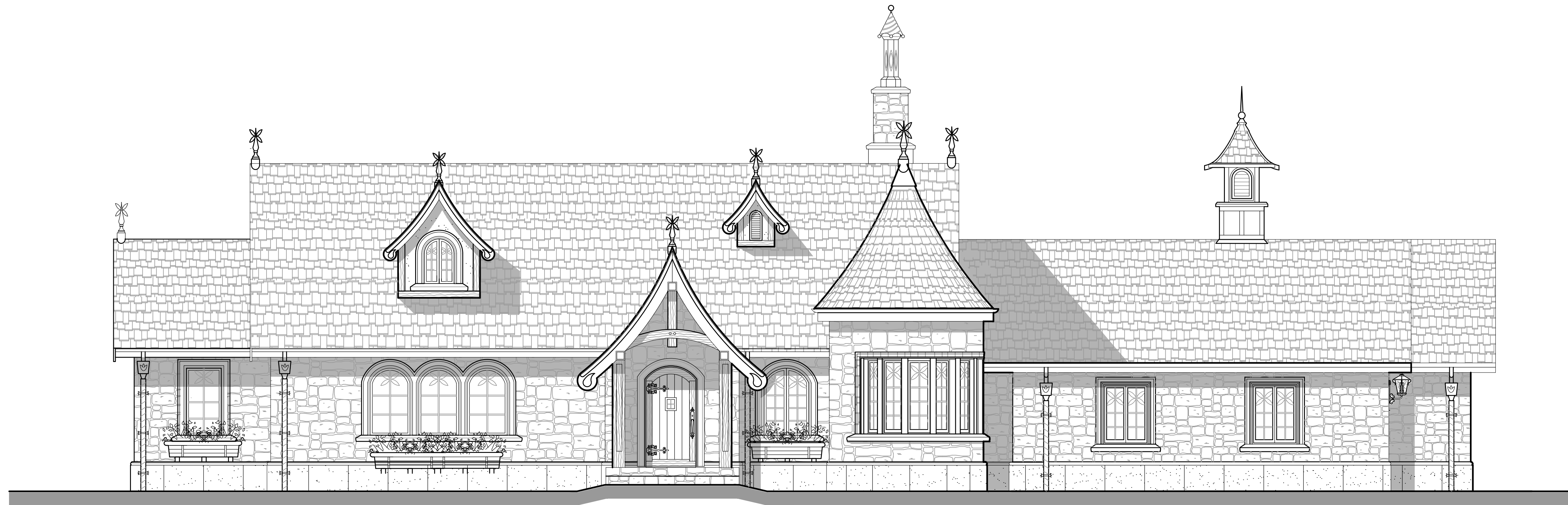


# Storybook Homes

Presents



"WeeStone"

Design TTC No. 29

by

Samuel Hackwell & Andrew Perkins



by Samuel Hackwell &  
Andrew Perkins

P.O. Box 60  
Lynden, WA 98264  
1-888-662-3876  
www.storybookhomes.com

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Plot Date : JAN. 10, 2023

A-1



# Index & Word Glossary

## Project Description

A single family residence of approx. 1,456 sq. ft.  
Main level: Gathering Room, Dining Area, Scullery, Full Bath,  
Master Chamber and Closet.  
Upper level: None.

In keeping with the old-world style and theme, we have labeled the rooms within the cottage like the Architects and Designers labeled them in earlier days. We have compiled a short list of words to help you with the terminology of old and compare them to the more modern terms we use today.

Bed Chamber = Bedroom  
Carriage House = Garage  
Dining Area = Dining Room  
Gathering Room = Family Room  
Drawing Room = Great Room  
Larder = Pantry  
Parlor = Living Room  
Scullery = Kitchen

## Index to Sheets

- A-1 Cover Sheet
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- A-4.2 Rear Elevation and Building Section
- A-5 Main Floor Plan
- A-6 Roof Plan and Details
- A-7 Door & Window Schedules
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- A-9 Details 2
- A-10 Details 3
- S-1 Foundation Plan and Details
- E-1 Electrical Main Floor
- L-1 Suggested Plant List for Cottage Garden

Plot Date : JAN. 10, 2023

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# A-2



# General Specs, Notes, & Guidelines 1

## for building your Storybook Home

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These general specifications and notes are intended to give the contractor and homeowner an understanding of building materials, designs, suggestions and procedures for the construction of a Storybook Home. These are not full specifications. Changing or using substitute materials and/or methods is acceptable if agreed upon by all consenting parties.

Due to varying codes in various locations, Storybook Homes strongly urges that these plans be reviewed by a local licensed structural engineer so that this cottage will completely comply with all local building codes and ordinances. Any additional structural alterations and changes must also be reviewed by a licensed structural engineer. Any alterations or changes to these plans are the sole responsibility of those making such alterations.

All work shall be done in strict accordance with local building ordinances and codes. The general contractor, chosen by the project owner, shall be responsible for all work performed.

Important: Any omission and/or errors in these plans shall in no way relieve the contractor from completing this project in a satisfactory and thorough manner, approved by both the building inspector and project owner. Storybook Homes is not responsible nor liable for any inconsistencies, construction of, or building practices, before, during, or after completion of a Storybook Homes structure.

### Construction Type

Wood frame, with stone, brick, and stucco veneer. Ground floor (Basement floor) is concrete.

**Workmanship:** All the work to be executed in the best and most thorough workmanlike manner, and warranted sound and substantial in operation at completion. All materials and workmanship to be of the best quality and skill known to the trade.

### SITE WORK

1. Soils report: recommended to determine soil bearing characteristics and appropriate foundation design; consult project owner to verify.
2. Percolation test: verify if applicable, contractor review and coordinate with site plan, consult project owner.
3. Site clearing: protect trees designated to remain on site, remove all vegetation from areas within the building outline, lay aside the top soil at the commencement and replace over the graded surface at completion. Comply with local erosion control measures.
4. Earth work: filled areas to be compacted 95-100% at optimum moisture content. Building pads to be constructed level and true to grades indicated on plans (if any).
5. Drainage control: final grade shall drain away from all structures. A foundation drain may be necessary for the site. If so, a 4" min, perforated pipe with filter cloth and 12" min. class 'A' gravel backfill with a minimum of 1% slope, drain to daylight or an approved storm drain.

All gutters, gutter heads, scuppers, and downspouts should be of copper, with copper components. The gutter and downspouts to be 4" in diameter. Do not connect to perforated foundation drain.

6. Exterior paving: all exterior concrete to be air-entrained, 2500psi, 3000psi if exposed to weather, consult local codes to verify.

Driveways to be concrete pavers or cobbled stone over minimum of 6" compacted roadbase material and 1" of sand (see paver installation guidelines provided by manufacturer).

Walkways to be concrete pavers or cobbled stone over minimum of 4" compacted roadbase and 1" of sand (see paver installation guidelines).

7. Landscaping: A suggested landscape is included that very much compliments this Storybook Home. This is a water-wise cottage flower garden, including an ornamental fruit and vegetable garden. Variations in climate and geographical locations will determine more correctly your plant material selection. Consult your local extension office for a listing of suitable plant material for your area.

### CONCRETE

1. Footing: (Verify on Plan details for crawl space or basement foundation) Basement is 36" wide X 10" thick, 2500psi concrete; Crawl space is 16" wide X 10" thick, 2500psi continuous spread, footing with 2 - #5 rebars top and bottom, use corner bars and lap all splices 30"
2. Stemwall: 10" thick, 2500psi concrete stemwall with #4 horizontal rebars @ 12" on center and #4 vertical dowel @ 12" on center from footing up through stemwall.
3. Slab, basement floor: 4" thick, 2500psi concrete slab over minimum 5" sand or gravel base over compact backfill
4. Basement/Retaining walls: 10" thick, 2500psi minimum concrete, refer to plans for reinforcing.

### MASONRY

1. Stucco: 3 coat system, 3/4" to 1" thick, on expanded metal lath, Finish coat shall be light sand finish. Color shall be selected by project owner. Suggested colors are; light creams and browns.
2. Brick: brick shall be chosen by project owner, install with 22 gauge G. I. masonry ties @ 16" on center each way, mason provides steel lintels as required (lintels may need to be designed by local engineer). All brick and stone material shall be continuous around outside corners, avoid change of material at outside corners! Suggested brick material; brick should be used and old in appearance, with soft edges, earth tones and varigated in color. Some Storybook Home designs call for uneven brick and/or ornamental patterns and designs in the brick.
3. Stone Veneer: Stone shall be selected by project owner. Nominal 4" to 6" thick veneer with 22 gauge G. I. masonry ties @ 16" on center each way, mason provide steel lintels as required. All stone material shall be continuous around outside corners, avoid change of material at outside corners. Real stone is preferred. Stone should be square or rectangular in shape, avoid rounded river rock.
4. Cast concrete: Cast concrete around windows and doors is strongly suggested. Refer to mason and/or cast concrete manufacturer for specifications for installation guidelines and designs.
5. Mortar: mix: 1 part cement, 1/4 part hydrated lime, 4 parts sand. Mortar should be brushed and or rubbed, nearly flush with brick or stone, Mortar can be slightly tooled.

### METALS

1. Reinforcing steel: Reinforcing steel to meet ASTM A-615, latest revision with supplemental requirements. #3 bars to be grade 40, #4 and larger bars to be grade 60. Provide #3 Z-bar spacers @ 24" on center each way for all concrete walls having reinforcing steel in both faces.
2. Structural steel: Structural beams shall meet ASTM A36, latest revision. Structural pipe columns shall meet ASTM A53, latest revision. Provide double nuts for all column anchor bolts to allow for adjustment and leveling. Install minimum 1" high-strength non-shrink grout under base plate after erection.

All column to beam and beam to beam connections to be made with ASTM A-325 high strength bolts (A-307 may be used in some instances). Other connections may be made with standard machine bolts. All steel fabrications shall receive a shop applied rust inhibitive primer. All field welds shall be ground smooth and primed with rust inhibitive coating and require special inspections by code.

3. Framing connectors: Anchors, joist hangers, etc, shall be Simpson or equal. Installation shall be per manufacturers specifications. Consideration of the corrosive environment shall be given to connector locations.
4. Architectural metals: Ornamental metal fabrications shall be constructed to resemble, as closely as possible, those designs drawn in these plans. Consult the project owner for any changes or modifications. Storybook Homes may have some custom designs available.

### ROUGH CARPENTRY

All dimensional framing lumber shall be stress graded, kiln dried Douglas fir #2, southern pine #2 or equal (meet or exceed). All rafter and joist sizes and spacing shall meet or exceed the minimum local building code requirements for load carrying capacity. **Contractor is responsible for verifying and complying with all local requirements.**

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Plot Date : JAN. 10, 2023

# A-3.1

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by Samuel Hackwell &  
Andrew Perkins



# General Specs, Notes, & Guidelines 2

## for building your Storybook Home

Note: Some materials and products given here may not apply to this project, therefore disregard any such references. Materials, products, notes, and sections are merely for presentation purposes. Contractor and all sub-contractors shall be responsible for all structural concerns, including hydrological issues, and shall act in strict accordance with all local building codes.

Dimensional lumber: rafters, headers, joists - #2 Douglas Fir or #2 Southern Pine. Blocking, stiffbacks, bracing, etc. #2 Douglas fir or southern pine.

1. Exterior walls: #2 Douglas Fir or #2 Southern Pine, 2X6 studs @ 16" on center, treated mudsill to set on sill sealer.
2. Interior partitions: Douglas Fir or Southern Pine, 2X4 studs @ 16" on center, see plans for 6" partitions including all plumbing walls @ 16" on center (stud grade materials).

### FLOOR FRAMING

1. Dimensional lumber: #2 Douglas Fir or #2 Southern Pine, 2X12 @ 16" on center, unless otherwise noted on plans.
2. Floor trusses: Truss-joist "Silent Floor System". Metal joists as specified by structural engineer can also be used or substituted. Trusses shall be designed to carry the loads imposed, as indicated on these plans, and per all applicable codes and ordinances. Deflection shall be limited to LL/480. Verify size and spacing indicated on these plans and/or per structural engineers suggestions.
3. Roof framing:  
Dimensional lumber: #2 Douglas Fir or #2 Southern Pine, 2X10 @ 16" on center unless otherwise noted on plans, or by engineering.  
Roof trusses: it is suggested that trusses shall be fabricated by a truss manufacturing company having a minimum of 5 years experience. Trusses shall be designed to carry the loads imposed, as indicated on these plans, and per all applicable codes and ordinances.
4. Engineered lumber: laminated veneer lumber or parallel strand lumber. Installation of any engineered lumber product or fabrication shall be according to manufacturer's specifications.
5. Sub-flooring: Plywood - APA rated, tongue and groove, 3/4" or 1 1/8" thick, glued and screwed, no nailing on plywood flooring.
6. Sheathing:  
Plywood - APA rated sheathing, exterior exposure, 1/2" thick, glued and nailed, cover with two layers of 15# felt paper or equal, such as "Tyvek House Wrap" prior to installing exterior material (stucco, masonry veneer, etc.)
7. Exterior trim: Drip, soffit, and fascia - select grade redwood or cedar. Any metal drip, soffit or fascia should be of copper.
8. Rain Gutter System: Copper rain gutters, down spouts, conductor heads, hold-downs, and other components. Rain cisterns are also suggested for water conservation practices.

Timber post and beam - select grade structural Douglas fir, #1 or better. Timber trim (non-structural) - select grade cedar, could be distressed or have hand-hewn look for best appearance.

### FINISH CARPENTRY

1. Molding, Baseboard, Casing, etc. - stain grade softwood or hardwood, such as cherry, walnut, poplar, etc.
2. Decorative timbers and beams - stain grade select cedar, Douglas fir, or any wood matching other moldings and trim.
3. Cabinets - project owners choice. Storybook Homes may have custom hardware available.
4. Utility shelving - Douglas fir, southern pine, plywood veneered wood with solid edging, or any other wood complementing other trim and woodwork.

### MOISTURE AND THERMAL PROTECTION

1. Roofing: Slate, clay or cement shingles, smaller in size, laid in staggered pattern, see plans for suggested style and pattern. Some locations may allow thatching, verify with thatchers for specs and implementation of such.
2. Flashing: 16 oz. copper
3. Caulking: Exterior - use best available  
Interior - paintable latex
4. Weatherstripping: all exterior doors shall receiver weatherstripping
5. Insulation:  
frame floor - 10" (R-30) fiberglass batts with vapor barrier  
Exterior walls - 6" (R-21) fiberglass batts with vapor barrier  
Interior partitions - 3 1/2" (R-13) fiberglass batts. Note: all interior walls to be insulated, not only for insulation purposes but for sound control also.  
Flat ceilings - minimum of R-38 fiberglass or blown-in insulation  
Vaulted ceilings - 10" (R-30) fiberglass batts with vapor barrier  
Note: any superior insulation methods or products than those listed can also or should be used.

### WINDOWS, DOORS, AND GLASS

1. Exterior doors: pre-hung in exterior frame, refer to plans for styles, shapes and sizes.
2. Interior doors: pre-hung, refer to plans for styles, shapes and size

3. Garage doors: refer to plans for styles, shapes and sizes. Plaque door with various types of wood, such as cedar, redwood, etc. and stain to compliment other exterior colors. Door can be very heavy due to wood plaquing, installation should be done by professional garage door installer only.

4. Windows: refer to plans for styles, shapes and sizes. Storybook Homes suggests the use of true divided lite windows only, and that all windows should be recessed.

It is also suggested that false internal divided lite windows, and mounting the window flush with the exterior wall, should be avoided. Metal cladding of windows is however, strongly suggested.

5. Mirrors: 1/4' polished plate glass mirrors, field measured and installed with mechanical fasteners.

6. Hardware: To be chosen by project owner. Contact Storybook Homes for possible custom door and cabinet hardware

7. Shutters: any shutters shall be stained cedar or redwood.

Important: the shutters shall be appropriately sized to cover window entirely, whether operational or not.

### FINISHES

1. Gypsum board: United States Gypsum or equal. 5/8" gypsum board is to be used at all interior surfaces. Use type X fire rated gypsum board at garage ceiling and walls. Use water resistant "green" gypsum board and mud joints with water resistant mud compound at showers and tubs. Tape and mud all joints and finish semi-smooth to smooth, to create an old-world plaster look. Contemporary "spray and knockdown" texturing of walls is strongly discouraged. However, creative heavy tooling of plaster is the exception and is acceptable.
2. Paint: The following are suggestions only.

#### Exterior

- wood (stain) - two coats of best kind available.
- wood (paint) - 1 coat acrylic primer, two coats acrylic latex or oil, best available.
- metal (other than copper) - 1 coat oil primer (rust inhibitive), two coats alkyd enamel, best available.

#### Interior

- gypsum board - 1 coat primer, two coats sprayed and back-rolled, best quality of paint available, color is project owners choice.
  - woodwork (stain) - 1-2 coats stain, 2 coats sanding sealer, 2 coats finish lacquer, best available. Stain color to be owners choice,
  - woodwork (paint) - 1 coat oil based primer, 2 coats enamel, best available.
  - metal - 1 coat acrylic primer, 2 coats alkyd enamel, best available.
3. Wall coverings and finishes: refer to plans and allowances. Some suggestions are made, but ultimately it is up to owners discretion.

4. Floor coverings: Hardwood as suggested in some areas of floor plan, particularly in high traffic areas such as hallways. Darker in color is preferable.

Equipment and Appliances: Owners choice, refer to schedule for suggested suppliers.

### HVAC

Furnish and install services, equipment, controls, ductwork, insulation, decorative grills and decorative registers, refrigerant piping and other materials as required to provide an average annual temperature within the space of 72 degree F. The A/C and heating system to be the most energy efficient available. Size and final layout of system by mechanical contractor. Decorative grills and registers may be available from Storybook Homes.

### PLUMBING

Furnish and install all plumbing as noted on plans, including all fixtures, fittings, water/waste/vent/gas lines, valves, insulation, floor drains, etc., to provide a complete and working plumbing system. Sizes and layout of system by plumbing contractor. Note to plumbing contractor: Plenty of shut-off valves and isolation valves should be used so as to provide easy repairs and future expansions of system. Also, ball-valves should be used and not gate-valves.

Materials:

- Sanitary waste - schedule 40 PVC DWV
- Vent piping - schedule 40 PVC DWV
- Gas piping - black steel piping
- Water piping - copper
- Flashing - #4 sheet lead for sanitary vents, 16 galvanized for flues. All flashing should be primed and painted to compliment roofing and other exterior colors or copper covering should be used.

Fixtures: Refer to schedules

General Plumbing Work: (to be included in contractors base bid)

1. 1" water meter and copper supply line to house and property. Additional irrigation meter and line may be necessary, 1" minimum.
2. Water line to refrigerator
3. Connect dishwasher and disposal
4. Rough for washer with wall box
5. Frost proof sillcocks (hose bibs)
6. On-demand water heaters, two or more if necessary
7. 2" coated gas service and meter
8. 4" schedule 40 PVC DWV to sanitary sewer or septic tank, whichever applies

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# A-3.2

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Andrew Perkins



# General Specs, Notes, & Guidelines 3

for building your Storybook Home

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## ELECTRICAL

Refer to drawings. Electrical diagrams included in plans should be followed as closely as possible. Furnish and install all wiring, "Home Run" wiring panel boxes, circuit breakers, switches, receptacles, etc., for complete working electrical systems. Size of service, layout of circuits, etc., by electrical contractor. Contractor shall include telephone, speaker, co-ax cable, fiber optic, and alarm pre-wiring. Service to home shall be sized for future additions such as finishing off the basement, adding additional garages or shop space.

### Materials

Wiring - copper throughout

Circuit breakers - "Square - D" or equal

Fixtures - refer to schedule on plans and consult project owner for choices.

Switches - Leviton or equal

Telephone - minimum category 5e, 4 pair strand

Cable T.V. - co-ax RGB 6 or better, two co-ax cables (one white in color, and one black in color) to every drop.

Fiber Optic - intranet and Internet pre-wiring and connections.

Alarm system pre-wire - minimum 16 gage to every window and door on main level.

Stereo speaker pre-wire - minimum, two drops in every room.

## GENERAL NOTES

Should local codes and /or ordinances differ from these plans, a determination shall be made by the general contractor and /or local building official as to which is the most stringent. The most stringent requirement shall rule. Should a change in these plans be necessary or desired which will alter the design or structural integrity of the structure(s), consult with a qualified structural engineer or architect to verify that such a change will not be detrimental to the structural integrity of the structure(s) prior to implementing the change.

**IMPORTANT:** Contractor to verify all dimensions in field.

Framing standards and/or requirements may vary from one location to another. In some areas, more stringent framing connections or methods may be necessary. It is not the intent of these drawings to show engineered connections meetings all requirements for all areas. It is the responsibility of the owner and contractor to review and revise, if necessary, any framing connections or structural members, in order to meet local standards, codes or requirements.

Install all bracing, stiff-backs, blocking, etc., as required per good framing practices.

All 2x6 and 2x4 walls are dimensioned as nominal 6" and 4" walls respectively.

Typical headers at all 6" walls will be 2-2x12's with 2 1/2" blocking spaced at 24" on center.

Typical headers at all 4" wall will be 2-2x12's with 1/2" plywood spacers at 24" on center, unless otherwise noted.

Use joist hangers at all flush beams and headers.

Install double joist under all parallel partitions above.

Install double joist at each side of openings. Examples: chimneys, stairwells, etc.

All water lines located in outside walls are to be insulated.

Install perforated foundation drain around perimeter of basement footing if local conditions and codes require.

Verify actual thickness of brick and stone with mason to make any adjustments to the roof overhang of eaves.

It is suggested that all drain pipe traveling down from any upper floor to any lower floor be either cast-iron or insulated, as to deaden sound of flowing water.

## Suggested Sources and Ideas

### ANTIQUES

Belcour  
303-765-5151  
www.belcour.net

Gatehouse Antiques  
417-582-2420  
www.gatehouseantiques.com

The Uncommon Market  
214-871-2775  
www.dfwantiquedealers.com/uncommon  
market/index.htm

### ARCHITECTURAL SALVAGE

Contact Storybook Homes for more information regarding their latest salvaged materials, fixtures, and components.

### APPLIANCES

Heartland Appliances Inc.  
800-361-1517  
www.heartlandapp.com

Good Time Stove  
413-268-3677  
www.goodtimestove.com

Wood Stone  
800-988-8074  
www.woodstonehome.com  
Contact: Jana Logan

### CABINETS

William Ohs  
303-371-6550  
www.wmohs.com

### CHIMNEY POTS

The Chimney Pot Shoppe  
724-345-3601  
www.chimneypot.net

No. 9 Studio UK  
+ 44 (0) 1769 540471  
www.no9uk.com

### CONSERVATORIES

Tanglewood Conservatories  
1-800-229-2925  
www.tanglewoodconservatories.com  
Contact: Nancy Virts

### DOORS

Carriage House Door Co.  
1-866-890-1776  
www.carriagedoor.com

Erik Wyckoff Artworks  
612-617-0446

Old World Door Company  
425-941-6364  
www.old-world-door.com

### ELECTRICAL & MISC.

Classic Accents  
800-245-7742  
www.classicaccents.net

### FIREPLACES

Tartaruga Design Inc.  
877-762-0418  
www.tartarugadesign.com

The Victorian Fireplace  
866-GASCOALS  
www.thevictorianfireplace.com

### FIXTURES, PLUMBING

Herbeau Creations of America  
800-547-1608  
www.herbeau.com

Vintage Plumbing  
818-772-1721  
www.vintageplumbing.com

### FLOORING

Carlisle Wide Plank Floors  
800-595-9663  
www.wideplankflooring.com  
Contact - Sarah 303-893-3940

Countour Flooring  
914-737-8201  
www.cordtsco.com

Kellogg Hardwood Lumber  
877-721-WOOD (9663)  
www.kellogghardwoods.com

### HARDWARE

Storybook Homes Hardware  
888-Once-Upon  
www.storybookhomes.com

### LIGHTING

Storybook Lighting by Mica Lamps  
888-662-3876  
www.storybookhomes.com

Hans Duus Blacksmith, Inc.  
805-688-9731  
www.hansduusblacksmith.com

Steven Handelman Studios, Inc.  
805-962-5119  
www.stevenhandelmanstudios.com

### METALS / COPPER

A.B. Raingutters Inc.  
714-577-8369  
www.abraingutters.com

Copper Craft  
800-486-2723  
www.coppercraft.com

Copper Summit Inc.  
918-230-8725  
www.coppersummitinc.com

EJM Copper Inc.  
407-447-0074  
www.ejmcopper.com

Hans Liebscher Custom Copper Works  
760-471-5114  
www.hanscopper.com

### ROOFING

Northern Roof Tiles  
888-678-6866  
www.northernrooftiles.com  
contact - Stuart Matthews

Bartile Roofs, Inc.  
www.bartile.com  
800-933-5038

C&H Roofing/Country Cottage Roof, Inc.  
877-7-THATCH  
800-327-8115  
www.chroofing.com

McGhee & Co. Roof Thatchers  
888-842-8241  
www.thatching.com

Storybook Roof  
800-971-7860  
www.storybookroof.com

### STONE, BRICK, & CONCRETE ACCENTS

Storybook Homes Architectural Salvage  
We sell used brick, contact for information  
888-662-3876  
www.storybookhomes.com

Gavin Historical Bricks  
319-354-5251  
www.historicalbricks.com

Jim Stringer Masonry  
951-657-9187  
www.toddlertime.com/jimstringermasonry/index.htm

Materials Marketing  
800-368-3901  
www.materials-marketing.com

Stone Legends  
800-398-1199  
www.stonelegends.com  
contact - Stuart Sharp

### WINDOWS

Hyland Studios  
408-748-1806  
www.hylandstudio.com

Point Five Windows  
970-482-6971  
www.point-five-windows.com

### WOODWORKING

Architectural Paneling, Inc.  
212-371-9632

Renaissance Old World  
888-renaissance  
www.carving.com

Capital Cresting  
800-442-4766

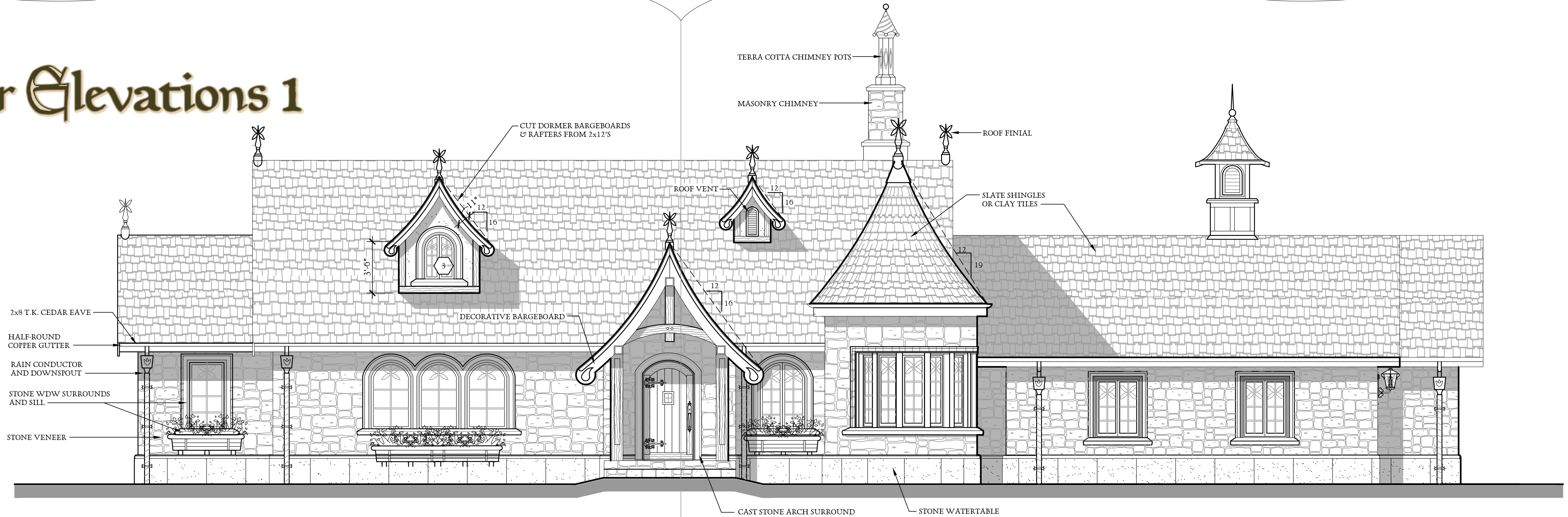
Woodsmiths  
800-874-2876  
www.woodsmiths.net

### MAGAZINES/CATALOGS

Cottages & Bungalows  
New Old House  
Old House Journal's Traditional Products  
Old House Historic House Plans  
Period Homes



# Exterior Elevations 1



**Front Elevation**

Scale : 1/4" = 1'-0"



**Left Elevation**

Scale : 1/4" = 1'-0"

