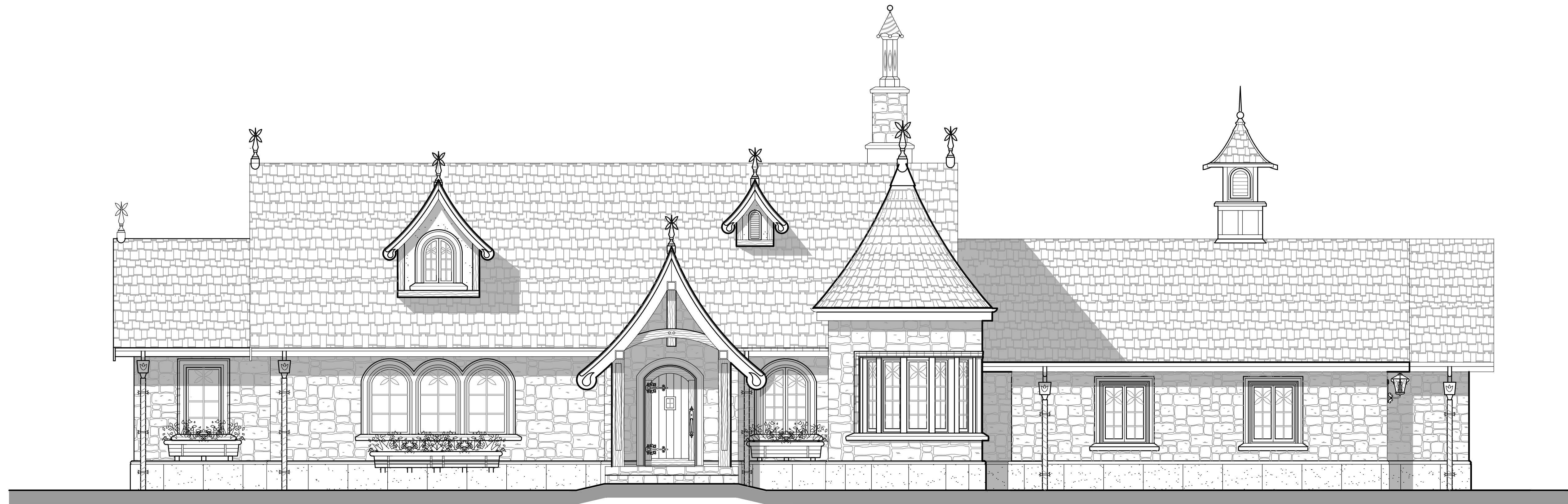


# Storybook Homes

Presents



"WeeStone"

Design TTC No. 29

by

Samuel Hackwell & Andrew Perkins



by Samuel Hackwell &  
Andrew Perkins

P.O. Box 60  
Lynden, WA 98264  
1-888-662-3876  
www.storybookhomes.com

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Plot Date : JAN. 10, 2023

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A-1



# Index & Word Glossary

## Project Description

A single family residence of approx. 1,456 sq. ft.  
Main level: Gathering Room, Dining Area, Scullery, Full Bath,  
Master Chamber and Closet.  
Upper level: None.

In keeping with the old-world style and theme, we have labeled the rooms within the cottage like the Architects and Designers labeled them in earlier days. We have compiled a short list of words to help you with the terminology of old and compare them to the more modern terms we use today.

Bed Chamber = Bedroom  
Carriage House = Garage  
Dining Area = Dining Room  
Gathering Room = Family Room  
Drawing Room = Great Room  
Larder = Pantry  
Parlor = Living Room  
Scullery = Kitchen

## Index to Sheets

- A-1 Cover Sheet
- A-2 Index and Word Glossary
- A-3.1 - 3.3 General Notes and Spec's 1-3
- A-4.1 Exterior Elevations
- A-4.2 Rear Elevation and Building Section
- A-5 Main Floor Plan
- A-6 Roof Plan and Details
- A-7 Door & Window Schedules
- A-8 Details 1
- A-9 Details 2
- A-10 Details 3
- S-1 Foundation Plan and Details
- E-1 Electrical Main Floor
- L-1 Suggested Plant List for Cottage Garden

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# A-2



# General Specs, Notes, & Guidelines 1

## for building your Storybook Home

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These general specifications and notes are intended to give the contractor and homeowner an understanding of building materials, designs, suggestions and procedures for the construction of a Storybook Home. These are not full specifications. Changing or using substitute materials and/or methods is acceptable if agreed upon by all consenting parties.

Due to varying codes in various locations, Storybook Homes strongly urges that these plans be reviewed by a local licensed structural engineer so that this cottage will completely comply with all local building codes and ordinances. Any additional structural alterations and changes must also be reviewed by a licensed structural engineer. Any alterations or changes to these plans are the sole responsibility of those making such alterations.

All work shall be done in strict accordance with local building ordinances and codes. The general contractor, chosen by the project owner, shall be responsible for all work performed.

Important: Any omission and/or errors in these plans shall in no way relieve the contractor from completing this project in a satisfactory and thorough manner, approved by both the building inspector and project owner. Storybook Homes is not responsible nor liable for any inconsistencies, construction of, or building practices, before, during, or after completion of a Storybook Homes structure.

### Construction Type

Wood frame, with stone, brick, and stucco veneer. Ground floor (Basement floor) is concrete.

**Workmanship:** All the work to be executed in the best and most thorough workmanlike manner, and warranted sound and substantial in operation at completion. All materials and workmanship to be of the best quality and skill known to the trade.

### SITE WORK

1. Soils report: recommended to determine soil bearing characteristics and appropriate foundation design; consult project owner to verify.
2. Percolation test: verify if applicable, contractor review and coordinate with site plan, consult project owner.
3. Site clearing: protect trees designated to remain on site, remove all vegetation from areas within the building outline, lay aside the top soil at the commencement and replace over the graded surface at completion. Comply with local erosion control measures.
4. Earth work: filled areas to be compacted 95-100% at optimum moisture content. Building pads to be constructed level and true to grades indicated on plans (if any).
5. Drainage control: final grade shall drain away from all structures. A foundation drain may be necessary for the site. If so, a 4" min, perforated pipe with filter cloth and 12" min. class 'A' gravel backfill with a minimum of 1% slope, drain to daylight or an approved storm drain.

All gutters, gutter heads, scuppers, and downspouts should be of copper, with copper components. The gutter and downspouts to be 4" in diameter. Do not connect to perforated foundation drain.

6. Exterior paving: all exterior concrete to be air-entrained, 2500psi, 3000psi if exposed to weather, consult local codes to verify.

Driveways to be concrete pavers or cobbled stone over minimum of 6" compacted roadbase material and 1" of sand (see paver installation guidelines provided by manufacturer).

Walkways to be concrete pavers or cobbled stone over minimum of 4" compacted roadbase and 1" of sand (see paver installation guidelines).

7. Landscaping: A suggested landscape is included that very much compliments this Storybook Home. This is a water-wise cottage flower garden, including an ornamental fruit and vegetable garden. Variations in climate and geographical locations will determine more correctly your plant material selection. Consult your local extension office for a listing of suitable plant material for your area.

### CONCRETE

1. Footing: (Verify on Plan details for crawl space or basement foundation) Basement is 36" wide X 10" thick, 2500psi concrete; Crawl space is 16" wide X 10" thick, 2500psi continuous spread, footing with 2 - #5 rebars top and bottom, use corner bars and lap all splices 30"
2. Stemwall: 10" thick, 2500psi concrete stemwall with #4 horizontal rebars @ 12" on center and #4 vertical dowel @ 12" on center from footing up through stemwall.
3. Slab, basement floor: 4" thick, 2500psi concrete slab over minimum 5" sand or gravel base over compact backfill
4. Basement/Retaining walls: 10" thick, 2500psi minimum concrete, refer to plans for reinforcing.

### MASONRY

1. Stucco: 3 coat system, 3/4" to 1" thick, on expanded metal lath, Finish coat shall be light sand finish. Color shall be selected by project owner. Suggested colors are; light creams and browns.
2. Brick: brick shall be chosen by project owner, install with 22 gauge G. I. masonry ties @ 16" on center each way, mason provides steel lintels as required (lintels may need to be designed by local engineer). All brick and stone material shall be continuous around outside corners, avoid change of material at outside corners! Suggested brick material; brick should be used and old in appearance, with soft edges, earth tones and varigated in color. Some Storybook Home designs call for uneven brick and/or ornamental patterns and designs in the brick.
3. Stone Veneer: Stone shall be selected by project owner. Nominal 4" to 6" thick veneer with 22 gauge G. I. masonry ties @ 16" on center each way, mason provide steel lintels as required. All stone material shall be continuous around outside corners, avoid change of material at outside corners. Real stone is preferred. Stone should be square or rectangular in shape, avoid rounded river rock.
4. Cast concrete: Cast concrete around windows and doors is strongly suggested. Refer to mason and/or cast concrete manufacturer for specifications for installation guidelines and designs.
5. Mortar: mix: 1 part cement, 1/4 part hydrated lime, 4 parts sand. Mortar should be brushed and or rubbed, nearly flush with brick or stone, Mortar can be slightly tooled.

### METALS

1. Reinforcing steel: Reinforcing steel to meet ASTM A-615, latest revision with supplemental requirements. #3 bars to be grade 40, #4 and larger bars to be grade 60. Provide #3 Z-bar spacers @ 24" on center each way for all concrete walls having reinforcing steel in both faces.
2. Structural steel: Structural beams shall meet ASTM A36, latest revision. Structural pipe columns shall meet ASTM A53, latest revision. Provide double nuts for all column anchor bolts to allow for adjustment and leveling. Install minimum 1" high-strength non-shrink grout under base plate after erection.

All column to beam and beam to beam connections to be made with ASTM A-325 high strength bolts (A-307 may be used in some instances). Other connections may be made with standard machine bolts. All steel fabrications shall receive a shop applied rust inhibitive primer. All field welds shall be ground smooth and primed with rust inhibitive coating and require special inspections by code.

3. Framing connectors: Anchors, joist hangers, etc, shall be Simpson or equal. Installation shall be per manufacturers specifications. Consideration of the corrosive environment shall be given to connector locations.
4. Architectural metals: Ornamental metal fabrications shall be constructed to resemble, as closely as possible, those designs drawn in these plans. Consult the project owner for any changes or modifications. Storybook Homes may have some custom designs available.

### ROUGH CARPENTRY

All dimensional framing lumber shall be stress graded, kiln dried Douglas fir #2, southern pine #2 or equal (meet or exceed). All rafter and joist sizes and spacing shall meet or exceed the minimum local building code requirements for load carrying capacity. **Contractor is responsible for verifying and complying with all local requirements.**

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Plot Date : JAN. 10, 2023

# A-3.1

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by Samuel Hackwell &  
Andrew Perkins



# General Specs, Notes, & Guidelines 2

## for building your Storybook Home

Note: Some materials and products given here may not apply to this project, therefore disregard any such references. Materials, products, notes, and sections are merely for presentation purposes. Contractor and all sub-contractors shall be responsible for all structural concerns, including hydrological issues, and shall act in strict accordance with all local building codes.

Dimensional lumber: rafters, headers, joists - #2 Douglas Fir or #2 Southern Pine. Blocking, stiffbacks, bracing, etc. #2 Douglas fir or southern pine.

1. Exterior walls: #2 Douglas Fir or #2 Southern Pine, 2X6 studs @ 16" on center, treated mudsill to set on sill sealer.
2. Interior partitions: Douglas Fir or Southern Pine, 2X4 studs @ 16" on center, see plans for 6" partitions including all plumbing walls @ 16" on center (stud grade materials).

### FLOOR FRAMING

1. Dimensional lumber: #2 Douglas Fir or #2 Southern Pine, 2X12 @ 16" on center, unless otherwise noted on plans.
2. Floor trusses: Truss-joist "Silent Floor System". Metal joists as specified by structural engineer can also be used or substituted. Trusses shall be designed to carry the loads imposed, as indicated on these plans, and per all applicable codes and ordinances. Deflection shall be limited to LL/480. Verify size and spacing indicated on these plans and/or per structural engineers suggestions.
3. Roof framing:  
Dimensional lumber: #2 Douglas Fir or #2 Southern Pine, 2X10 @ 16" on center unless otherwise noted on plans, or by engineering.  
Roof trusses: it is suggested that trusses shall be fabricated by a truss manufacturing company having a minimum of 5 years experience. Trusses shall be designed to carry the loads imposed, as indicated on these plans, and per all applicable codes and ordinances.
4. Engineered lumber: laminated veneer lumber or parallel strand lumber. Installation of any engineered lumber product or fabrication shall be according to manufacturer's specifications.
5. Sub-flooring: Plywood - APA rated, tongue and groove, 3/4" or 1 1/8" thick, glued and screwed, no nailing on plywood flooring.
6. Sheathing:  
Plywood - APA rated sheathing, exterior exposure, 1/2" thick, glued and nailed, cover with two layers of 15# felt paper or equal, such as "Tyvek House Wrap" prior to installing exterior material (stucco, masonry veneer, etc.)
7. Exterior trim: Drip, soffit, and fascia - select grade redwood or cedar. Any metal drip, soffit or fascia should be of copper.
8. Rain Gutter System: Copper rain gutters, down spouts, conductor heads, hold-downs, and other components. Rain cisterns are also suggested for water conservation practices.

Timber post and beam - select grade structural Douglas fir, #1 or better. Timber trim (non-structural) - select grade cedar, could be distressed or have hand-hewn look for best appearance.

### FINISH CARPENTRY

1. Molding, Baseboard, Casing, etc. - stain grade softwood or hardwood, such as cherry, walnut, poplar, etc.
2. Decorative timbers and beams - stain grade select cedar, Douglas fir, or any wood matching other moldings and trim.
3. Cabinets - project owners choice. Storybook Homes may have custom hardware available.
4. Utility shelving - Douglas fir, southern pine, plywood veneered wood with solid edging, or any other wood complementing other trim and woodwork.

### MOISTURE AND THERMAL PROTECTION

1. Roofing: Slate, clay or cement shingles, smaller in size, laid in staggered pattern, see plans for suggested style and pattern. Some locations may allow thatching, verify with thatchers for specs and implementation of such.
2. Flashing: 16 oz. copper
3. Caulking: Exterior - use best available  
Interior - paintable latex
4. Weatherstripping: all exterior doors shall receiver weatherstripping
5. Insulation:  
frame floor - 10" (R-30) fiberglass batts with vapor barrier  
Exterior walls - 6" (R-21) fiberglass batts with vapor barrier  
Interior partitions - 3 1/2" (R-13) fiberglass batts. Note: all interior walls to be insulated, not only for insulation purposes but for sound control also.  
Flat ceilings - minimum of R-38 fiberglass or blown-in insulation  
Vaulted ceilings - 10" (R-30) fiberglass batts with vapor barrier  
Note: any superior insulation methods or products than those listed can also or should be used.

### WINDOWS, DOORS, AND GLASS

1. Exterior doors: pre-hung in exterior frame, refer to plans for styles, shapes and sizes.
2. Interior doors: pre-hung, refer to plans for styles, shapes and size

3. Garage doors: refer to plans for styles, shapes and sizes. Plaque door with various types of wood, such as cedar, redwood, etc. and stain to compliment other exterior colors. Door can be very heavy due to wood plauqing, installation should be done by professional garage door installer only.

4. Windows: refer to plans for styles, shapes and sizes. Storybook Homes suggests the use of true divided lite windows only, and that all windows should be recessed.

It is also suggested that false internal divided lite windows, and mounting the window flush with the exterior wall, should be avoided. Metal cladding of windows is however, strongly suggested.

5. Mirrors: 1/4' polished plate glass mirrors, field measured and installed with mechanical fasteners.

6. Hardware: To be chosen by project owner. Contact Storybook Homes for possible custom door and cabinet hardware

7. Shutters: any shutters shall be stained cedar or redwood.

Important: the shutters shall be appropriately sized to cover window entirely, whether operational or not.

### FINISHES

1. Gypsum board: United States Gypsum or equal. 5/8" gypsum board is to be used at all interior surfaces. Use type X fire rated gypsum board at garage ceiling and walls. Use water resistant "green" gypsum board and mud joints with water resistant mud compound at showers and tubs. Tape and mud all joints and finish semi-smooth to smooth, to create an old-world plaster look. Contemporary "spray and knockdown" texturing of walls is strongly discouraged. However, creative heavy tooling of plaster is the exception and is acceptable.
2. Paint: The following are suggestions only.

#### Exterior

- wood (stain) - two coats of best kind available.
- wood (paint) - 1 coat acrylic primer, two coats acrylic latex or oil, best available.
- metal (other than copper) - 1 coat oil primer (rust inhibitive), two coats alkyd enamel, best available.

#### Interior

- gypsum board - 1 coat primer, two coats sprayed and back-rolled, best quality of paint available, color is project owners choice.
  - woodwork (stain) - 1-2 coats stain, 2 coats sanding sealer, 2 coats finish lacquer, best available. Stain color to be owners choice,
  - woodwork (paint) - 1 coat oil based primer, 2 coats enamel, best available.
  - metal - 1 coat acrylic primer, 2 coats alkyd enamel, best available.
3. Wall coverings and finishes: refer to plans and allowances. Some suggestions are made, but ultimately it is up to owners discretion.

4. Floor coverings: Hardwood as suggested in some areas of floor plan, particularly in high traffic areas such as hallways. Darker in color is preferable.

Equipment and Appliances: Owners choice, refer to schedule for suggested suppliers.

### HVAC

Furnish and install services, equipment, controls, ductwork, insulation, decorative grills and decorative registers, refrigerant piping and other materials as required to provide an average annual temperature within the space of 72 degree F. The A/C and heating system to be the most energy efficient available. Size and final layout of system by mechanical contractor. Decorative grills and registers may be available from Storybook Homes.

### PLUMBING

Furnish and install all plumbing as noted on plans, including all fixtures, fittings, water/waste/vent/gas lines, valves, insulation, floor drains, etc., to provide a complete and working plumbing system. Sizes and layout of system by plumbing contractor. Note to plumbing contractor: Plenty of shut-off valves and isolation valves should be used so as to provide easy repairs and future expansions of system. Also, ball-valves should be used and not gate-valves.

Materials:

- Sanitary waste - schedule 40 PVC DWV
- Vent piping - schedule 40 PVC DWV
- Gas piping - black steel piping
- Water piping - copper
- Flashing - #4 sheet lead for sanitary vents, 16 galvanized for flues. All flashing should be primed and painted to compliment roofing and other exterior colors or copper covering should be used.

Fixtures: Refer to schedules

General Plumbing Work: (to be included in contractors base bid)

1. 1" water meter and copper supply line to house and property. Additional irrigation meter and line may be necessary, 1" minimum.
2. Water line to refrigerator
3. Connect dishwasher and disposal
4. Rough for washer with wall box
5. Frost proof sillcocks (hose bibs)
6. On-demand water heaters, two or more if necessary
7. 2" coated gas service and meter
8. 4" schedule 40 PVC DWV to sanitary sewer or septic tank, whichever applies

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# A-3.2

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# General Specs, Notes, & Guidelines 3

for building your Storybook Home

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## ELECTRICAL

Refer to drawings. Electrical diagrams included in plans should be followed as closely as possible. Furnish and install all wiring, "Home Run" wiring panel boxes, circuit breakers, switches, receptacles, etc., for complete working electrical systems. Size of service, layout of circuits, etc., by electrical contractor. Contractor shall include telephone, speaker, co-ax cable, fiber optic, and alarm pre-wiring. Service to home shall be sized for future additions such as finishing off the basement, adding additional garages or shop space.

### Materials

Wiring - copper throughout

Circuit breakers - "Square - D" or equal

Fixtures - refer to schedule on plans and consult project owner for choices.

Switches - Leviton or equal

Telephone - minimum category 5e, 4 pair strand

Cable T.V. - co-ax RGB 6 or better, two co-ax cables (one white in color, and one black in color) to every drop.

Fiber Optic - intranet and Internet pre-wiring and connections.

Alarm system pre-wire - minimum 16 gage to every window and door on main level.

Stereo speaker pre-wire - minimum, two drops in every room.

## GENERAL NOTES

Should local codes and /or ordinances differ from these plans, a determination shall be made by the general contractor and /or local building official as to which is the most stringent. The most stringent requirement shall rule. Should a change in these plans be necessary or desired which will alter the design or structural integrity of the structure(s), consult with a qualified structural engineer or architect to verify that such a change will not be detrimental to the structural integrity of the structure(s) prior to implementing the change.

**IMPORTANT:** Contractor to verify all dimensions in field.

Framing standards and/or requirements may vary from one location to another. In some areas, more stringent framing connections or methods may be necessary. It is not the intent of these drawings to show engineered connections meetings all requirements for all areas. It is the responsibility of the owner and contractor to review and revise, if necessary, any framing connections or structural members, in order to meet local standards, codes or requirements.

Install all bracing, stiff-backs, blocking, etc., as required per good framing practices.

All 2x6 and 2x4 walls are dimensioned as nominal 6" and 4" walls respectively.

Typical headers at all 6" walls will be 2-2x12's with 2 1/2" blocking spaced at 24" on center.

Typical headers at all 4" wall will be 2-2x12's with 1/2" plywood spacers at 24" on center, unless otherwise noted.

Use joist hangers at all flush beams and headers.

Install double joist under all parallel partitions above.

Install double joist at each side of openings. Examples: chimneys, stairwells, etc.

All water lines located in outside walls are to be insulated.

Install perforated foundation drain around perimeter of basement footing if local conditions and codes require.

Verify actual thickness of brick and stone with mason to make any adjustments to the roof overhang of eaves.

It is suggested that all drain pipe traveling down from any upper floor to any lower floor be either cast-iron or insulated, as to deaden sound of flowing water.

## Suggested Sources and Ideas

### ANTIQUES

Belcour  
303-765-5151  
www.belcour.net

Gatehouse Antiques  
417-582-2420  
www.gatehouseantiques.com

The Uncommon Market  
214-871-2775  
www.dfwantiquedealers.com/uncommon  
market/index.htm

### ARCHITECTURAL SALVAGE

Contact Storybook Homes for more information regarding their latest salvaged materials, fixtures, and components.

