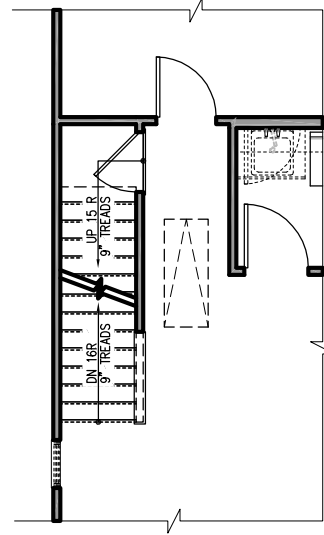
**S-4.1**

Engineers seal applies only to structural components on this document. Seal does not include construction means, methods, techniques, sequences, procedures or safety precautions. Any deviations or discrepancies on plans are to be brought to the immediate attention of Southern Engineers. Failure to do so will void Southern Engineer's liability. Seal is valid for projects permitted one year from date of seal. Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

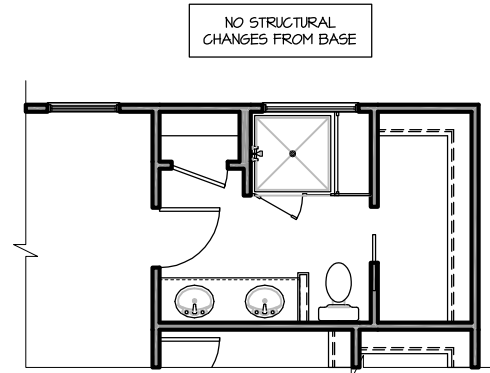




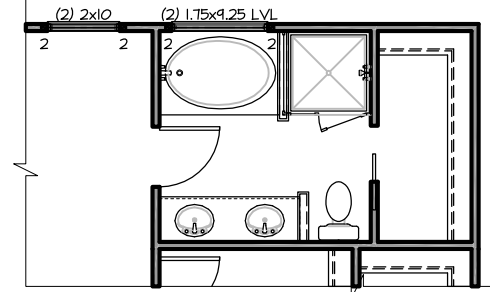
**LAUNDRY W/OPT. POCKET OFFICE**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



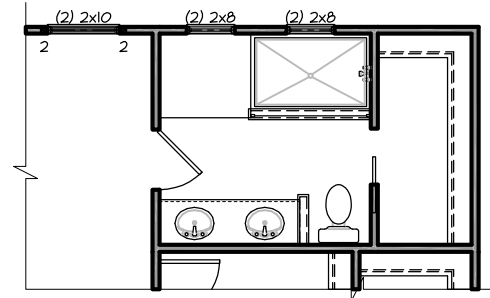
**STAIRS W/OPT. UNFINISHED ATTIC**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



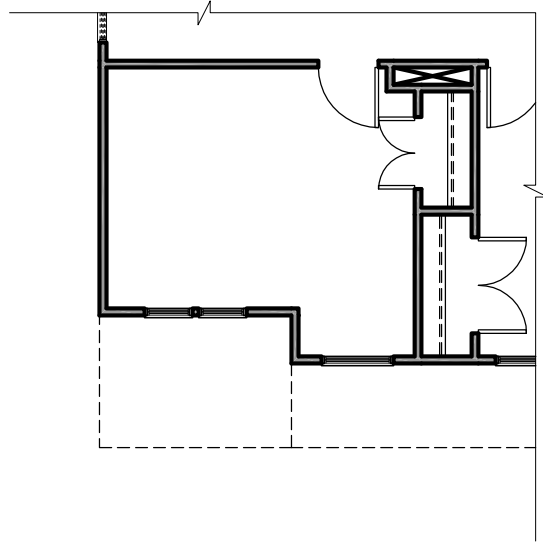
**OPT. SHOWER W/ SEAT**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



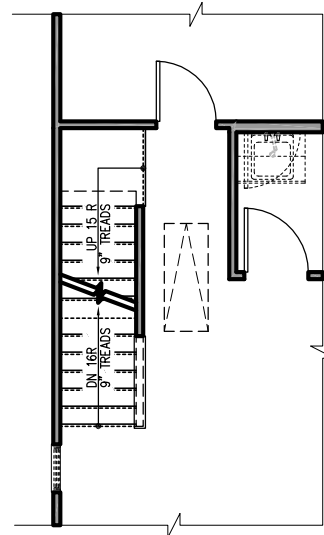
**OPT. TUB/SHOWER**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**OPT. SUPER SHOWER (ZERO ENTRY)**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**OPT. BEDROOM 4 I.L.O. GAMEROOM**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**STAIRS W/OPT. THIRD FL BONUS/BEDROOM**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**PROJECT #**  
21-3366-RH