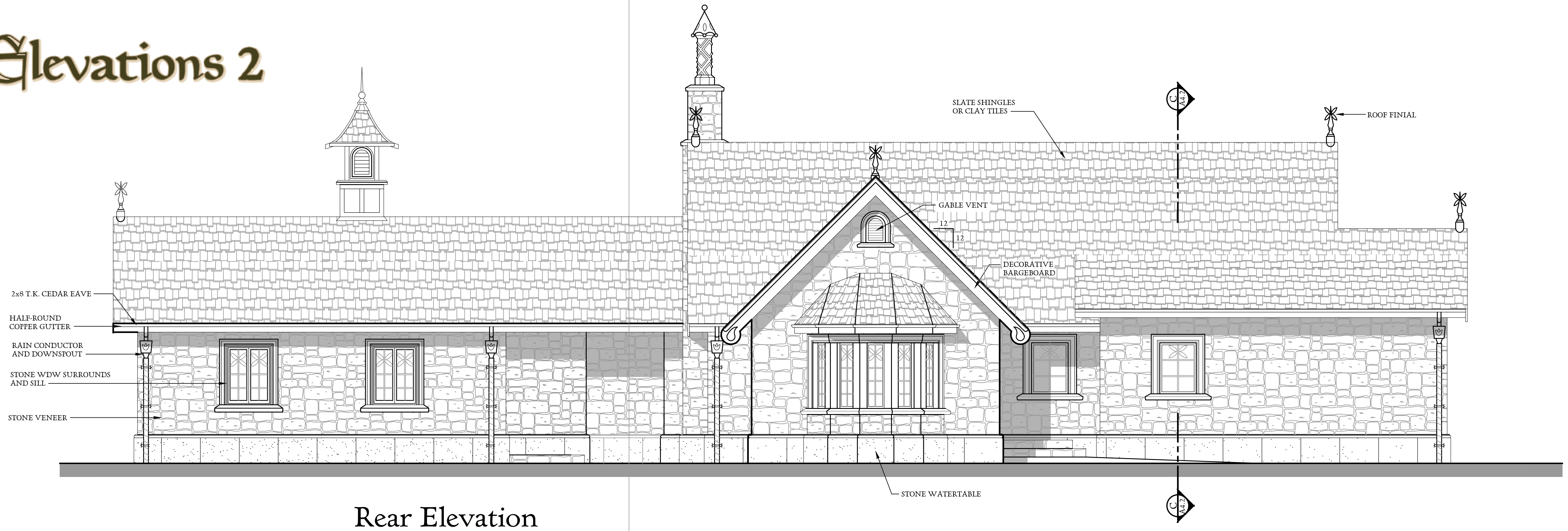


**Right Elevation**

Scale : 1/4" = 1'-0"

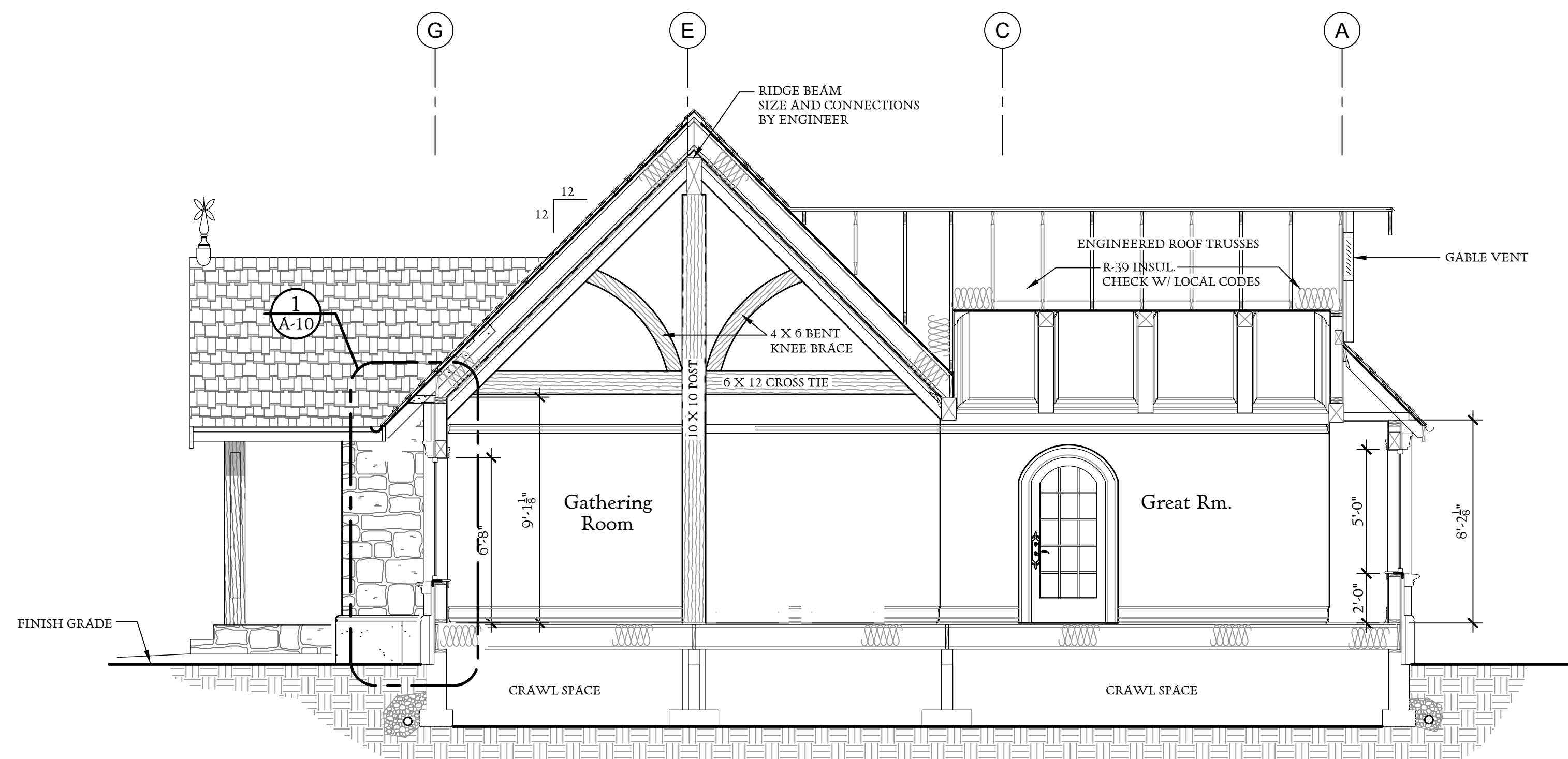


# Exterior Elevations 2



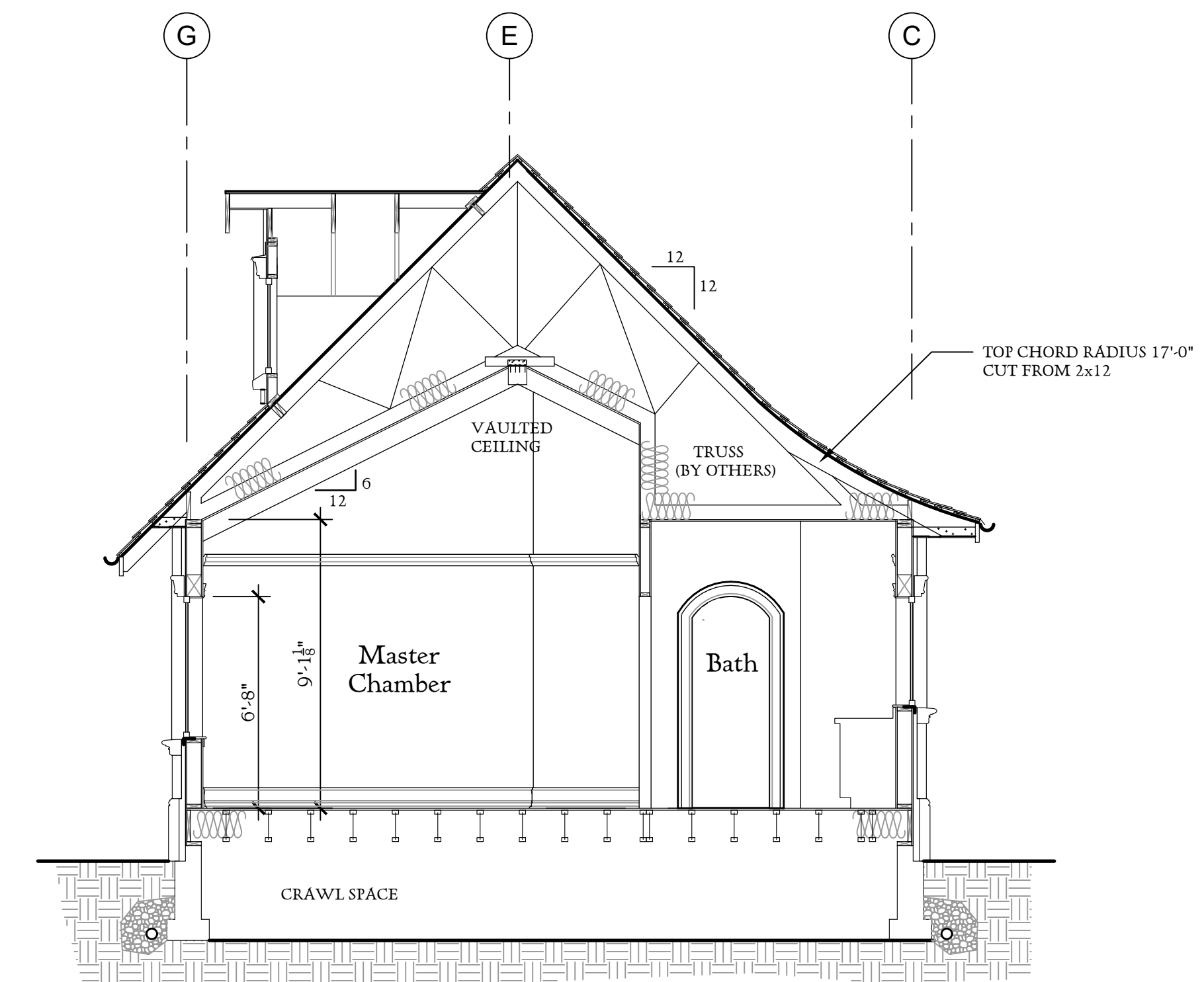
**Rear Elevation**

Scale : 1/4" = 1'-0"



**Building Section A - A**

Scale : 1/4" = 1'-0"

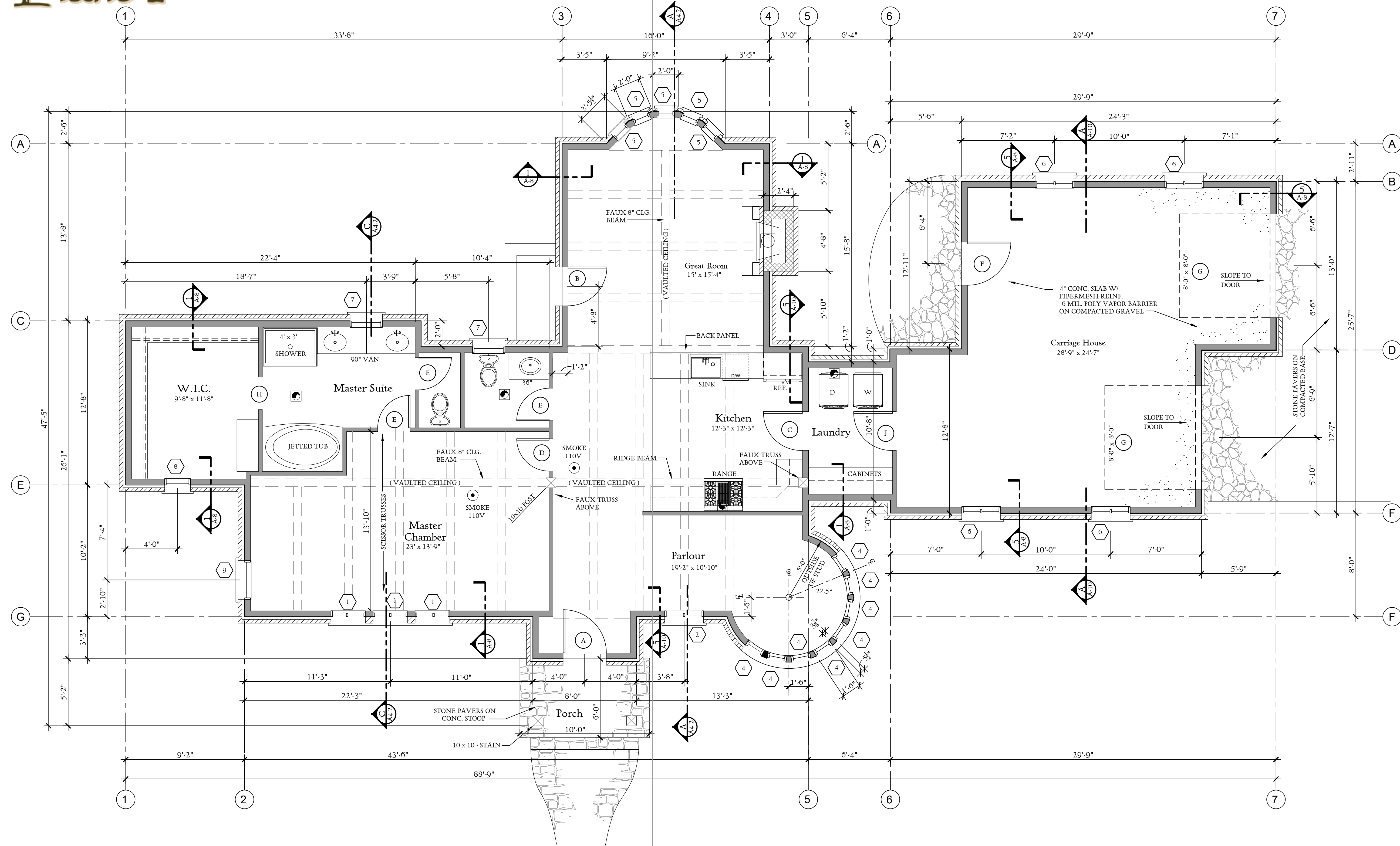


**Building Section C - C**

Scale : 1/4" = 1'-0"



# Floor Plans 1



## Main Floor Plan

Scale : 1/4" = 1'-0"

Heated Area : 1,456 s.f.  
 Garage : 613 s.f.  
 Total : 2,069 s.f.



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**IMPORTANT:**

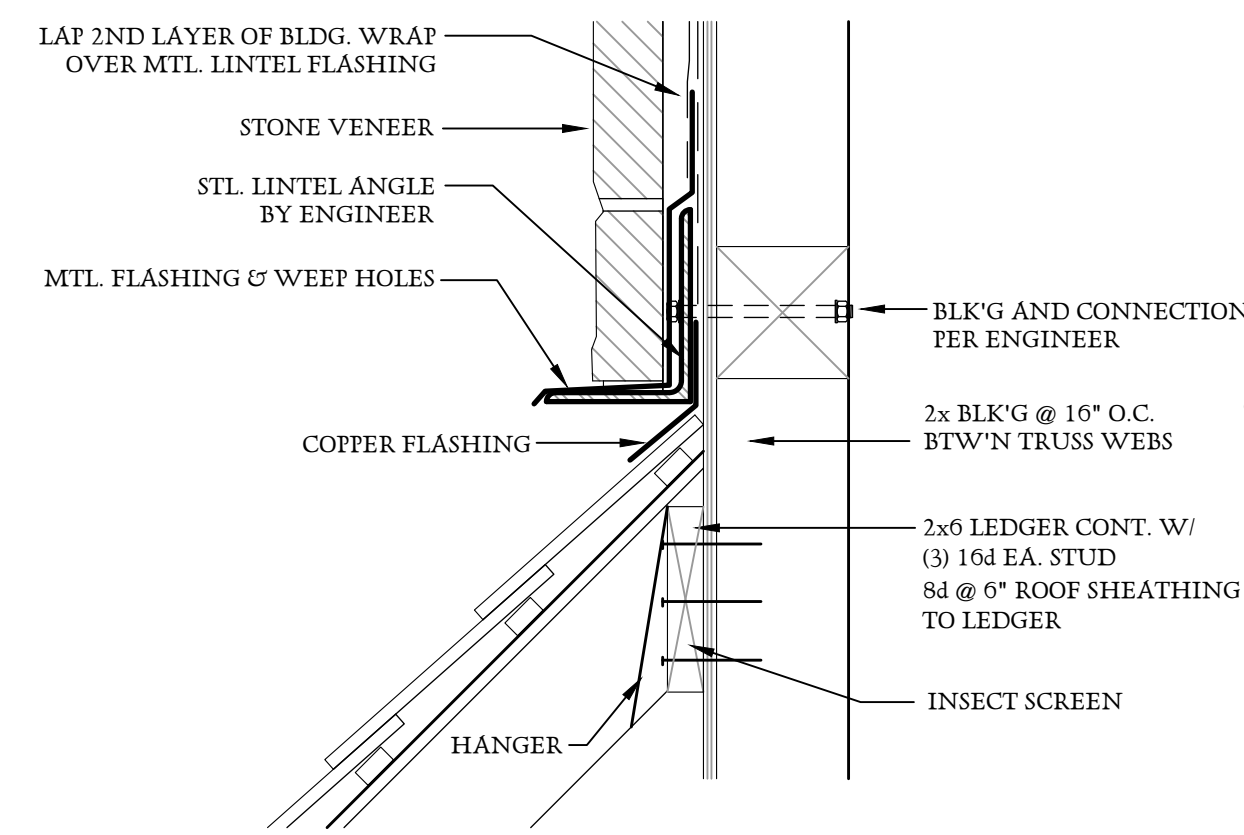
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Plot Date : JAN. 10, 2023

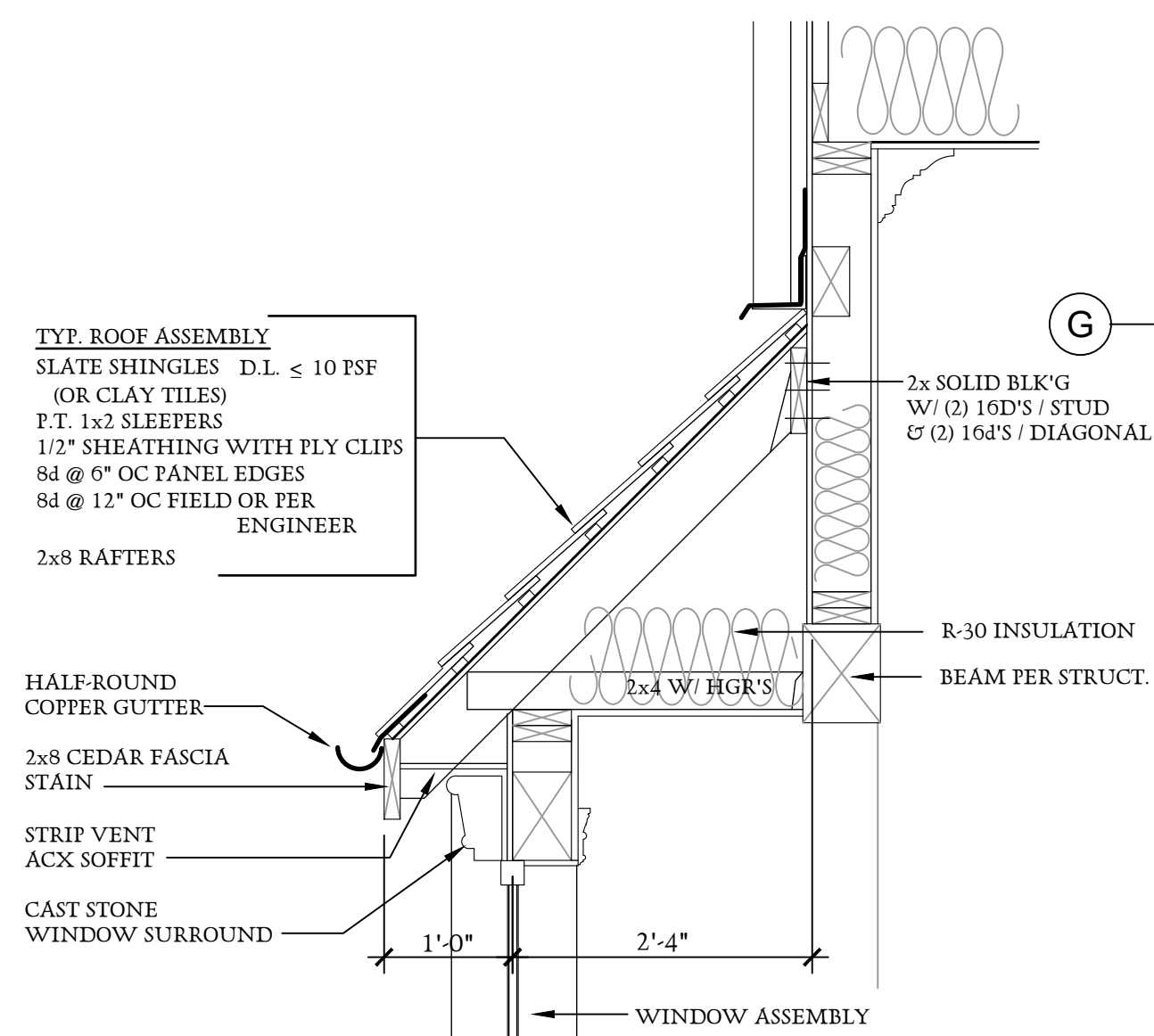
# A-5



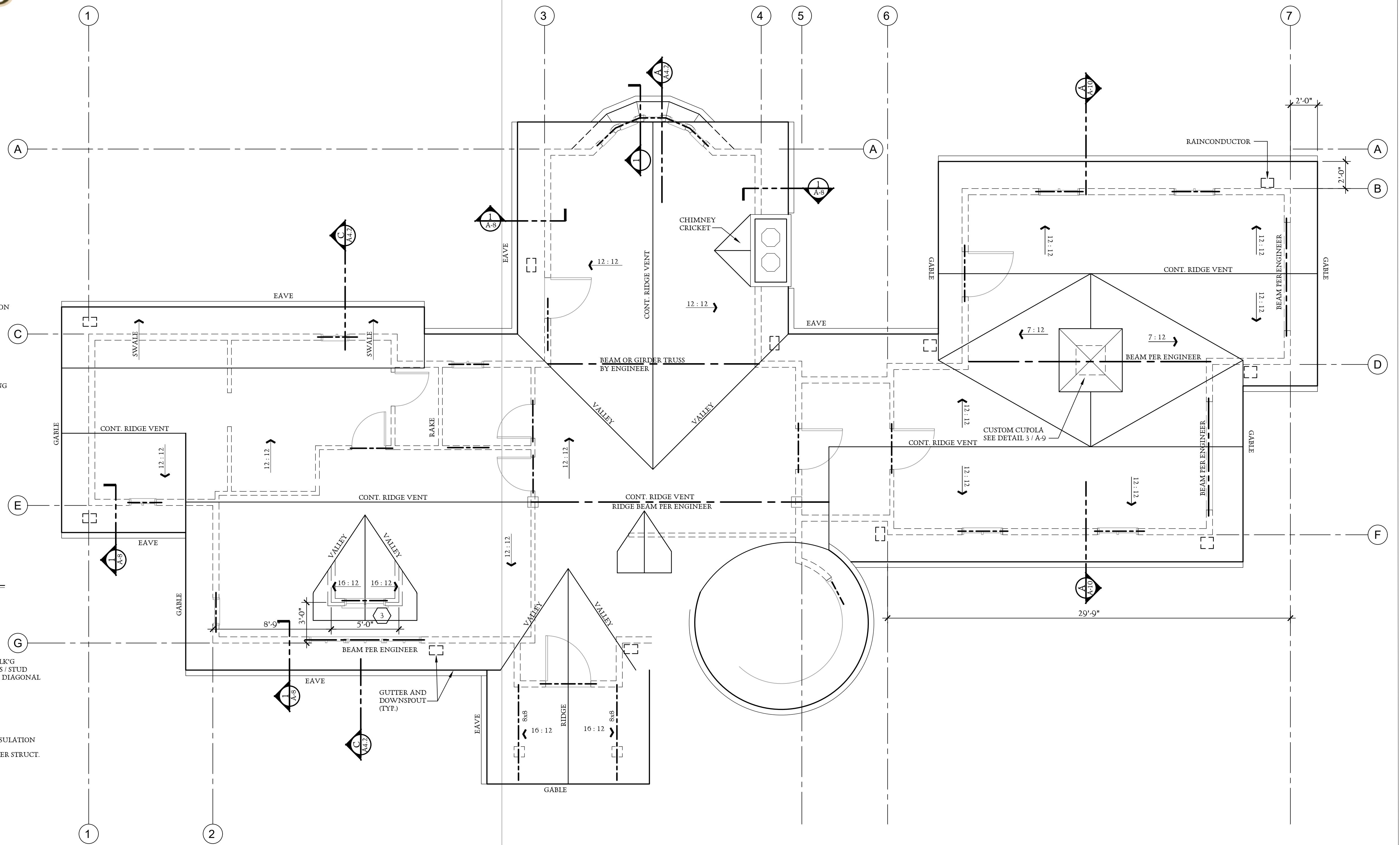
# Roof Framing



**1 ROOF / LEDGER DETAIL**  
 SCALE: 1-1/2" = 1'-0"



**2 BAY WINDOW ROOF SECTION**  
 SCALE: 3/4" = 1'-0"

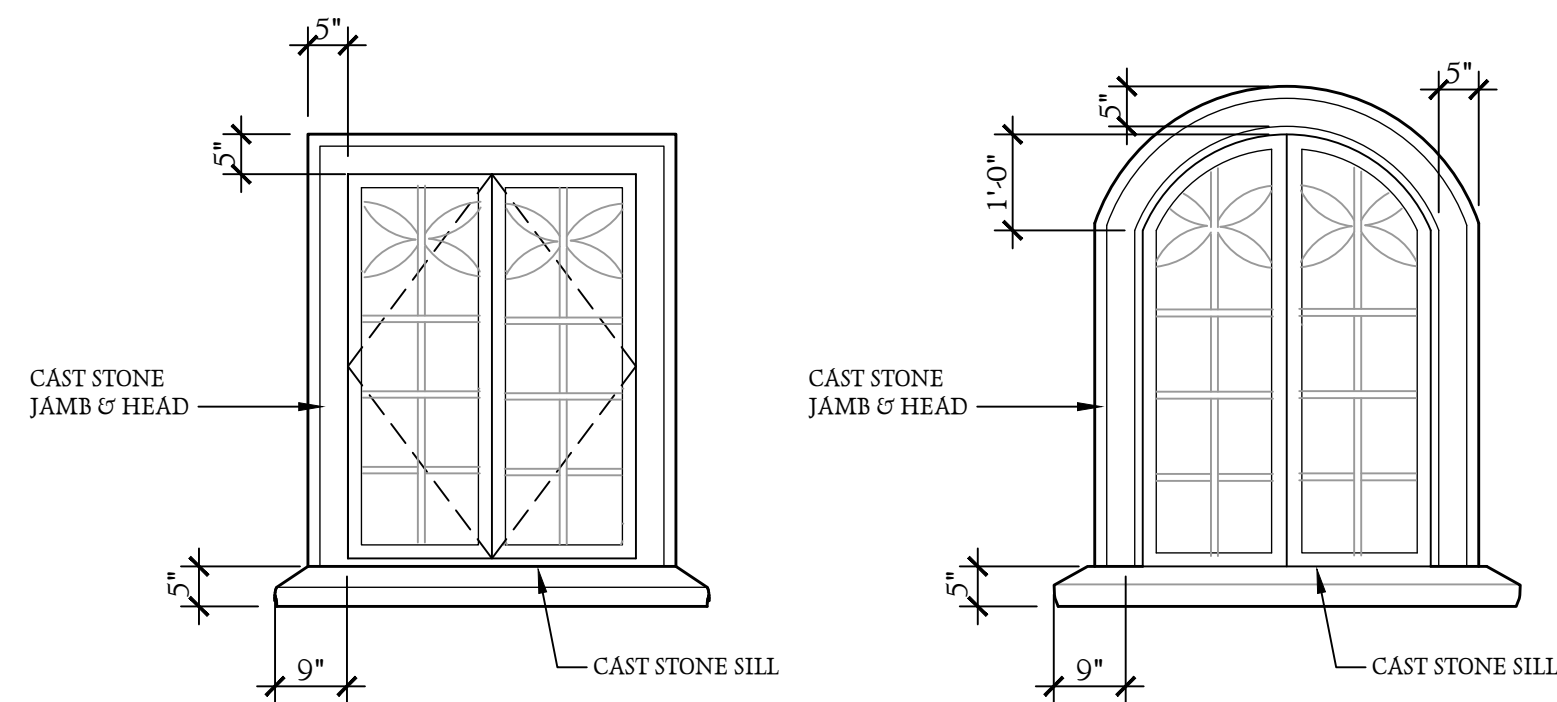
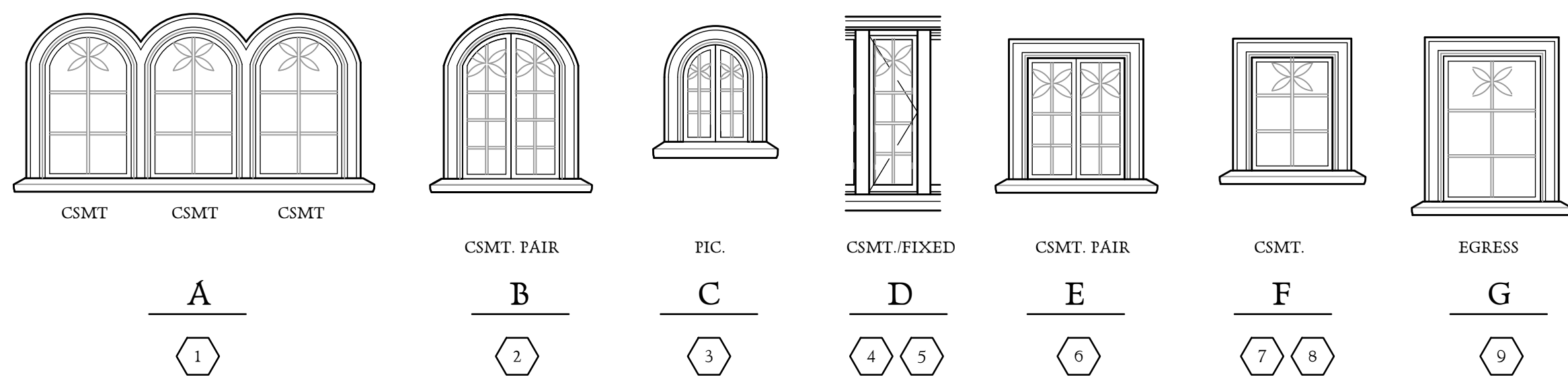


**Roof Plan**  
 Scale : 1/4" = 1'-0"

# Door & Window Schedules

Note: Please verify all window and door quantity and sizes BEFORE ordering.