### APPLIANCES

Heartland Appliances Inc.  
800-361-1517  
www.heartlandapp.com

Good Time Stove  
413-268-3677  
www.goodtimestove.com

Wood Stone  
800-988-8074  
www.woodstonehome.com  
Contact: Jana Logan

### CABINETS

William Ohs  
303-371-6550  
www.wmohs.com

### CHIMNEY POTS

The Chimney Pot Shoppe  
724-345-3601  
www.chimneypot.net

No. 9 Studio UK  
+ 44 (0) 1769 540471  
www.no9uk.com

### CONSERVATORIES

Tanglewood Conservatories  
1-800-229-2925  
www.tanglewoodconservatories.com  
Contact: Nancy Virts

### DOORS

Carriage House Door Co.  
1-866-890-1776  
www.carriagedoor.com

Erik Wyckoff Artworks  
612-617-0446

Old World Door Company  
425-941-6364  
www.old-world-door.com

### ELECTRICAL & MISC.

Classic Accents  
800-245-7742  
www.classicaccents.net

### FIREPLACES

Tartaruga Design Inc.  
877-762-0418  
www.tartarugadesign.com

The Victorian Fireplace  
866-GASCOALS  
www.thevictorianfireplace.com

### FIXTURES, PLUMBING

Herbeau Creations of America  
800-547-1608  
www.herbeau.com

Vintage Plumbing  
818-772-1721  
www.vintageplumbing.com

### FLOORING

Carlisle Wide Plank Floors  
800-595-9663  
www.wideplankflooring.com  
Contact - Sarah 303-893-3940

Countour Flooring  
914-737-8201  
www.cordtsco.com

Kellogg Hardwood Lumber  
877-721-WOOD (9663)  
www.kellogghardwoods.com

### HARDWARE

Storybook Homes Hardware  
888-Once-Upon  
www.storybookhomes.com

### LIGHTING

Storybook Lighting by Mica Lamps  
888-662-3876  
www.storybookhomes.com

Hans Duus Blacksmith, Inc.  
805-688-9731  
www.hansduusblacksmith.com

Steven Handelman Studios, Inc.  
805-962-5119  
www.stevenhandelmanstudios.com

### METALS / COPPER

A.B. Raingutters Inc.  
714-577-8369  
www.abraingutters.com

Copper Craft  
800-486-2723  
www.coppercraft.com

Copper Summit Inc.  
918-230-8725  
www.coppersummitinc.com

EJM Copper Inc.  
407-447-0074  
www.ejmcopper.com

Hans Liebscher Custom Copper Works  
760-471-5114  
www.hanscopper.com

### ROOFING

Northern Roof Tiles  
888-678-6866  
www.northernrooftiles.com  
contact - Stuart Matthews

Bartile Roofs, Inc.  
www.bartile.com  
800-933-5038

C&H Roofing/Country Cottage Roof, Inc.  
877-7-THATCH  
800-327-8115  
www.chroofing.com

McGhee & Co. Roof Thatchers  
888-842-8241  
www.thatching.com

Storybook Roof  
800-971-7860  
www.storybookroof.com

### STONE, BRICK, & CONCRETE ACCENTS

Storybook Homes Architectural Salvage  
We sell used brick, contact for information  
888-662-3876  
www.storybookhomes.com

Gavin Historical Bricks  
319-354-5251  
www.historicalbricks.com

Jim Stringer Masonry  
951-657-9187  
www.toddlertime.com/jimstringermasonry/index.htm

Materials Marketing  
800-368-3901  
www.materials-marketing.com

Stone Legends  
800-398-1199  
www.stonelegends.com  
contact - Stuart Sharp

### WINDOWS

Hyland Studios  
408-748-1806  
www.hylandstudio.com

Point Five Windows  
970-482-6971  
www.point-five-windows.com

### WOODWORKING

Architectural Paneling, Inc.  
212-371-9632

Renaissance Old World  
888-renaissance  
www.carving.com

Capital Cresting  
800-442-4766

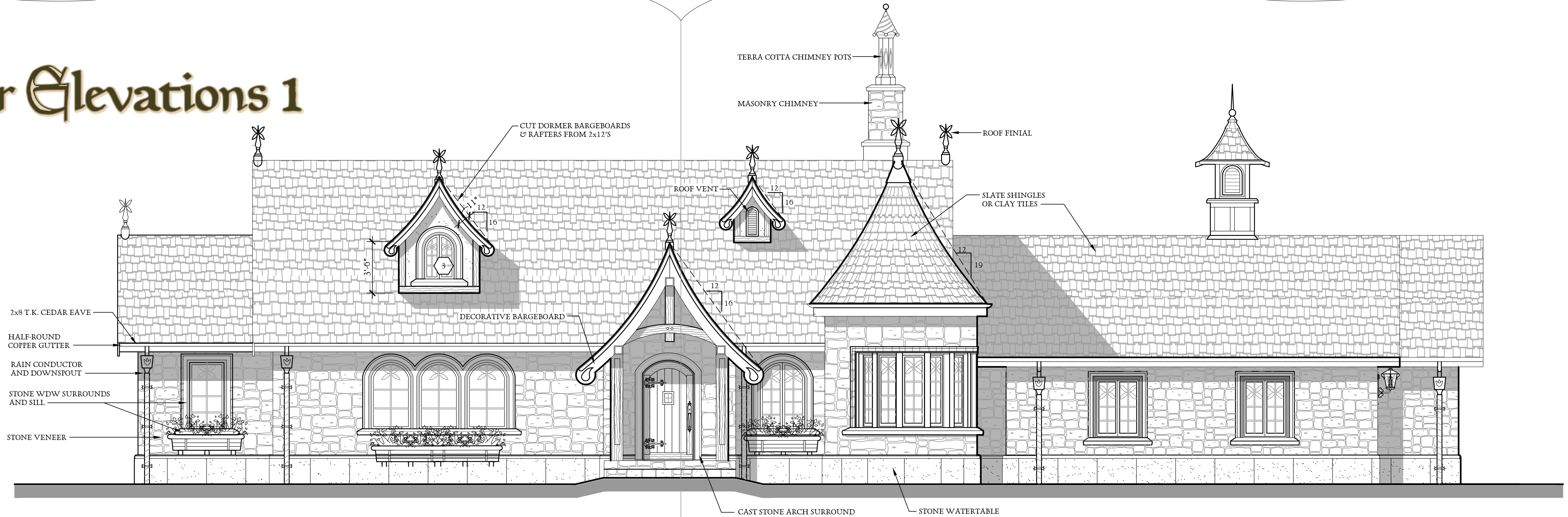
Woodsmiths  
800-874-2876  
www.woodsmiths.net

### MAGAZINES/CATALOGS

Cottages & Bungalows  
New Old House  
Old House Journal's Traditional Products  
Old House Historic House Plans  
Period Homes



# Exterior Elevations 1



**Front Elevation**

Scale : 1/4" = 1'-0"



**Left Elevation**

Scale : 1/4" = 1'-0"

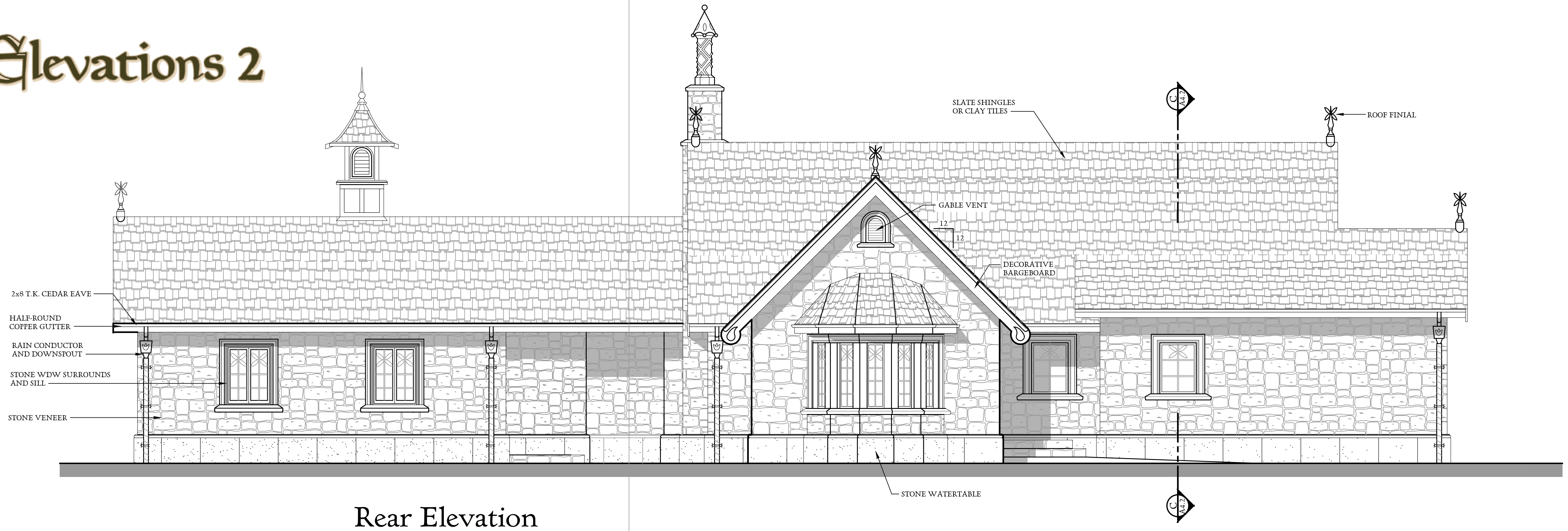


**Right Elevation**

Scale : 1/4" = 1'-0"

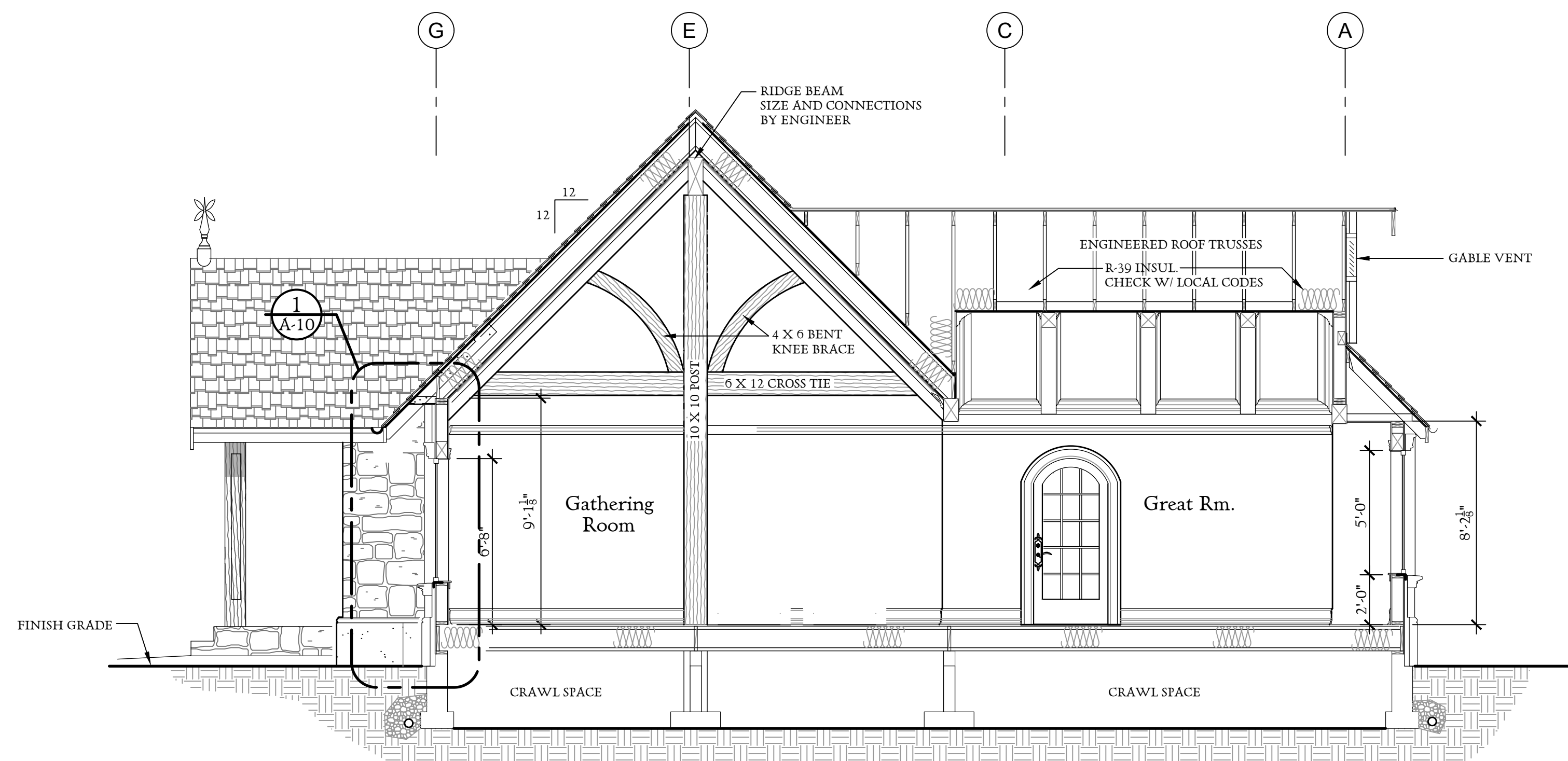


# Exterior Elevations 2



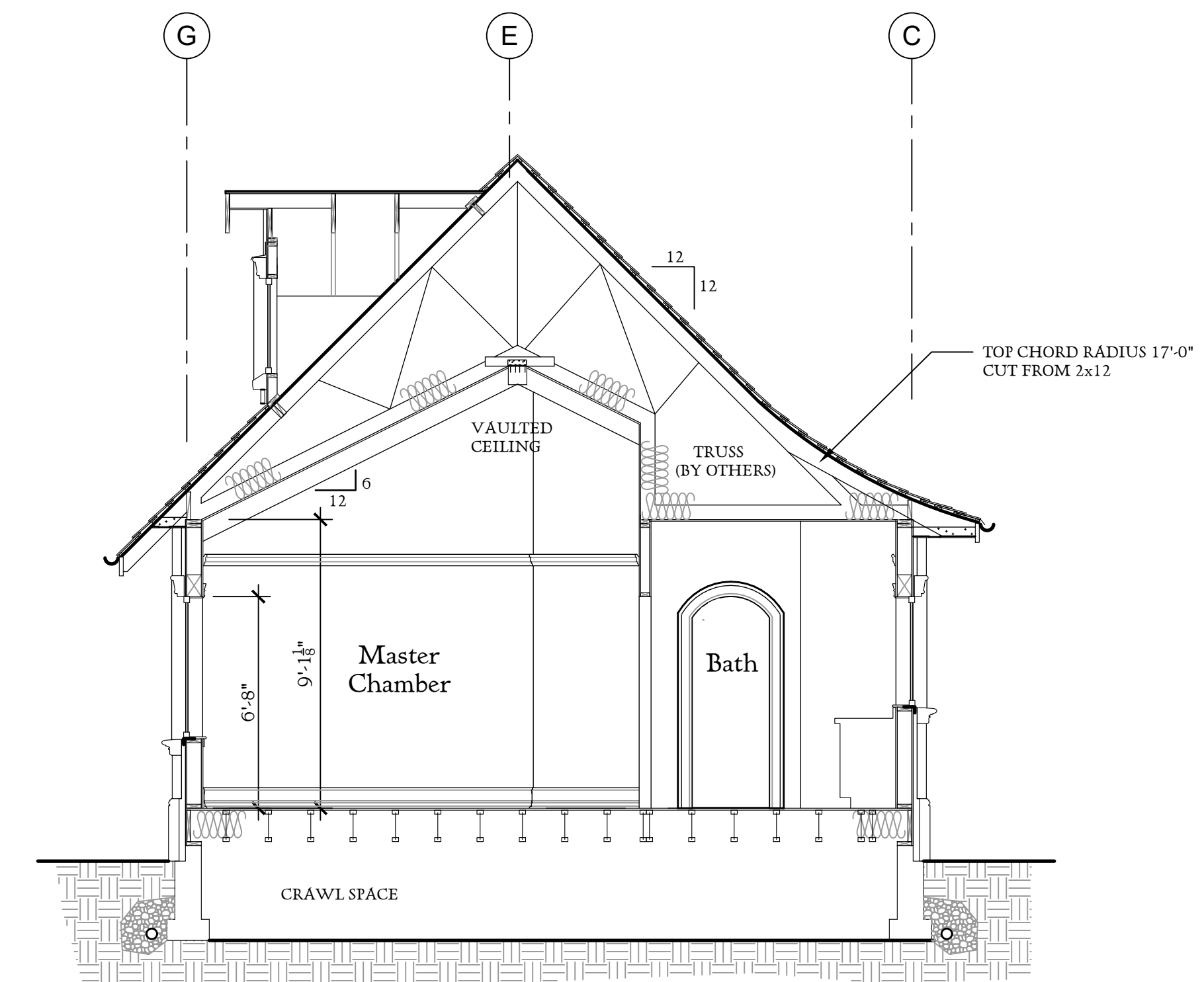
**Rear Elevation**

Scale : 1/4" = 1'-0"



**Building Section A - A**

Scale : 1/4" = 1'-0"

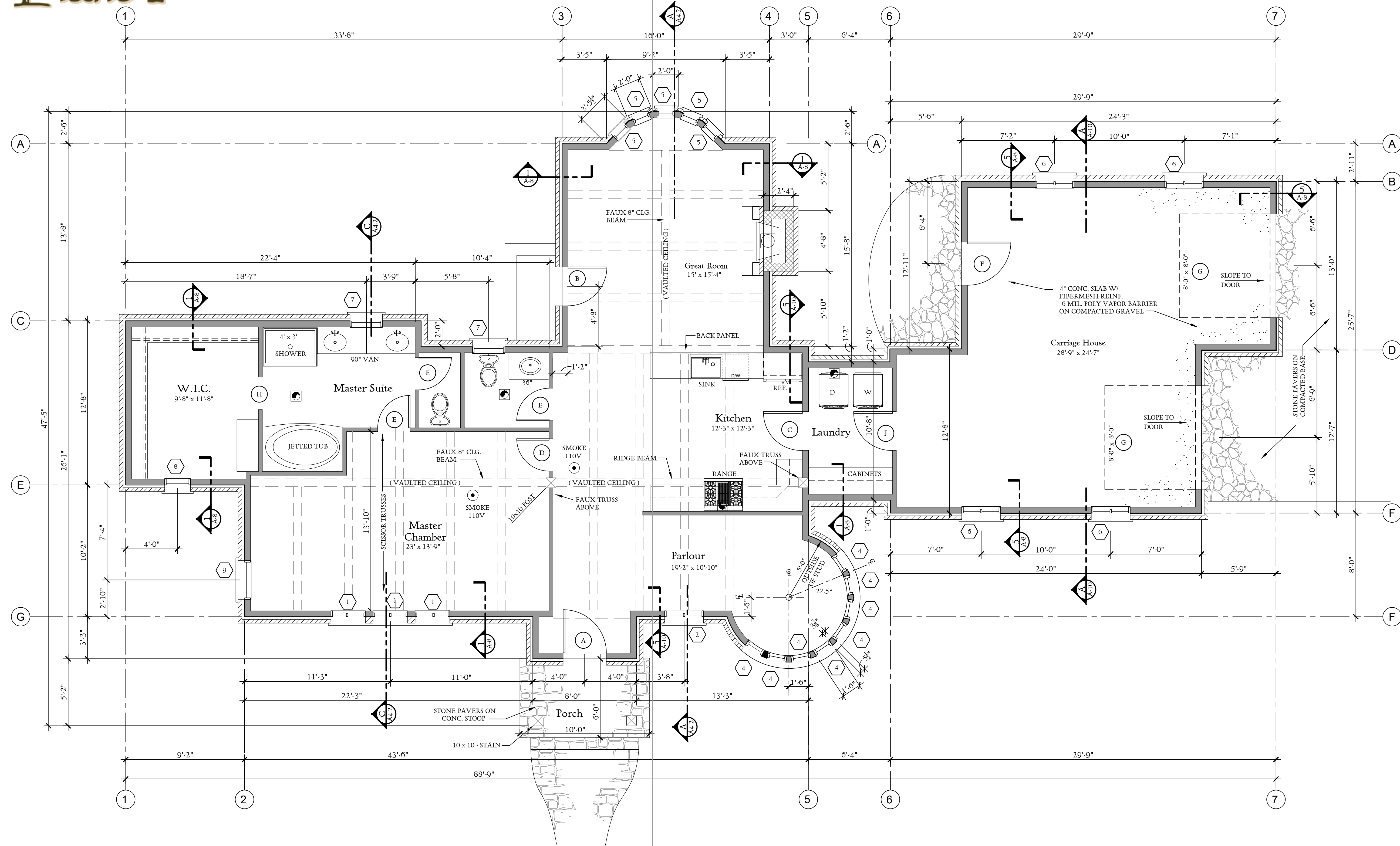


**Building Section C - C**

Scale : 1/4" = 1'-0"



# Floor Plans 1



**Main Floor Plan**

Scale : 1/4" = 1'-0"

|               |            |
|---------------|------------|
| Heated Area : | 1,456 s.f. |
| Garage :      | 613 s.f.   |
| Total :       | 2,069 s.f. |

Plot Date : JAN. 10, 2023



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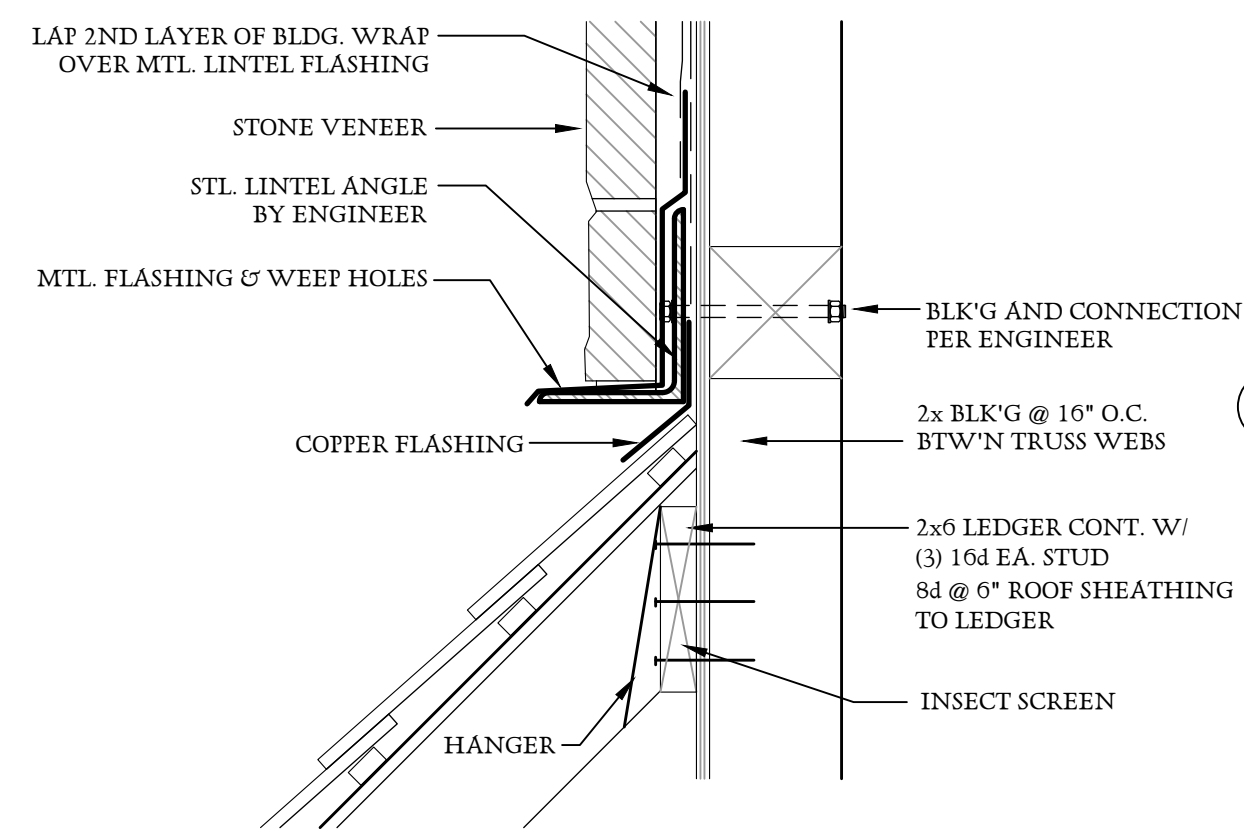
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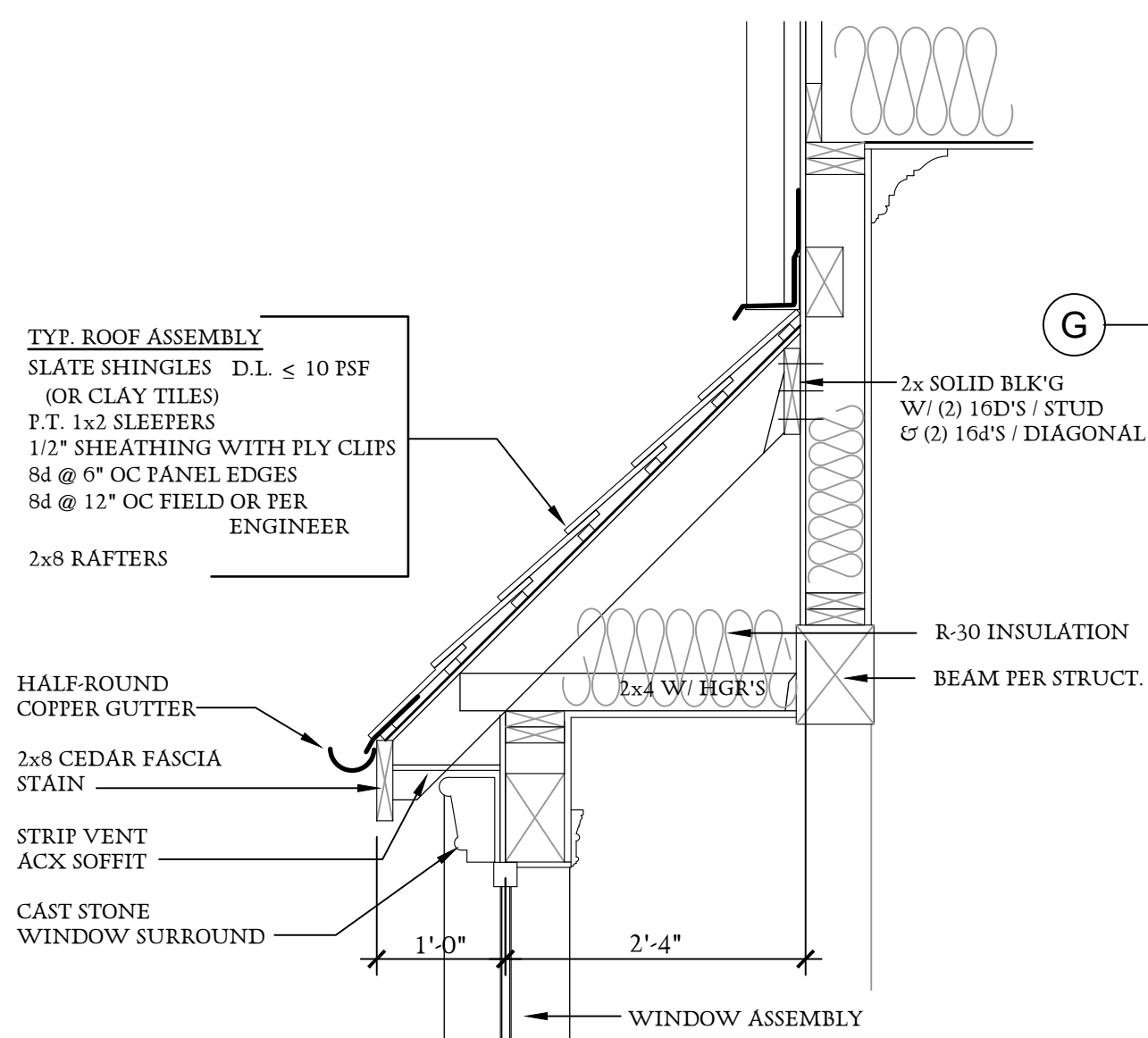
# A-5