Engineers seal applies only to structural components on this document.  
Seal does not include construction means, methods, techniques, sequences, procedures or safety precautions.  
Any deviations or discrepancies on plans are to be brought to the immediate attention of Southern Engineers. Failure to do so will void Southern Engineer's liability.  
Seal is valid for projects permitted one year from date of seal.  
Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

**Southern Engineers, P.A.**  
3716 Benson Drive, Raleigh, NC 27609  
Phone: (919) 878-1617  
License: C-4772  
www.southernengineers.com

**NEW HOME, INC.**

**SMITHFIELD**  
Garage Right

Roof Truss Version

**S-4.2**

**TRUSS SYSTEM REQUIREMENTS**

NC (2018 NRC): Wind: 115-120 mph

1. TRUSS SYSTEM LAYOUTS (PLACEMENT PLANS) SHALL BE DESIGNED IN ACCORDANCE WITH SEALED STRUCTURAL PLANS. ANY NEED TO CHANGE TRUSSES SHALL BE COORDINATED WITH SOUTHERN ENGINEERS.
2. TRUSS SCHEMATICS (PROFILES) SHALL BE PREPARED AND SEALED BY TRUSS MANUFACTURER.
3. ALL TRUSSES SHALL BE DESIGNED FOR BEARING ON SFF #2 OR #3 PLATES OR LEDGERS (UNO).
4. ALL REQUIRED ANCHORS FOR TRUSSES DUE TO UPLIFT OR BEARING SHALL MEET THE REQUIREMENTS AS SPECIFIED ON THE TRUSS SCHEMATICS.

**ROOF FRAMING NOTES:**

NC (2018 NRC): Wind: 115-120 mph

1. 2x8 RAFTERS @ 16" O.C. WITH 2x10 RIDGE, UNO.
  2. (2) 2x10 OR 1.75x11.875 LVL HIP, (2) 2x10 HIP'S MAY BE SPLICED WITH A MIN. 6'-0" OVERLAP AT CENTER
  3. (2) 2x10 OR 1.75x11.875 LVL VALLEY. DO NOT SPLICE VALLEYS
  4. 1.75x11.875 LVL OR (2)1.75x11.875 LVL VALLEY
  5. FALSE FRAME VALLEY ON 2x10 FLAT PLATE
  6. 2x6 RAFTERS @ 16" O.C. W/ 2x8 RIDGE, UNO.
  7. 2x10 RAFTERS @ 16" O.C. W/ 2x12 RIDGE, UNO.
  8. EXTEND RIDGE 12" BEYOND INTERSECTION
- "SR" = SINGLE RAFTER
  - "DR" = DOUBLE RAFTER
  - "TR" = TRIPLE RAFTER
  - "RS" = ROOF SUPPORT
  - "■" = (3) STUD OR 4x4 POST FOR ROOF SUPPORT (USE 2x6 STUDS OR 6x6 POST FOR SUPPORT OVER 10'-0" IN HEIGHT)
  - ATTACH VAULTED RAFTERS WITH HURRICANE CLIPS: SIMPSON "H-2.5A" OR EQUIVALENT, TIES TO BE INSTALLED ON THE OUTSIDE FACE OF FRAMING.
  - INSTALL RAFTER TIES AND COLLAR TIES PER SECTION R802.3.1 OF THE 2018 NC RESIDENTIAL CODE.



**PROJECT #**  
21-3366-RH

Engineers seal applies only to structural components on this document. Seal does not include construction means, methods, techniques, sequences, procedures or safety precautions. Any deviations or discrepancies on plans are to be brought to the immediate attention of Southern Engineers. Failure to do so will void Southern Engineer's liability. Seal is valid for projects permitted one year from date of seal. Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