WINDOW SCHEDULE							
MARK	WIDE	HIGH	TYPE	QUANTITY	INSUL.	FRAME	REMARKS
1	2'-8"	4'-6"	A	3	YES	WOOD	(2) ARCHED CASEMENT PAIRS, PIC. IN MIDDLE. SEPARATE.
2	3'-0"	4'-6"	B	1	YES	WOOD	CASEMENT PAIR W/ SEGMENTAL ARCH
3	2'-0"	3'-0"	C	1	YES	WOOD	PIC AT ROOF DORMER
4	1'-6"	5'-0"	D	8	YES	WOOD	CASEMENT/FIXED PER OWNER'S CHOICE
5	1'-2"	4'-6"	D	5	YES	WOOD	CSMT./FIXED
6	3'-0"	4'-0"	E	4	YES	WOOD	CASEMENT PAIR
7	2'-4"	3'-6"	F	2	YES	WOOD	CASEMENT
8	2'-4"	4'-6"	F	1	YES	WOOD	CASEMENT
9	3'-0"	4'-6"	G	1	YES	WOOD	EGRESS CASEMENT

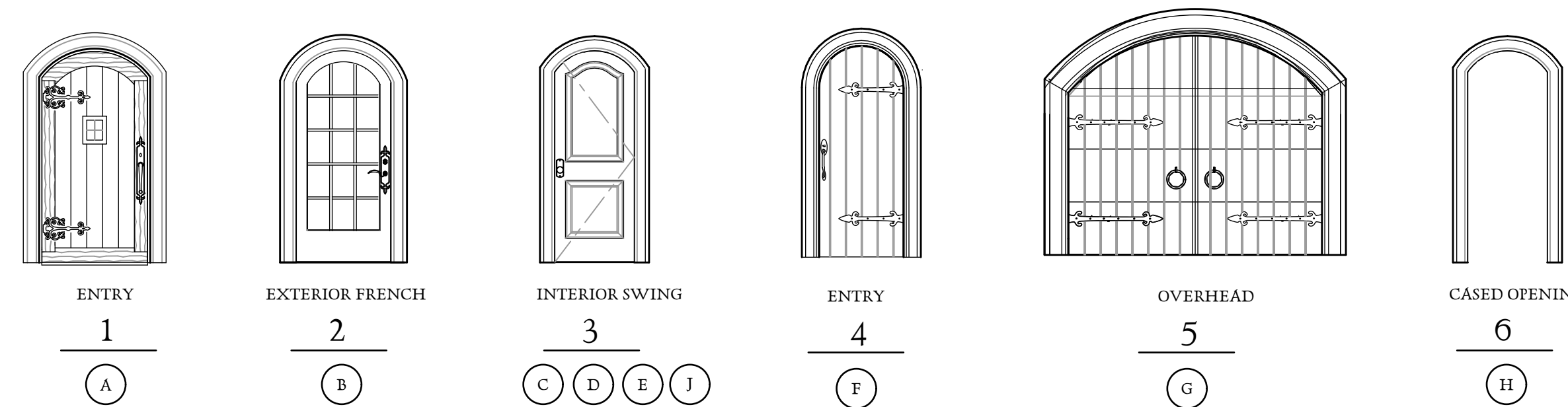


1 TYP. WINDOW SURROUND  
 SCALE: 1/2" = 1'-0"

- NOTES**
- All windows to be recessed, not flush mount.
  - All windows to have cast stone jamb, sill and head exterior. 5-1/2" stain grade jambs and head interior.
  - All windows to be wood with metal cladding.
  - See exterior building elevations for additional detail and window head locations.

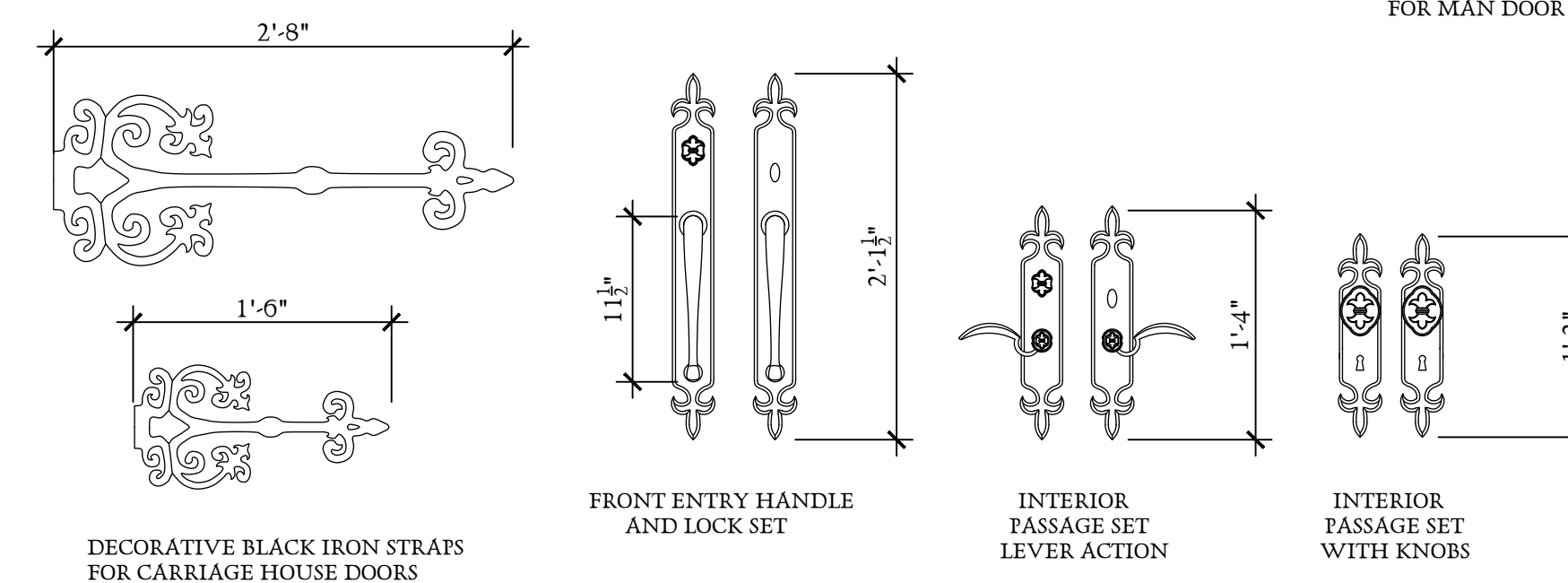
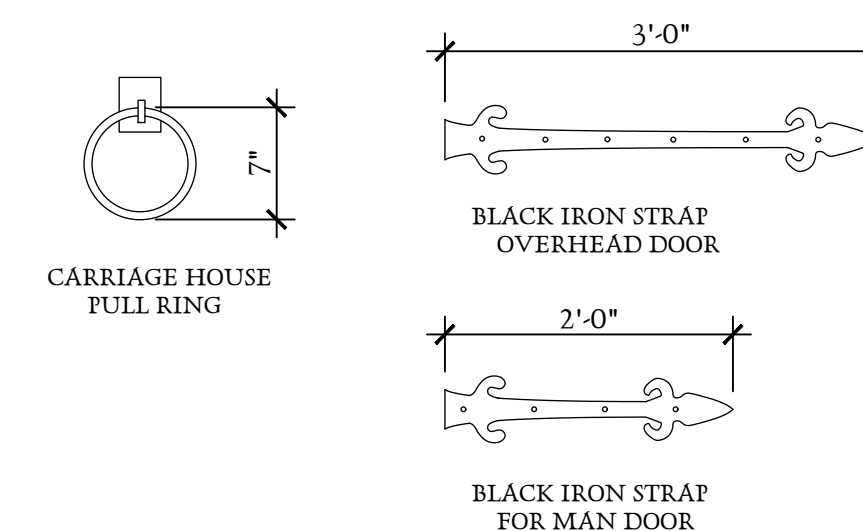
Note: Please verify all window and door quantity and sizes BEFORE ordering.

DOOR SCHEDULE										
MARK	WIDE	HIGH	THK.	TYPE	QUANTITY	HDWRE	CONST. / FINISH	T'HLID	FRAME	REMARKS
A	3'-0"	6'-8"	2"		1		SOLID WD.	YES	WD.	SOLID TIMBER DOOR
B	3'-0"	6'-8"	1 1/2"		2			YES		EXTERIOR FRENCH DOOR
C	3'-0"	6'-8"	1 1/2"		3			NO		INTERIOR SWING
D	2'-8"	6'-8"	1 1/2"		3			NO		INTERIOR SWING
E	2'-6"	6'-8"	1 1/2"		3					INTERIOR SWING
F	3'-0"	6'-8"	1 1/2"		4					SOLID TIMBER DOOR, CARRIAGE HOUSE MAN DOOR
G	8'-0"	8'-0"	2"		5					OVERHEAD GARAGE DOOR WITH TIMBER PLANKING
H	2'-6"	6'-8"	1 1/2"		6					CASED OPENING W.L.C.
J	3'-0"	6'-8"	1 1/2"		3			YES		SOLID CORE, SMOKE GASKET



**NOTES**

- See Specifications for suggested sources of Door Hardware.
- All exterior doors to be recessed, not flush mount.
- All doors to have cast stone jamb and head exterior, 6" stain grade molding interior.
- All interior doors to be solid core, stain grade.



**DOOR HARDWARE**  
 SCALE: NONE

REFER TO STORYBOOK HOMES FOR AVAILABILITY

Plot Date : JAN. 10, 2023

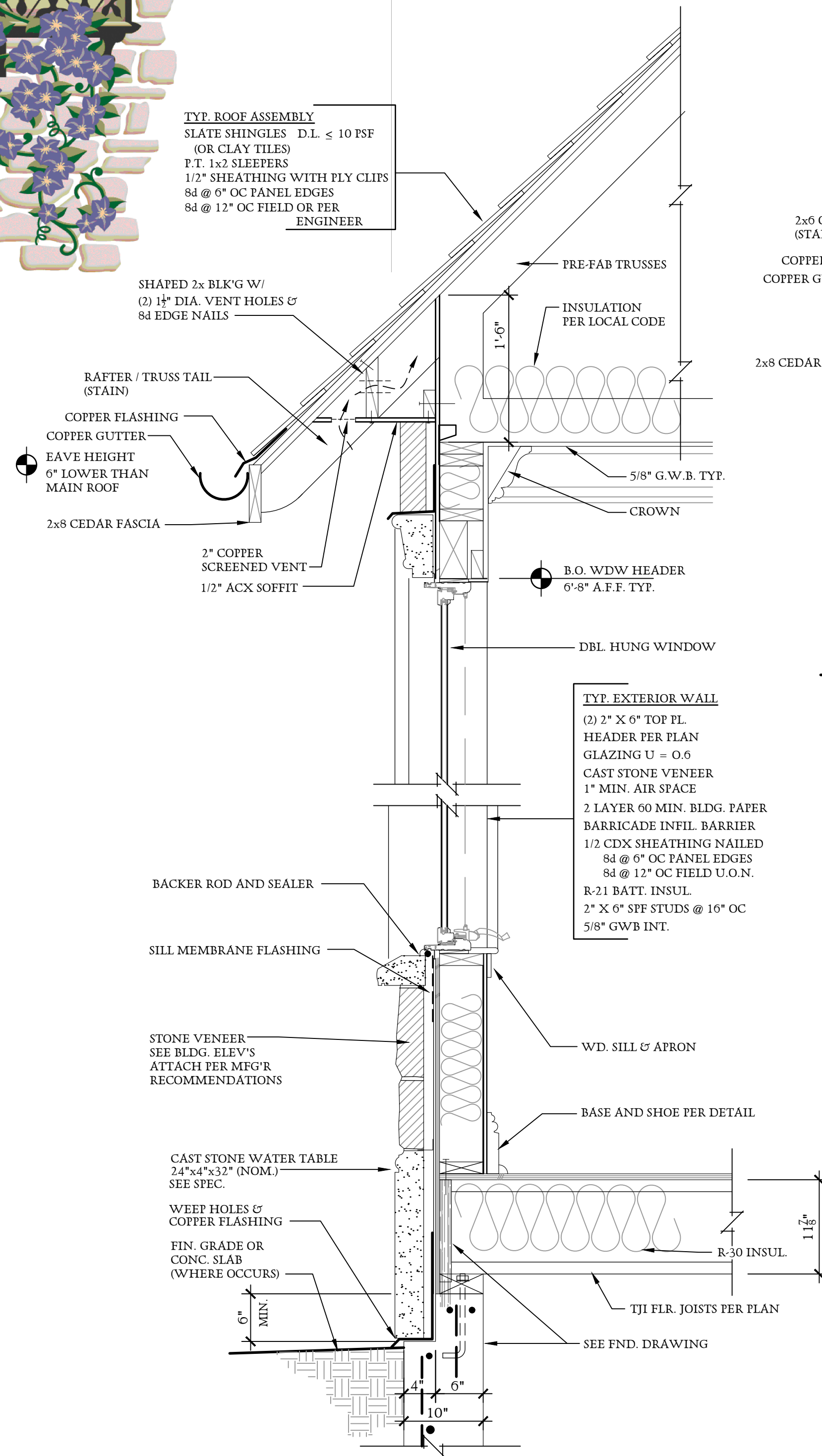
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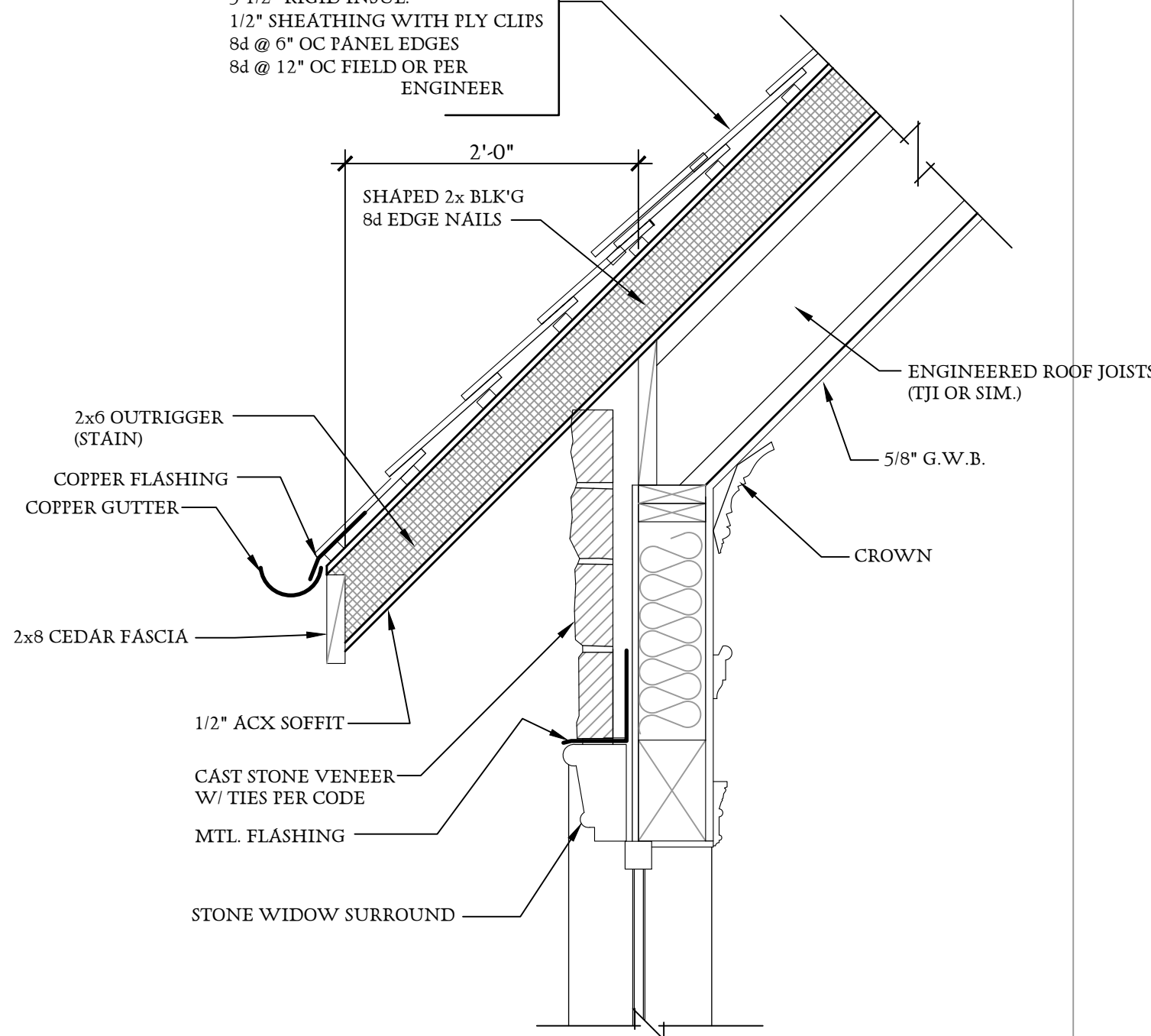
# Details 1

**TYP. ROOF ASSEMBLY**  
SLATE SHINGLES D.L. ≤ 10 PSF (OR CLAY TILES)  
P.T. 1x2 SLEEPERS  
1/2" SHEATHING WITH PLY CLIPS  
8d @ 6" OC PANEL EDGES  
8d @ 12" OC FIELD OR PER ENGINEER



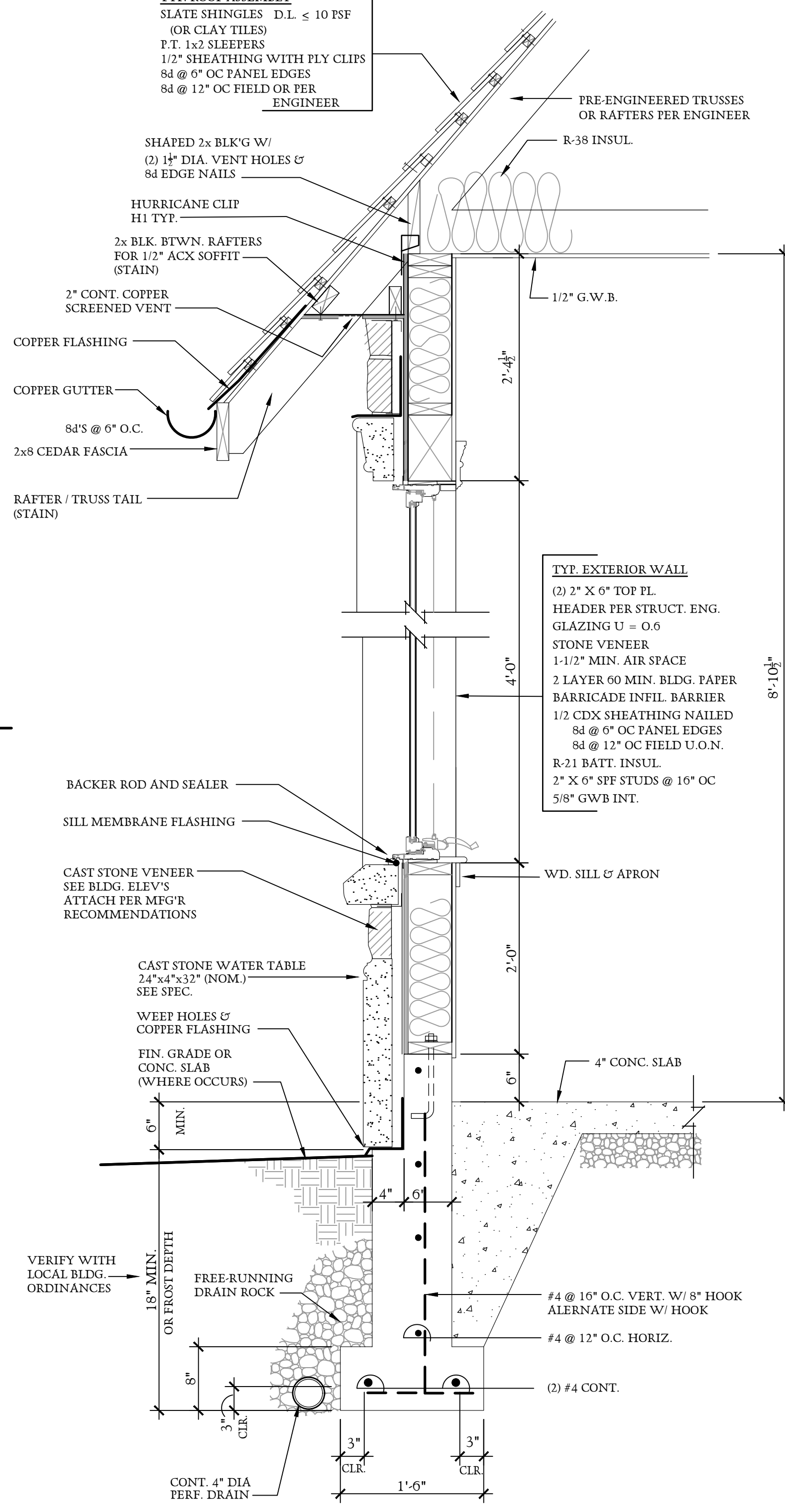
**1 TYP. WALL SECTION**  
SCALE: 1" = 1'-0"

**TYP. ROOF ASSEMBLY**  
SLATE SHINGLES D.L. ≤ 10 PSF (OR CLAY TILES)  
P.T. 1x2 SLEEPERS  
30 LB ROOF PAPER  
1/2" CDX ROOF SHEATHING ON 2x6 SARKING @ 24" O.C.  
5 1/2" RIGID INSUL.  
1/2" SHEATHING WITH PLY CLIPS  
8d @ 6" OC PANEL EDGES  
8d @ 12" OC FIELD OR PER ENGINEER



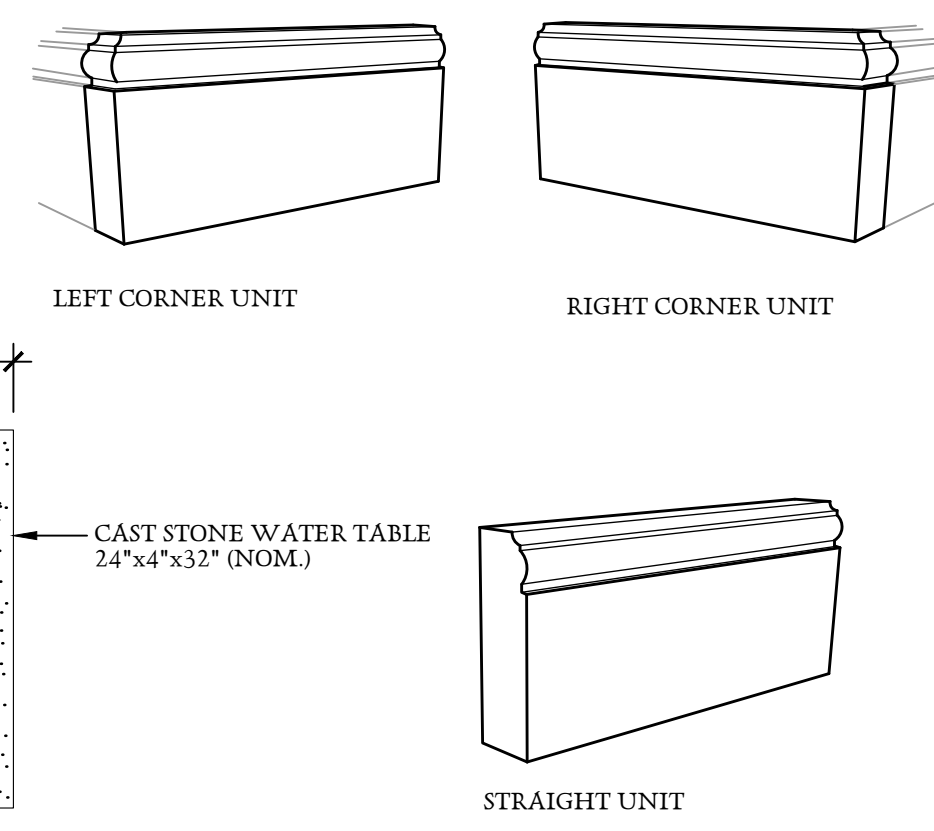
**2 WALL SECTION @ VAULTED CEILING**  
SCALE: 1" = 1'-0"

**TYP. ROOF ASSEMBLY**  
SLATE SHINGLES D.L. ≤ 10 PSF (OR CLAY TILES)  
P.T. 1x2 SLEEPERS  
1/2" SHEATHING WITH PLY CLIPS  
8d @ 6" OC PANEL EDGES  
8d @ 12" OC FIELD OR PER ENGINEER

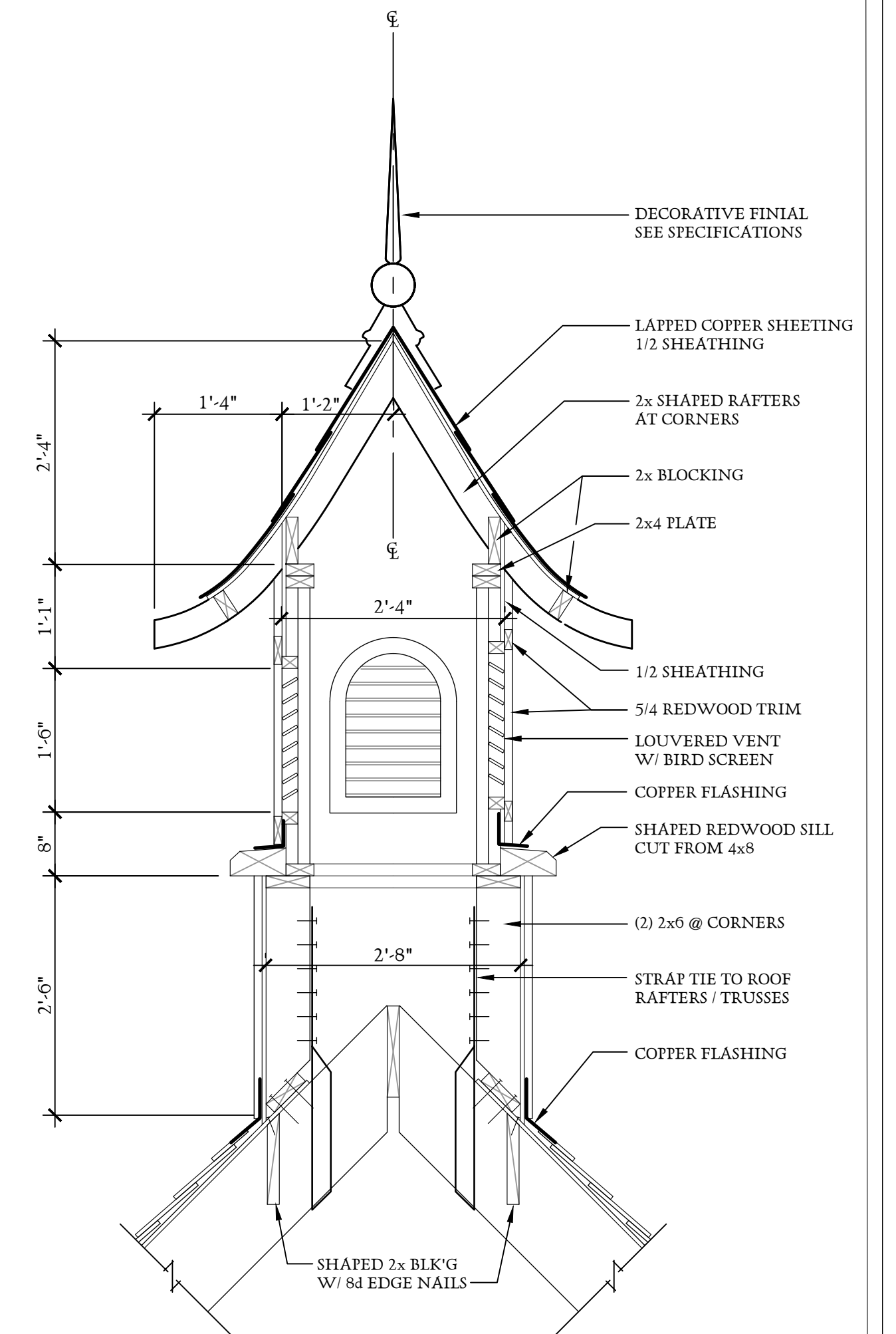


**5 TYP. WALL SECTION AT GARAGE**  
SCALE: 1" = 1'-0"

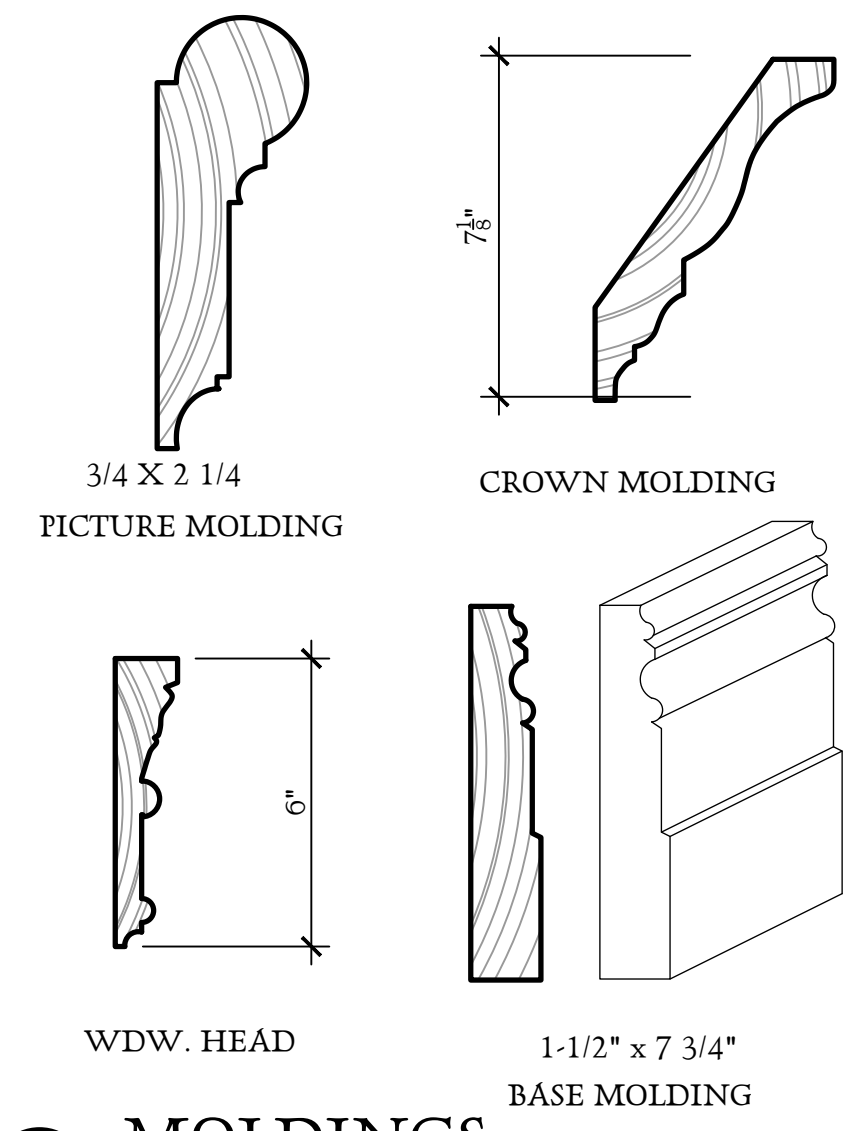
**TYP. EXTERIOR WALL**  
(2) 2" X 6" TOP PL. HEADER PER PLAN  
GLAZING U = 0.6  
CAST STONE VENEER  
1" MIN. AIR SPACE  
2 LAYER 60 MIN. BLDG. PAPER BARRICADE INFIL. BARRIER  
1/2 CDX SHEATHING NAILED  
8d @ 6" OC PANEL EDGES  
8d @ 12" OC FIELD U.O.N.  
R-21 BATT. INSUL.  
2" X 6" SPF STUDS @ 16" OC  
5/8" GWB INT.