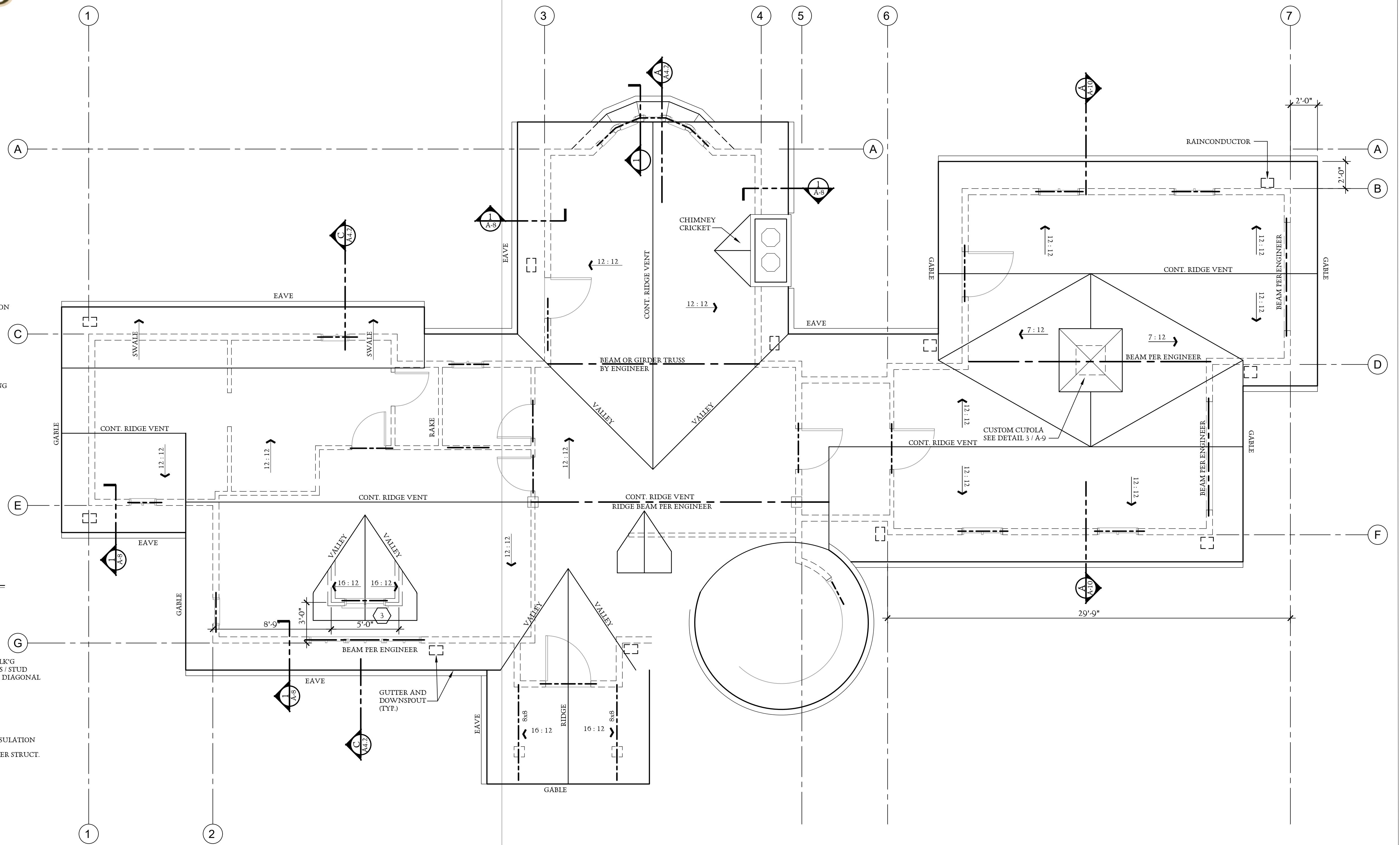
# Roof Framing



**1 ROOF / LEDGER DETAIL**  
 SCALE: 1-1/2" = 1'-0"



**2 BAY WINDOW ROOF SECTION**  
 SCALE: 3/4" = 1'-0"

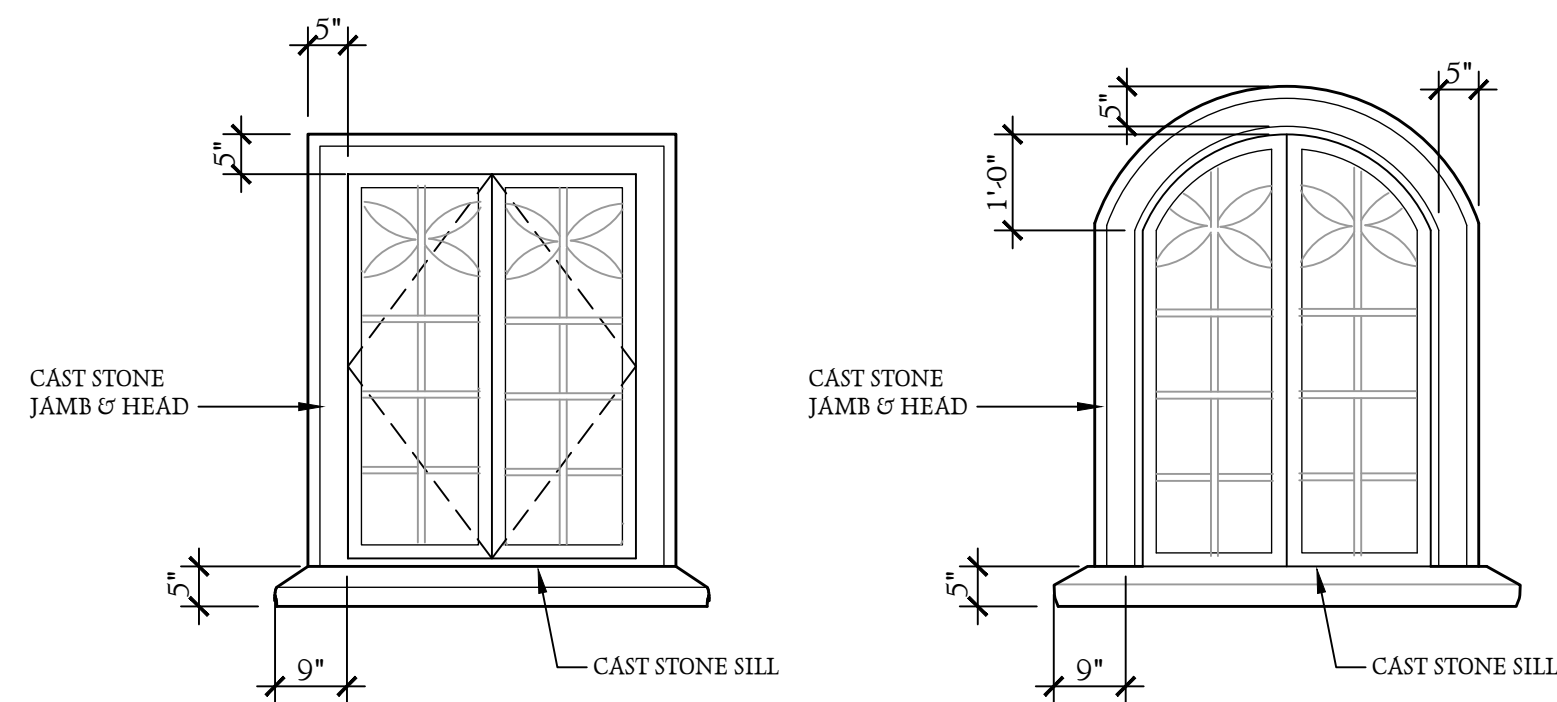
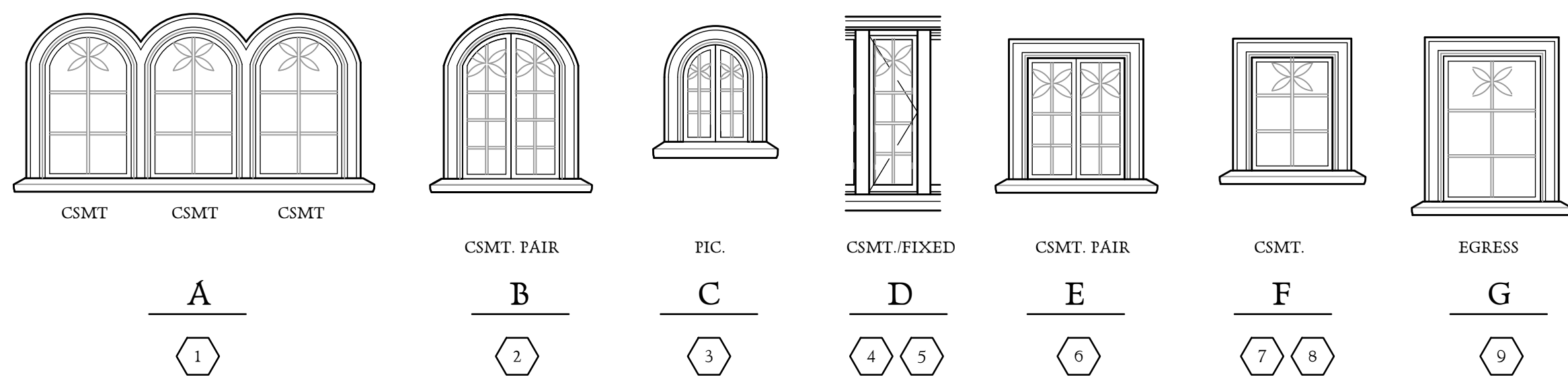


**Roof Plan**  
 Scale : 1/4" = 1'-0"

# Door & Window Schedules

Note: Please verify all window and door quantity and sizes BEFORE ordering.

| WINDOW SCHEDULE |       |       |      |          |        |       |  |
|-----------------|-------|-------|------|----------|--------|-------|--|
| MARK            | WIDE  | HIGH  | TYPE | QUANTITY | INSUL. | FRAME | REMARKS  |
| 1               | 2'-8" | 4'-6" | A    | 3        | YES    | WOOD  | (2) ARCHED CASEMENT PAIRS, PIC. IN MIDDLE. SEPARATE. |
| 2               | 3'-0" | 4'-6" | B    | 1        | YES    | WOOD  | CASEMENT PAIR W/ SEGMENTAL ARCH                      |
| 3               | 2'-0" | 3'-0" | C    | 1        | YES    | WOOD  | PIC AT ROOF DORMER                                   |
| 4               | 1'-6" | 5'-0" | D    | 8        | YES    | WOOD  | CASEMENT/FIXED PER OWNER'S CHOICE                    |
| 5               | 1'-2" | 4'-6" | D    | 5        | YES    | WOOD  | CSMT./FIXED  |
| 6               | 3'-0" | 4'-0" | E    | 4        | YES    | WOOD  | CASEMENT PAIR  |
| 7               | 2'-4" | 3'-6" | F    | 2        | YES    | WOOD  | CASEMENT   |
| 8               | 2'-4" | 4'-6" | F    | 1        | YES    | WOOD  | CASEMENT   |
| 9               | 3'-0" | 4'-6" | G    | 1        | YES    | WOOD  | EGRESS CASEMENT                                      |

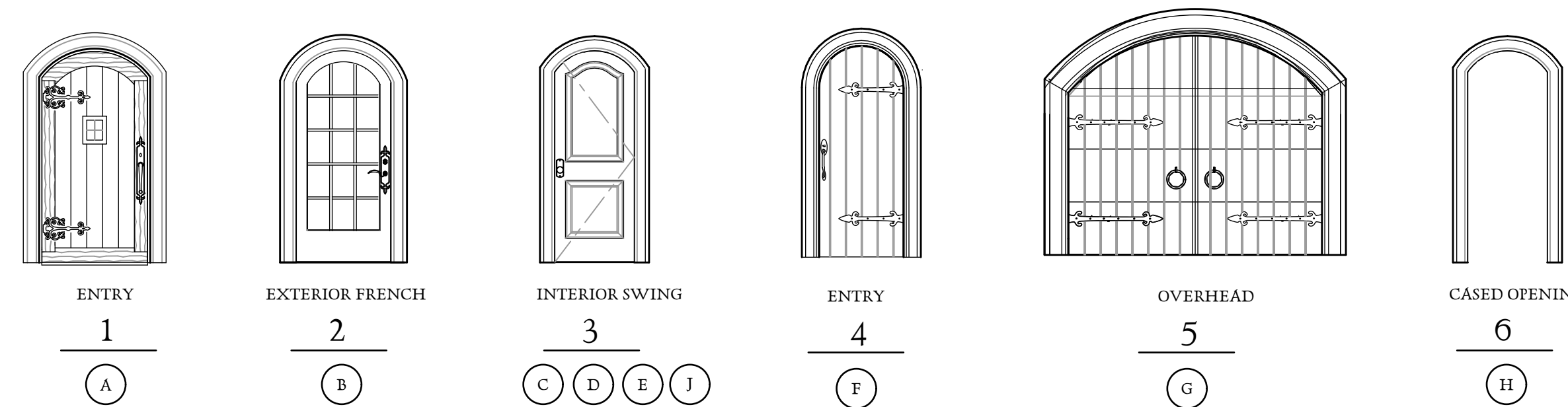


1 TYP. WINDOW SURROUND  
 SCALE: 1/2" = 1'-0"

- NOTES**
- All windows to be recessed, not flush mount.
  - All windows to have cast stone jamb, sill and head exterior. 5-1/2" stain grade jambs and head interior.
  - All windows to be wood with metal cladding.
  - See exterior building elevations for additional detail and window head locations.

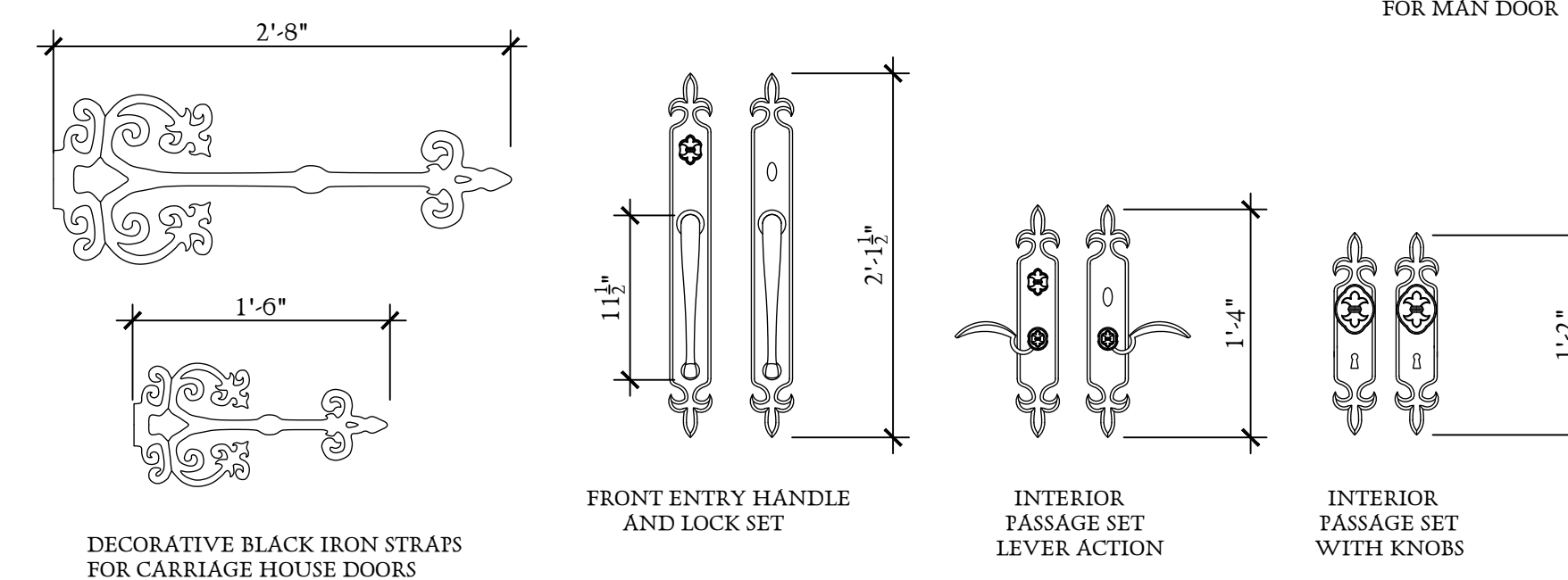
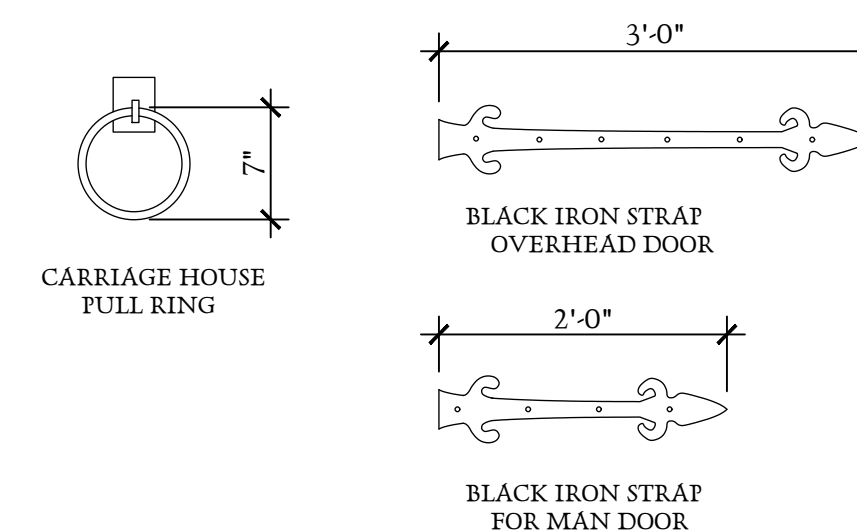
Note: Please verify all window and door quantity and sizes BEFORE ordering.

| DOOR SCHEDULE |       |       |        |      |          |       |                 |        |       |  |
|---------------|-------|-------|--------|------|----------|-------|-----------------|--------|-------|--|
| MARK          | WIDE  | HIGH  | THK.   | TYPE | QUANTITY | HDWRE | CONST. / FINISH | T'HLID | FRAME | REMARKS                                    |
| A             | 3'-0" | 6'-8" | 2"     | 1    | 1        |       | SOLID WD.       | YES    | WD.   | SOLID TIMBER DOOR                          |
| B             | 3'-0" | 6'-8" | 1 1/2" | 2    | 1        |       |                 | YES    |       | EXTERIOR FRENCH DOOR                       |
| C             | 3'-0" | 6'-8" | 1 1/2" | 3    | 1        |       |                 | NO     |       | INTERIOR SWING                             |
| D             | 2'-8" | 6'-8" | 1 1/2" | 3    | 1        |       |                 | NO     |       | INTERIOR SWING                             |
| E             | 2'-6" | 6'-8" | 1 1/2" | 3    | 3        |       |                 |        |       | INTERIOR SWING                             |
| F             | 3'-0" | 6'-8" | 1 1/2" | 4    | 1        |       |                 |        |       | SOLID TIMBER DOOR, CARRIAGE HOUSE MAN DOOR |
| G             | 8'-0" | 8'-0" | 2"     | 5    | 2        |       |                 |        |       | OVERHEAD GARAGE DOOR WITH TIMBER PLANKING  |
| H             | 2'-6" | 6'-8" | 1 1/2" | 6    | 1        |       |                 |        |       | CASED OPENING W.L.C.                       |
| J             | 3'-0" | 6'-8" | 1 1/2" | 3    | 1        |       |                 | YES    |       | SOLID CORE, SMOKE GASKET                   |



**NOTES**

- See Specifications for suggested sources of Door Hardware.
- All exterior doors to be recessed, not flush mount.
- All doors to have cast stone jamb and head exterior, 6" stain grade molding interior.
- All interior doors to be solid core, stain grade.