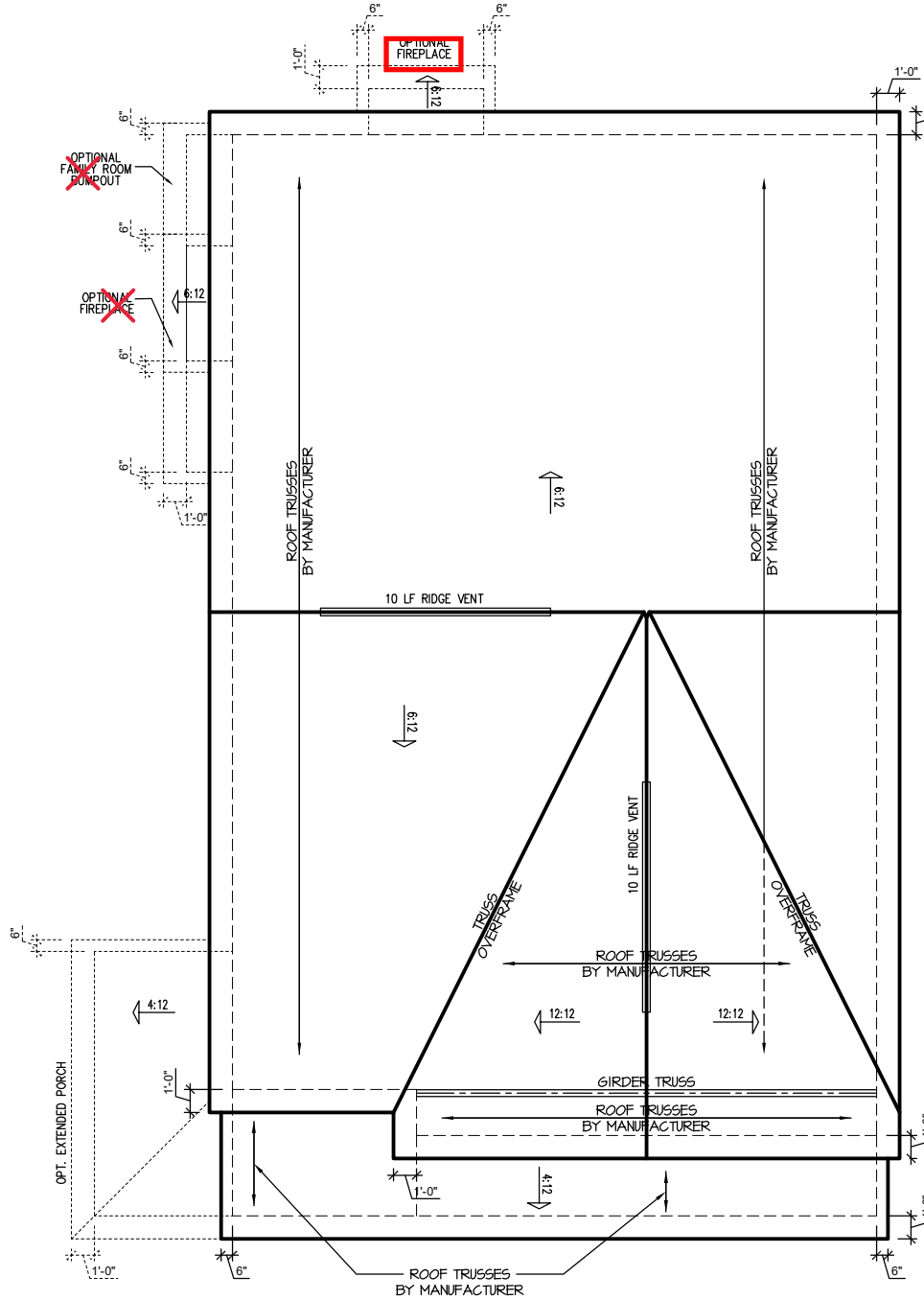
**Southern Engineers, P.A.**  
3716 Benson Drive, Raleigh, NC 27609  
Phone: (919) 878-1617  
License: C-4772  
www.southernengineers.com

**NEW HOME, INC.**

**SMITHFIELD**  
Garage Right

**S-6.1**

Roof Truss Version

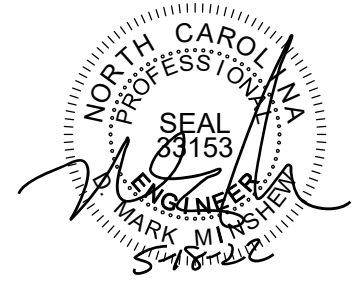


**"LOW COUNTRY" ROOF PLAN**

SCALE: 1/4" = 1'-0" ON 22x34, 1/8" = 1'-0" ON 11x17

ATTIC VENT SCHEDULE								
"LOW COUNTRY" ELEVATION								
MAIN HOUSE		SQ FTG	1202	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. FT. EACH)	POT SMALL (SQ. FT. EACH)	RIDGE VENT (SQ. FT. PER LF)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. PER LF)
RIDGE VENT	1.60	2.00	2.50	52.63	0	0	20.00	
SOFFIT VENTS	2.40	2.00	2.25	47.37			0	36.00
TOTAL (MIN)	4.01	4.01	4.75	100.00	POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

\* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION

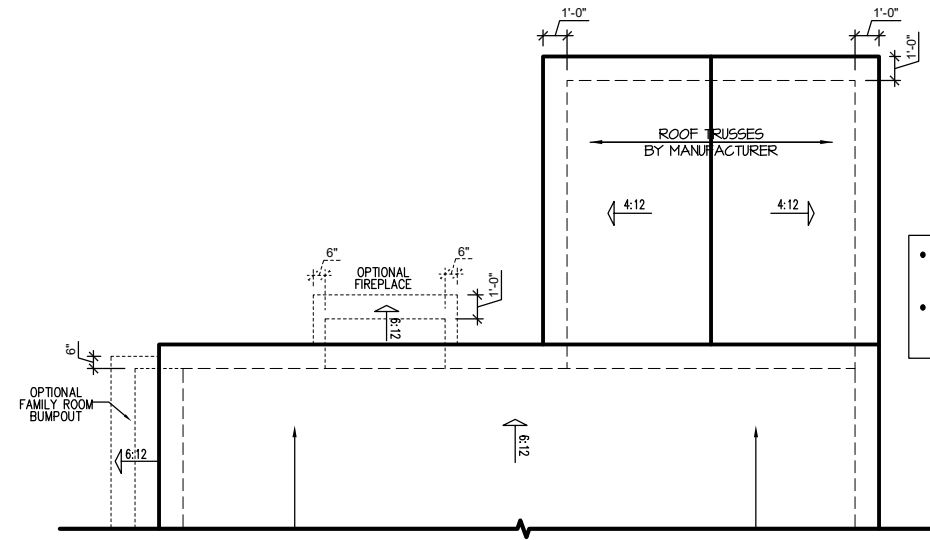


Engineers seal applies only to structural components on this document.  
Seal does not include construction means, methods, techniques, sequences, procedures or safety precautions.  
Any deviations or discrepancies on plans are to be brought to the immediate attention of Southern Engineers. Failure to do so will void Southern Engineer's liability.  
Seal is valid for projects permitted one year from date of seal.  
Use of these plans constitutes approval of terms & conditions as defined in the customer agreement.

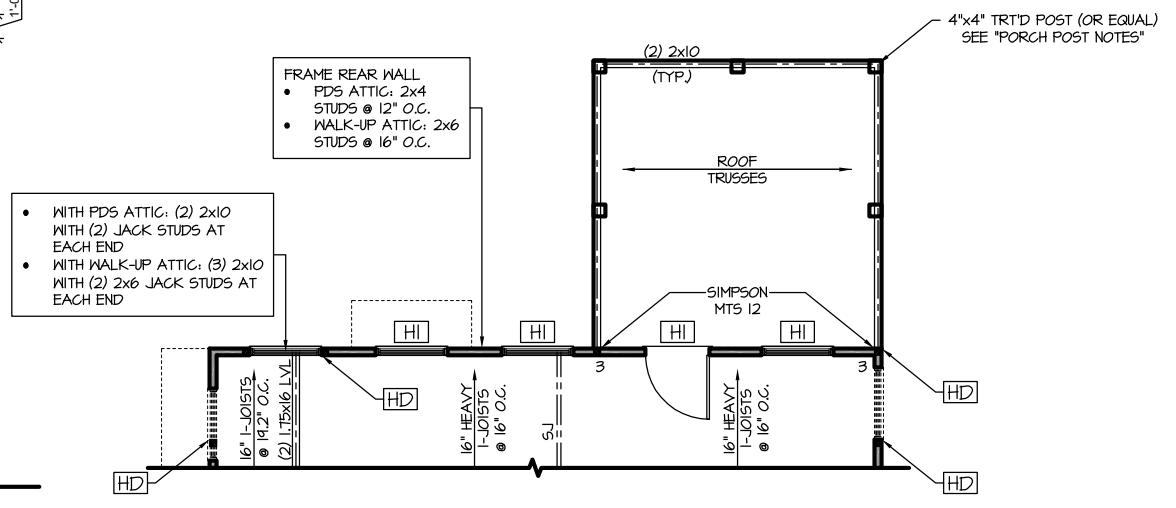
**Southern Engineers, P.A.**  
3716 Benson Drive, Raleigh, NC 27609  
Phone: (919) 878-1617  
License: C-4772  
[www.southernengineers.com](http://www.southernengineers.com)

**NEW HOME, INC.**

**SMITHFIELD**  
Garage Right



**COVERED PORCH ROOF PLAN**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34



**COVERED PORCH FLOOR PLAN**  
SCALE: 1/8"=1'-0" ON 11x17, 1/4"=1'-0" ON 22x34