**4 TYPICAL WATER TABLE**  
SCALE: NONE



**3 VENTED CUPOLA DETAIL**  
SCALE: 3/4" = 1'-0"



**6 MOLDINGS**  
SCALE:

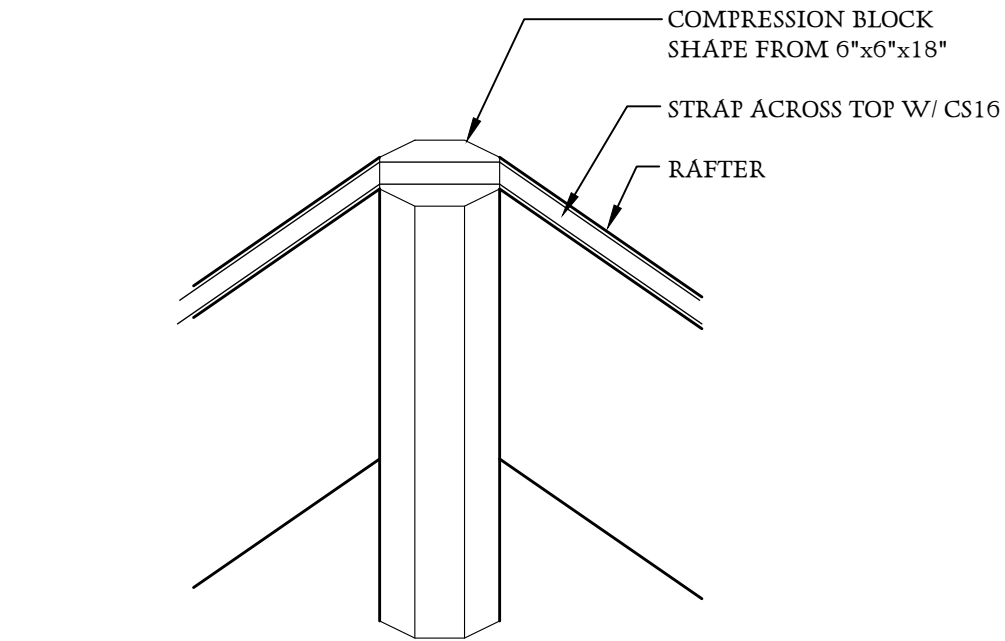
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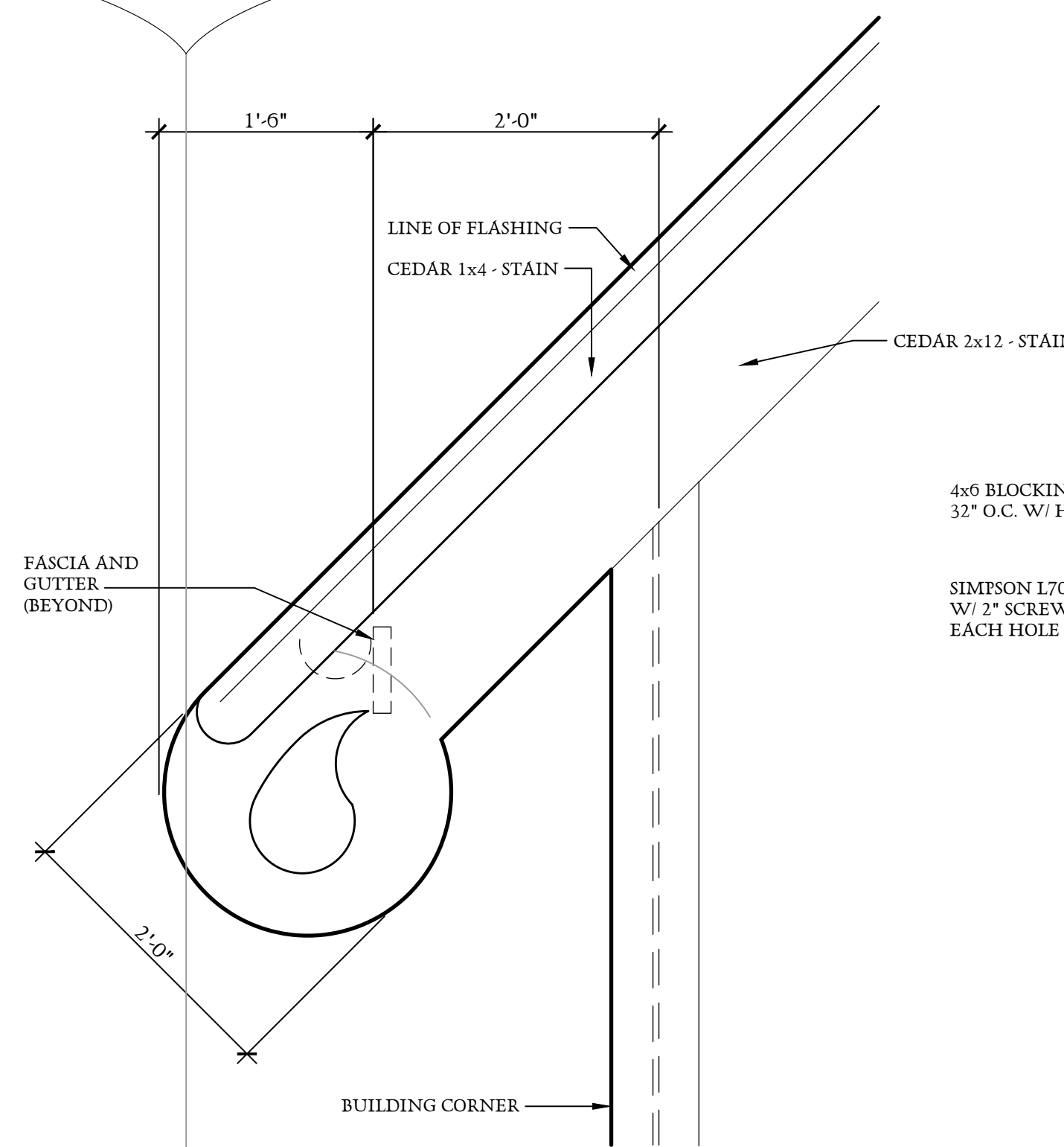
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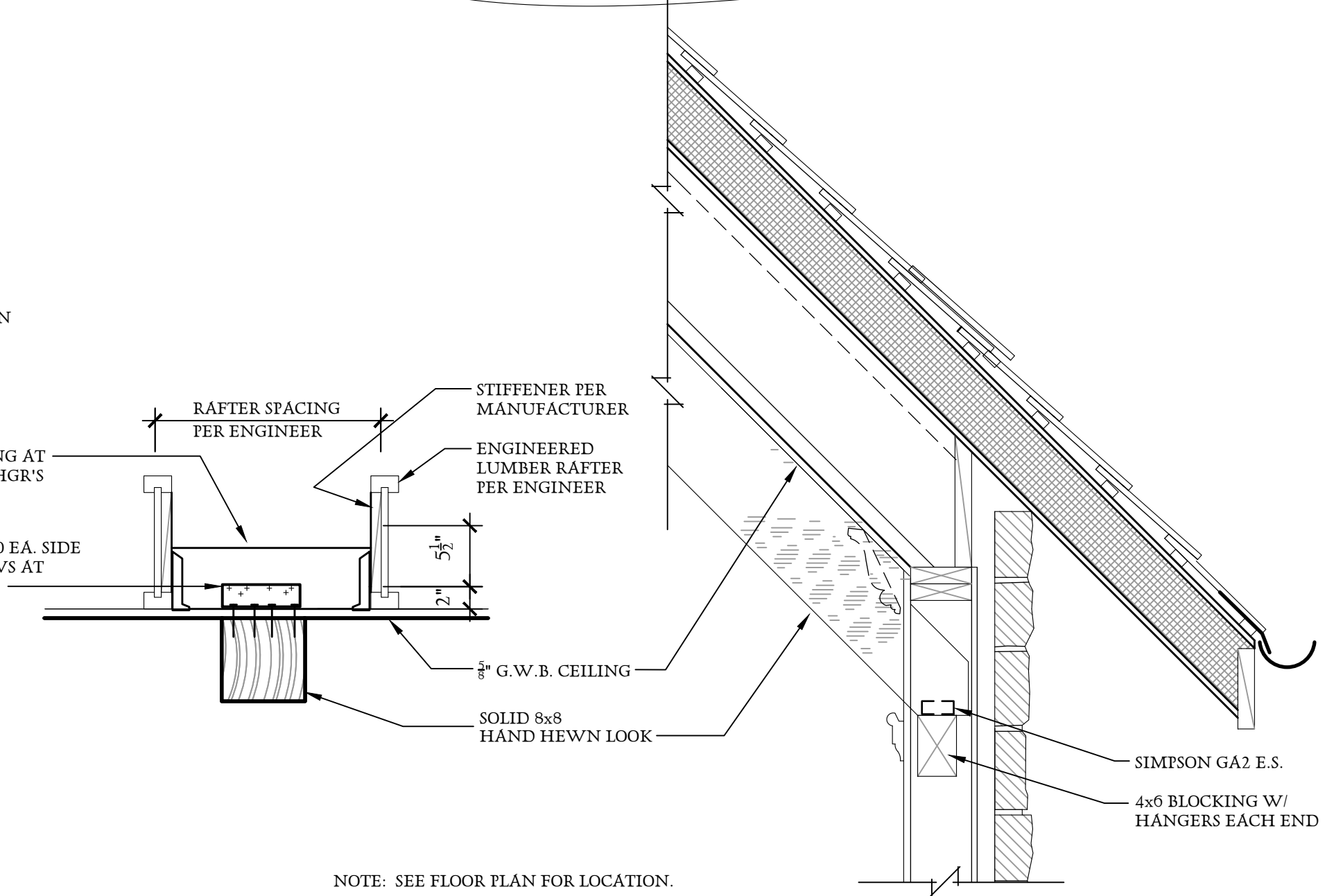
Plot Date : JAN. 10, 2023



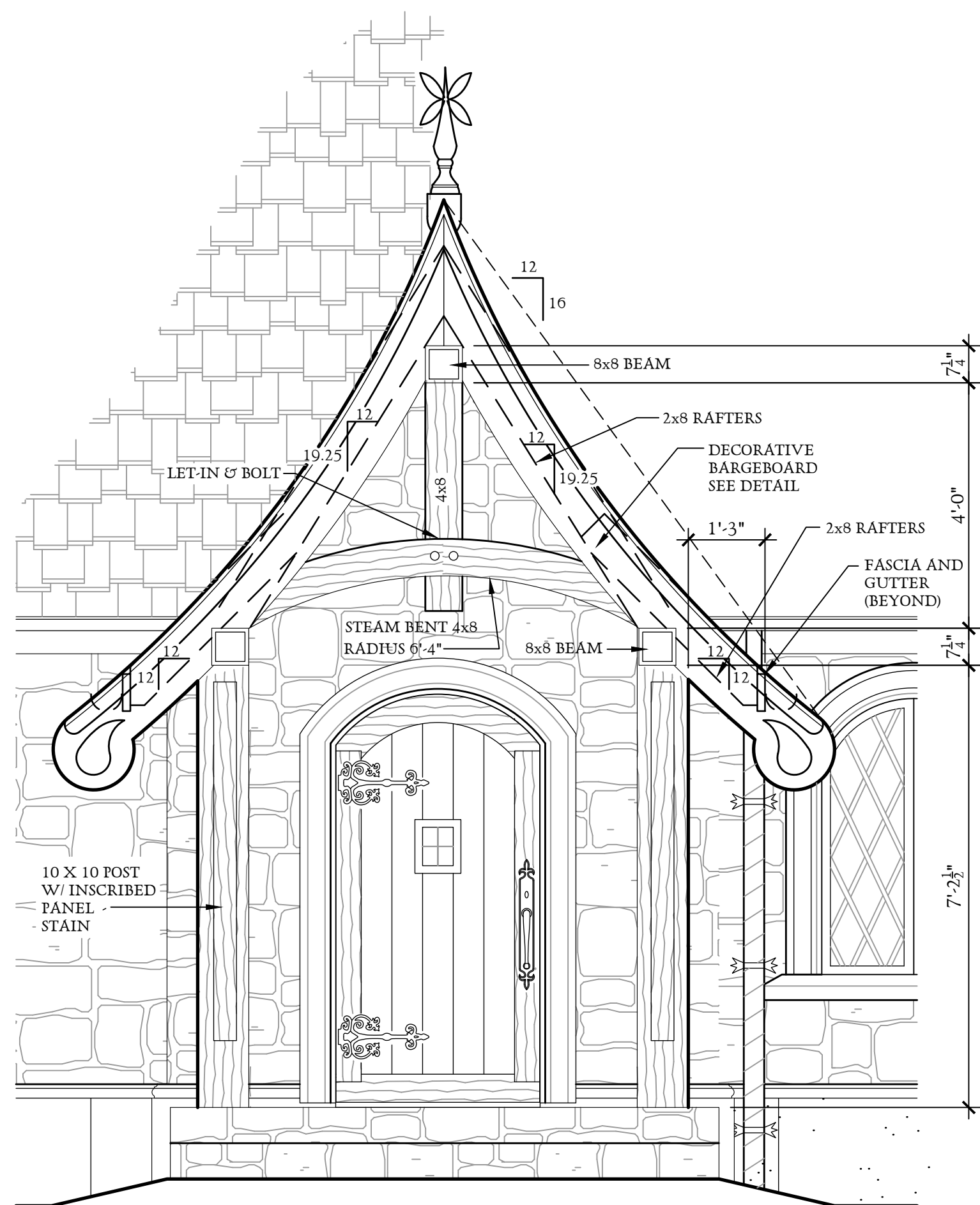
1 PEAK CONNECTION  
SCALE: 1 1/2\" = 1'-0"



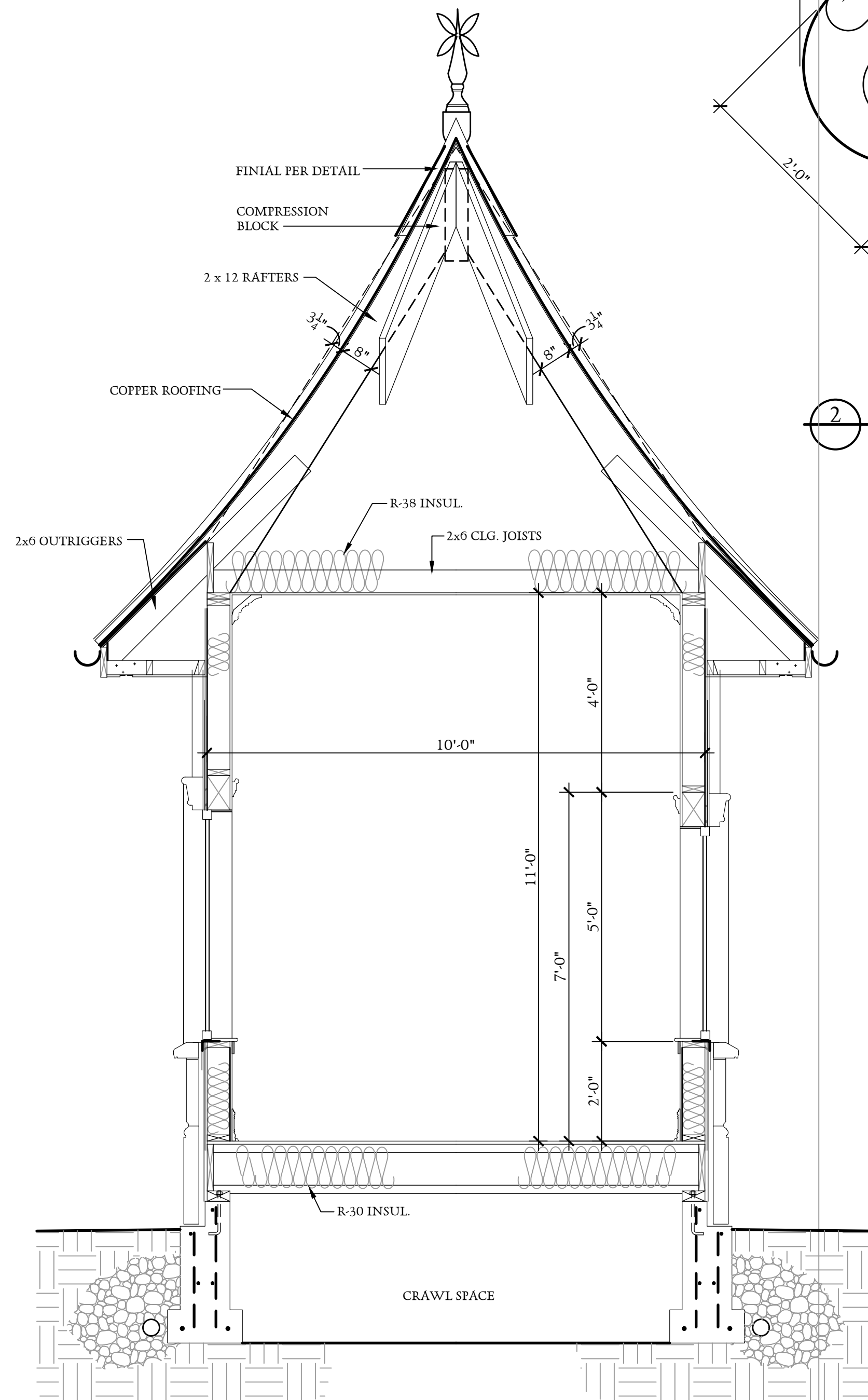
2 BARGEBOARD ELEVATION  
SCALE: 1\" = 1'-0"



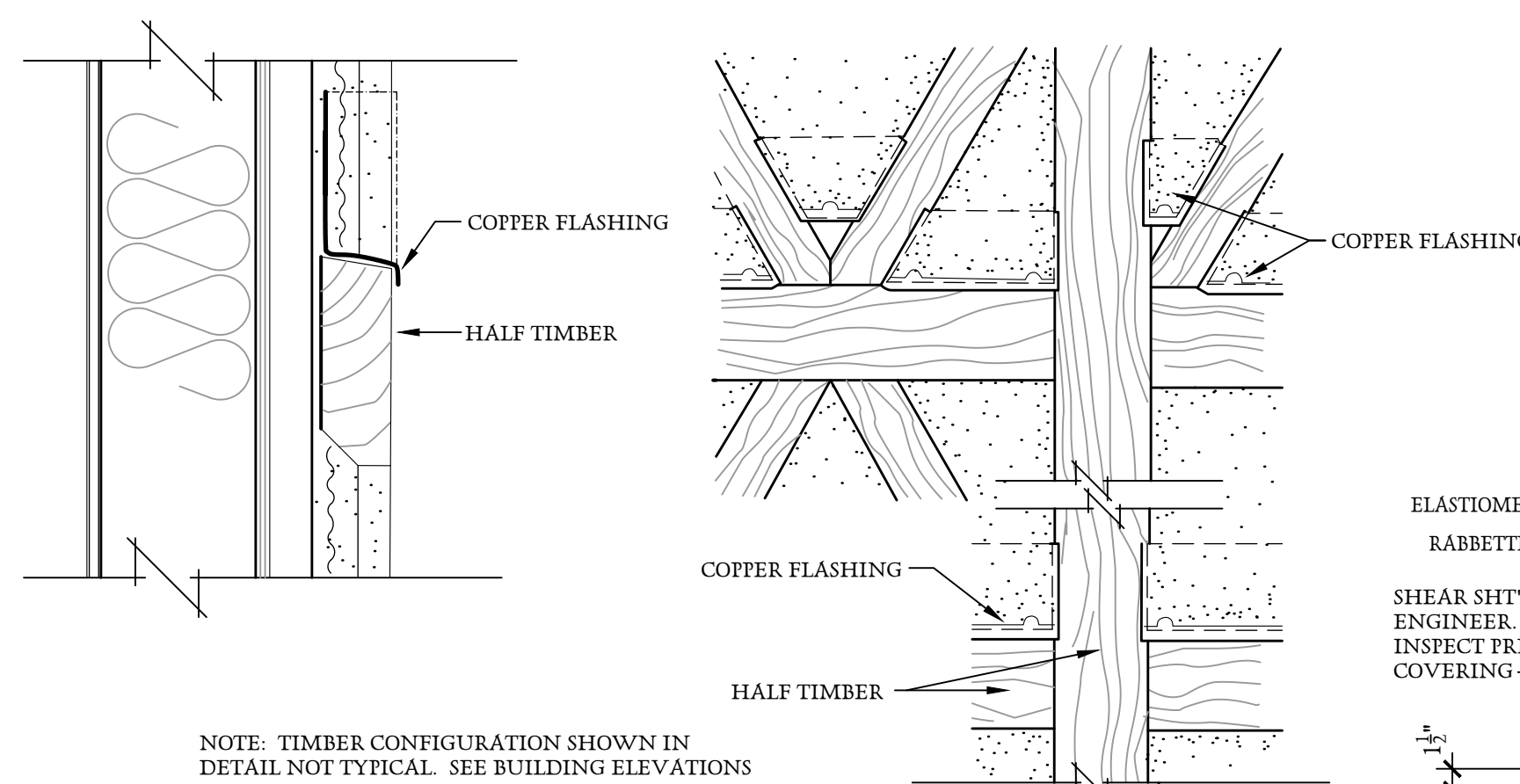
3 INTERIOR DECORATIVE BEAM  
SCALE: 1\" = 1'-0"



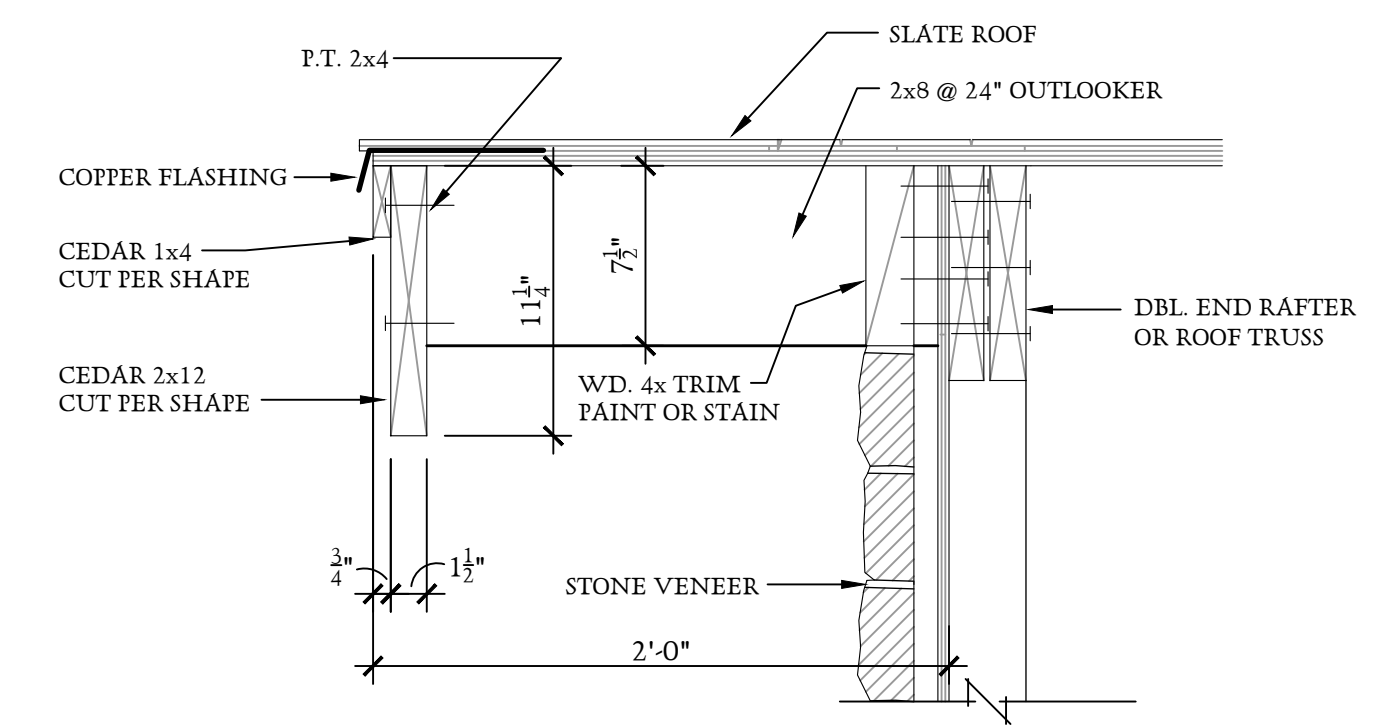
4 ENTRY ELEVATION  
SCALE: 1/2\" = 1'-0"



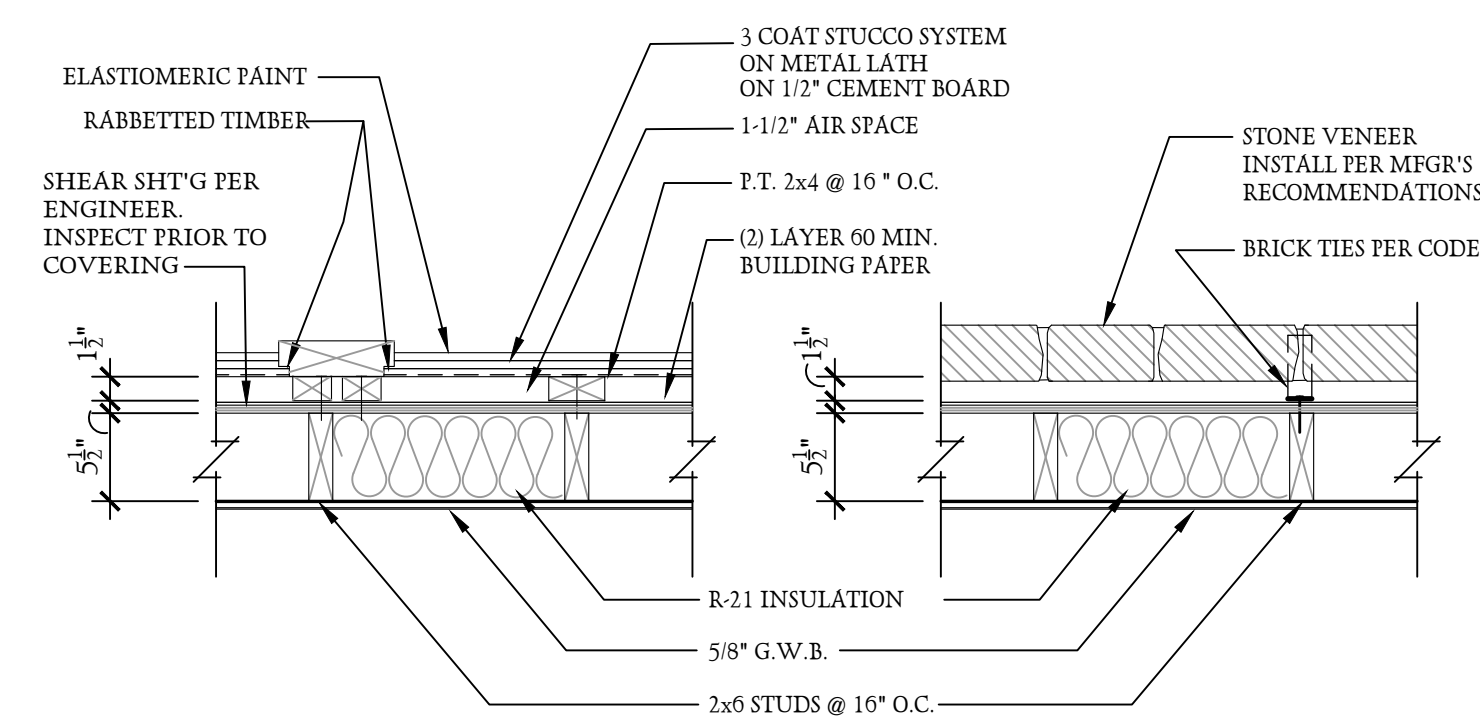
5 TURRET SECTION  
SCALE: 1/2\" = 1'-0"