**DOOR HARDWARE**  
 SCALE: NONE

REFER TO STORYBOOK HOMES FOR AVAILABILITY

Plot Date : JAN. 10, 2023

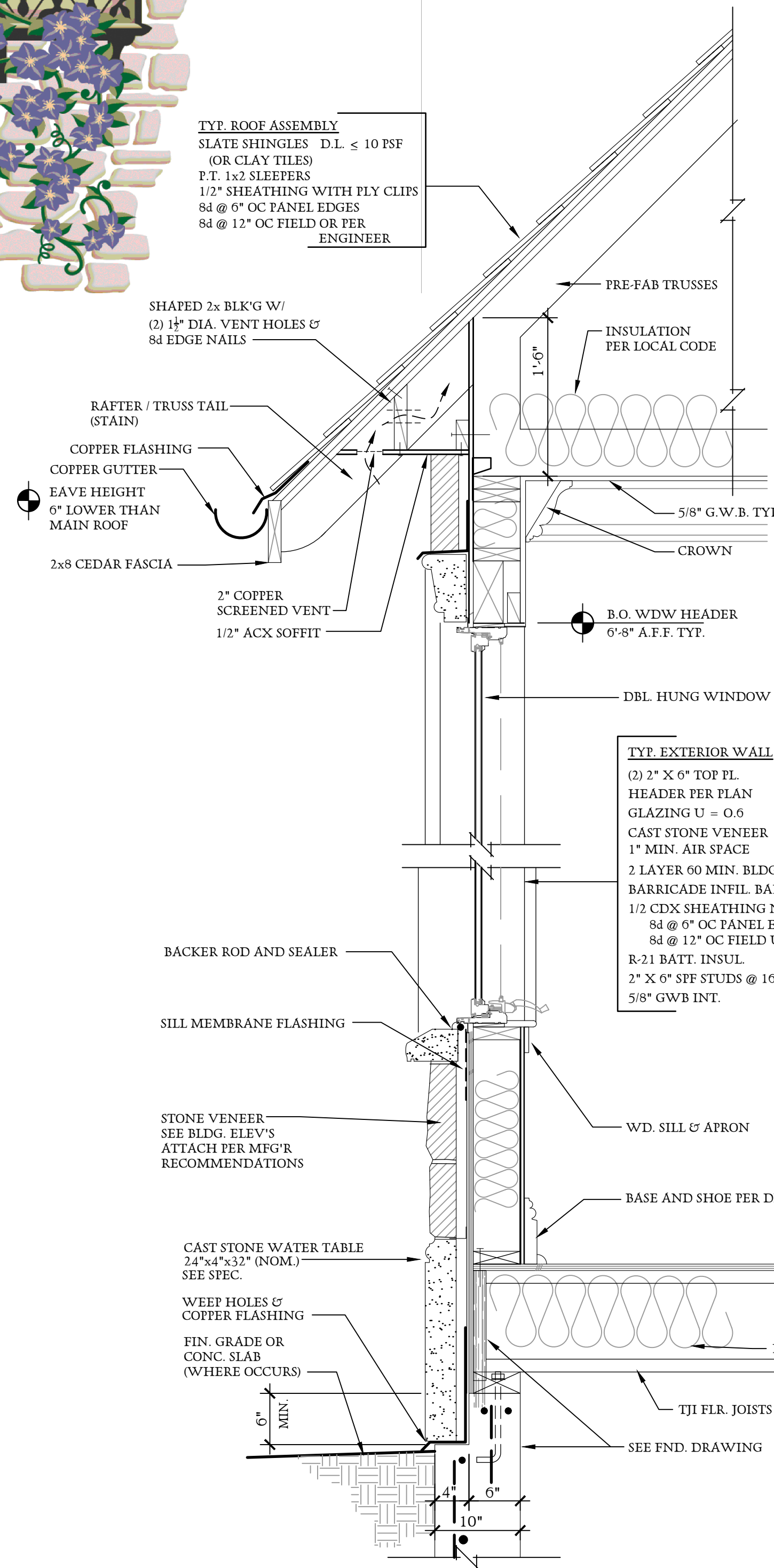
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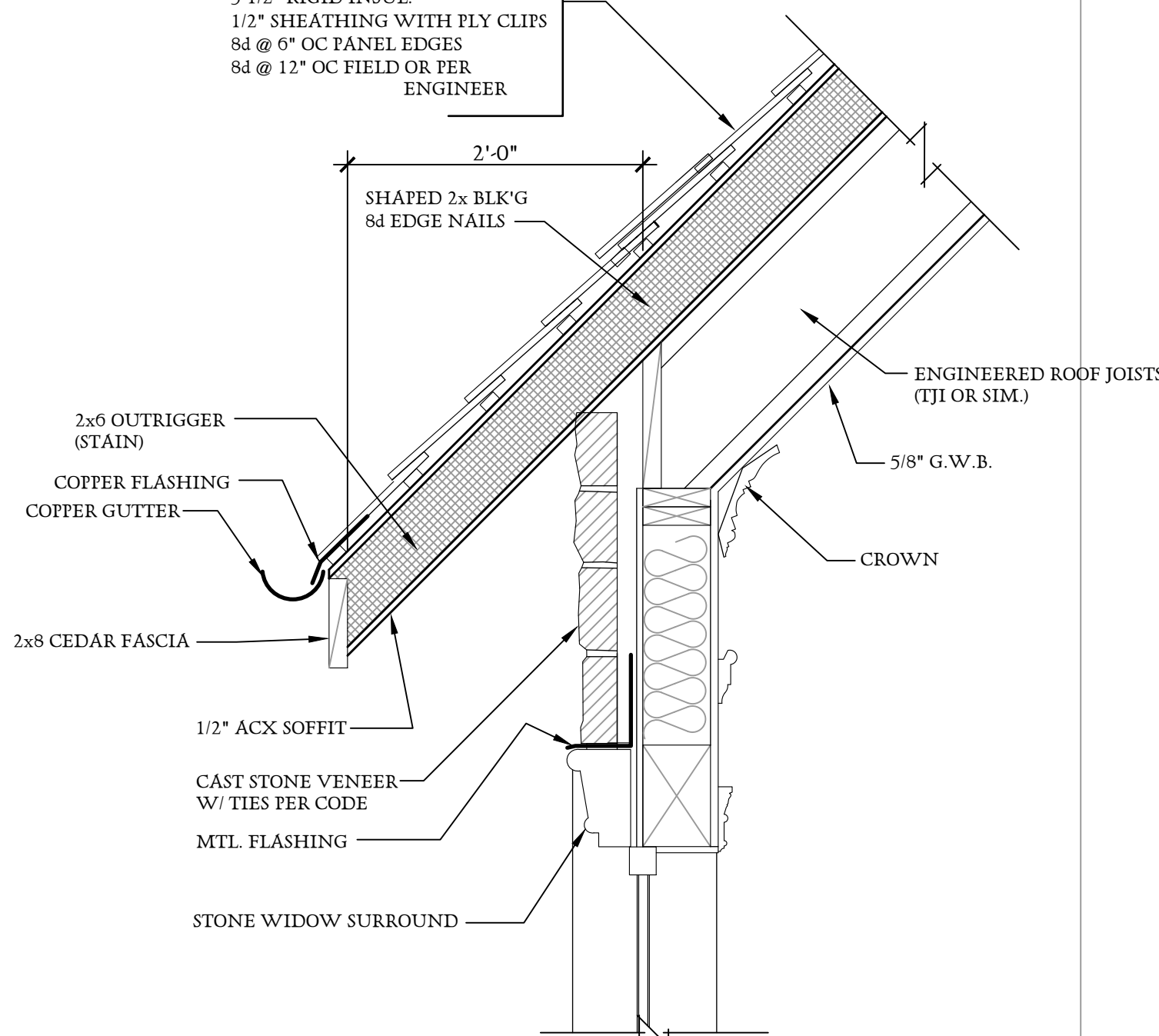
# Details 1

**TYP. ROOF ASSEMBLY**  
SLATE SHINGLES D.L. ≤ 10 PSF (OR CLAY TILES)  
P.T. 1x2 SLEEPERS  
1/2" SHEATHING WITH PLY CLIPS  
8d @ 6" OC PANEL EDGES  
8d @ 12" OC FIELD OR PER ENGINEER

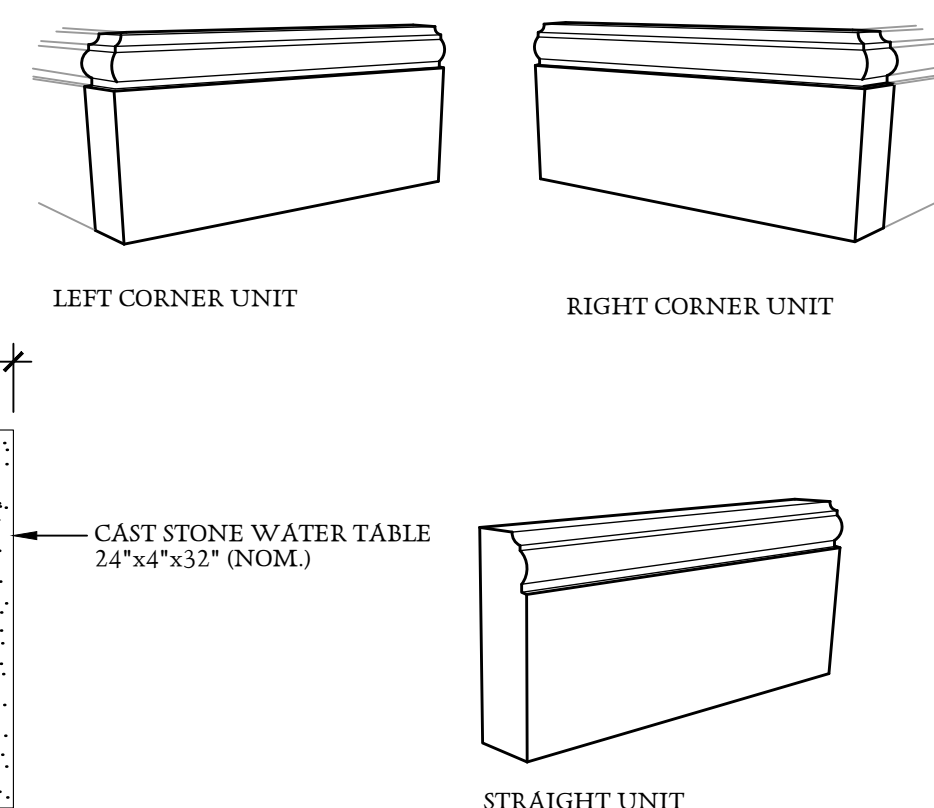


1 TYP. WALL SECTION  
SCALE: 1" = 1'-0"

**TYP. ROOF ASSEMBLY**  
SLATE SHINGLES D.L. ≤ 10 PSF (OR CLAY TILES)  
P.T. 1x2 SLEEPERS  
30 LB ROOF PAPER  
1/2" CDX ROOF SHEATHING ON 2x6 SARKING @ 24" O.C.  
5 1/2" RIGID INSUL.  
1/2" SHEATHING WITH PLY CLIPS  
8d @ 6" OC PANEL EDGES  
8d @ 12" OC FIELD OR PER ENGINEER

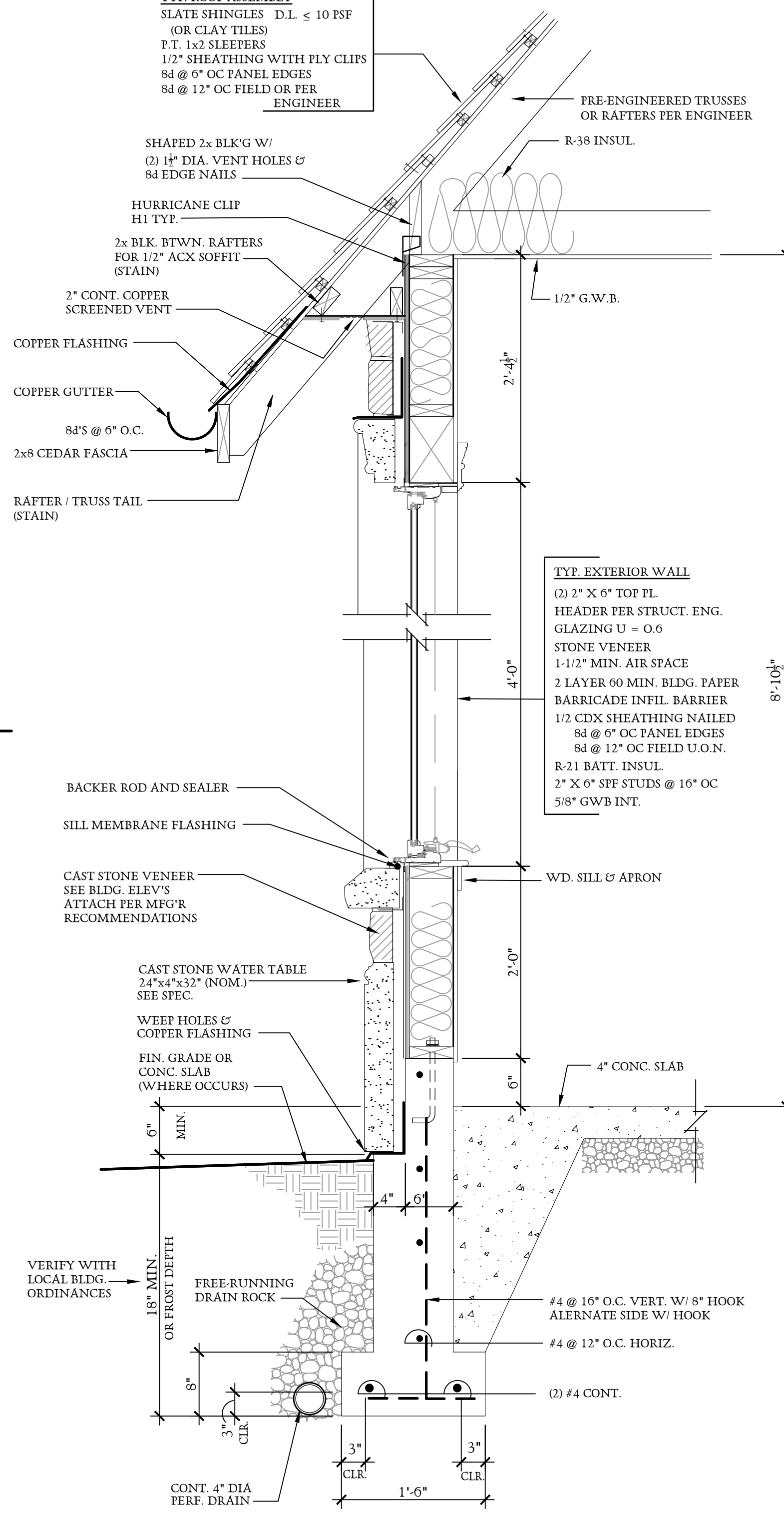


2 WALL SECTION @ VAULTED CEILING  
SCALE: 1" = 1'-0"

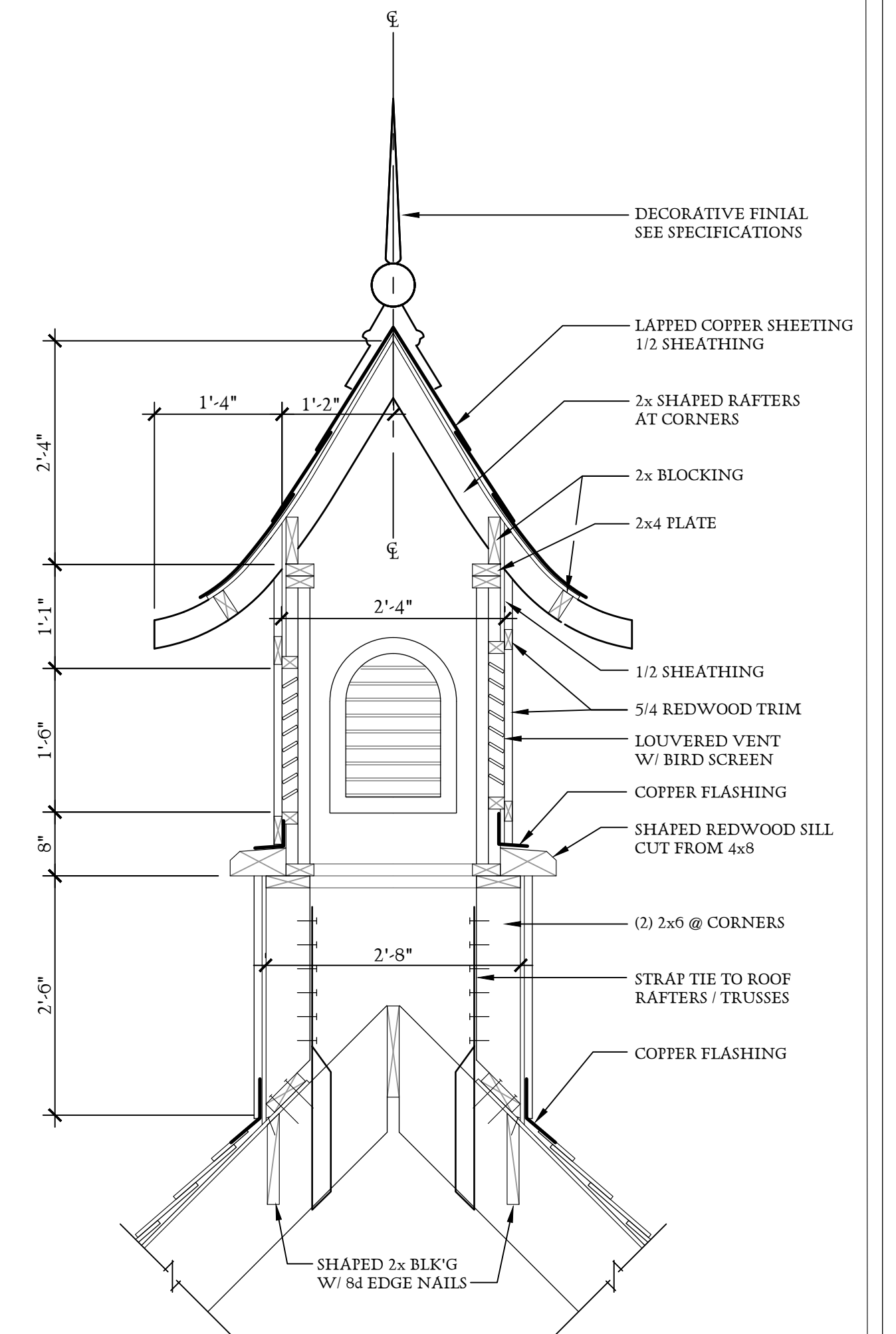


4 TYPICAL WATER TABLE  
SCALE: NONE

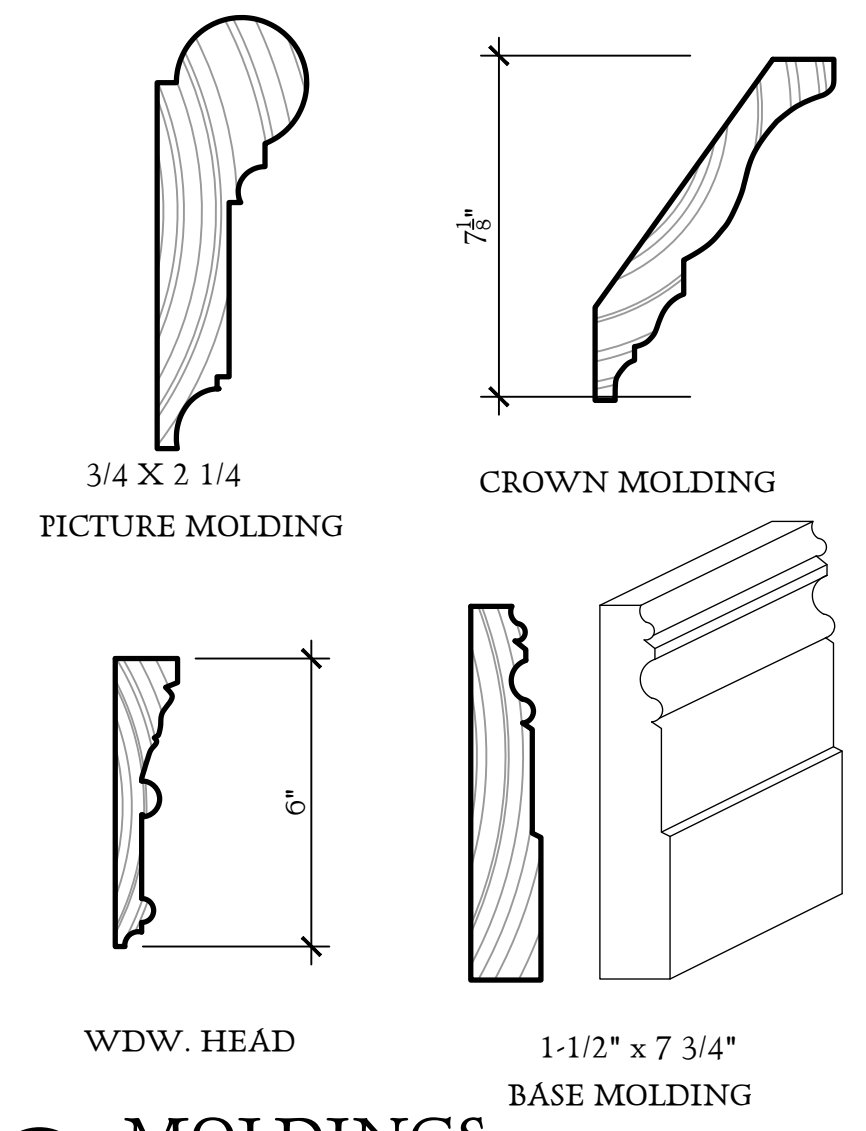
**TYP. ROOF ASSEMBLY**  
SLATE SHINGLES D.L. ≤ 10 PSF (OR CLAY TILES)  
P.T. 1x2 SLEEPERS  
1/2" SHEATHING WITH PLY CLIPS  
8d @ 6" OC PANEL EDGES  
8d @ 12" OC FIELD OR PER ENGINEER



5 TYP. WALL SECTION AT GARAGE  
SCALE: 1" = 1'-0"



3 VENTED CUPOLA DETAIL  
SCALE: 3/4" = 1'-0"

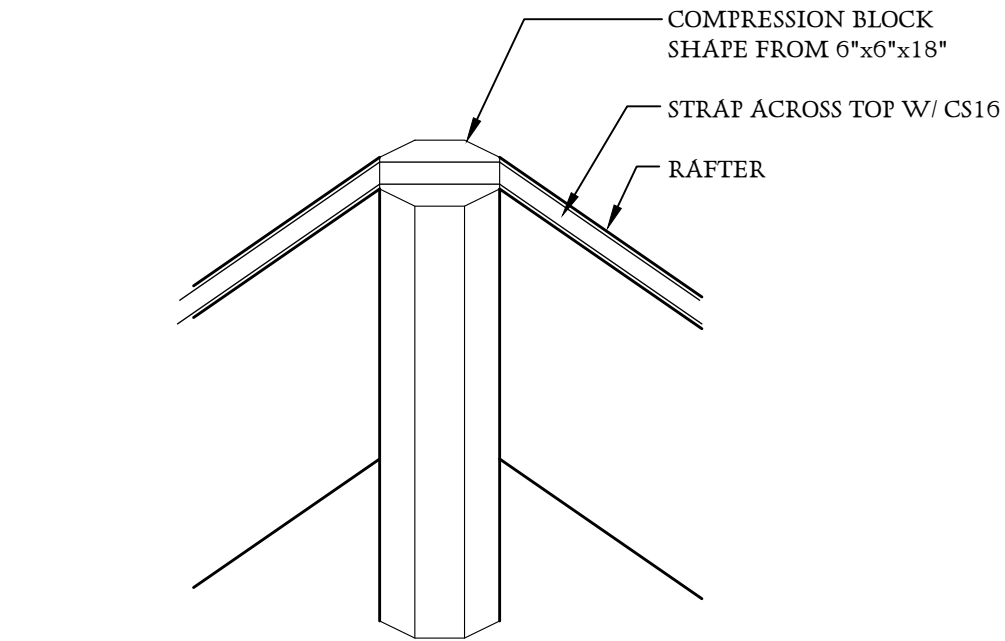


6 MOLDINGS  
SCALE:

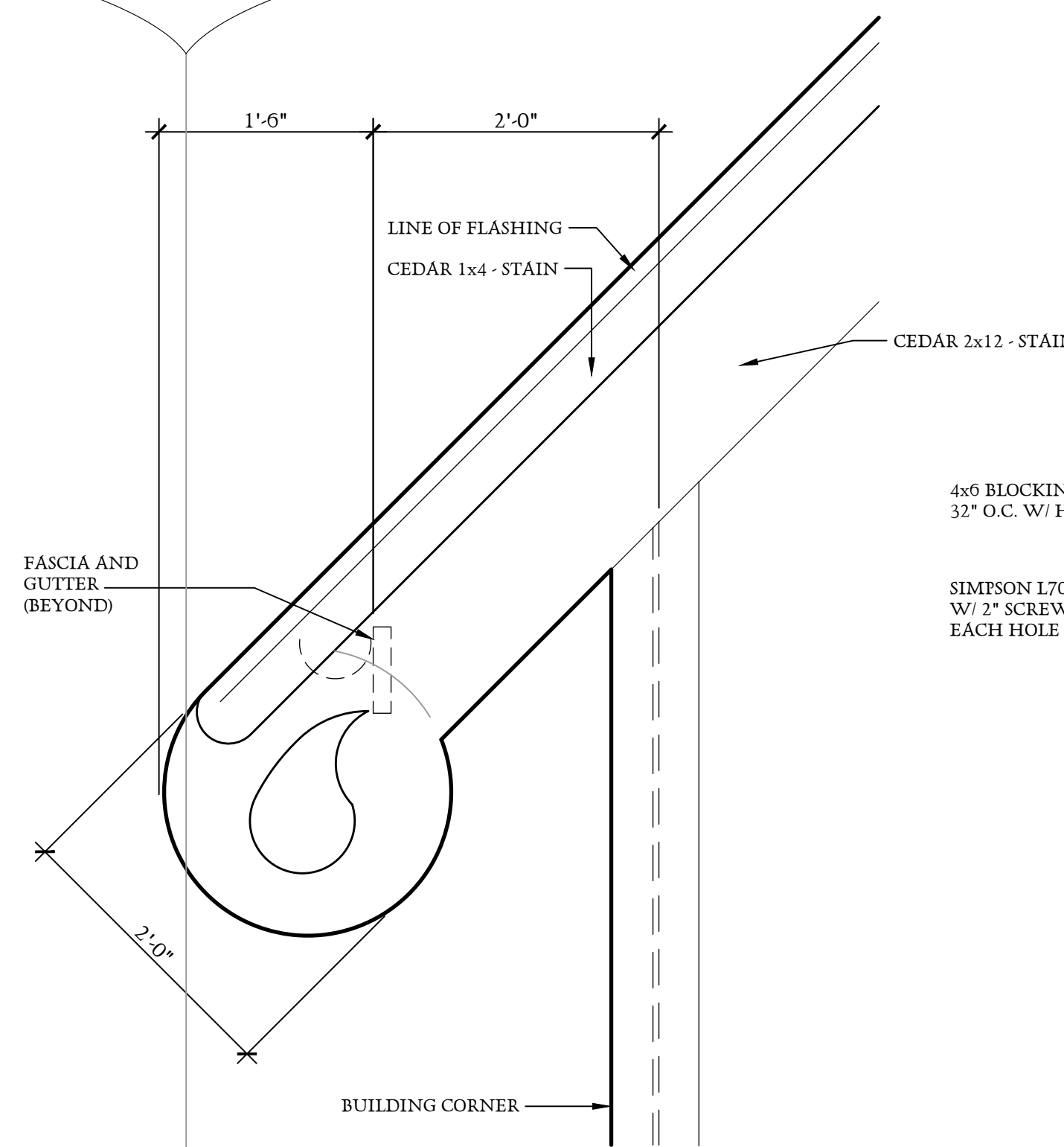
Plot Date : JAN. 10, 2023

**IMPORTANT:**

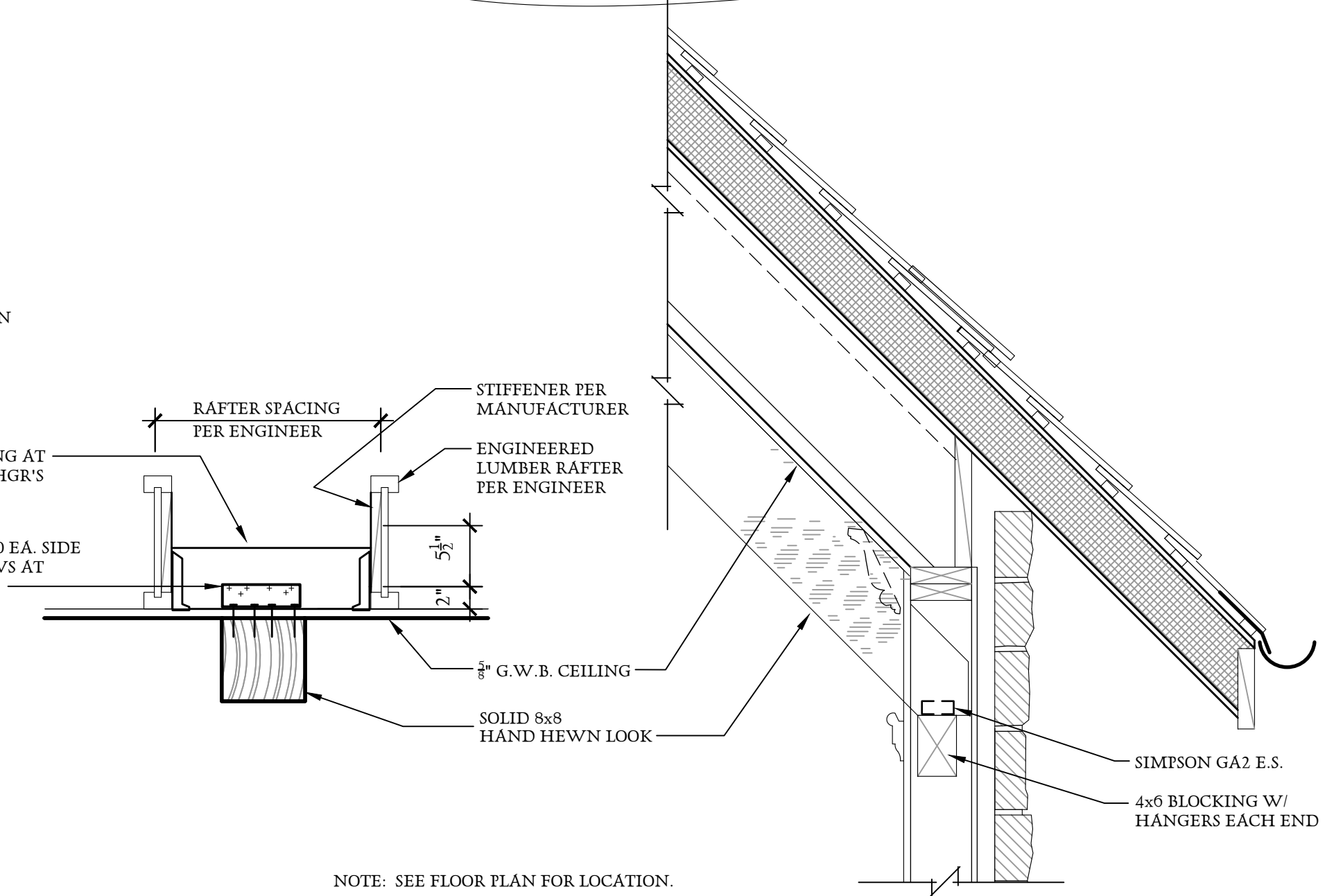
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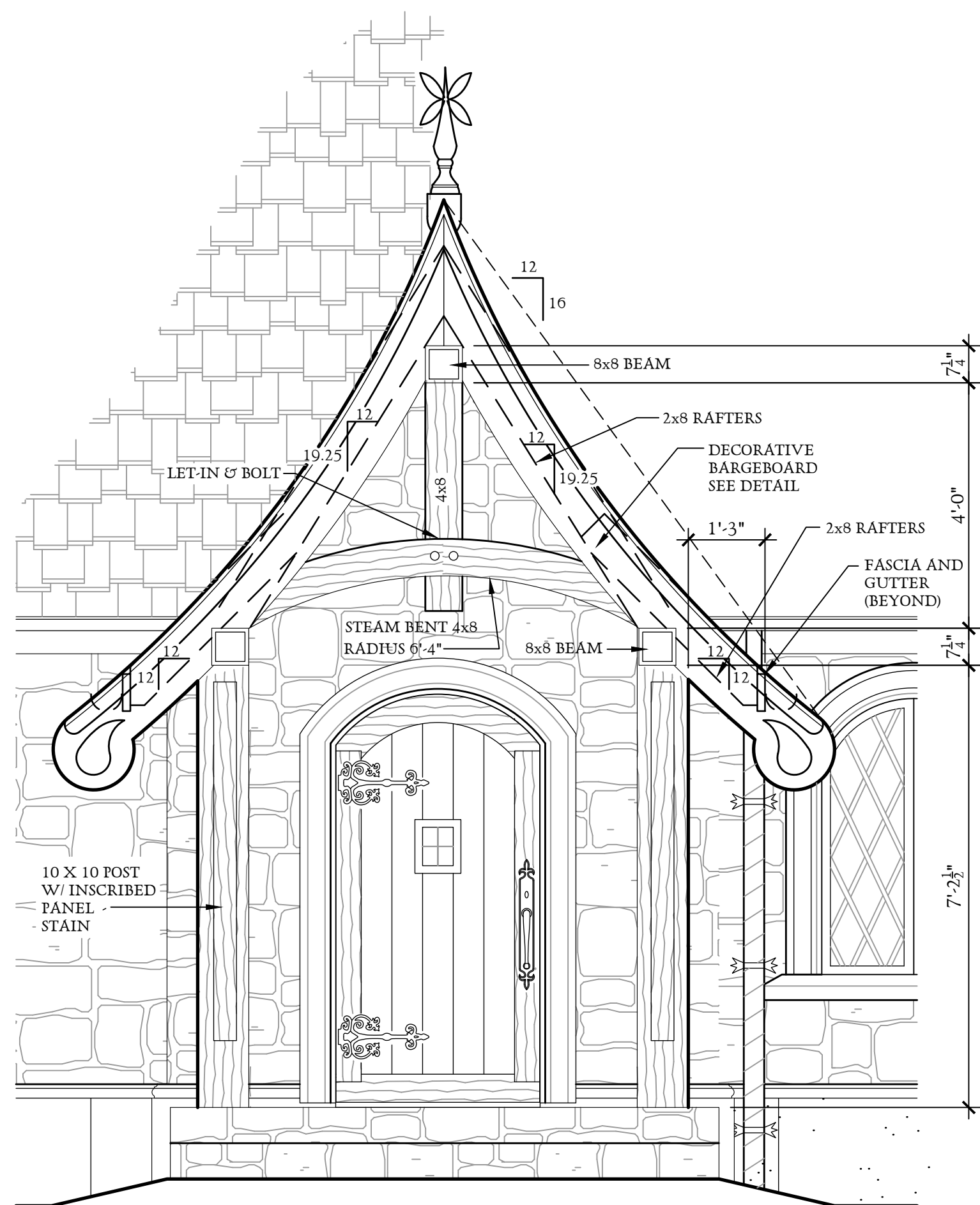
1 PEAK CONNECTION  
SCALE: 1 1/2" = 1'-0"



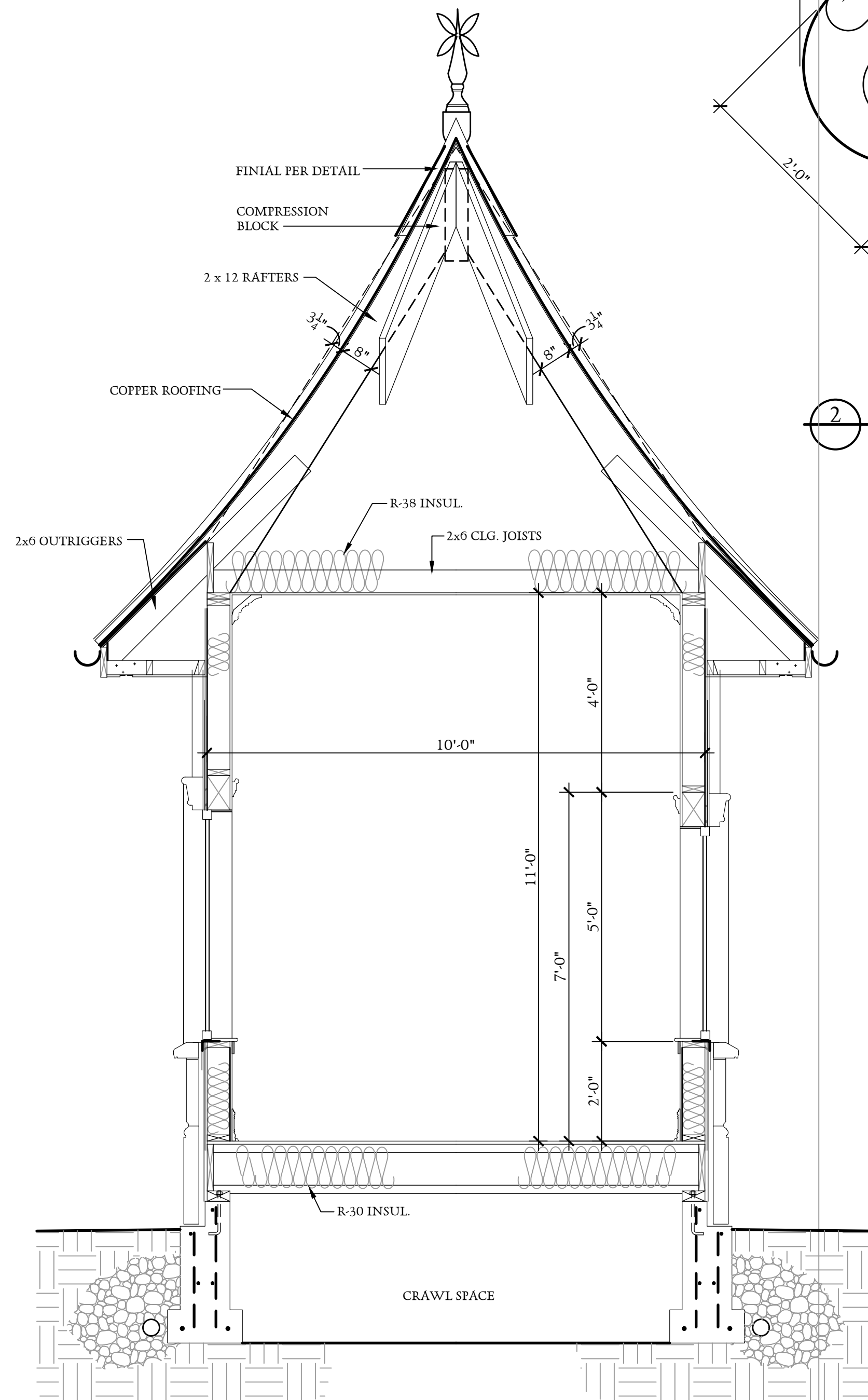
2 BARGEBOARD ELEVATION  
SCALE: 1" = 1'-0"



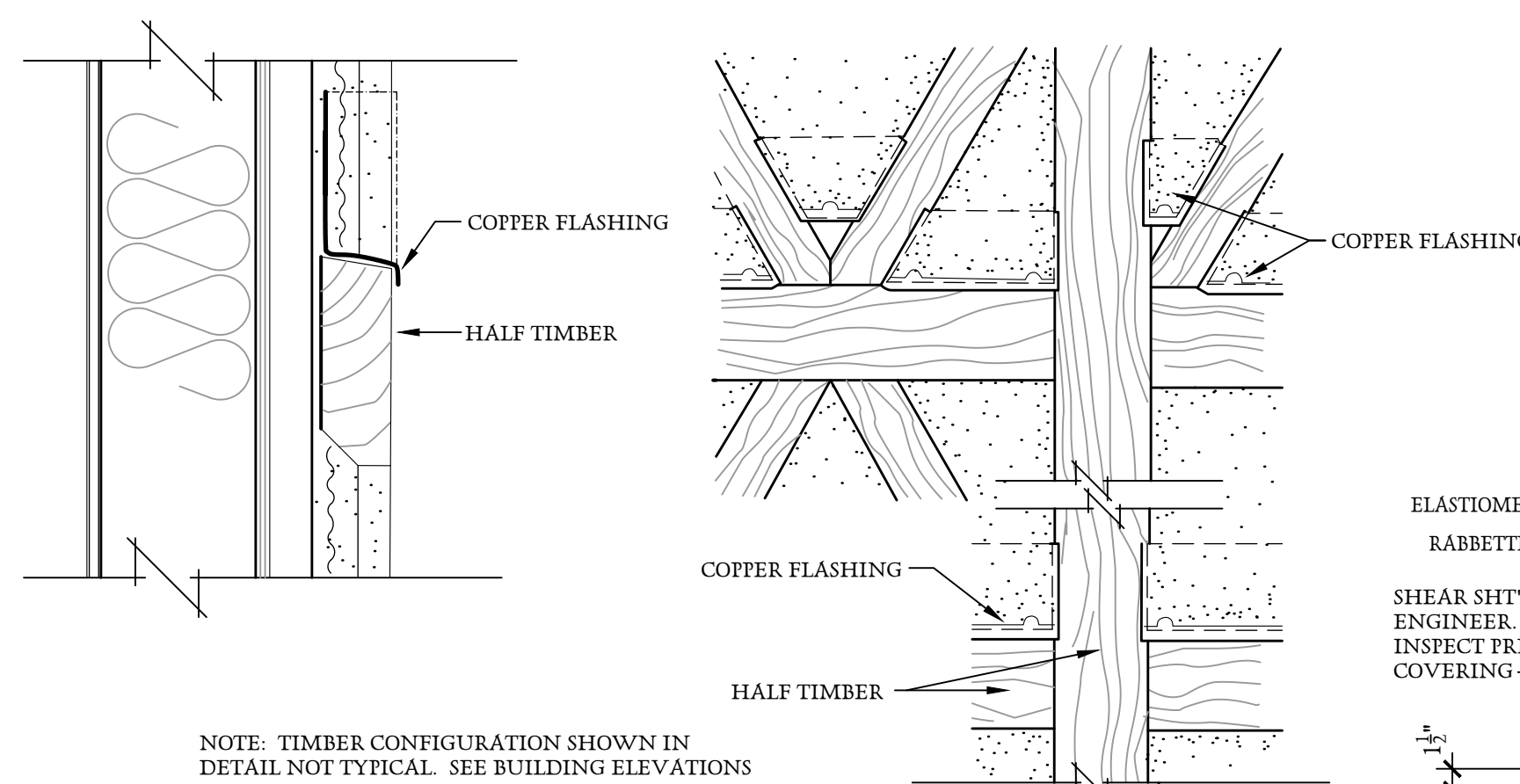
3 INTERIOR DECORATIVE BEAM  
SCALE: 1" = 1'-0"



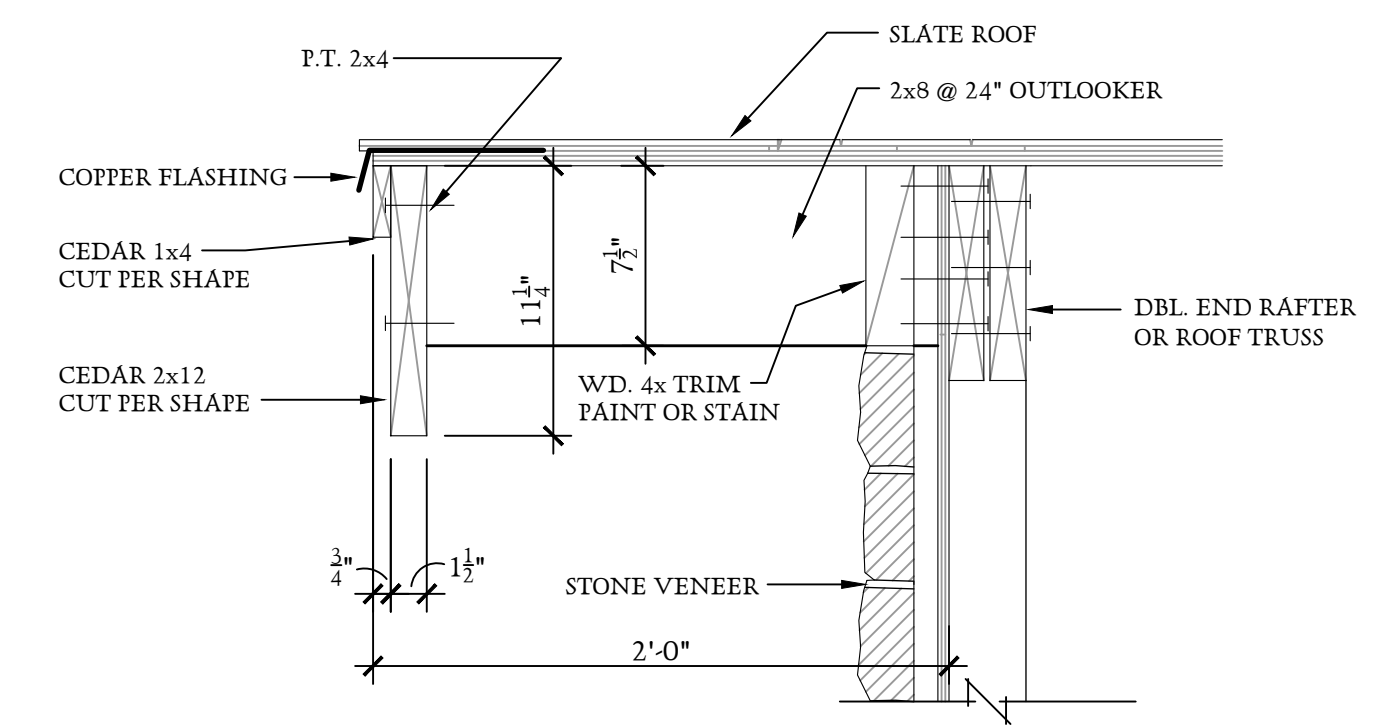
4 ENTRY ELEVATION  
SCALE: 1/2" = 1'-0"



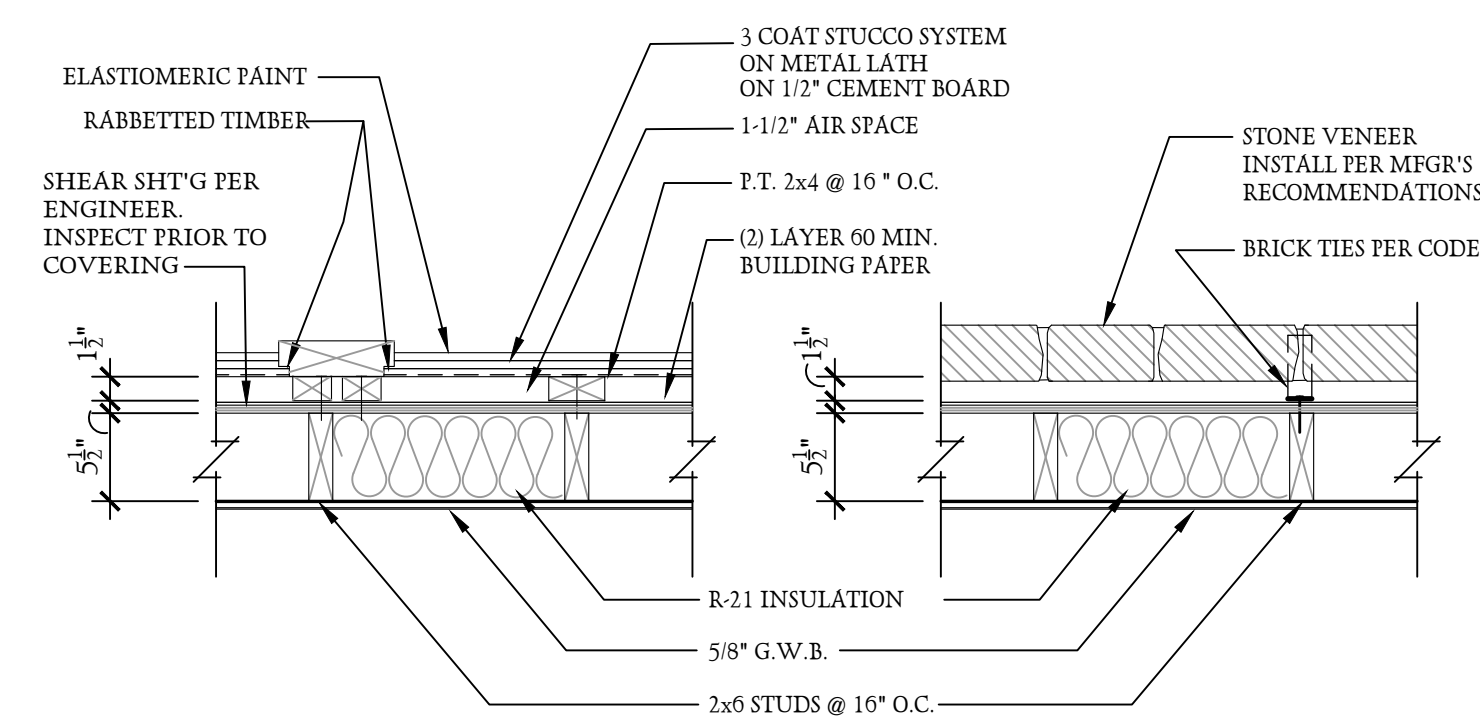
5 TURRET SECTION  
SCALE: 1/2" = 1'-0"



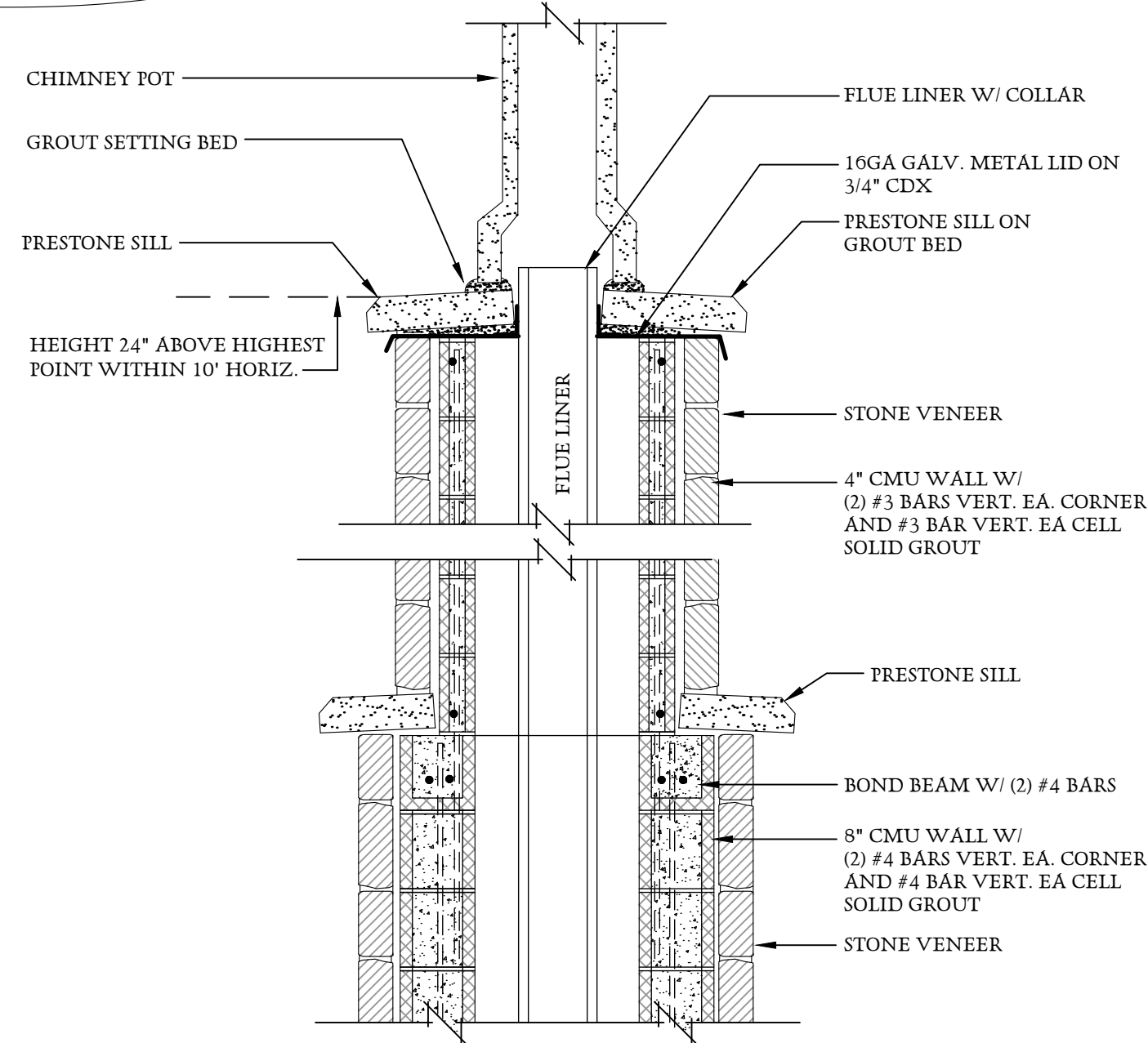
6 HALF TIMBER AND STUCCO  
SCALE: 3/4" = 1'-0"