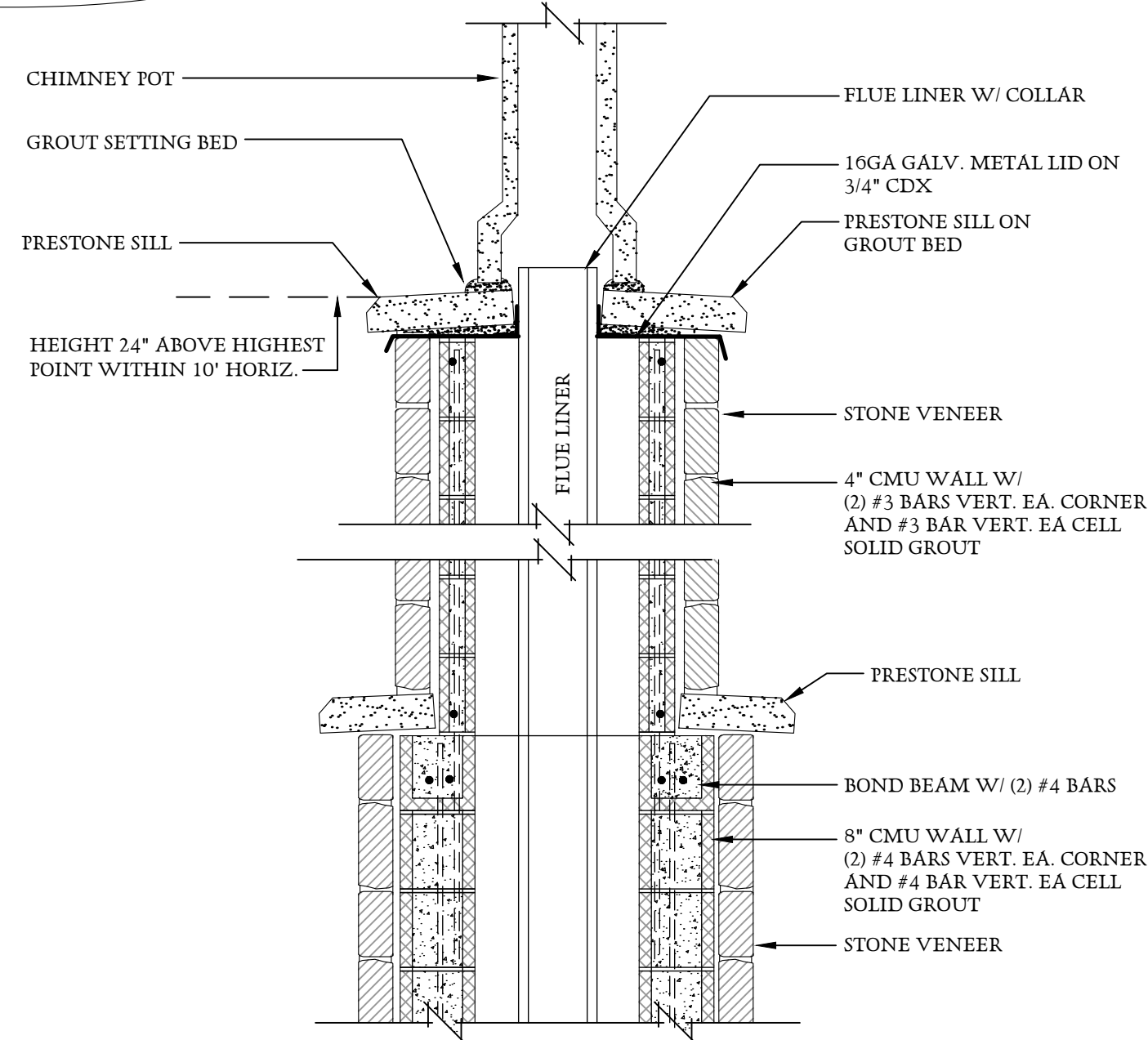
6 HALF TIMBER AND STUCCO  
SCALE: 3/4\" = 1'-0"



7 BARGEBOARD DETAIL  
SCALE: 1-1/2\" = 1'-0"



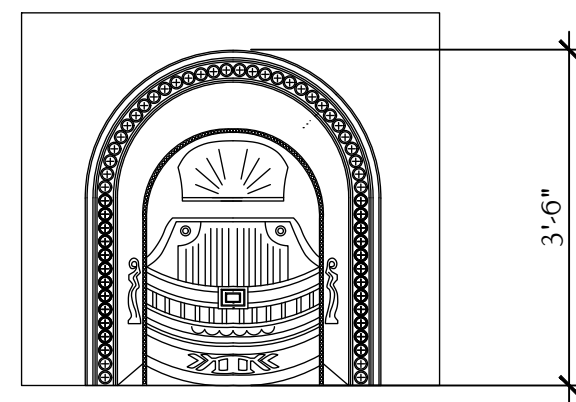
8 TYP. EXTERIOR WALL SECTIONS  
SCALE: 1\" = 1'-0"



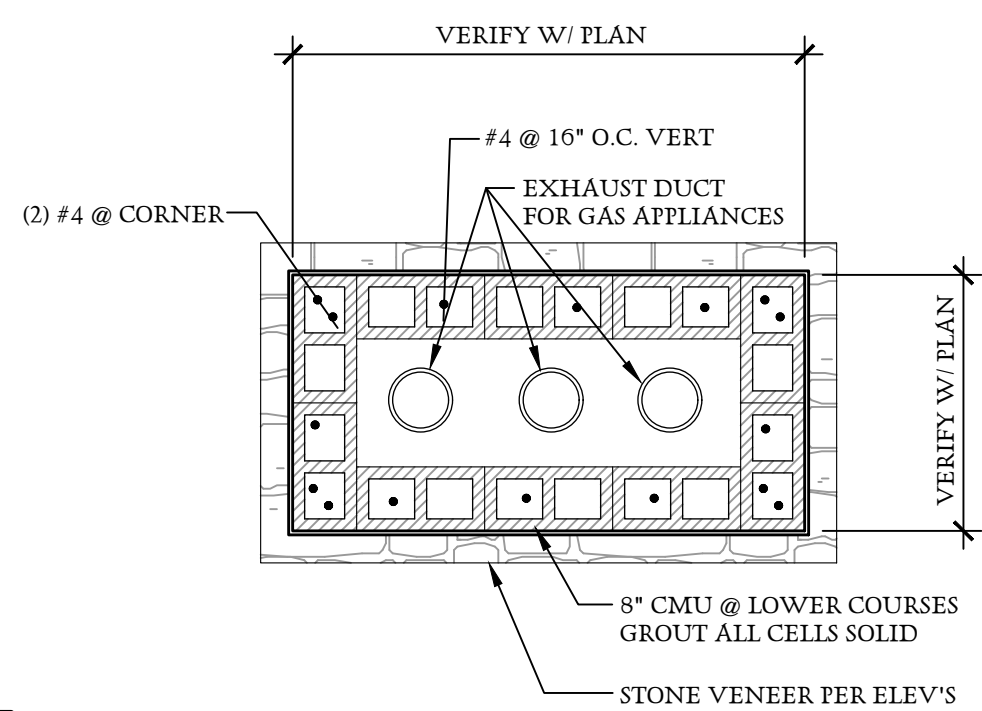
**1 CHIMNEY CAP DETAIL**  
 SCALE: 3/4" = 1'-0"

**NOTES**

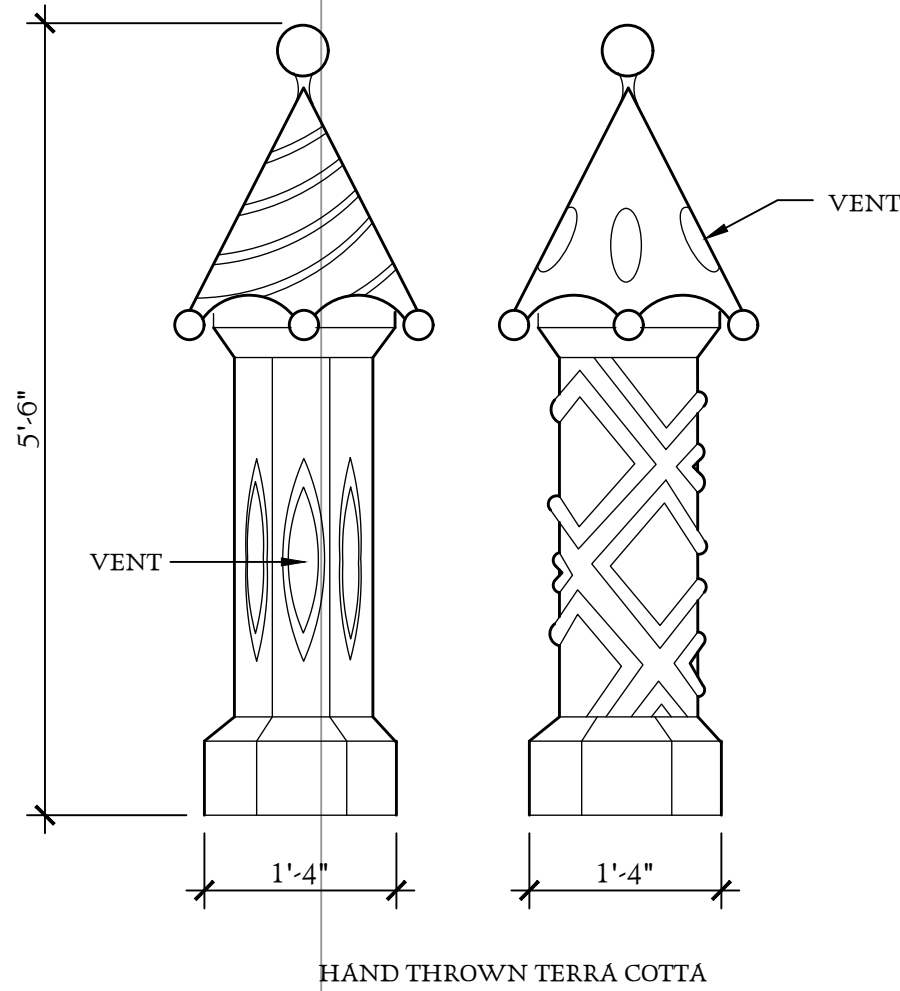
- CLEARANCE - CHIMNEY AND FIREPLACE TO COMBUSTIBLES: 1" OR 1/2" G.W.B.
- HEARTH CONSTRUCTION SHALL BE SUPPORTED BY NON-COMBUSTIBLE MATERIALS OR DESIGNED & REINFORCED TO CARRY IT'S OWN WEIGHT.
- HEARTH DIMENSIONS: WHEN FIREPLACE OPENING 20 SQ. FT., HEARTH SHALL EXTEND A MINIMUM HORIZ. DISTANCE OF 20" IN FRONT OF OPENING & 12" BEYOND EACH SIDE OF OPENING. WHEN FIREPLACE OPENING < 6 SQ. FT., HEARTH SHALL EXTEND A MINIMUM DISTANCE OF 16" IN FRONT OF & 8" BEYOND EACH SIDE OF OPENING.
- EXTERIOR COMBUSTION AIR DUCT, SCREENED ON OUTSIDE, W/ OPERABLE VOLUME DAMPER ON INSIDE. MINIMUM SIZE = 6 SQ. INCHES.
- REINFORCING OF MASONRY CHIMNEY AND TIE-RODS TO ROOF STRUCTURE TO BE VERIFIED BY STRUCTURAL ENGINEER.
- 



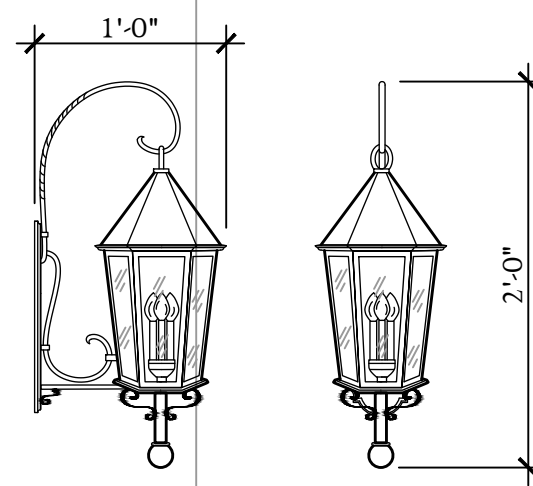
MASONRY CHIMNEY AND FIREPLACE TO COMPLY WITH 2003 INTERNATIONAL BUILDING CODE.



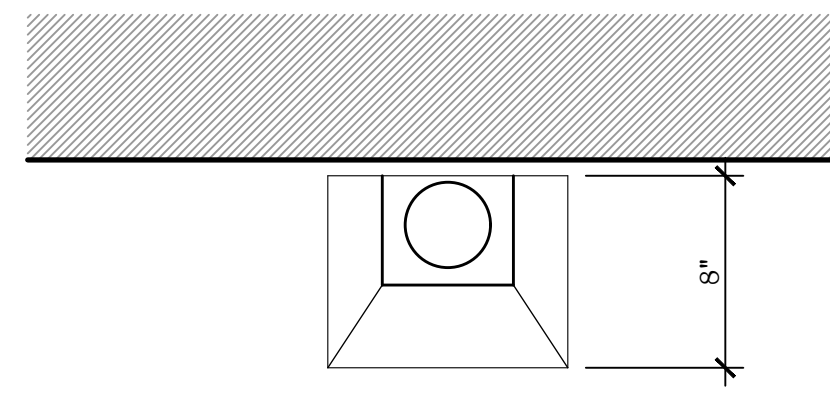
**FIREPLACE SECTION**  
 SCALE: 1/2" = 1'-0"



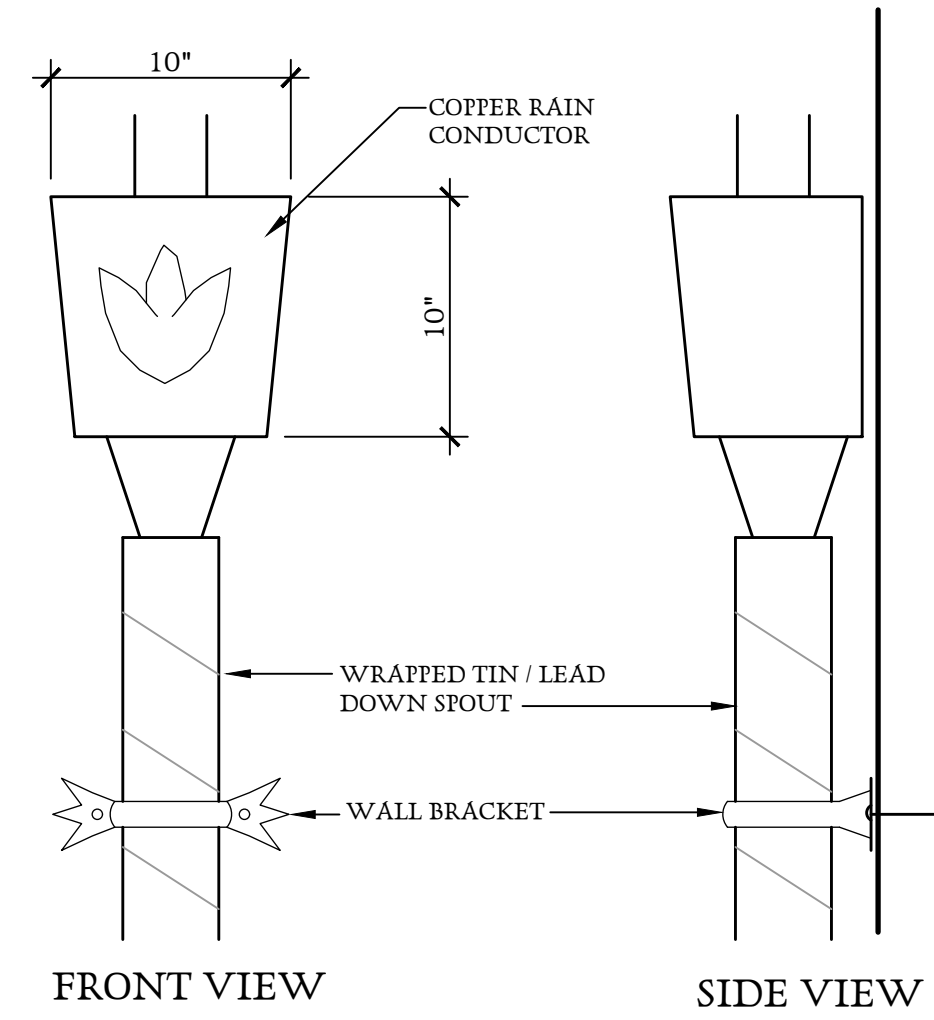
**2 DET. - CHIMNEY POTS**  
 SCALE: 1/2" = 1'-0"



**5 EXTERIOR LAMPS**  
 SCALE: 3/4" = 1'-0"



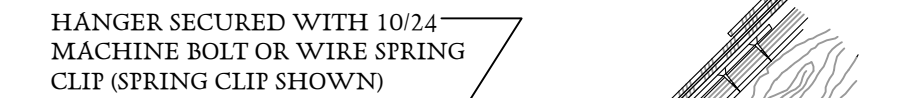
TOP VIEW



FRONT VIEW

SIDE VIEW

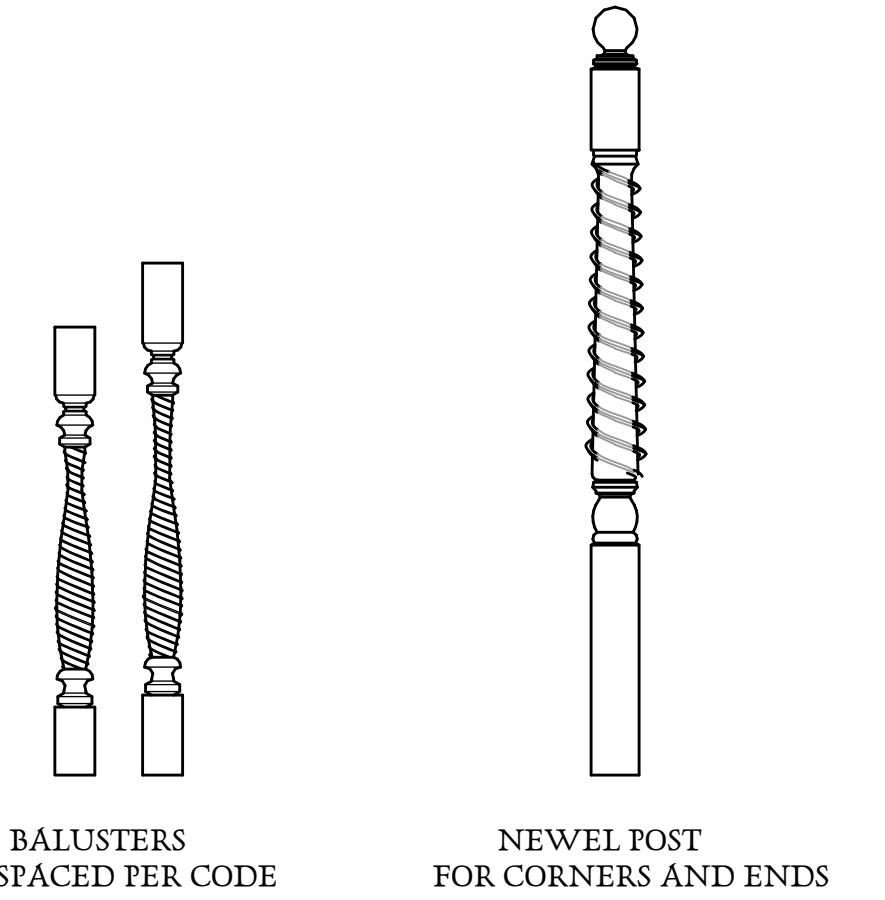
**3 RAIN CONDUCTOR HEAD**  
 SCALE: NONE



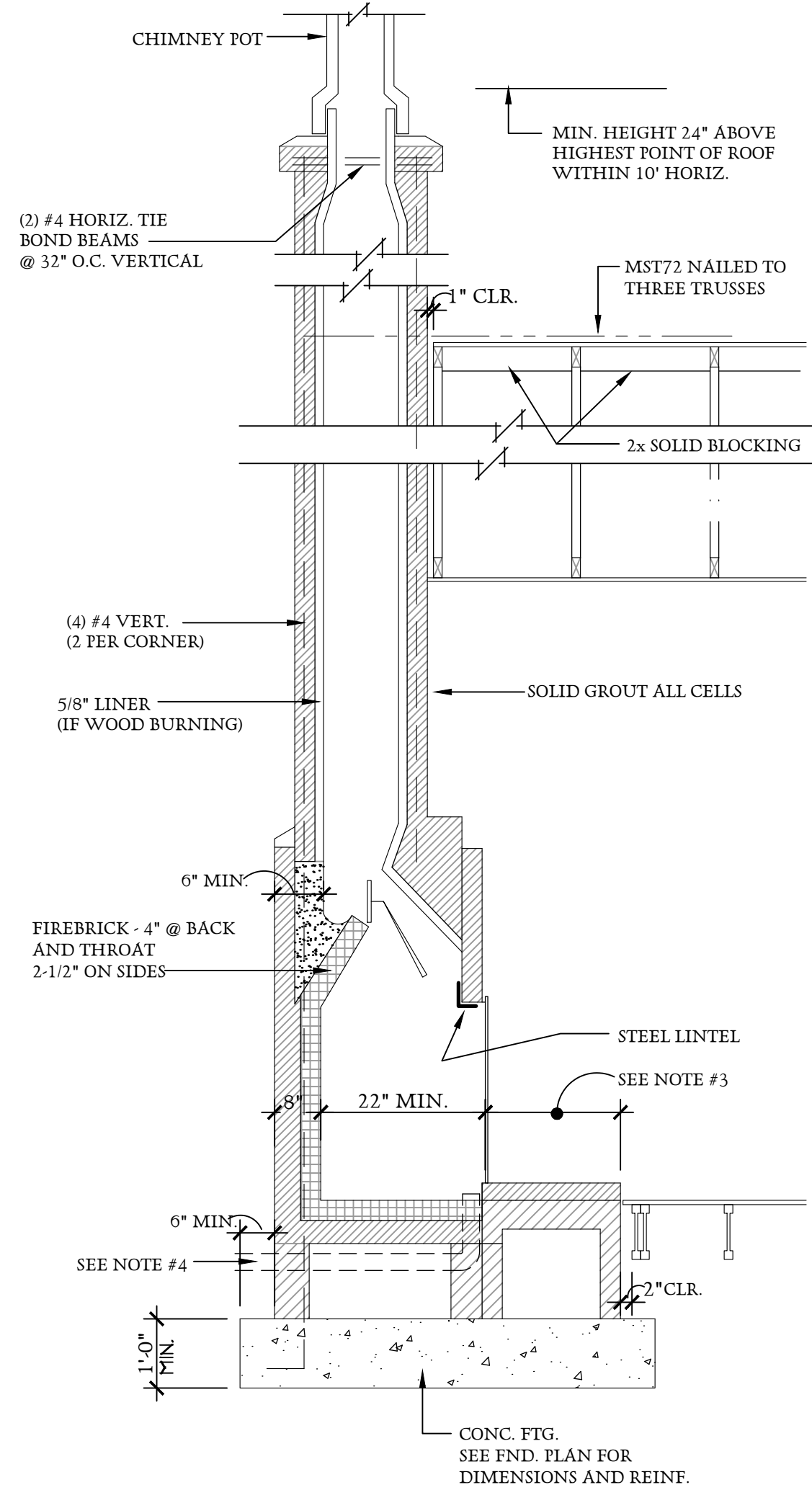
HANGERS AT 30" ON CENTER, MINIMUM

STANDARD HALF ROUND GUTTER WITH ROOF MOUNT HANGER, FOR SLATE OR SHINGLE ROOFING WITH OPEN RAFTERS.

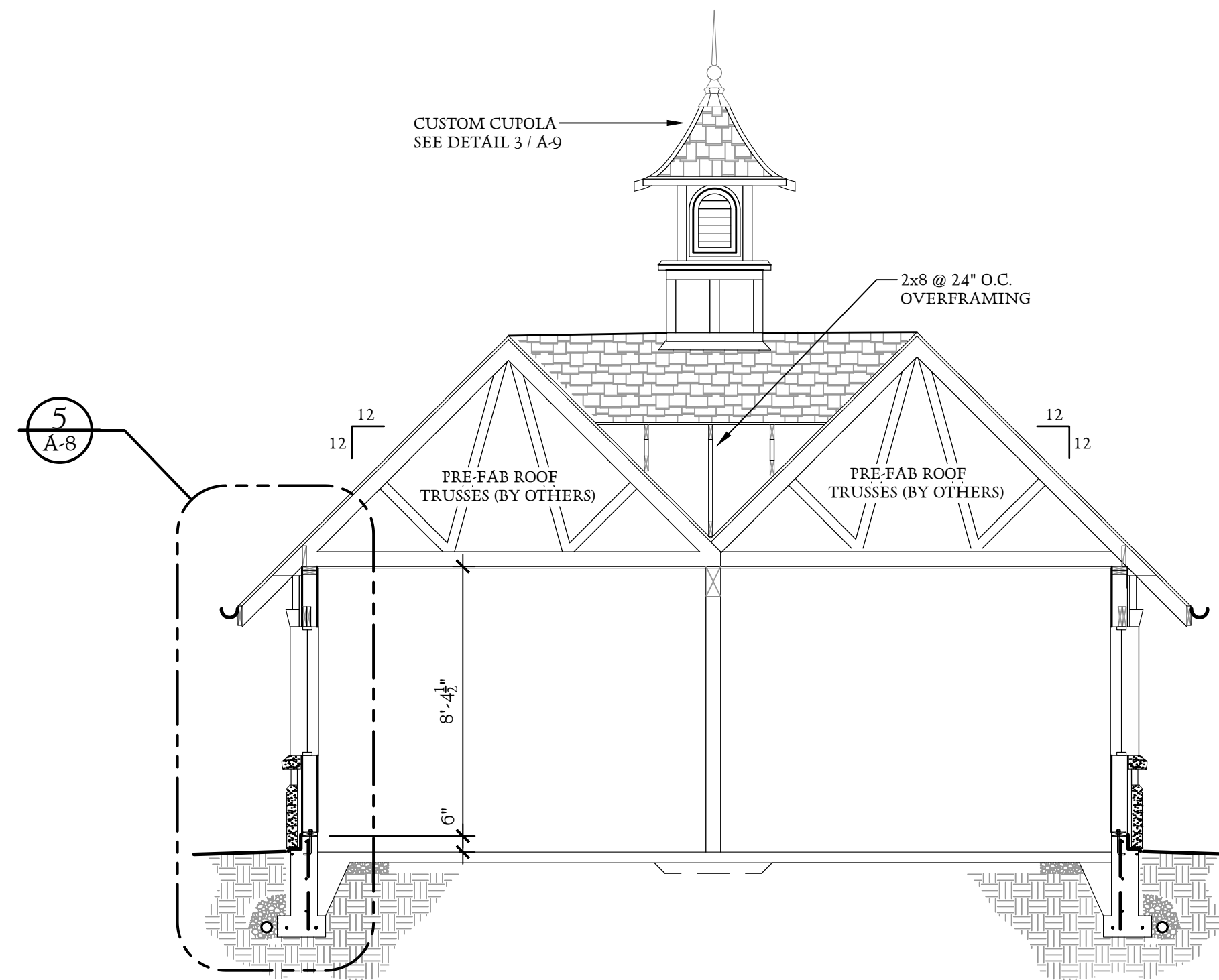
**4 COPPER GUTTER DETAIL**  
 SCALE: NONE