7 BARGEBOARD DETAIL  
SCALE: 1-1/2" = 1'-0"



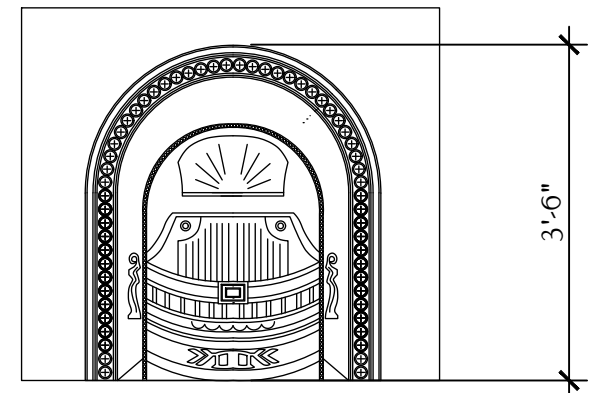
8 TYP. EXTERIOR WALL SECTIONS  
SCALE: 1" = 1'-0"



**1 CHIMNEY CAP DETAIL**  
 SCALE: 3/4" = 1'-0"

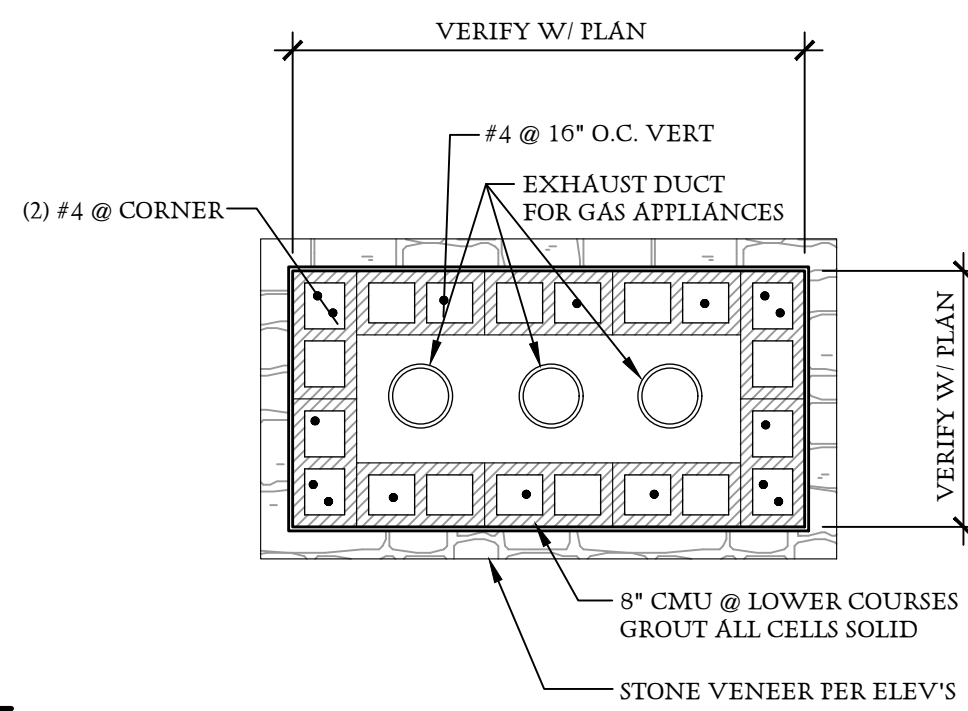
**NOTES**

- CLEARANCE - CHIMNEY AND FIREPLACE TO COMBUSTIBLES: 1" OR 1/2" G.W.B.
- HEARTH CONSTRUCTION SHALL BE SUPPORTED BY NON-COMBUSTIBLE MATERIALS OR DESIGNED & REINFORCED TO CARRY IT'S OWN WEIGHT.
- HEARTH DIMENSIONS: WHEN FIREPLACE OPENING 20 SQ. FT., HEARTH SHALL EXTEND A MINIMUM HORIZ. DISTANCE OF 20" IN FRONT OF OPENING & 12" BEYOND EACH SIDE OF OPENING. WHEN FIREPLACE OPENING < 6 SQ. FT., HEARTH SHALL EXTEND A MINIMUM DISTANCE OF 16" IN FRONT OF & 8" BEYOND EACH SIDE OF OPENING.
- EXTERIOR COMBUSTION AIR DUCT, SCREENED ON OUTSIDE, W/ OPERABLE VOLUME DAMPER ON INSIDE. MINIMUM SIZE = 6 SQ. INCHES.
- REINFORCING OF MASONRY CHIMNEY AND TIE-RODS TO ROOF STRUCTURE TO BE VERIFIED BY STRUCTURAL ENGINEER.
- 

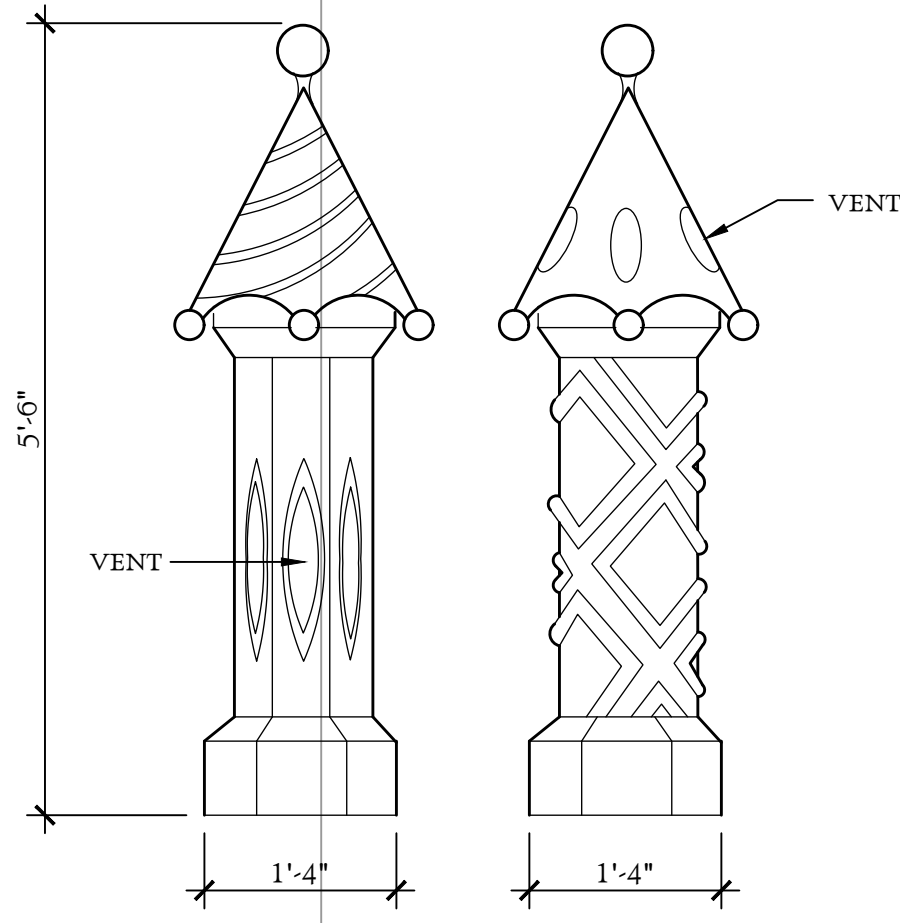


**OPTIONAL FIREPLACE SURROUND**

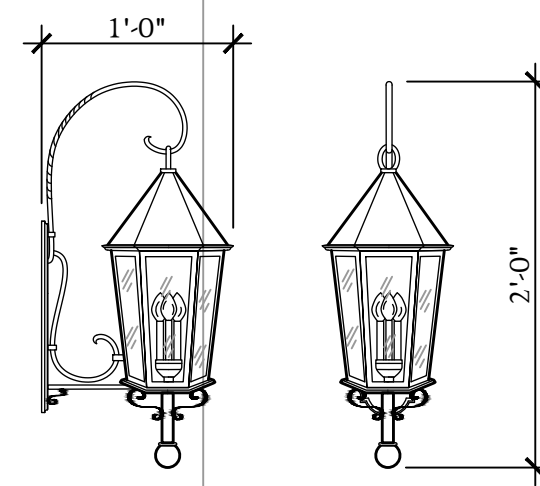
MASONRY CHIMNEY AND FIREPLACE TO COMPLY WITH 2003 INTERNATIONAL BUILDING CODE.



**FIREPLACE SECTION**  
 SCALE: 1/2" = 1'-0"

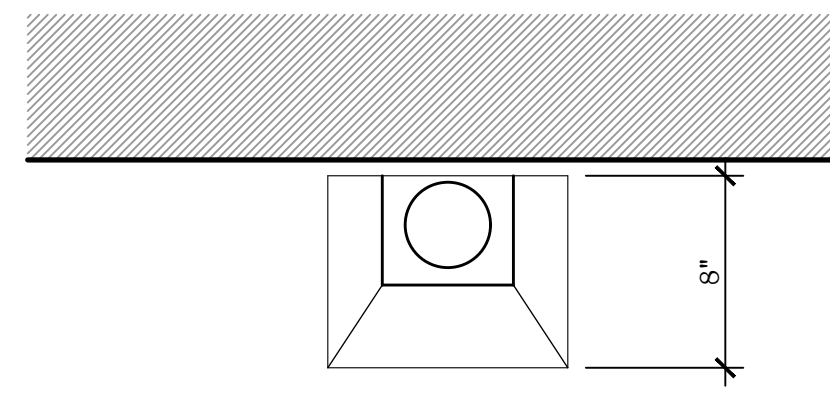


**2 DET. - CHIMNEY POTS**  
 SCALE: 1/2" = 1'-0"

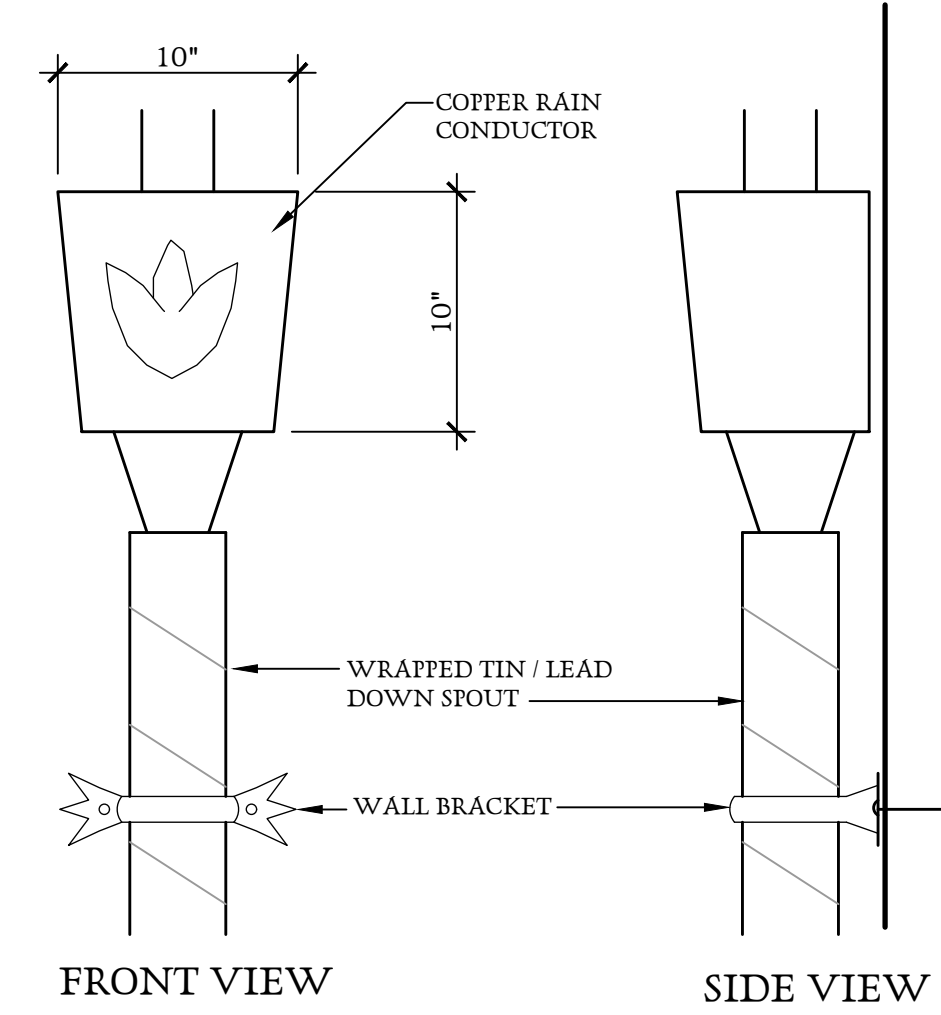


Product #OL30.10WB  
**"Martine Puente"**  
 by Steven Handelman Studios

**5 EXTERIOR LAMPS**  
 SCALE: 3/4" = 1'-0"



**TOP VIEW**



**FRONT VIEW**

**SIDE VIEW**

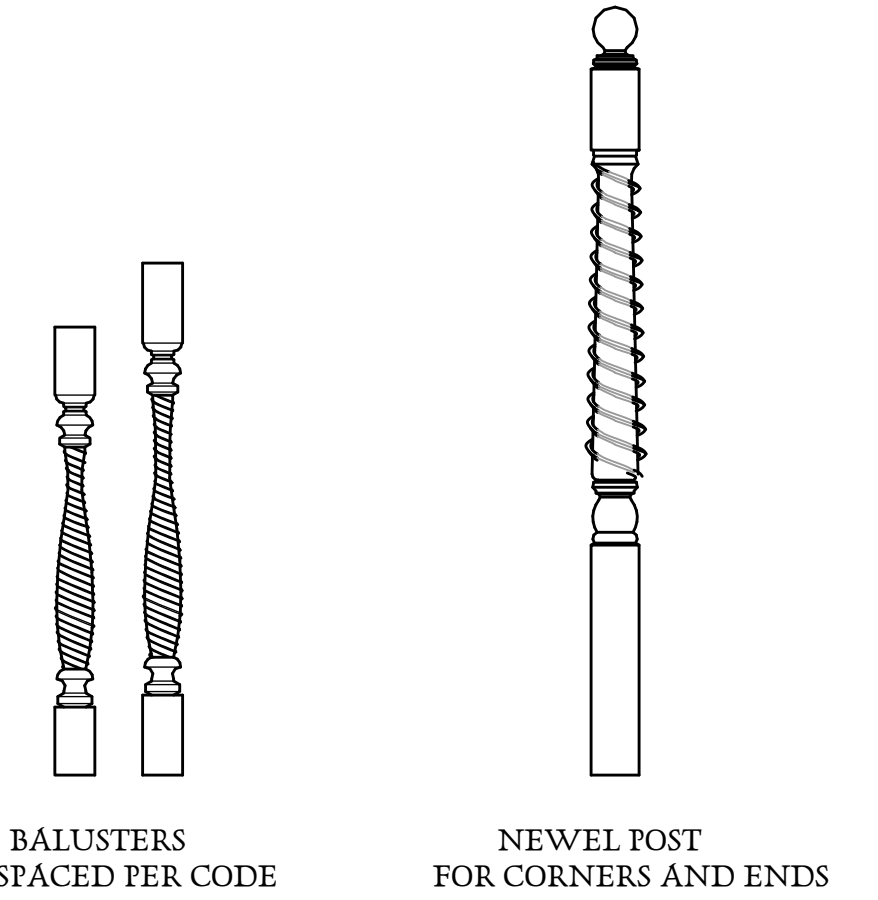
**3 RAIN CONDUCTOR HEAD**  
 SCALE: NONE



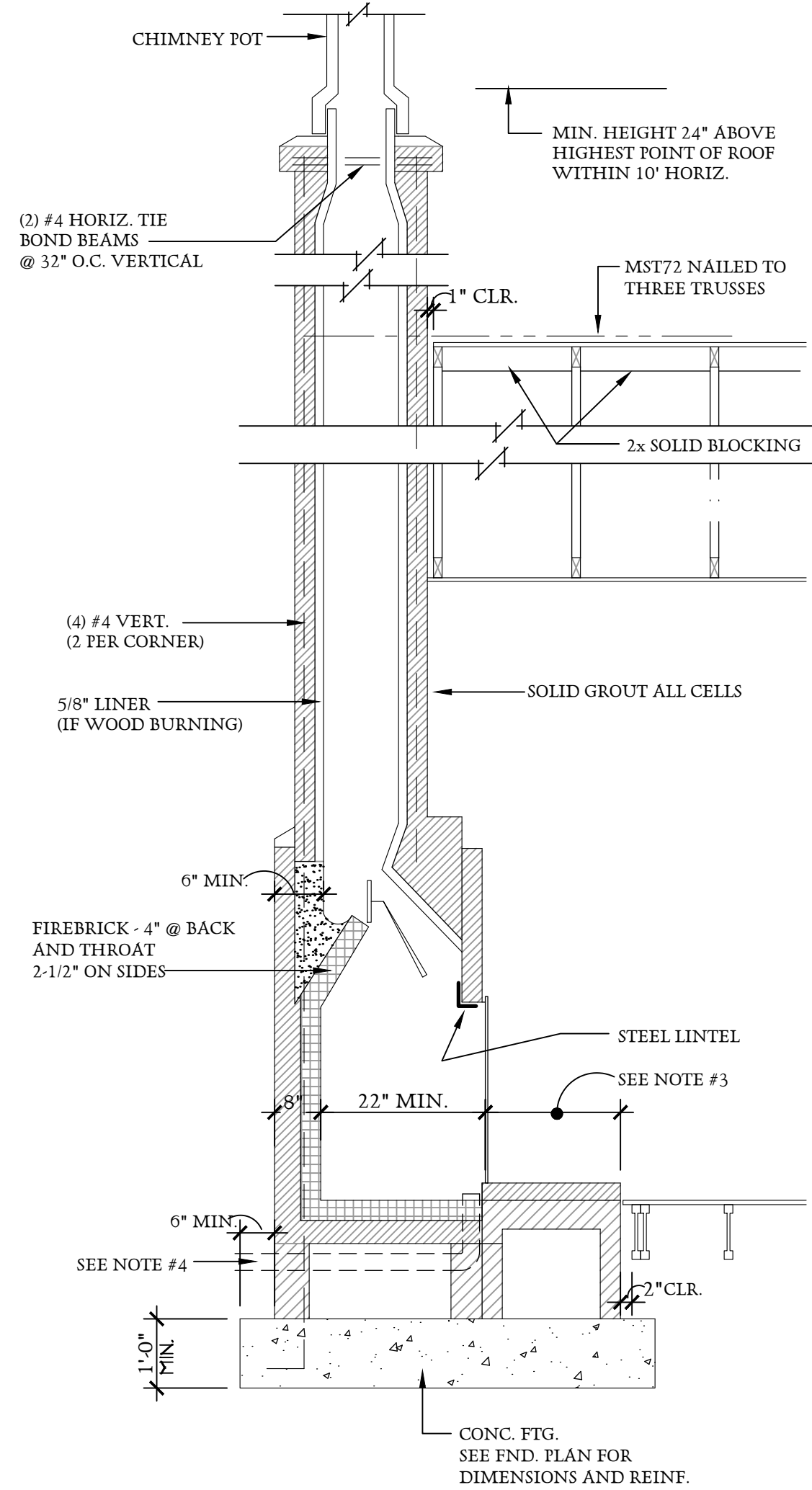
HANGERS AT 30" ON CENTER, MINIMUM

STANDARD HALF ROUND GUTTER WITH ROOF MOUNT HANGER, FOR SLATE OR SHINGLE ROOFING WITH OPEN RAFTERS.

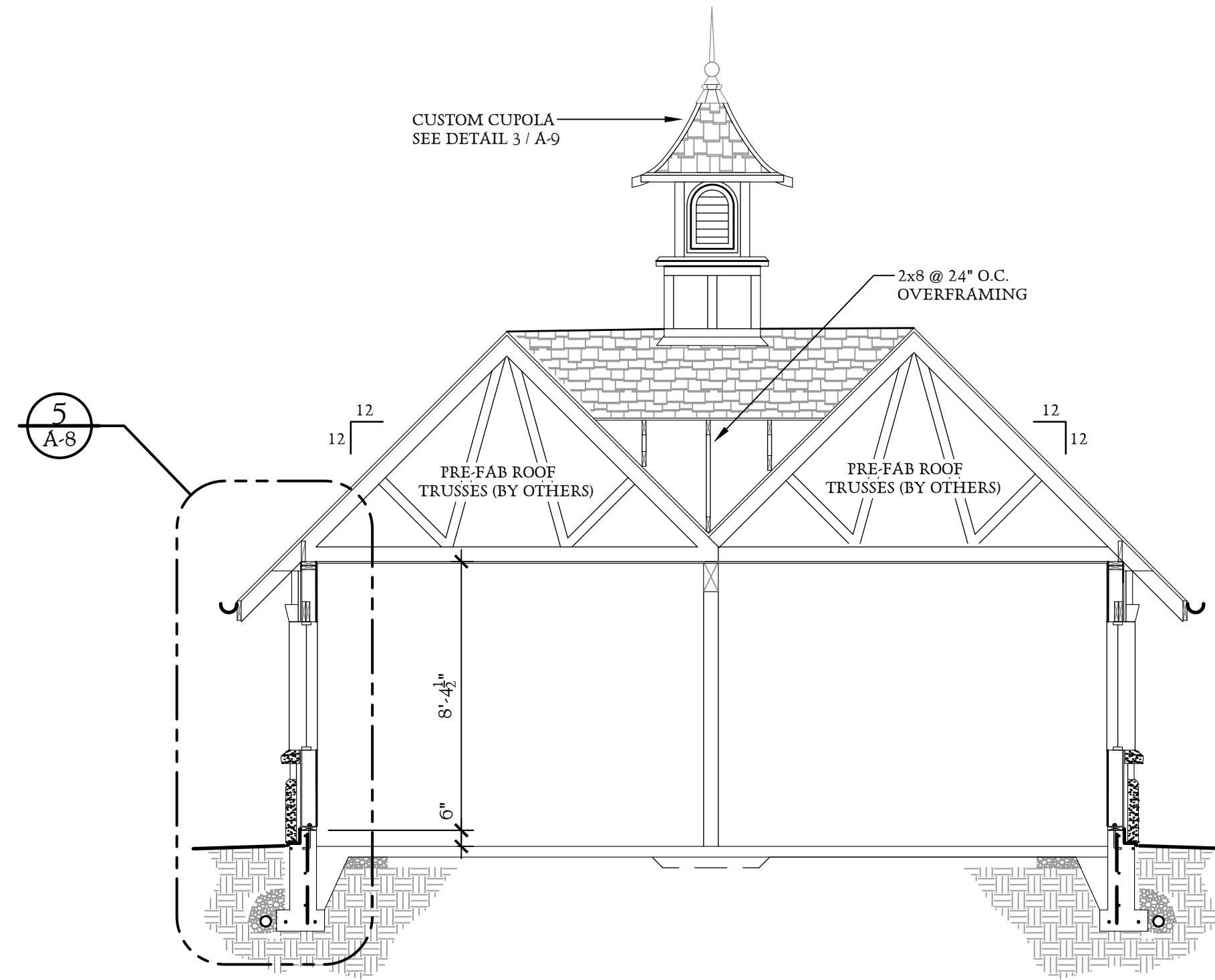
**4 COPPER GUTTER DETAIL**  
 SCALE: NONE



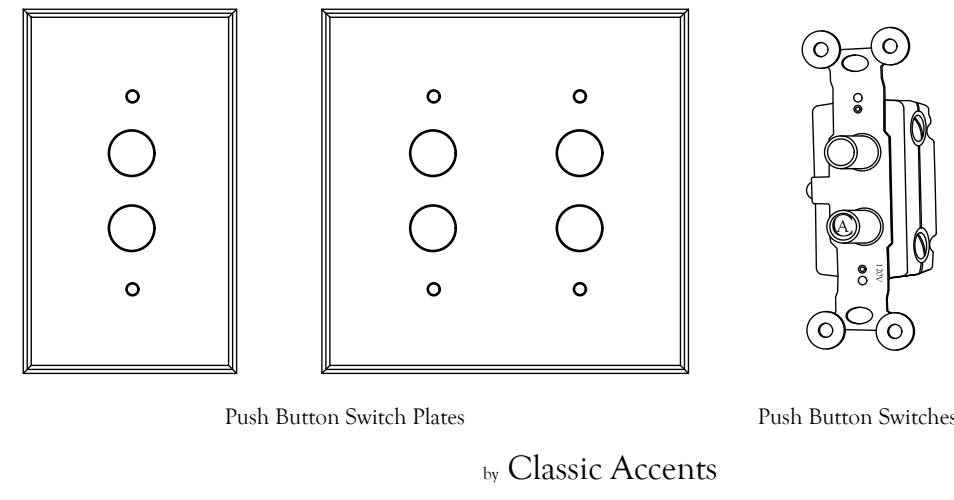
**4 STAIR BALUSTERS & NEWEL**  
 SCALE: 1" = 1'-0"



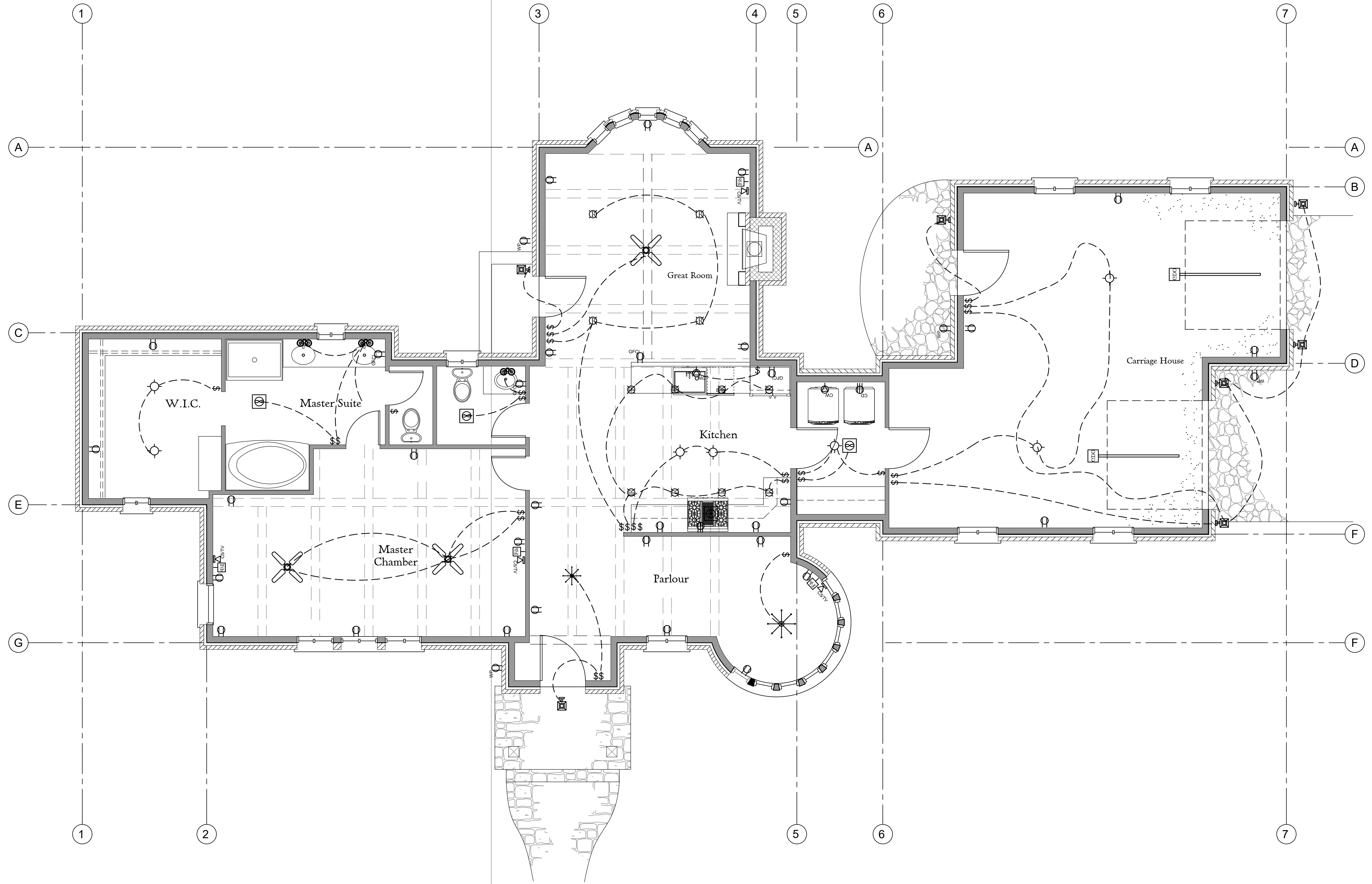
**6 CHIMNEY FIREPLACE DETAIL**  
 SCALE: 1/2" = 1'-0"



**Building Section**  
 Scale: 1/4" = 1'-0"



| Electrical Legend          |  |                    |  |
|----------------------------|--|--------------------|--|
| Exterior Lantern           |  |                    |  |
| Exterior Lantern (round)   |  |                    |  |
| Cat 5 / Coax TV Cable      |  |                    |  |
| Fiber-Optic Jack           |  |                    |  |
| GFCI Outlet                |  |                    |  |
| Weather-Proof 110 V Outlet |  |                    |  |
| 110 V Outlet               |  |                    |  |
| 220 V Outlet               |  |                    |  |
| Clothes Dryer Outlet       |  |                    |  |
| Clothes Washer Outlet      |  |                    |  |
| Dishwasher Outlet          |  |                    |  |
| Range Outlet               |  |                    |  |
| 4-Way Switch               |  |                    |  |
| 3-Way Switch               |  |                    |  |
| Switch                     |  |                    |  |
| Light                      |  |                    |  |
| Smoke Detector             |  |                    |  |
| Recessed Can Light         |  |                    |  |
| Sconce                     |  |                    |  |
| Bowl Sconce (triple)       |  |                    |  |
| Bowl Sconce (double)       |  |                    |  |
| Vanity Light Bar           |  |                    |  |
| Exhaust Fan                |  |                    |  |
| Alarm Pre-wire             |  |                    |  |
|                            |  | Ceiling Fan        |  |
|                            |  | Pendent Chandelier |  |
|                            |  | Chandelier         |  |
|                            |  | Tract Lighting sm. |  |
|                            |  | Tract Lighting lg. |  |
|                            |  | Florescent Light   |  |
|                            |  | Garage Door Opener |  |



**Suggested Electrical Plan**  
 Scale : 1/4" = 1'-0"

Plot Date : JAN. 10, 2023

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**E-1**



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by Samuel Hackwell & Andrew Perkins

## Suggested Reading

- Barash, Cathy Wilkenson. *Edible Flowers, From Garden to Palate* Golden, CO: Fulcrum Publishing 1993
- Bowe, Partick. *The Complete Kitchen Garden* New York: Macmillan Company 1996
- Hensel, Margaret. *English Cottage Gardening for American Gardeners* London: W.W. Norton & Company 1992
- Larkcom, Joy. *Creative Vegetable Gardening, Accenting Your Vegetables with Flowers* New York: Abbeville Press 1997
- Lee, Rand B. *Pleasures of the Cottage Garden* England: Michael Friedman Publishing Group, Inc. 1998
- Nigel, Dunnet and Kingsbury, Noel. *Planting Green Roofs and Living Walls* Portland, OR.: Timber Press 2004
- Evord, Anna. *The New Kitchen Garden* London: DK Publishing 1996
- Springer, Lauren. *The Undaunted Garden, Planting for Weather-Resilient Beauty* Golden CO: Fulcrum Publishing 1994
- Stickland, Sue. *Heirloom Vegetables* London: Gaia Books Limited 1998
- Thompson, Sylvia. *The Kitchen Garden* New York: Bantam Books 1995
- Wescott-Gratton, Stephen. *Creating a Cottage Garden in North America* Golden CO: Denise Schon Book 2000



# Suggested Plant Lists

(Please check with local Extension Office for most suitable plants for your area)

## Trees

We suggest fruiting trees and flowering trees, or trees with exceptional color characteristics in your cottage garden.

- Acer campestre (Hedge Maple)
- Acer palmatum (Japanese Maple)
- Acer rubrum (Red Maple)
- Aesculus pavia (Red Buckeye)
- Amelanchier laevis (Serviceberry)
- Betula pendula (Weeping Birch)
- Bolusanthus (African Tree Wisteria)
- Buddleia alternifolia (Butterfly Bush)
- Cedrus atlantica glauca (Weeping Atlas Cedar)
- Cedrus libani 'Pendula' (Weeping Cedar)
- Cercis canadensis (Redbud)
- Chamaecyparis obtusa 'Nana Aurea'
- Cornus florida (Flowering Dogwood)
- Corylus avellana 'contorta' (Hazel, Filbert)
- Davidia involucrata (Dove Tree)
- Forsythia
- Ginkgo biloba (Ginkgo)
- Juniperus communis 'Compressa' (Compact Juniper)
- Laburnum X watereri (Goldenchain Tree)
- Ligustrum (Privet)
- Magnolia
- Malus (Flowering Crabapple)
- Nyssa sylvatica (Black Tupelo)
- Picea abies 'Pendula' (Weeping Spruce)
- Picea pungens 'Glauca Pendula' (Weeping Blue Spruce)
- Picea choose the smaller species and varieties
- Pinus choose the smaller species and varieties
- Prunus (Flowering Cherry and Flowering Plum)
- Pyrus (Flowering Pear)
- Salix (Weeping Willow)
- Taxus (Yew) For hedges and Topiary
- Viburnum macrocephalum (Chinese Snowball Tree)
- Wisteria sinensis (Wisteria trained into tree-form)

## Shrubs

We suggest flowering shrubs and small evergreens, shrubs with exceptional color and characteristically unique forms for your cottage garden.

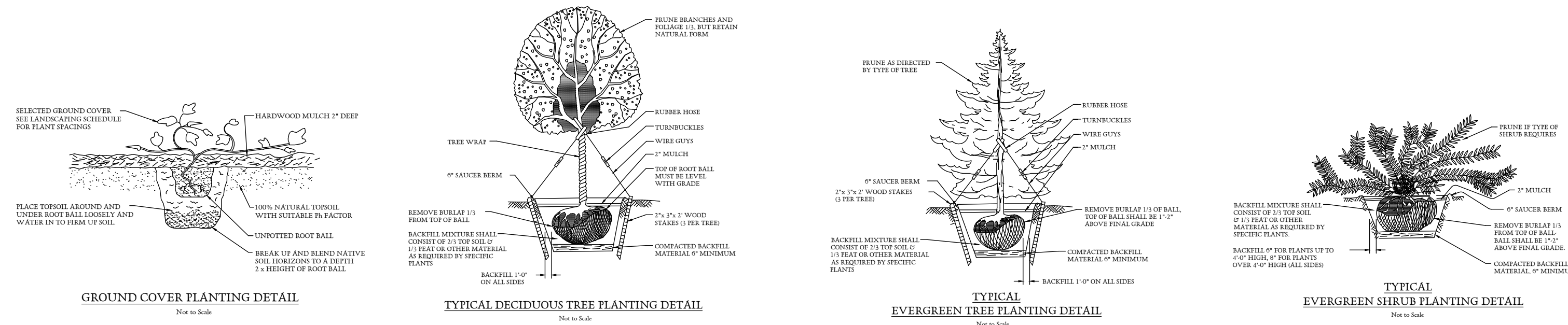
- Camellia species and hybrids
- Cotinus coggygia (Smokebush)
- Cotinus obovatus (American smoke tree)
- Daphne odora (Daphne)
- Erica carnea (Spring Heath)
- Euonymus alatus (Winged Euonymus)
- Gardenia augusta (Common Gardenia)
- Hydrangea species and hybrids
- Iberis sempervirens (Candytuft)
- Paeonia species and hybrids (peony)
- Pinus mugo
- Rosa species and hybrids (Roses)
- Rhododendron species and hybrids
- Syringa (Lilac)
- Viburnum (Snowball bush)

## Edibles

Fruits, Flowers, Herbs, Nuts, and Vegetables  
This is really to your liking, plant what you like to eat.

- Allium sativum (Garlic)
- Allium schoenoprasum (Chives)
- Anethum graveolens (Dill)
- Artemesia dracunculus (French Tarragon)
- Asparagus officinalis (Asparagus)
- Borago officinalis (Borage)
- Chamaemelum (Chamomile)
- Chicorium intybus (Chicory)
- Coriandrum sativum (Coriander)
- Cymbopogon citratus (Lemon Grass)
- Foeniculum vulgare (Fennel)
- Helichrysum italicum (Curry Plant)
- Laurus nobilis (Sweet Bay Tree)
- Lavandula angustifolia (Lavender)
- Melissa officinalis (Lemon Balm)
- Mentha (Mint, Peppermint)
- Ocimum basilicum (Sweet Basil)
- Origanum vulgare (Oregano)
- Rosmarinus officinalis (Rosemary)
- Salvia officinalis (Sage)
- Thymus vulgaris (Common Thyme)
- Tropaneolium majus (Nasturtium)
- Aronia melanocarpa (Black chokecherry)
- Chaenomeles (Japanese quince)
- Corylus species (Hazelnuts and Filberts)
- Fragaria (Strawberry)
- Malus (Apple)
- Prunus (Cherry, Apricot, Peach, Plum)
- Pyrus (Pear)
- Ribes (Currants and Gooseberries)
- Rubus species (Blackberry, raspberry, loganberry)
- Sambucus canadensis (Elderberry)
- Vaccinium (Blueberry)
- Vitis (Grape)

# Planting Techniques



# Suggested Plant Lists

(Please check with local Extension Office for most suitable plants for your area)

## Annuals & Perennials

- Acanthus spiosus (Bear's breeches)
- Achillea (Yarrow)
- Acontium napellus (monks hood)
- Acorus calamus (Sweet flag)
- Adiantum Venustum (Evergreen Maidenhair)
- Aethionema (pink form)
- Agapanthus (African Lily)
- Agastache (Anise Hyssop)
- Agrostemma githago (Corn cockle)
- Ajuga Reptans 'Purple Torch' (Ajuga)
- Alea rosea (Hollyhock)
- Alchemilla mollis (Lady's mantle)
- Allium species and hybrids
- Astroemeria (Peruvian Lily)
- Alyssum
- Amaranthus caudatus 'Love-lies-bleeding'
- Anchusa azurea (Summer Forget-me-not)
- Anemone hepheensis
- Anthemis cretica (Chamomile)
- Anthemis 'tinctoria'
- Antirrhinum majus (Snapdragon)
- Aquilegia x hybrida (Columbine)
- Arabis Caucasica Variegata (Rock Cress)
- Arenaria Montana (Sandwort)
- Argyranthemum (Marguerite)
- Armeria maritima (Sea Pink)
- Artemisa (Wormwood)
- Asarum Europaeum (Wild Ginger)
- Aster species and hybrids
- Aster novae-angliae hybrids (Hardy aster)
- Astilbe Arendsii 'Rheinland' (False Spirea)
- Astrantia Major (Masterwort)
- Aubrieta deltoidea (Purple rock cress)
- Aurinia saxatilis (Basket-of-gold)
- B
- Baileya multiradiata (Desert Marigold)
- Baptisia australis (False indigo)
- Begonia species and hybrids
- Bellis perennis (Daisy)
- Bergenia cordifolia (Heartleaf bergenia)
- Buddleia davidii (Butterfly Bush)
- Buxus sempervirens (Common Box)
- C
- Calceolaria (Lady's Purse)
- Calendula officinalis (Pot marigold)
- Calluna vulgaris (Heather)
- Campantula species and hybrids (Bellflower)
- Centaurea cyanus (Cornflower)
- Centranthus ruber (Red valerian)
- Cephalaria gigantea (Giant scabies)
- Cerastium tomentosum (Snow-in-sumner)
- Chrysanthemum species and hybrids
- Chrysanthemum x superbum (Shaste daisy)
- Cistus (Rock Rose)
- Clematis species and hybrid
- Cleome isomeris (Spider Flower)
- Convallaria majalis (Lily of the Valley)
- Convolvulus (Morning Glory)
- Coreopsis grandiflora (Tickseed, Coreopsis)
- Coreopsis verticillata (Threadleaf coreopsis)
- Cosmos
- Crocus species and hybrids
- D
- Dianthus species and hybrids (Cottage or Garden pink)
- Dahlia species and hybrids
- Daphne laureola (Spurge laurel)
- Delphinium hybrids (Delphinium or Larkspur)
- Dendranthema (Florist's Chrysanthemum)
- Dicentra spectabilis (Bleeding Heart)
- Dietes (Fortnight Lily)
- Digitalis species and hybrids (Foxglove)
- Dodecatheon Media (Shooting Star)
- Doronicum (Leopard's Bane)
- E
- Echinacea purpurea (Purple Coneflower)
- Echium (Tower of Jewels)
- Encelia (Brittlebrush)
- Epilobium Angustifolium Album (Fireweed)
- Epimedium species (Bishops hat, Barrenwort)
- Erica species and hybrids (Heath)
- Erigeron x hybridus (Fleabane)
- Erodium Pelargoniflorum (Heronshill)
- Eryngium Varifolium (Sea Holly)
- Erysimum 'Butterscotch' (Wall Flower)
- Erysimum 'Chelsea Jacket' (Wall Flower)
- Eschscholzia (California Poppy)
- F
- Felicia petiolata (Blue Daisy)
- Fritillaria imperialis ((Crown Imperial, Fritillary)
- Fuchsia species and hybrids
- G
- Gaillardia x grandiflora (Blanket flower)
- Galanthus elwesii (Snowdrop)
- Galium verum (Bedstraw)
- Gazania
- Gentiana acaulis (Gentian)
- Geranium species and hybrids Hardy geranium
- Gerbera jamesonii (Daisy)
- Geum Rivale 'Perrin' (Avens)
- Gladiolus species and hybrids
- Gypsophila paniculata (Baby's breath)
- H
- Helenium helanthoides (Sneezweed)
- Helianthemum (Rock Rose)
- Helianthus 'LimeLight' (Sunflower)
- Helichrysum 'Sulphur Light' (Strawflower)
- Heliopsis (Orange Sunflower)
- Helleborus fastidiosus (Hellebores)
- Iberis sempervirens (Candytuft)
- Impatiens species and hybrids
- Ipomoea tricolor (Morning Glory)
- Iris hybrids (Bearded iris, and others)
- J
- Jasminum nudiflorum (Jasmine)
- Justicia
- K
- Kniphofia (Red-Hot Poker)
- L
- Lampranthus (Ice Plant)
- Lantana montevidensis (Lantana)
- Lathyrus oderatus (Sweet Pea)
- Lavandula angustifolia (Lavander)
- Lavatera (Mallow, Malva Rose)
- Leonotis leonurus (Lion's Ear)
- Leucanthemum maximum (Shasta daisy)
- Liatriis spicata (Blazing star)
- Lilium species and hybrids Lilies
- Limonium latifolium Statice, (Sea Lavander)
- Linaria vulgaris (Common toadflax)
- Linum (Flax)
- Lobelia species and hybrids
- Lobularia maritima (Sweet alyssum)
- Lupinus Russell hybrids (Lupine)
- Lychnis coronaria (Rose campion)
- Lysimachia punctata (Circle flower, Loosestrife)
- Lythrum salicaria (Purple loosestrife)
- M
- Malva alcea (Hollyhock mallow)
- Malva moschata (Musk Mallow)
- Matthiola (Stock)
- Melampodium (Blackfoot Daisy)
- Mesembryanthemum crystallinum (Ice Plant)
- Mimulus (Monkey Flower)
- Monarda didyma (Bee balm)
- Muscaria neglectum (Grape Hyacinth)
- Myosotis species (Forget-me-not)
- N
- Narcissus species and hybrids (Daffodils)
- Nepeta species and hybrids (Catmint)
- Nicotiana alata (Tobacco Plant)
- Nierembergia violacea (Cupflower)
- O
- Oenothera (Evening primrose)
- Osteospermum (Trailing Daisy)
- P
- Paeonia species (Peony)
- Papaver orientale (Oriental poppy)
- Pelargonium (Hardy Geranium)
- Penstemon species and hybrids
- Pericallis (Cineraria, Senecio hybrids)
- Petasites fragrans Winter heliotrope
- Petunia species and hybrids
- Primula species (Primrose)
- Pulmonaria species and hybrids (Lungwort)
- R
- Ranunculus speicisus (Buttercup)
- Ribes sanguinum Flowering currant
- Rhodanthe (Strawflower)
- Rosa species and hybrids (Rose)
- Rudbeckia (Coneflower)
- Rudbeckia fulgida (Black-eyed susan)
- Ruellia
- Ruta graveolens (Rue)
- S
- Salvia species and hybrids (Sage or Salvia)
- Santolina chamaecyparissus (Cotton Lavender)
- Saxifraga hypnoides (Saxifrage)
- Scabiosa atropurpurea (Pin-cushion Flower)
- Schizanthus (Butterfly Flower)
- Sedum species and hybrids
- Sempervivum species and hybrids (Houseleek)
- Senecio compactus (Dusty Miller)
- Silene dioica (Campion)
- Solidago 'Goldenmosa' (Golden Rod)
- Stachys byzantian (Lamb's ears)
- Sternbergia Lutea (Autumn Crocus)
- T
- Tagetes species and hybrids (Marigold)
- Tanacetum (Pyrethrum)
- Tellima Grandiflora 'Purpurea' (Fringecups)
- Teucrium Fruticans Azureum (Germander)
- Thymus species and hybrids (Thyme)
- Tiarella species (Foamflower)
- Trollius species and hybrids (Globeflower)
- Tropeolium majus (Nasturtium)
- Tulipa species and hybrids
- V
- Verbascum bombyciferum (Mullein)
- Verbena species and hybrids
- Veronica species and hybrids (Speedwell)
- Vinca species and hybrids (Periwinkle)
- Viola species and hybrids
- W
- Watasonia
- Z
- Zantedeschia Aethiopia (Calla Lily)
- Zauschneria californica (California Fuchsia)
- Zinnia

## Bulbs

- Allium species and hybrids
- Anemone (Windflowers)
- Cardiocrinum giganteum (Giant Lily)
- Crocus species and hybrids
- Crocus x cornosmitiflora
- Dahlia species and hybrids
- Freesia species and hybrids
- Fritillaria species and hybrids
- Gladiolus
- Hermercallis (Daylilies)
- Hyacinthus (Hyacinth)
- Iris species and hybrids
- Leucojum (Spring Snowflakes)
- Lilium species and hybrids (Lily)
- Muscari (Grape Hyacinth)
- Narcissus species and hybrids (Daffodil)
- Nerine bowdenii (Spider Lily)
- Nomecharis pardanthine
- Ponies species and hybrids
- Tulipa species and hybrids (Tulip)

## Roof and Wall Plants

- Arabis (Rock Cross)
- Arenaria (Sandwort)
- Armeria (Sea Thrift)
- Aubretia (Rock Cross)
- Campantula smallest species and hybrids (Harebells, Bluebells)
- Cerastium tomentosum (Snow-in-Summer)
- Cheiranthus (Alpine Wall Flowers)
- Dianthus smallest species and hybrids (Mountain Pinks)
- Erodium species (Heronshill)
- Geranium smallest species and hybrids
- Helianthemum (Rockroses)
- Linaria (Toad Flax)
- Lobelia
- Lobularia (Common Sweet Alyssum)
- Phlox smallest species and hybrids
- Raoulia
- Saxifraga species and hybrids (Saxifrage)
- Sedum species and hybrids
- Sempervivum and Jovibarba (Houseleeks)
- Thymus species and hybrids (Thymes)
- Vernonia species and hybrids (Speedwell)

## Grasses

- Briza (Quaking Grass)
- Calamagrostis (Feathered Reed Grass)
- Carex species and hybrids (Sedge)
- Cortaderia seloana (Pampas Grass)
- Festuca glauca (Blue Fescue)
- Hakonechloa macra (Flokane Grass)
- Koeleria glauca (Blue Hair Grass)
- Leymus arenarius (Blue Lyme Grass)
- Miscanthus species and hybrids
- Molinia species and hybrids
- Muhlenbergia
- Pennisetum species and hybrids (Fountain Grass)
- Pleiblastus variegatas
- Stipa (Needle Grass, Feather Grass)

## Vines & Climbers

- Allamanda (Golden Trumpet Vine)
- Campsis (Trumpet Creeper)
- Clematis
- Ficus pumila (Creeping Fig)
- Hedera helix (English Ivy)
- Ipomoea alba (Moonflower)
- Ipomoea purpurea (Morning Glory)
- Jasminum officinale (Jasmine)
- Lathyrus odoratus (Sweet Pea)
- Lonicera (Honeysuckle)
- Parthenocissus quinquefolia (Virginia Creeper)
- Parthenocissus tricuspidata (Boston Ivy)
- Passiflora (Passionflower)
- Rosa (Climbing Roses and Rambler Roses)
- Vitis (Grape)
- Wisteria species and hybrids