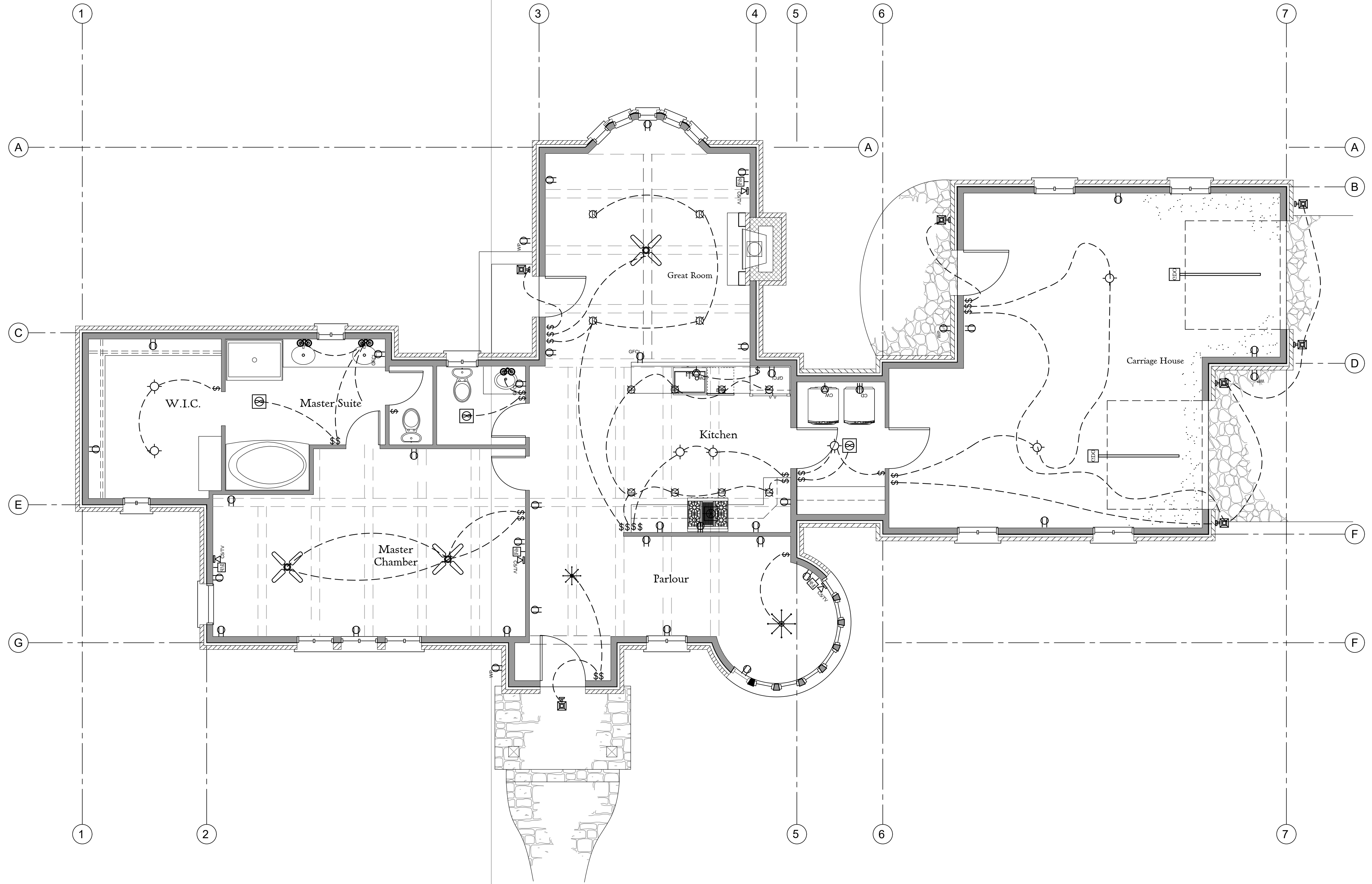
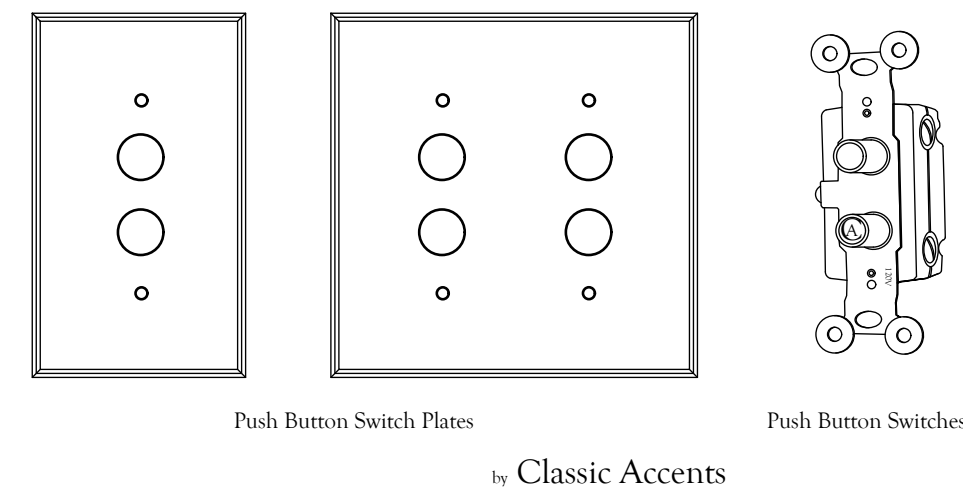
**4 STAIR BALUSTERS & NEWEL**  
 SCALE: 1" = 1'-0"



**6 CHIMNEY FIREPLACE DETAIL**  
 SCALE: 1/2" = 1'-0"



**Building Section**  
 Scale: 1/4" = 1'-0"



### Electrical Legend

Exterior Lantern			
Exterior Lantern (round)			
Cat 5 / Coax TV Cable			
Fiber-Optic Jack			
GFCI Outlet			
Weather-Proof 110 V Outlet			
110 V Outlet			
220 V Outlet			
Clothes Dryer Outlet			
Clothes Washer Outlet			
Dishwasher Outlet			
Range Outlet			
4-Way Switch			
3-Way Switch			
Switch			
Light			
Smoke Detector			
Recessed Can Light			
Sconce			
Bowl Sconce (triple)			
Bowl Sconce (double)			
Vanity Light Bar			
Exhaust Fan			
Alarm Pre-wire			
		Ceiling Fan	
		Pendent Chandelier	
		Chandelier	
		Tract Lighting sm.	
		Tract Lighting lg.	
		Florescent Light	
		Garage Door Opener	

**Suggested Electrical Plan**  
 Scale : 1/4" = 1'-0"

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E-1

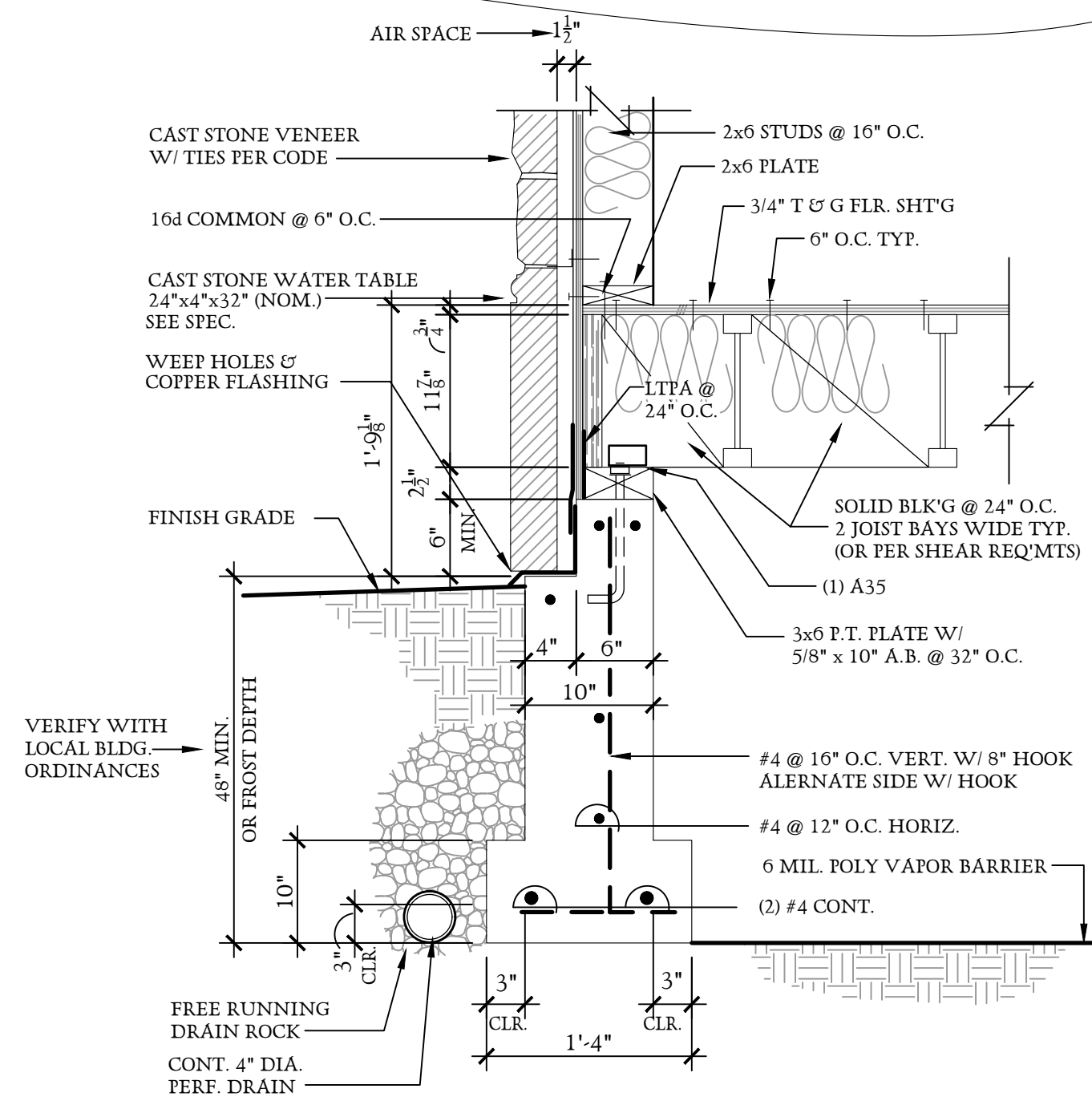


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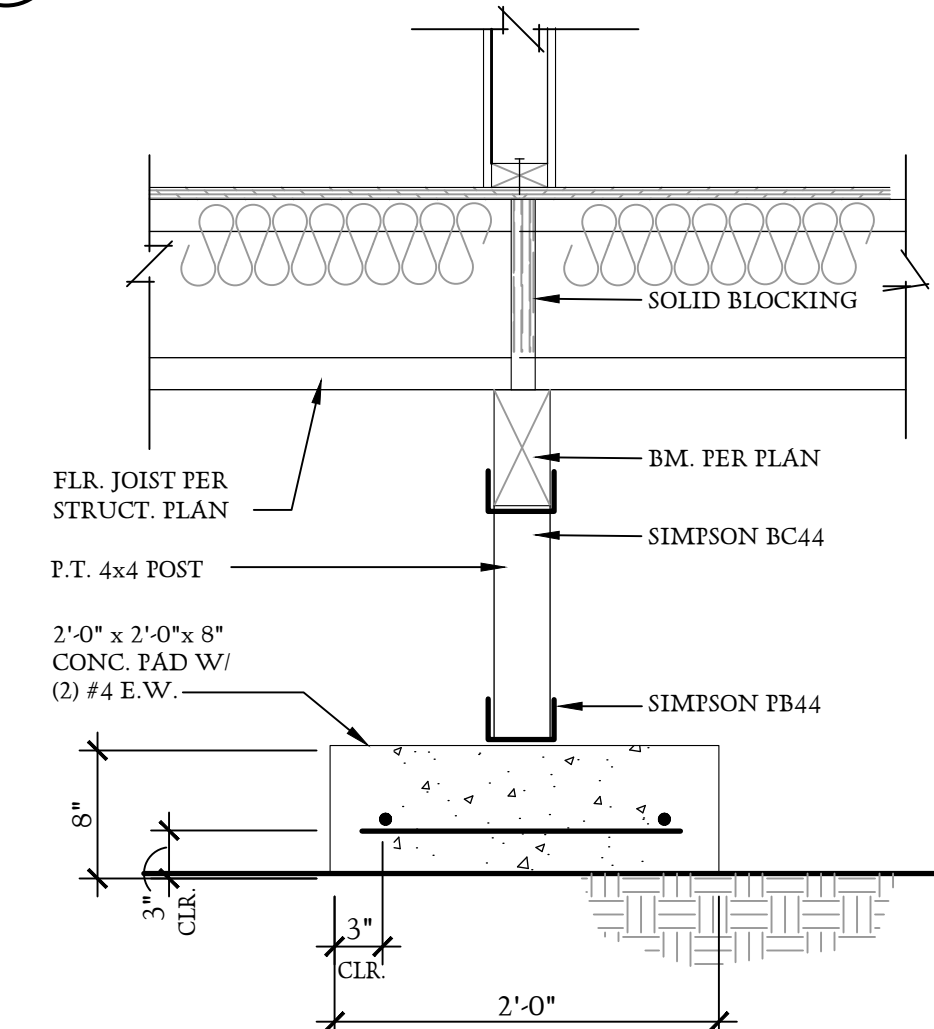
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by Samuel Hackwell &  
 Andrew Perkins

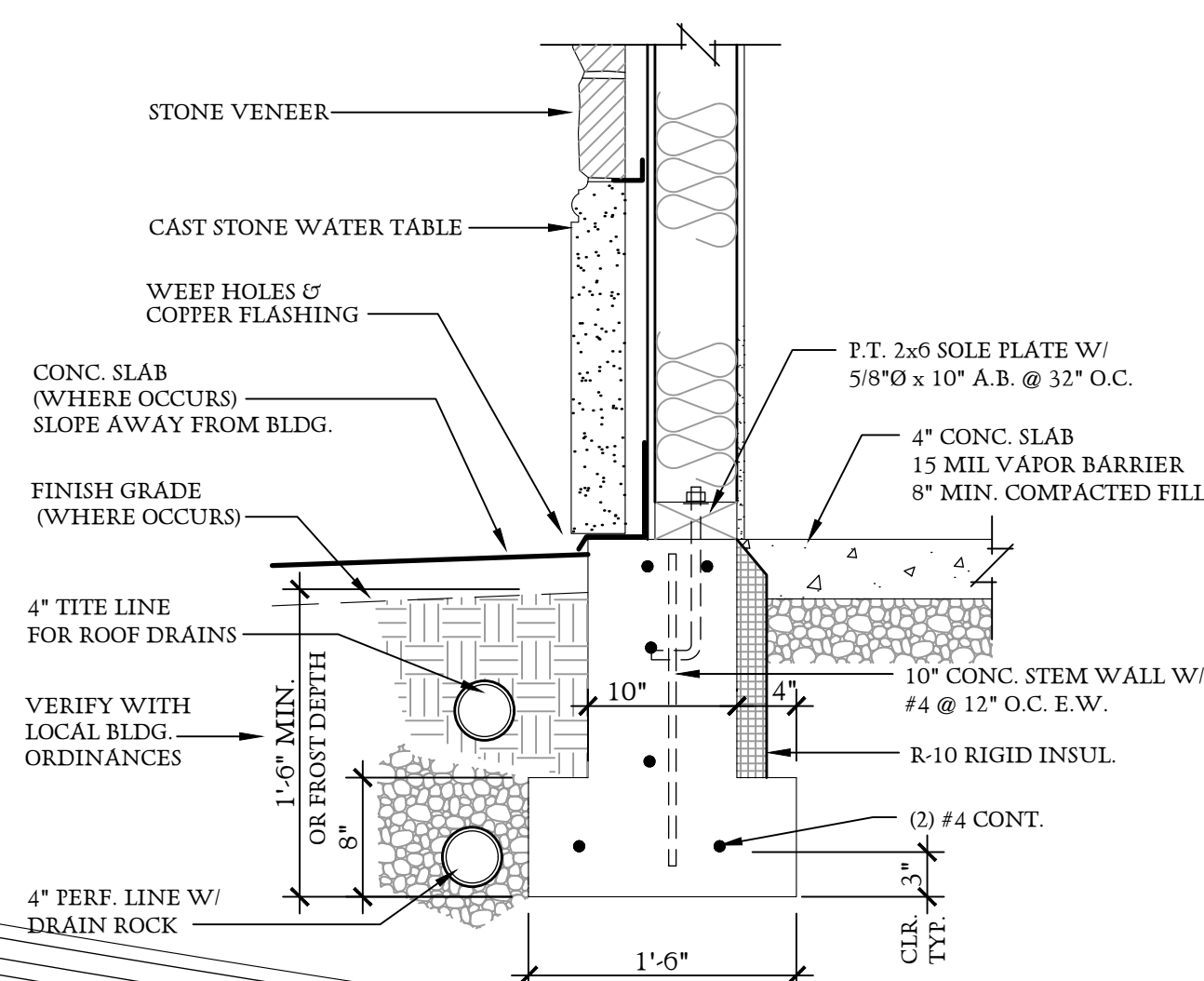




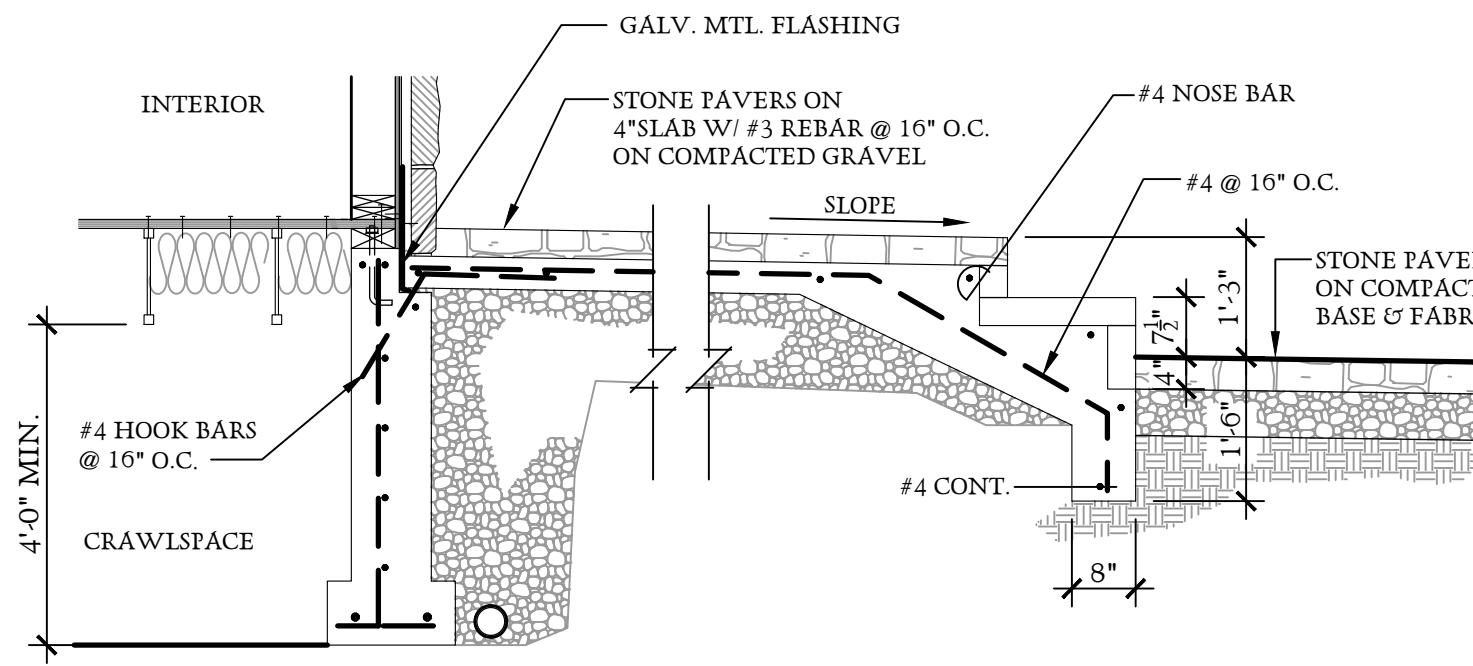
1 DETAIL - TYP. FOOTING  
SCALE: 1" = 1'-0"



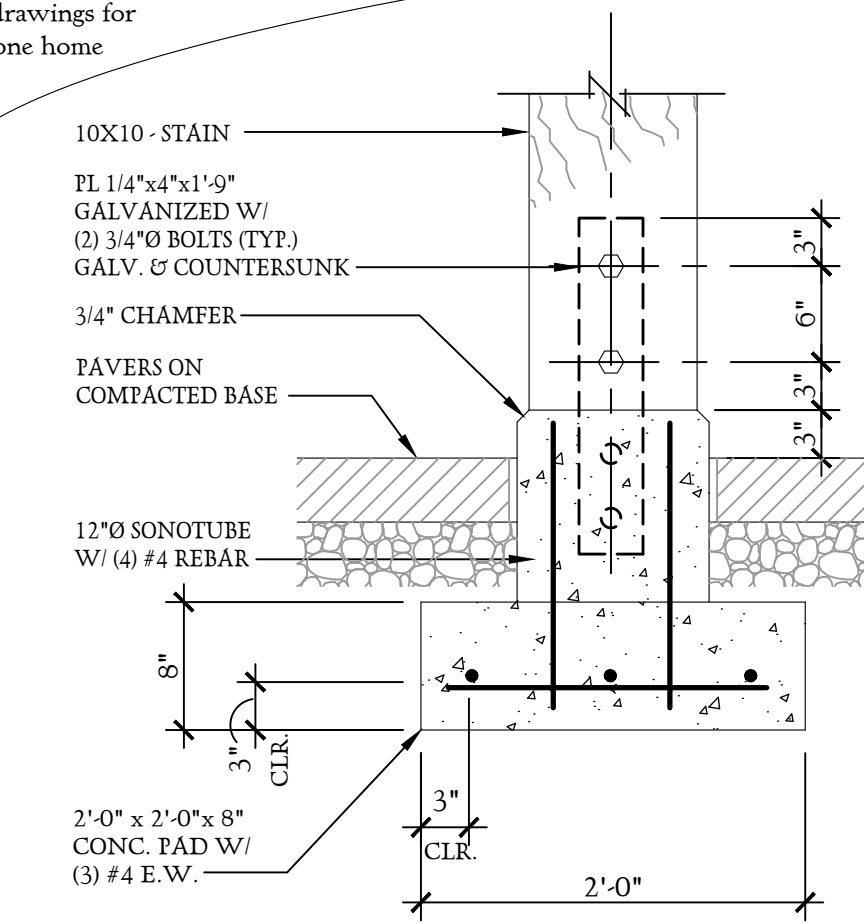
4 POST / BEAM DETAIL  
SCALE: 1" = 1'-0"



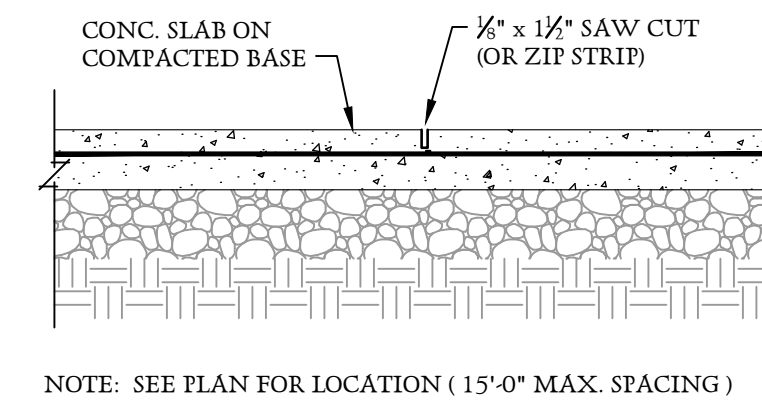
5 FND. @ GARAGE  
SCALE: 1" = 1'-0"



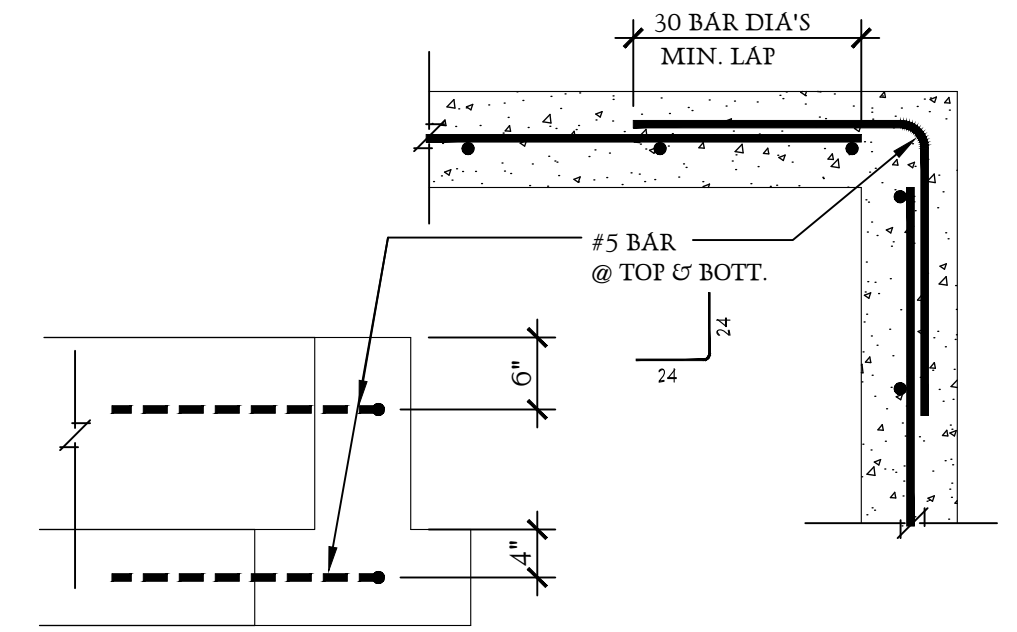
2 SECTION @ ENTRY PORCH  
SCALE: 1" = 1'-0"



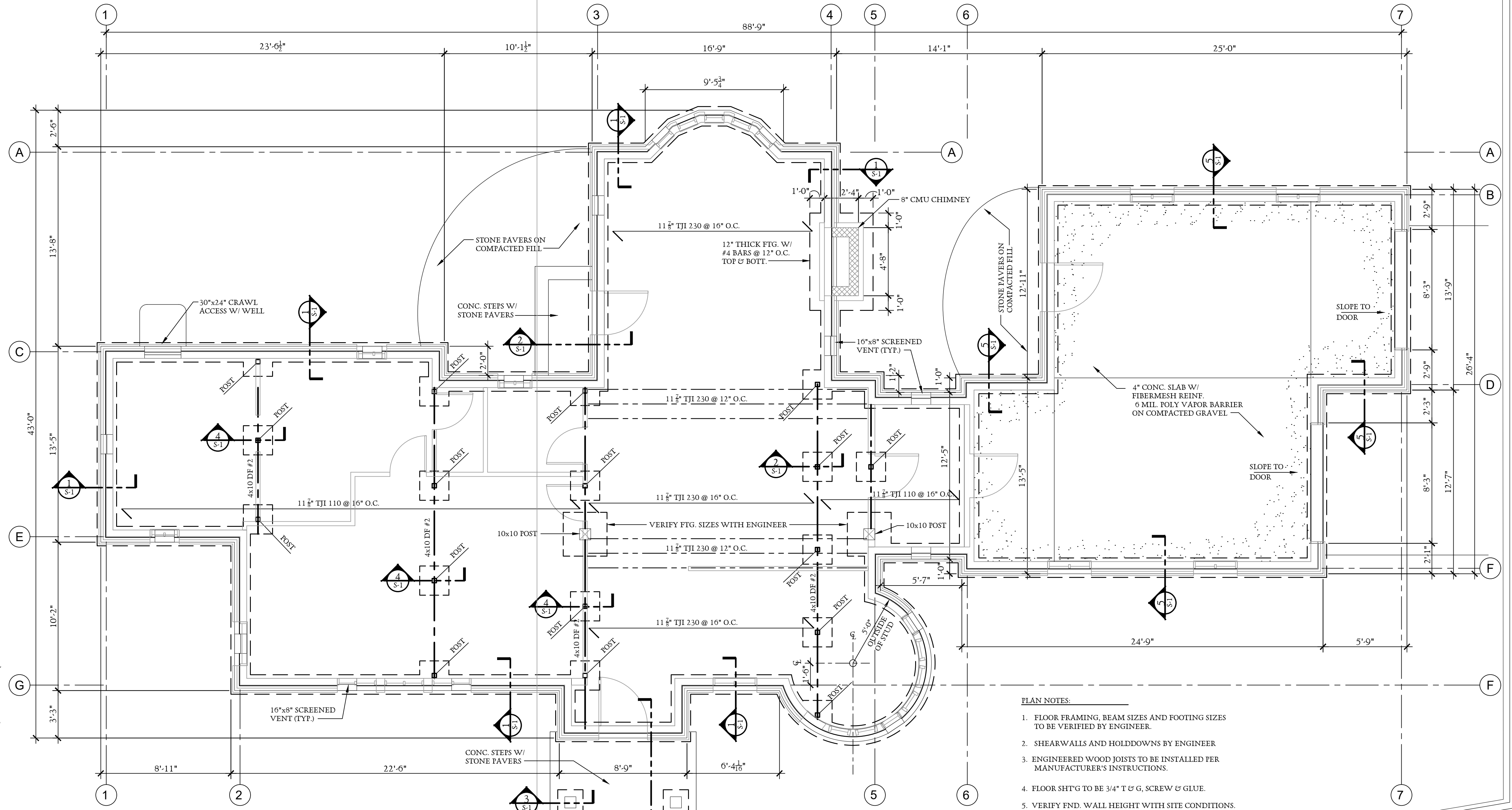
3 10x10 POST FOOTING DETAIL  
SCALE: 1" = 1'-0"



CONTROL JOINT  
SCALE: 3/4" = 1'-0"



TYP. CORNER LAP  
SCALE: 3/4" = 1'-0"



Foundation Plan

Scale: 1/4" = 1'-0"

PLAN NOTES:

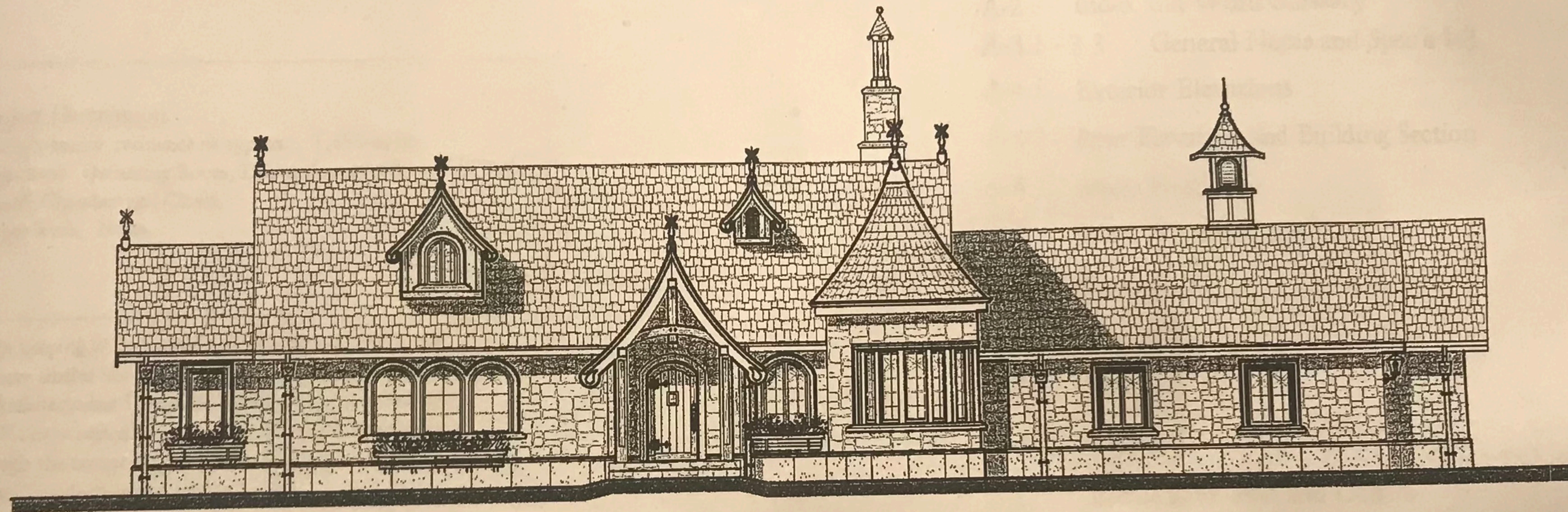
1. FLOOR FRAMING, BEAM SIZES AND FOOTING SIZES TO BE VERIFIED BY ENGINEER.
2. SHEARWALLS AND HOLDDOWNS BY ENGINEER
3. ENGINEERED WOOD JOISTS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
4. FLOOR SHTG TO BE 3/4" T & G, SCREW & GLUE.
5. VERIFY FND. WALL HEIGHT WITH SITE CONDITIONS.
6. CHEMICALLY TREAT SOIL FOR TERMITES.