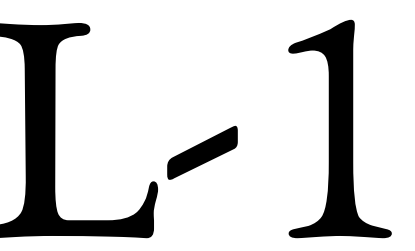
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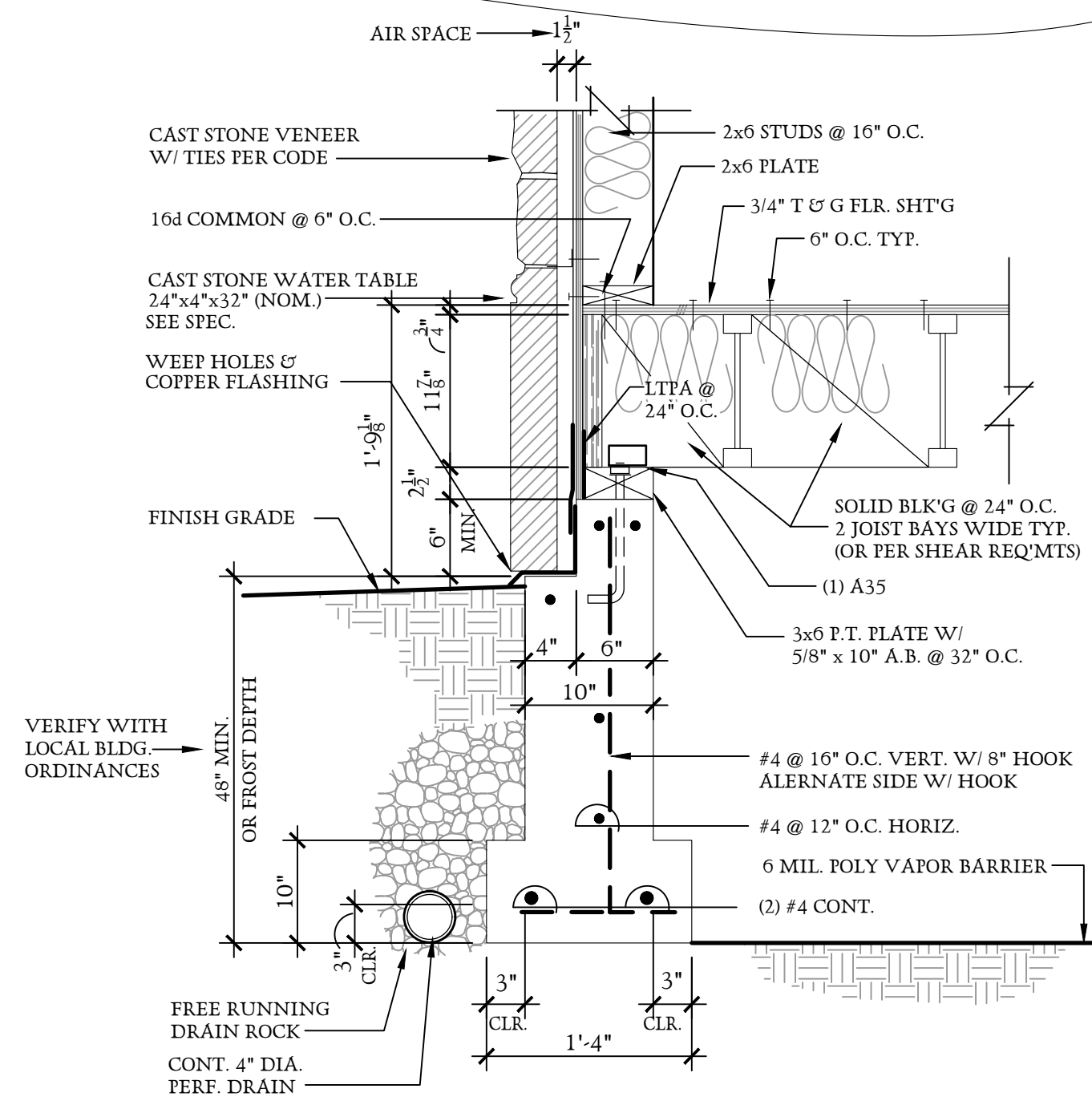
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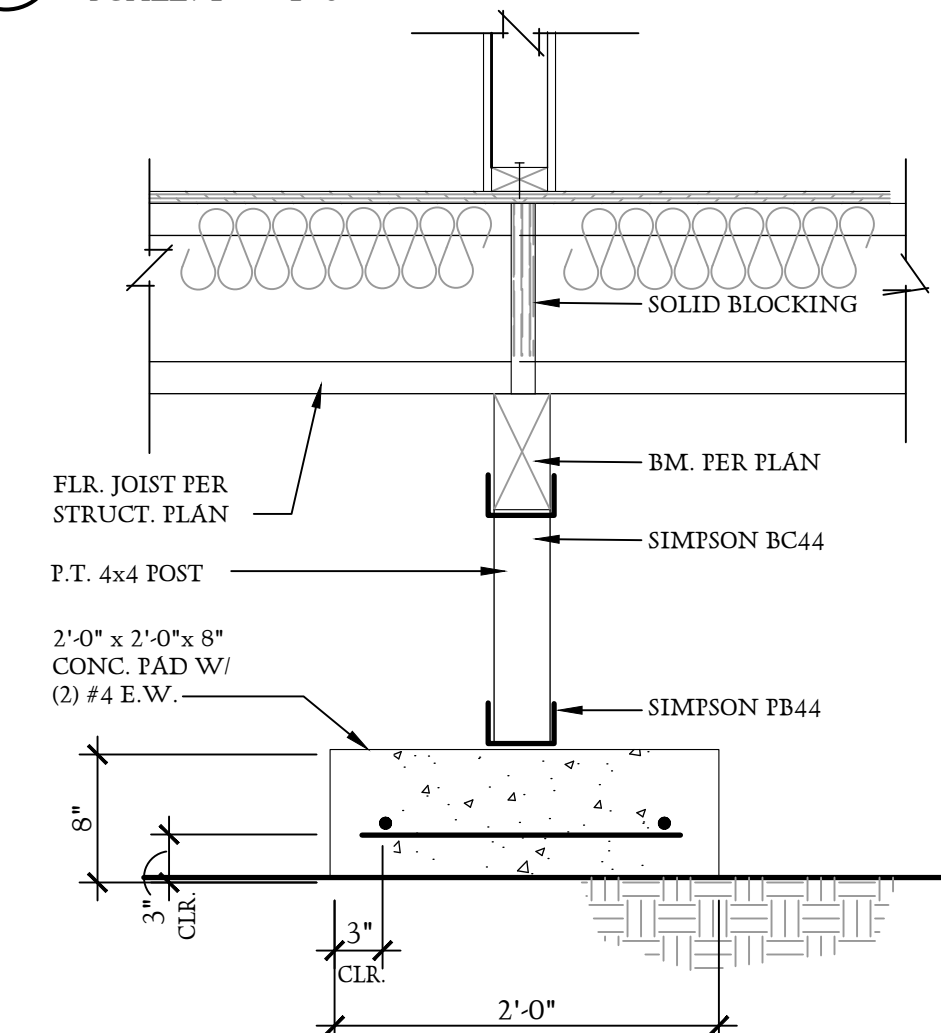
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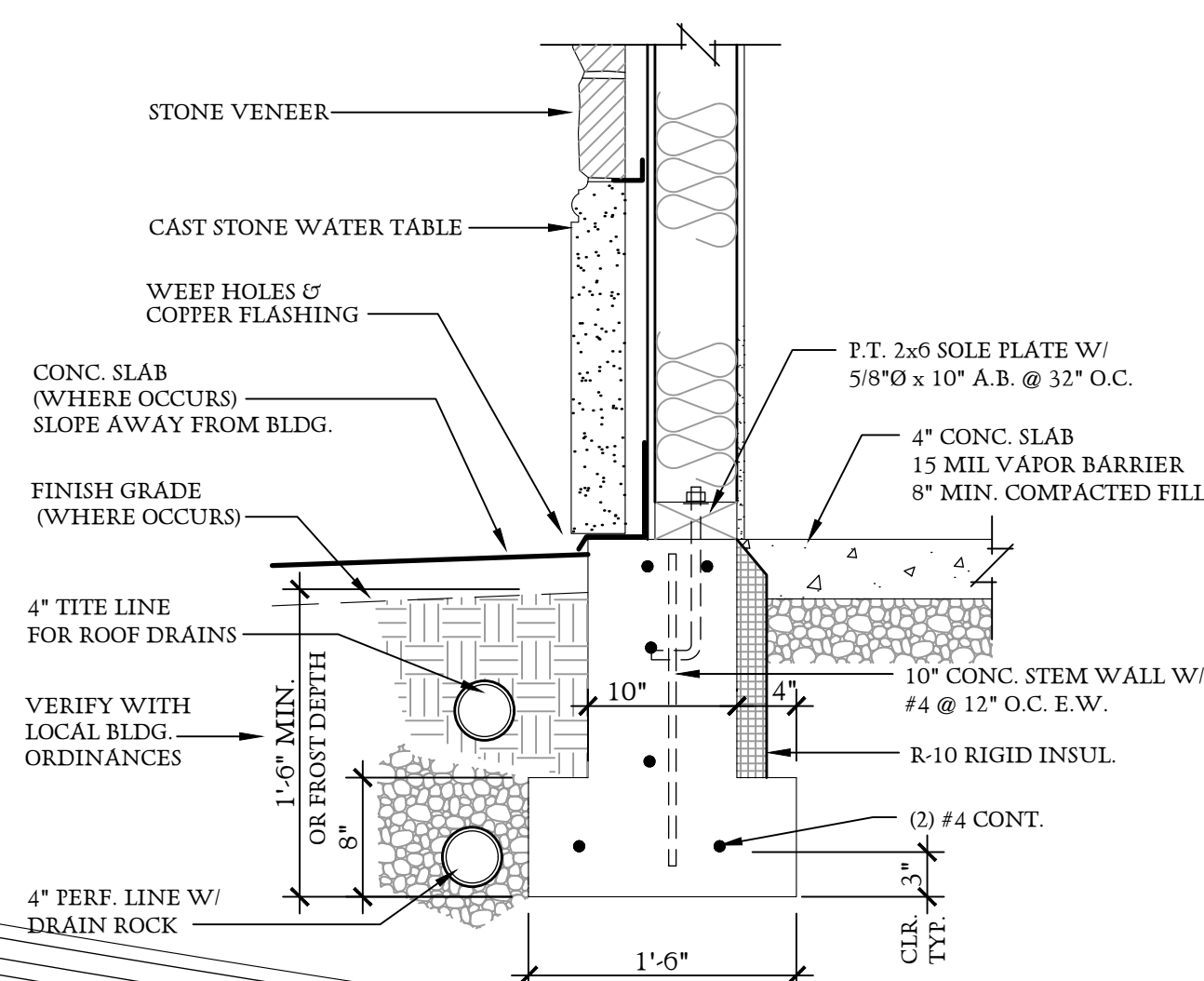




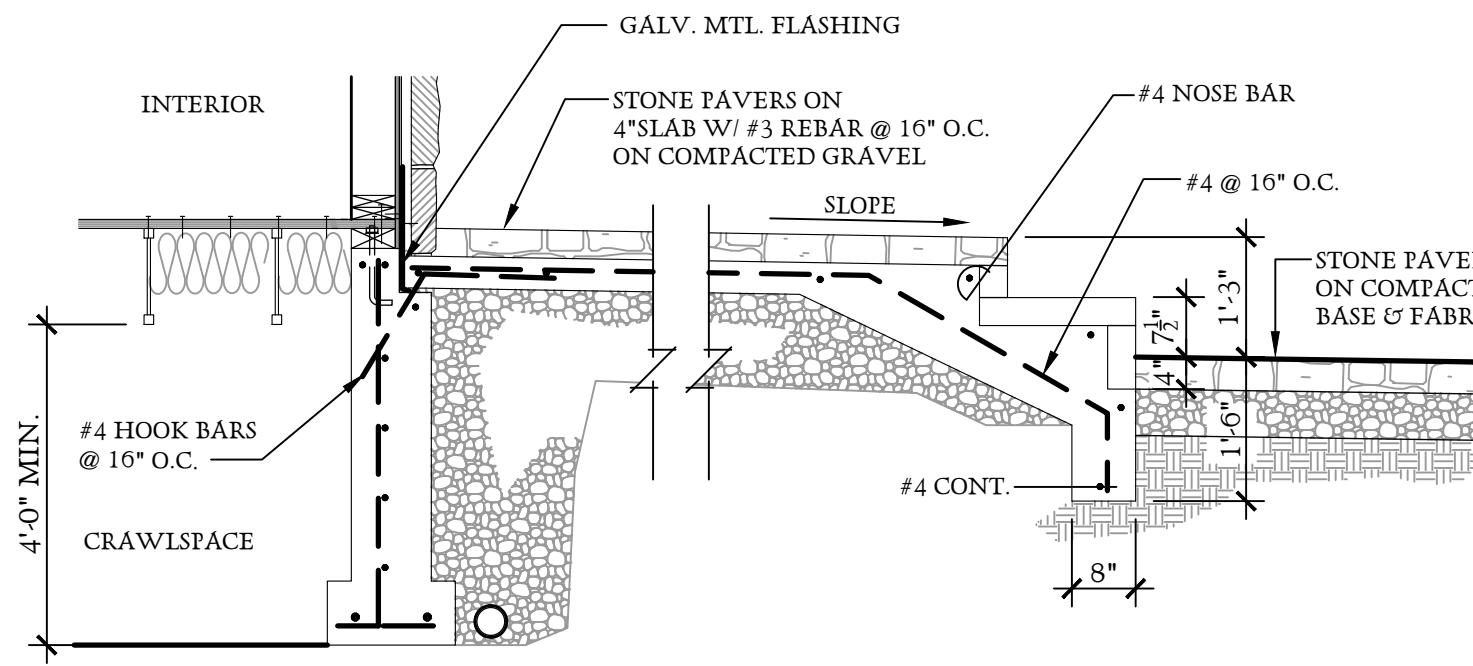
1 DETAIL - TYP. FOOTING  
SCALE: 1" = 1'-0"



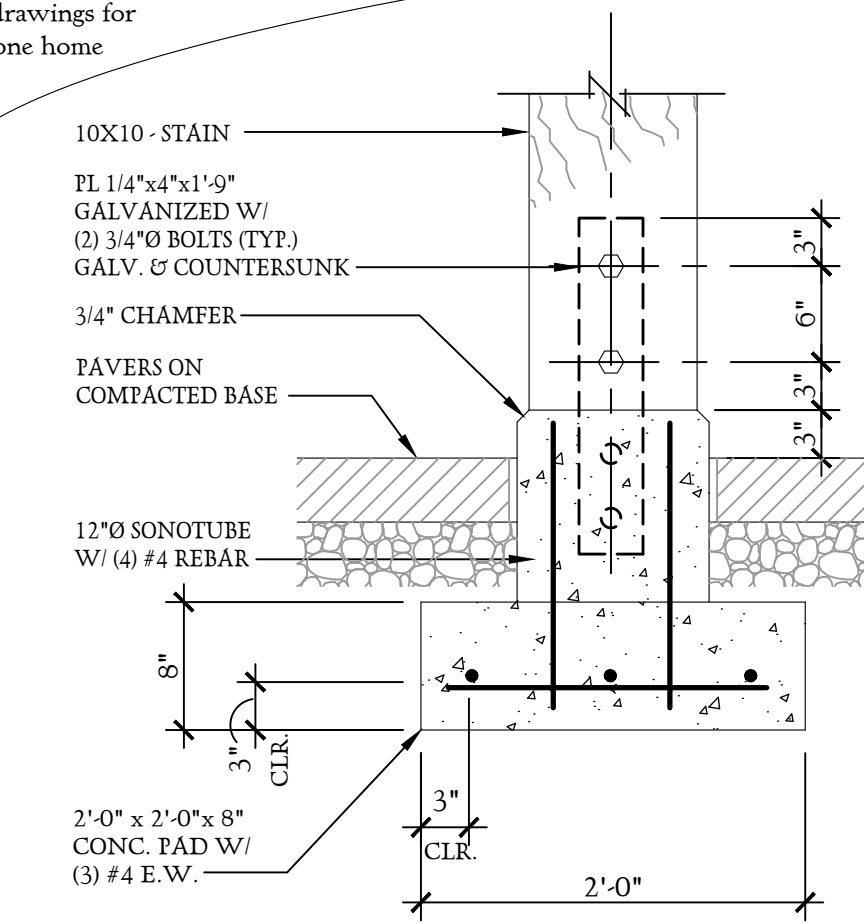
4 POST / BEAM DETAIL  
SCALE: 1" = 1'-0"



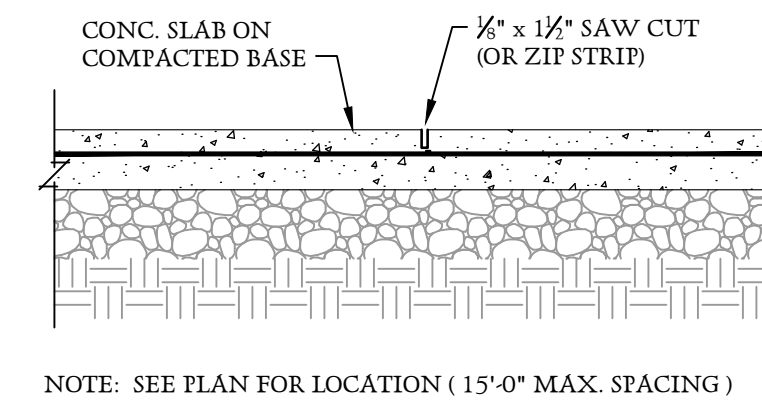
5 FND. @ GARAGE  
SCALE: 1" = 1'-0"



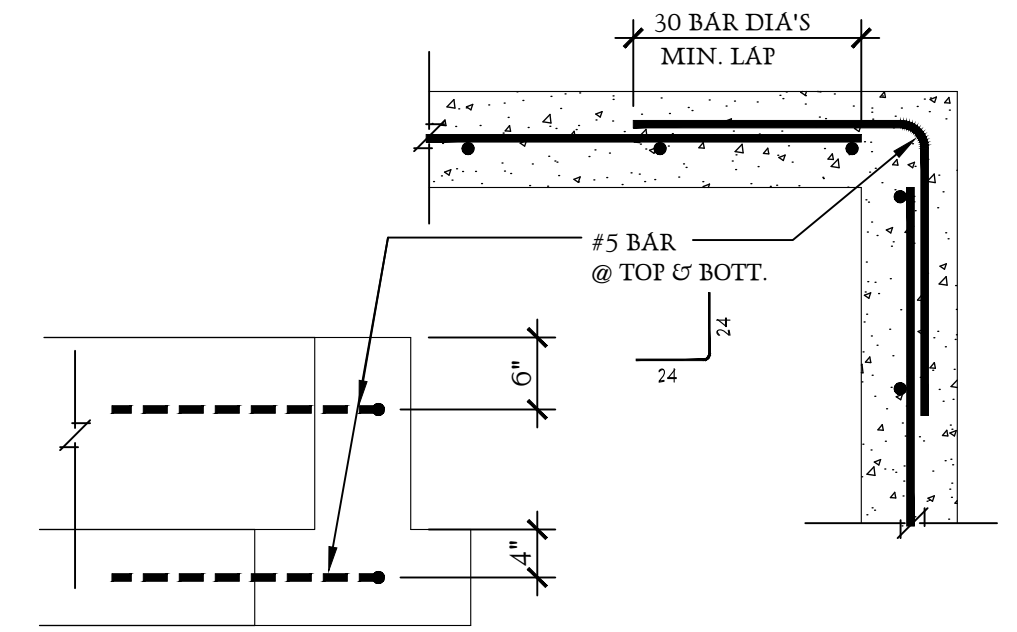
2 SECTION @ ENTRY PORCH  
SCALE: 1" = 1'-0"



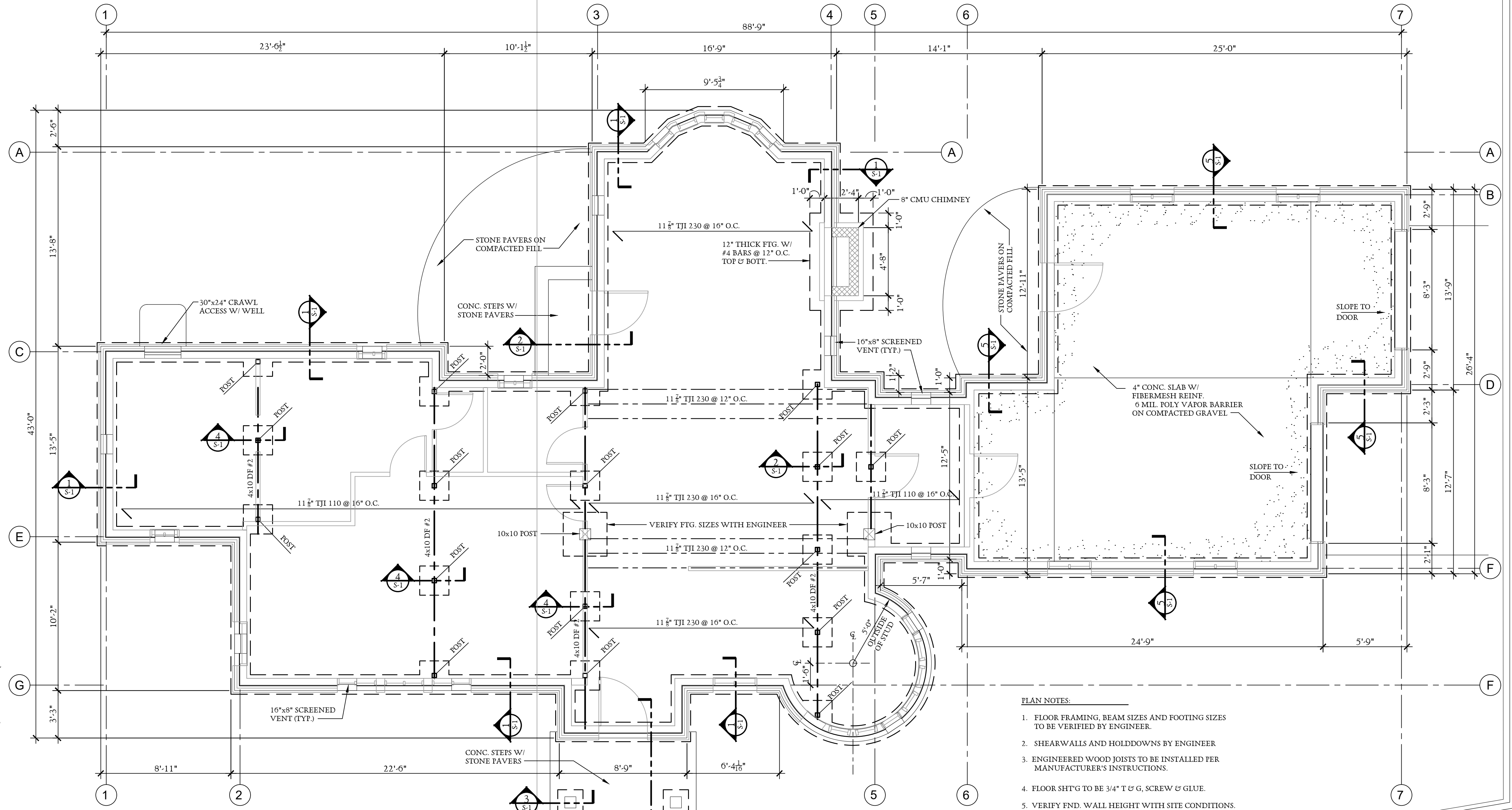
3 10x10 POST FOOTING DETAIL  
SCALE: 1" = 1'-0"



CONTROL JOINT  
SCALE: 3/4" = 1'-0"



TYP. CORNER LAP  
SCALE: 3/4" = 1'-0"



Foundation Plan

Scale: 1/4" = 1'-0"

PLAN NOTES:

1. FLOOR FRAMING, BEAM SIZES AND FOOTING SIZES TO BE VERIFIED BY ENGINEER.
2. SHEARWALLS AND HOLDDOWNS BY ENGINEER
3. ENGINEERED WOOD JOISTS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
4. FLOOR SHTG TO BE 3/4" T & G, SCREW & GLUE.
5. VERIFY FND. WALL HEIGHT WITH SITE CONDITIONS.
6. CHEMICALLY TREAT SOIL FOR TERMITES.