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the construction of one home

# Storybook Homes

Presents



Dee & Teresa  
Langdon

## "WeeStone" Design TTC No. 29 by Samuel Hackwell & Andrew Perkins

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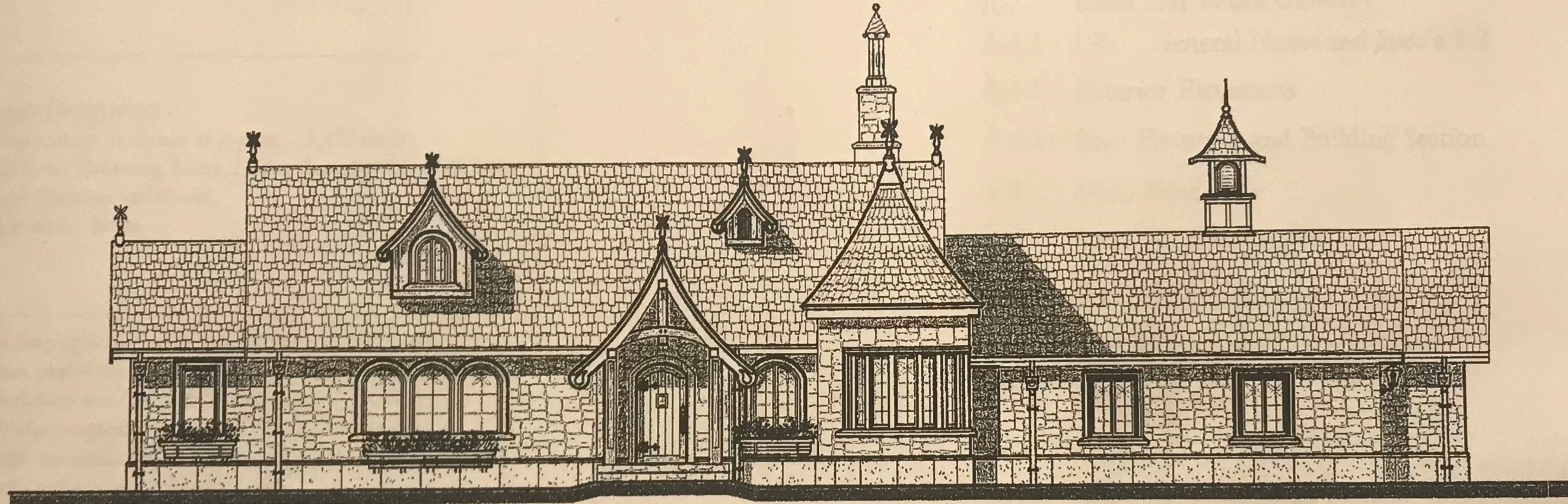
# A-1

Plans designed Especially for :  
Dee and Teresa Langdon  
4338 old stage road  
Angier, North Carolina 27501

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the construction of one home

# Storybook Homes

Presents



"WeeStone"

Design TTC No. 29

by

Samuel Hackwell & Andrew Perkins

Dee & Teresa  
Langdon

Storybook  
Homes  
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Andrew Perkins

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Lynch, WA 98304  
1-800-451-1870  
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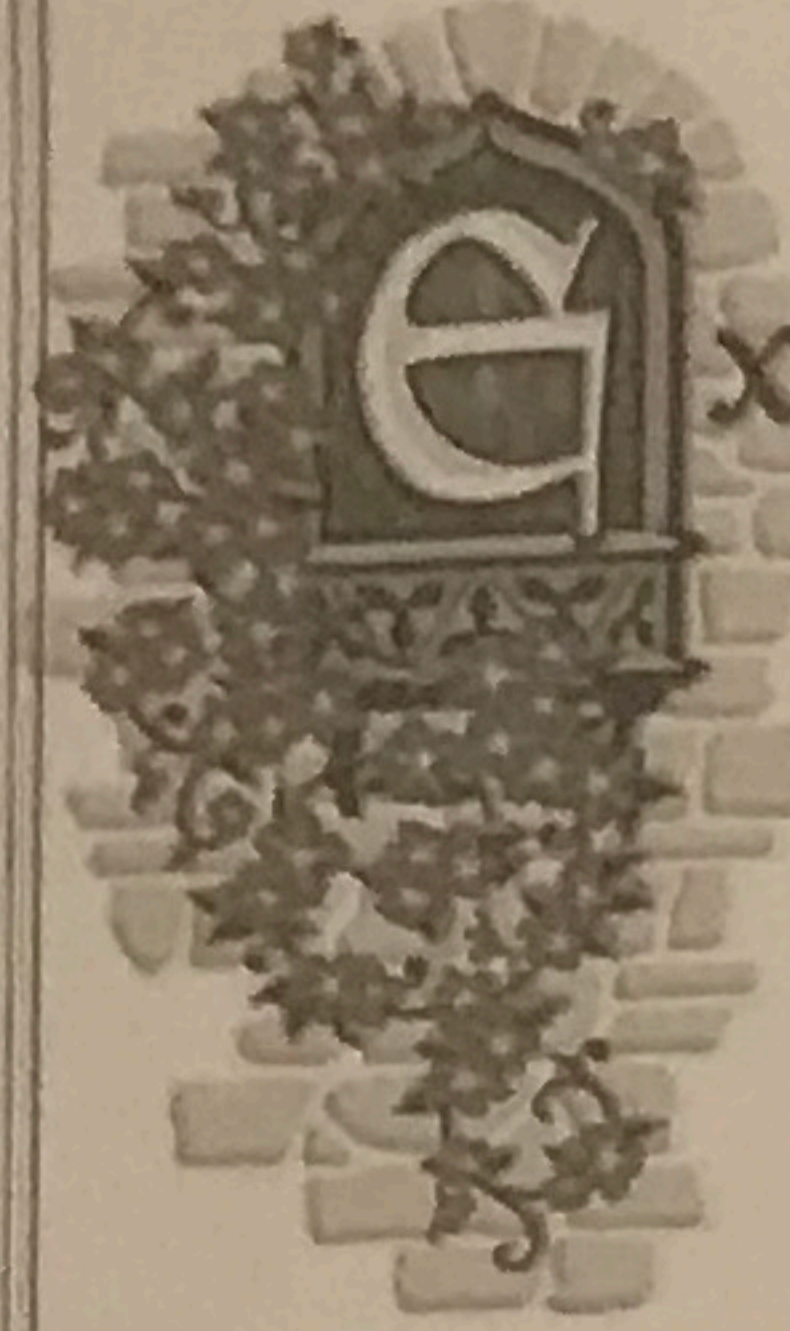
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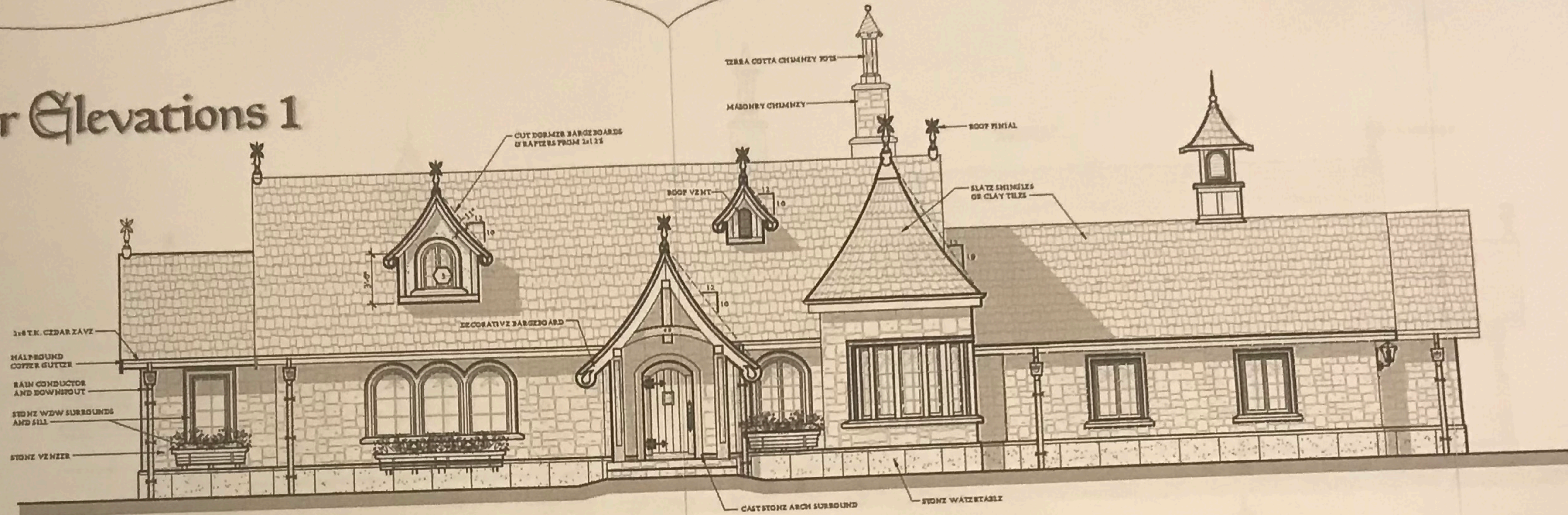
A-1

Plans designed Especially for :  
Dee and Teresa Langdon  
4338 old stage road  
Angier, North Carolina 27501

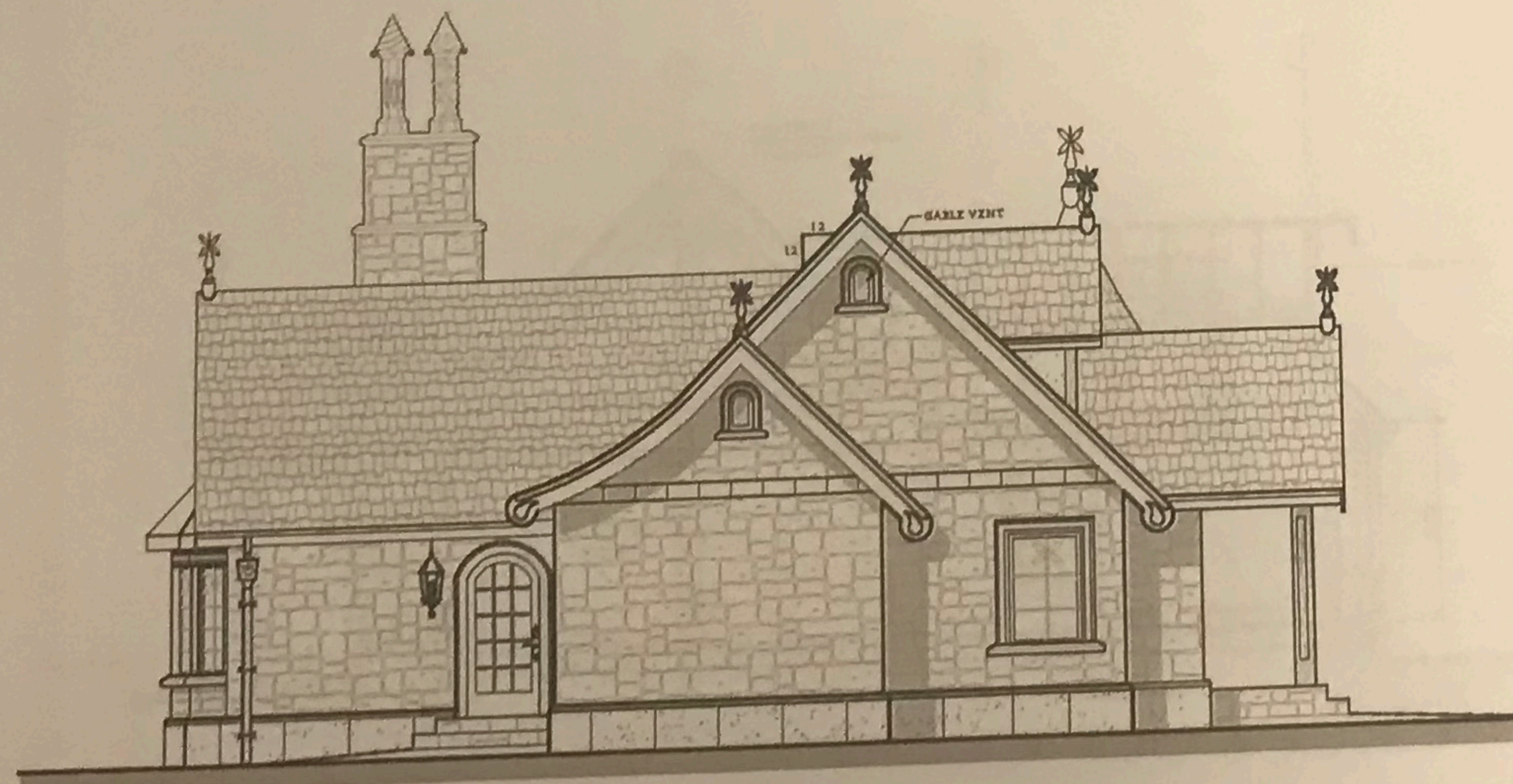
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# Exterior Elevations 1



**Front Elevation**  
 Scale: 1/4" = 1'-0"



**Left Elevation**  
 Scale: 1/4" = 1'-0"



**Right Elevation**  
 Scale: 1/4" = 1'-0"

Dee & Teresa

**Storybook  
 Homes**  
 by Samuel Hackwell &  
 Andrew Perkins

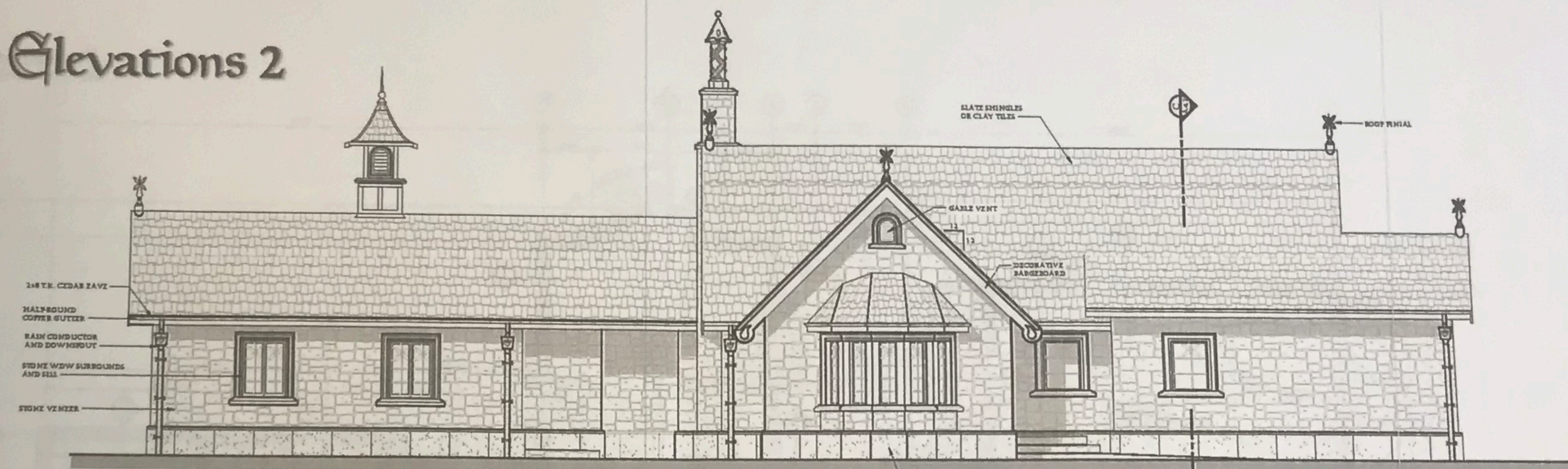
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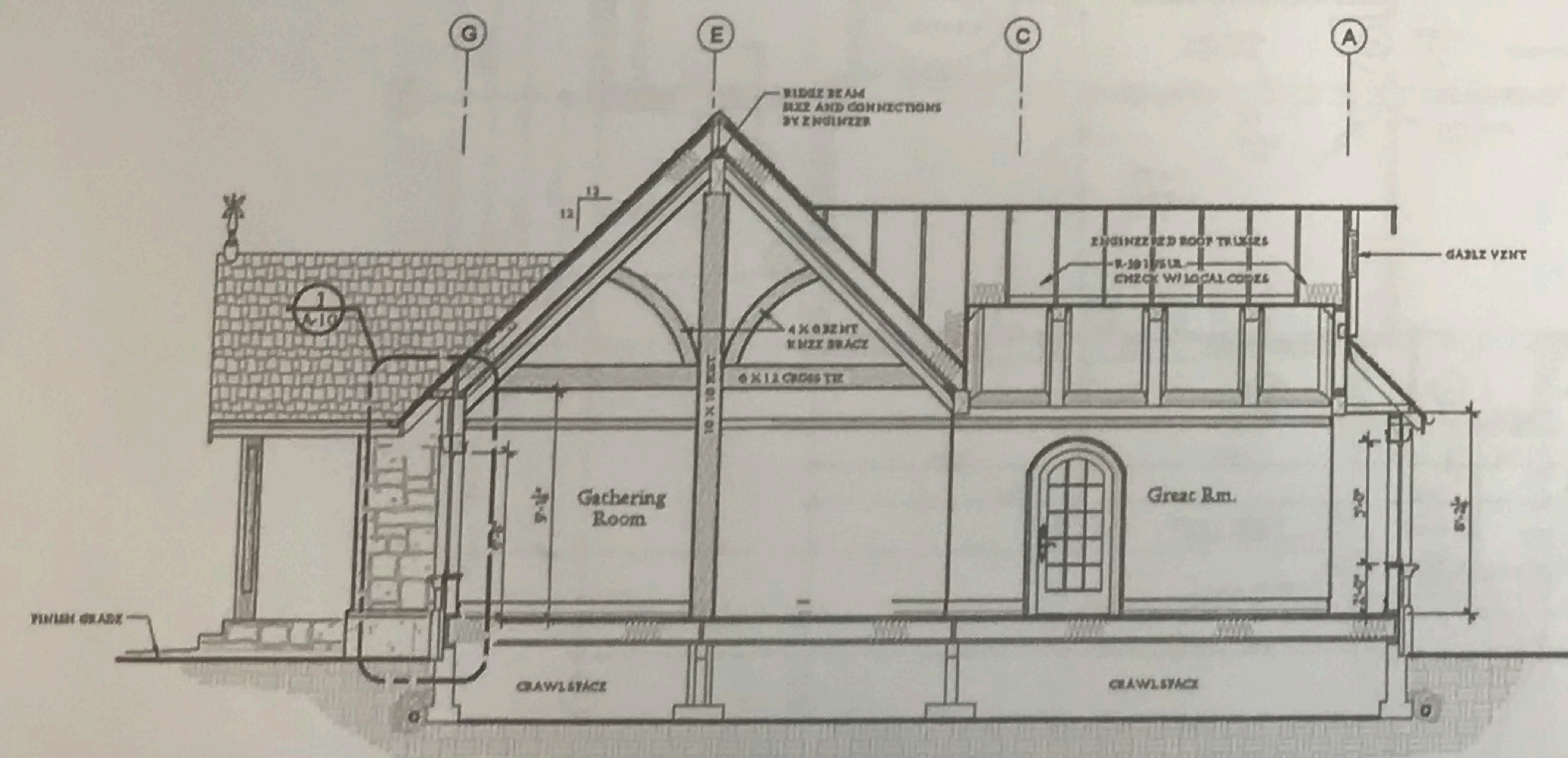
Plans Designed  
 Especially for:  
 Dee and Teresa Langdon  
 4338 Old Stage road North  
 Angier, NC 27501

**A-4.1**

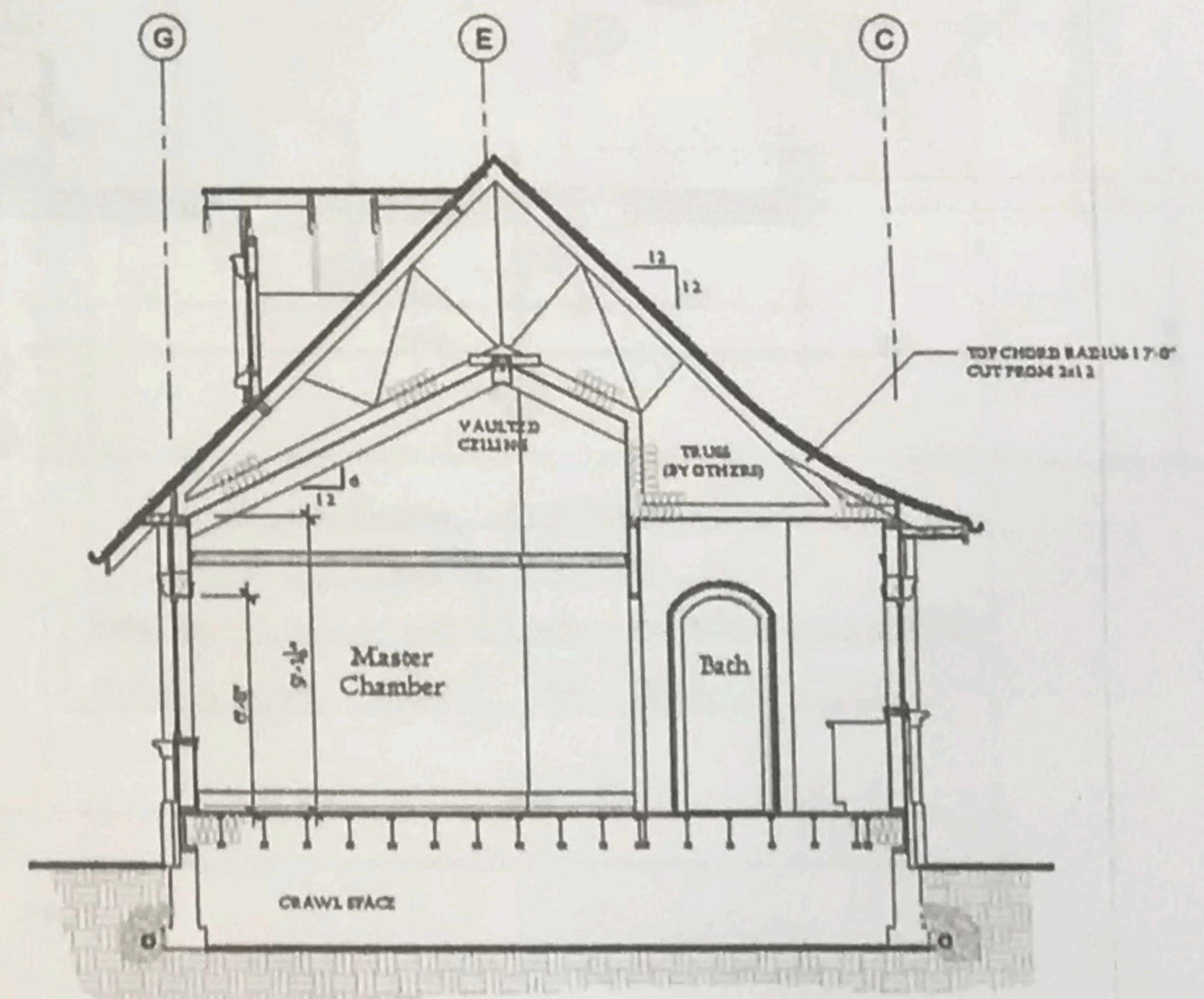
# Exterior Elevations 2



Rear Elevation  
 Scale: 1/4" = 1'-0"



Building Section A - A  
 Scale: 1/4" = 1'-0"



Building Section C - C  
 Scale: 1/4" = 1'-0"

Dee & Teresa  
 Langdon

Storybook  
 Homes  
 by Samuel Hackwell &  
 Andrew Perkins

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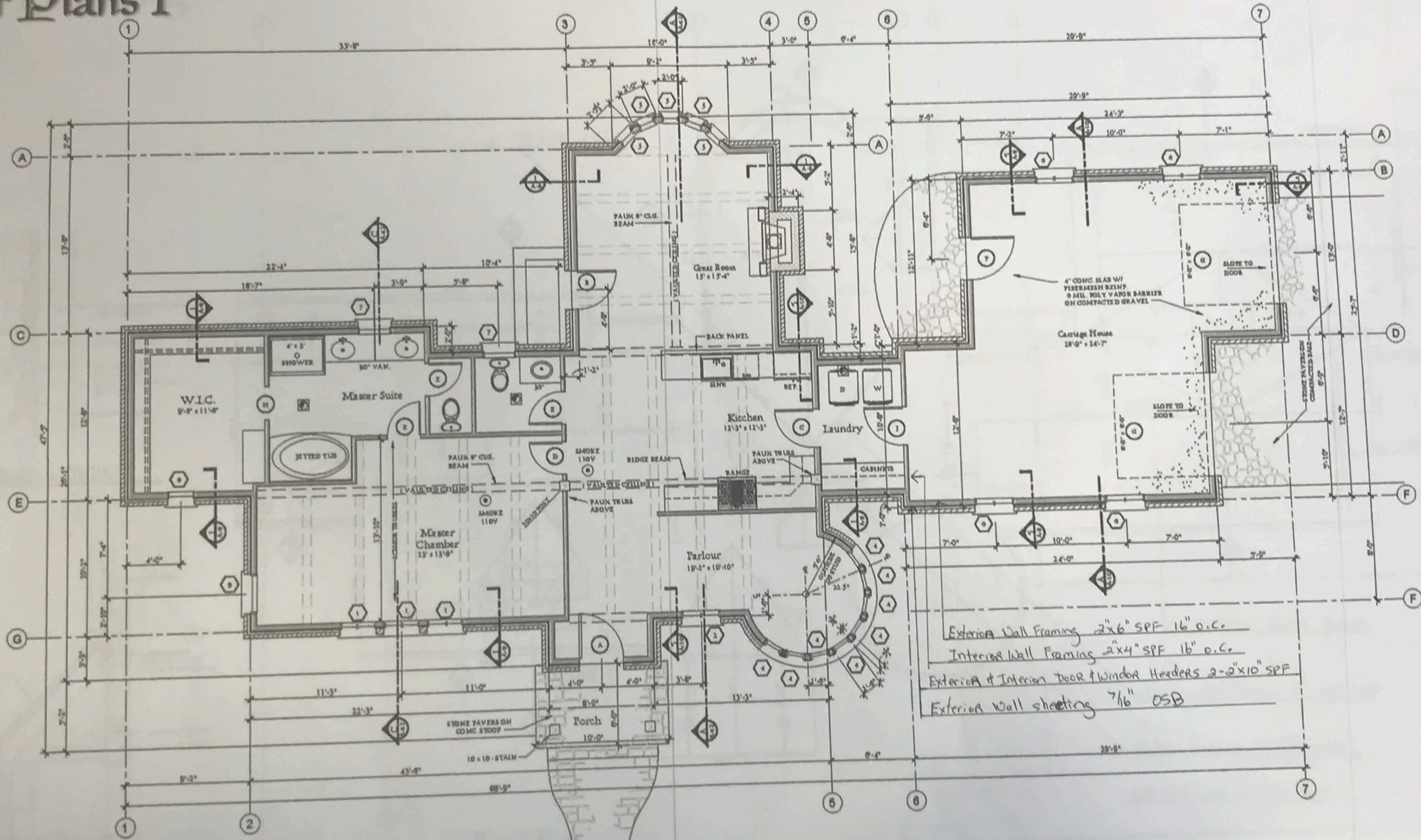
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Plot Date: JAN. 10, 2023

# A-4.2

Plans Designed  
 Especially for:  
 Dee and Teresa Langdon  
 4338 Old Stage road North  
 Angler, NC 27501



**Main Floor Plan**  
 Scale: 1/4" = 1'-0"

Exterior Wall Framing 2"x6" SPF 16" o.c.  
 Interior Wall Framing 2"x4" SPF 16" o.c.  
 Exterior & Interior Door & Window Headers 2-2"x10" SPF  
 Exterior Wall Sheeting 7/16" OSB

Heated Area:	1,456 s.f.
Garage:	013 s.f.
<b>Total:</b>	<b>2,009 s.f.</b>

Plot Date: JAN. 10, 2023

**IMPORTANT:**

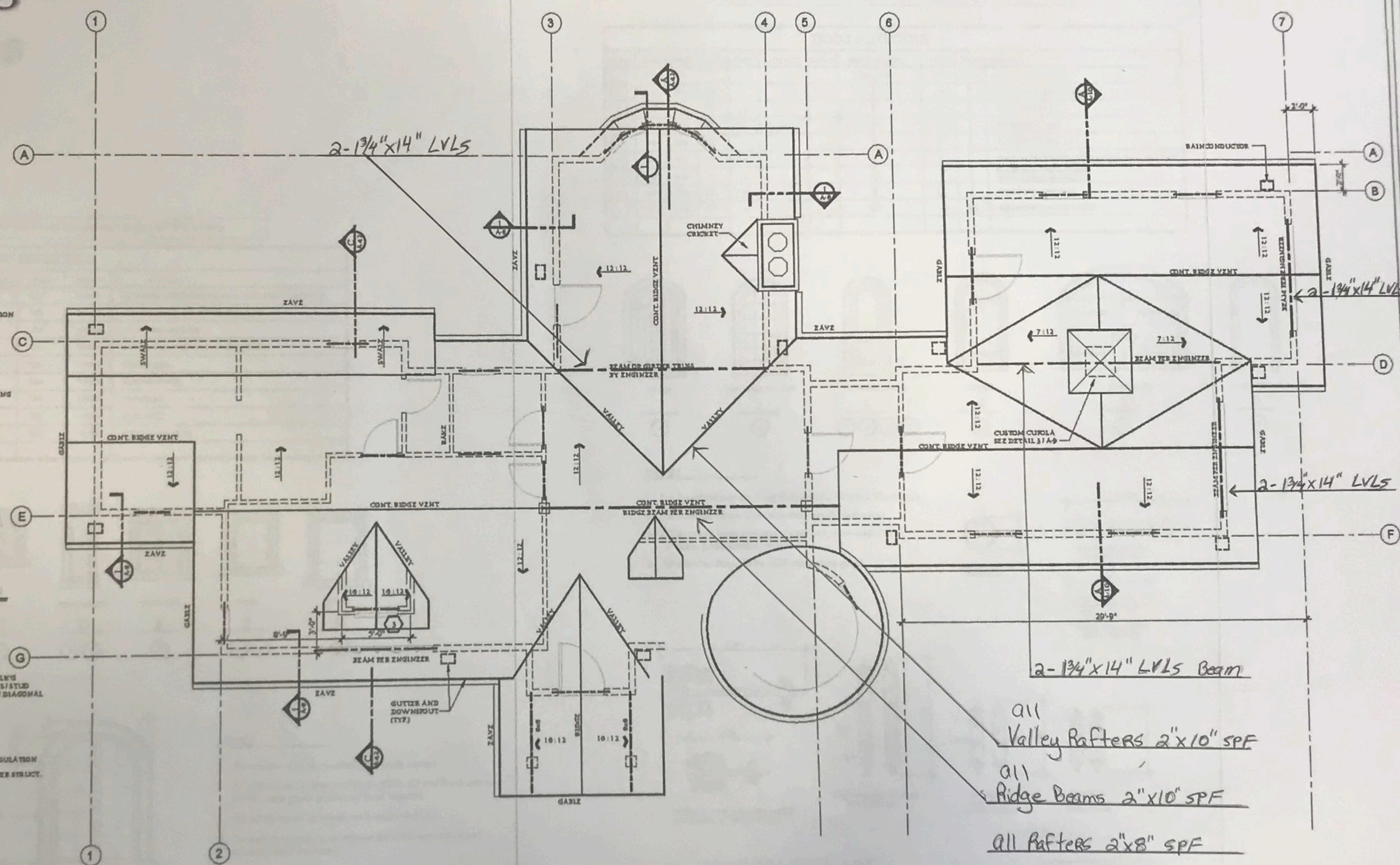
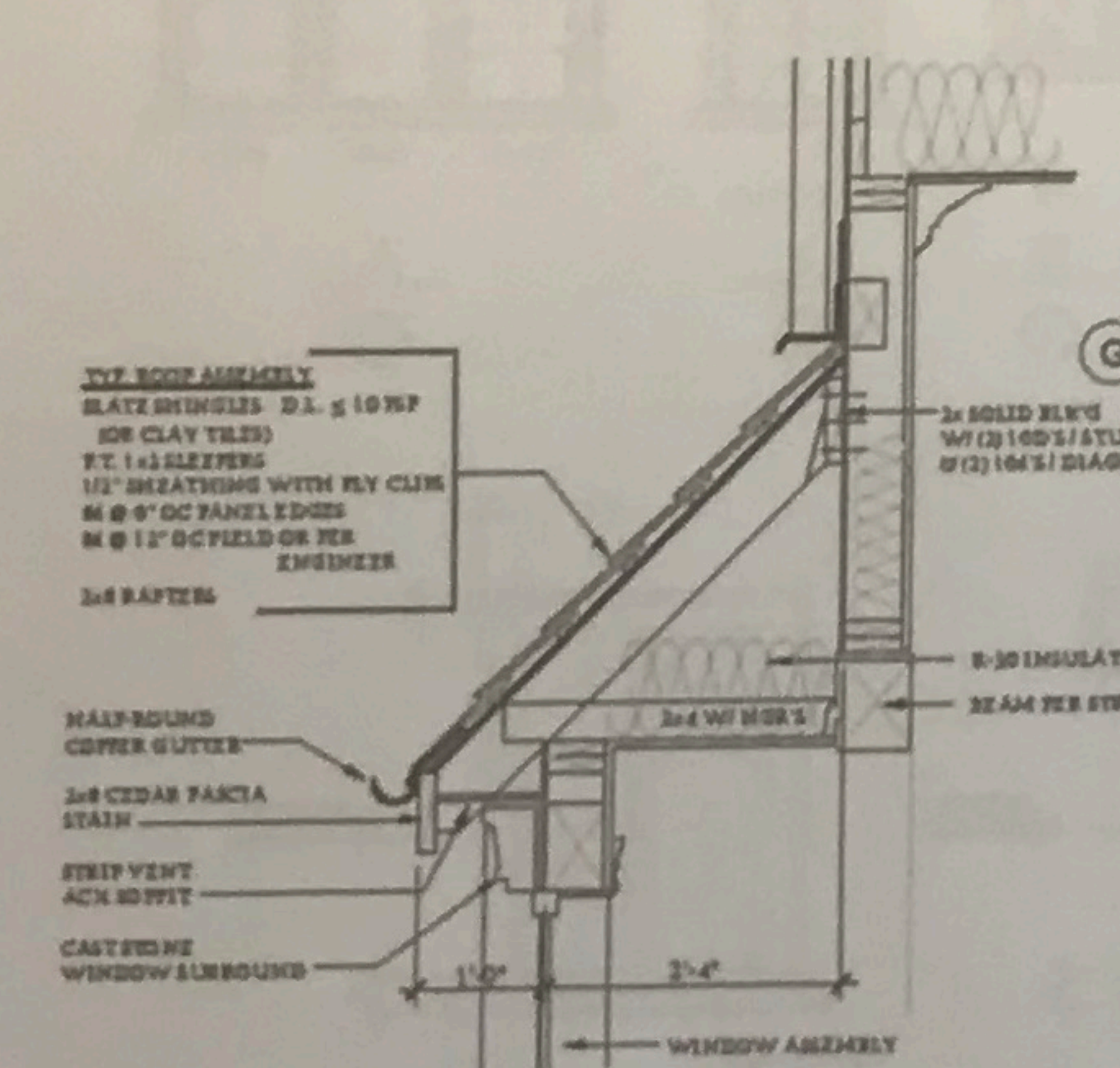
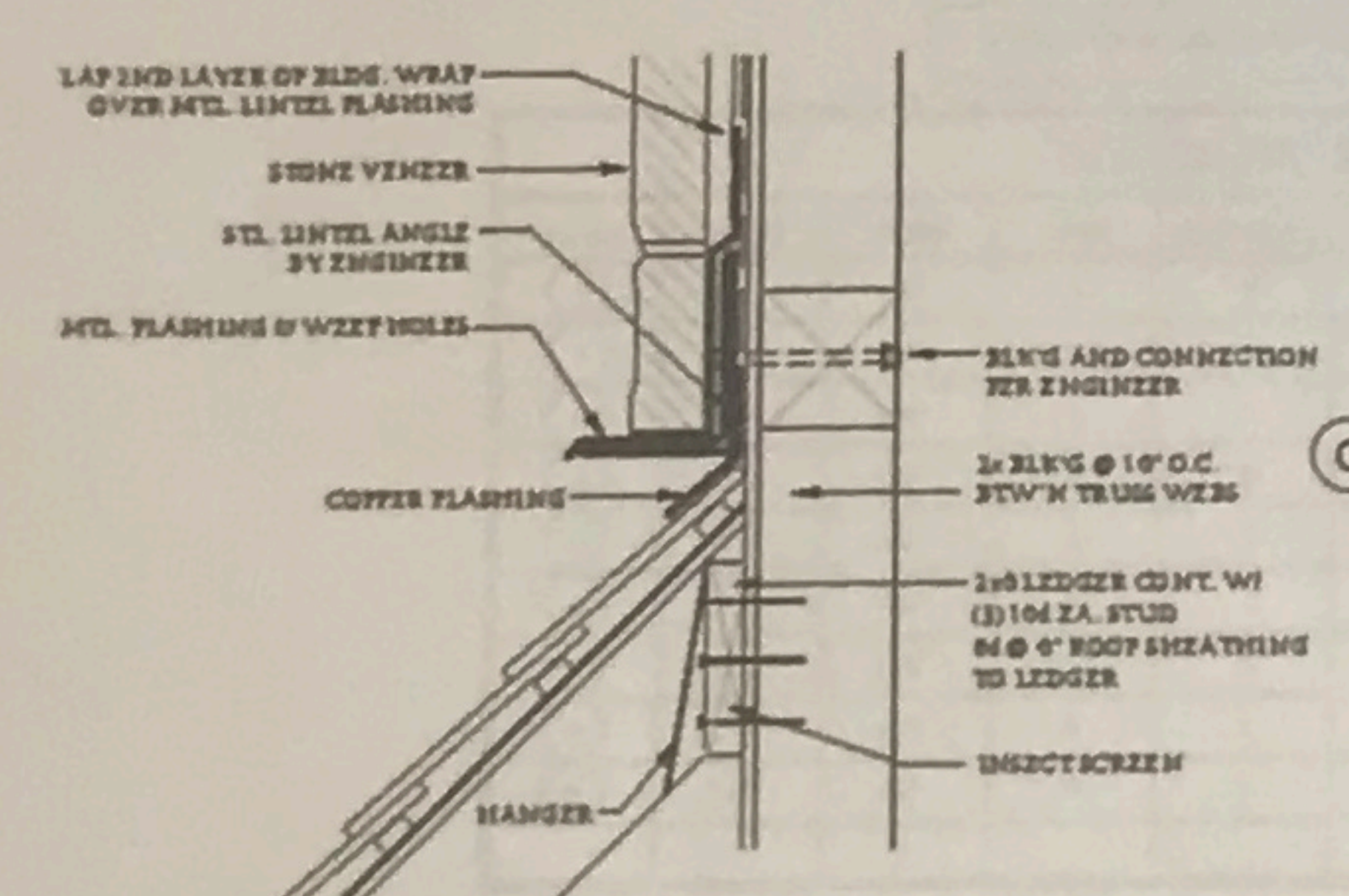
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**A-5**

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Dee & Teresa  
 Langdon

# Roof Framing



Dee & Teresa Langdon

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Plot Date: JAN. 10, 2023

Plans Designed Especially for:  
 Dee and Teresa Langdon  
 4338 Old Stage road North  
 Angier, NC 27501

A-6

# Details 1

**TYP. ROOF ASSEMBLY**  
 SLATE SHINGLES D.L. < 10 W/P  
 (OR CLAY TILES)  
 P.T. 1/2" SLEEPERS  
 3/8" B.S.P. ROOF PAPER  
 1/2" CDX ROOF SHEATHING ON  
 2x6 SLEEPERS @ 24" O.C.  
 5/16" SHED INSUL.  
 1/2" SHEATHING WITH FLY CLIPS  
 #4 @ 6" OC PANEL EDGES  
 #4 @ 12" OC FIELD OR PER  
 2" MINIMIZER

**TYP. ROOF ASSEMBLY**  
 SLATE SHINGLES D.L. < 10 W/P  
 (OR CLAY TILES)  
 P.T. 1/2" SLEEPERS  
 1/2" SHEATHING WITH FLY CLIPS  
 #4 @ 6" OC PANEL EDGES  
 #4 @ 12" OC FIELD OR PER  
 2" MINIMIZER

**TYP. EXTERIOR WALL**  
 (1) 2" x 6" W/P FL.  
 HEADER PER PLAN  
 GLAZING U - 0.8  
 CAST STONE VENEER  
 1" MIN. AIR SPACE  
 3 LAYER 60 MIN. BLDG. PAPER  
 BARRICADE IMPR. BARRIER  
 1/2" CDX SHEATHING NAILED  
 #4 @ 6" OC PANEL EDGES  
 #4 @ 12" OC FIELD U.O.M.  
 R-21 BATT. INSUL.  
 2" x 6" SFS STUDS @ 16" OC  
 5/8" GWS INT.

**TYP. ROOF ASSEMBLY**  
 SLATE SHINGLES D.L. < 10 W/P  
 (OR CLAY TILES)  
 P.T. 1/2" SLEEPERS  
 3/8" B.S.P. ROOF PAPER  
 1/2" CDX ROOF SHEATHING ON  
 2x6 SLEEPERS @ 24" O.C.  
 5/16" SHED INSUL.  
 1/2" SHEATHING WITH FLY CLIPS  
 #4 @ 6" OC PANEL EDGES  
 #4 @ 12" OC FIELD OR PER  
 2" MINIMIZER

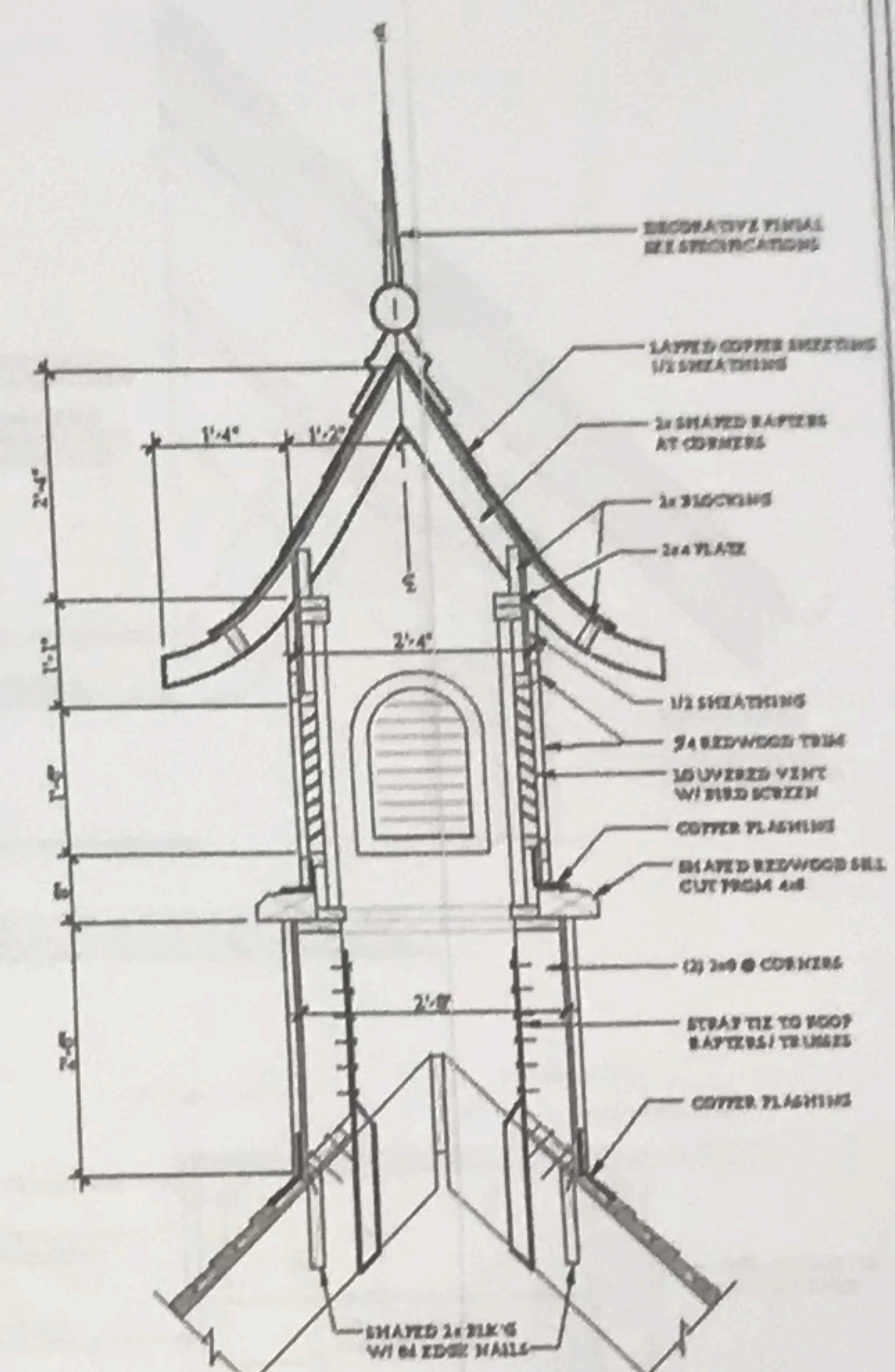
**TYP. WALL SECTION**  
 SCALE 1" = 1'-0"

**WALL SECTION @ VAULTED CEILING**  
 SCALE 1" = 1'-0"

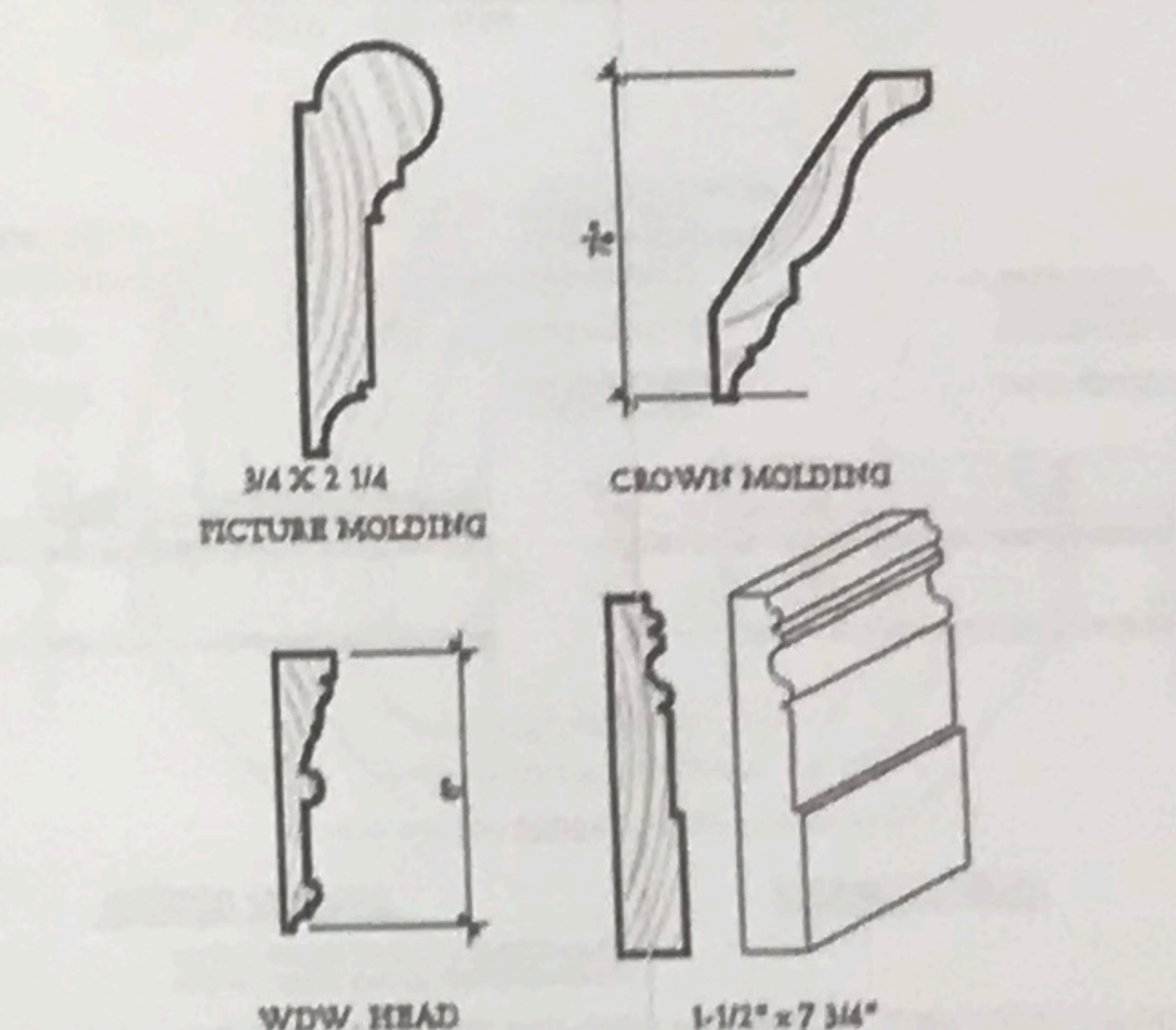
**TYP. EXTERIOR WALL**  
 (1) 2" x 6" W/P FL.  
 HEADER PER PLAN  
 GLAZING U - 0.8  
 CAST STONE VENEER  
 1" MIN. AIR SPACE  
 3 LAYER 60 MIN. BLDG. PAPER  
 BARRICADE IMPR. BARRIER  
 1/2" CDX SHEATHING NAILED  
 #4 @ 6" OC PANEL EDGES  
 #4 @ 12" OC FIELD U.O.M.  
 R-21 BATT. INSUL.  
 2" x 6" SFS STUDS @ 16" OC  
 5/8" GWS INT.

**TYP. WALL SECTION AT GARAGE**  
 SCALE 1" = 1'-0"

**TYPICAL WATER TABLE**  
 SCALE NONE



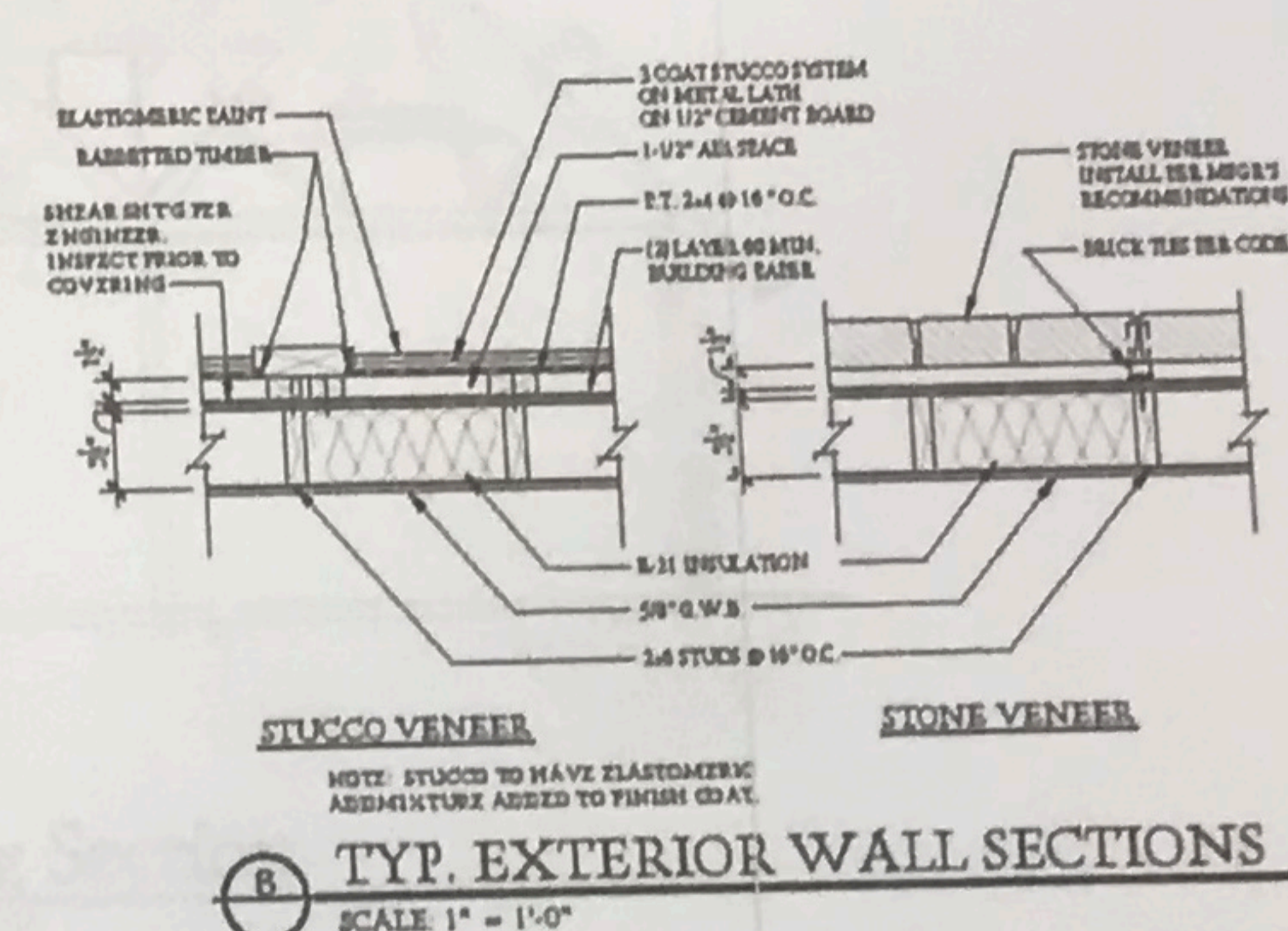
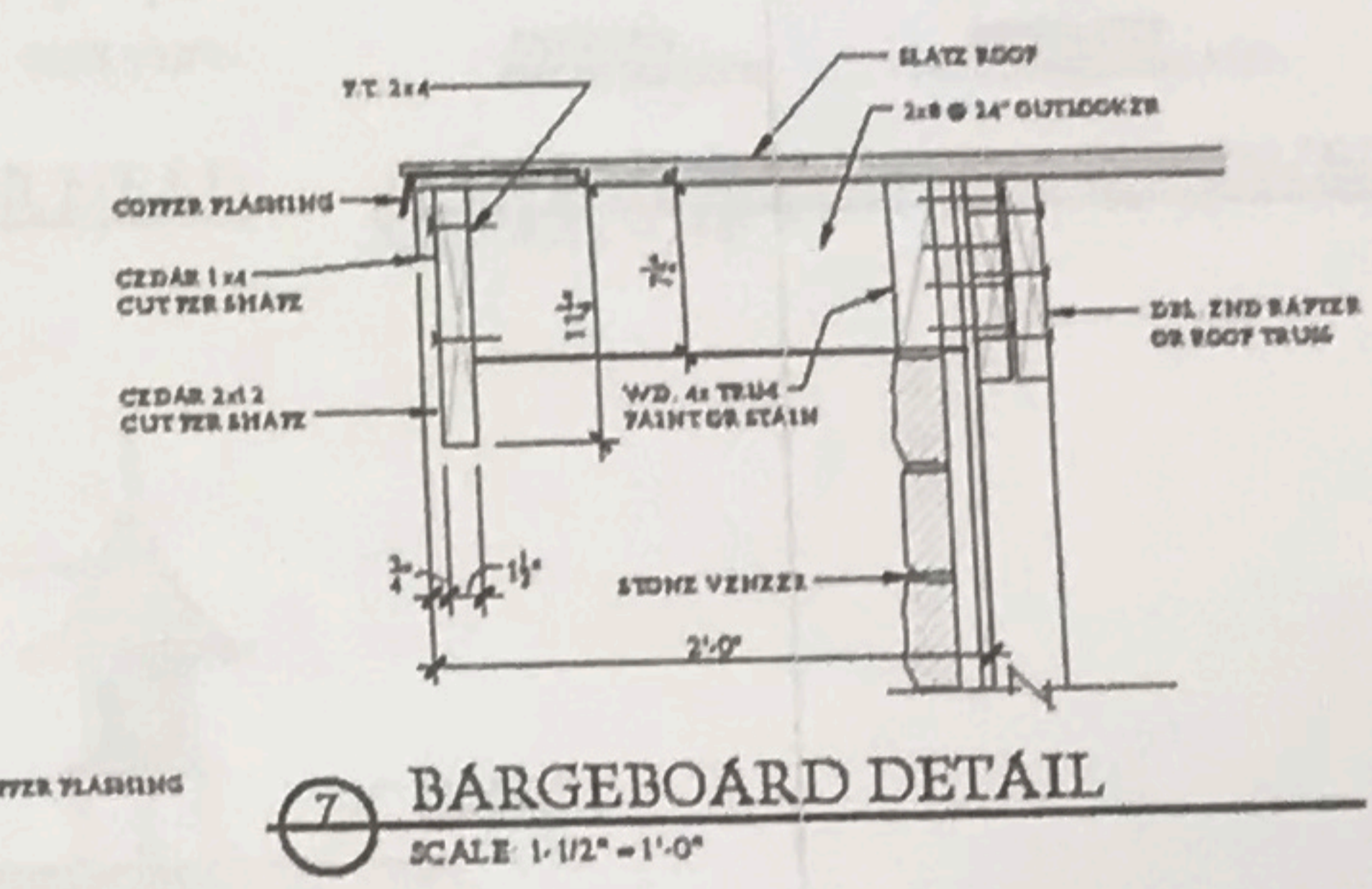
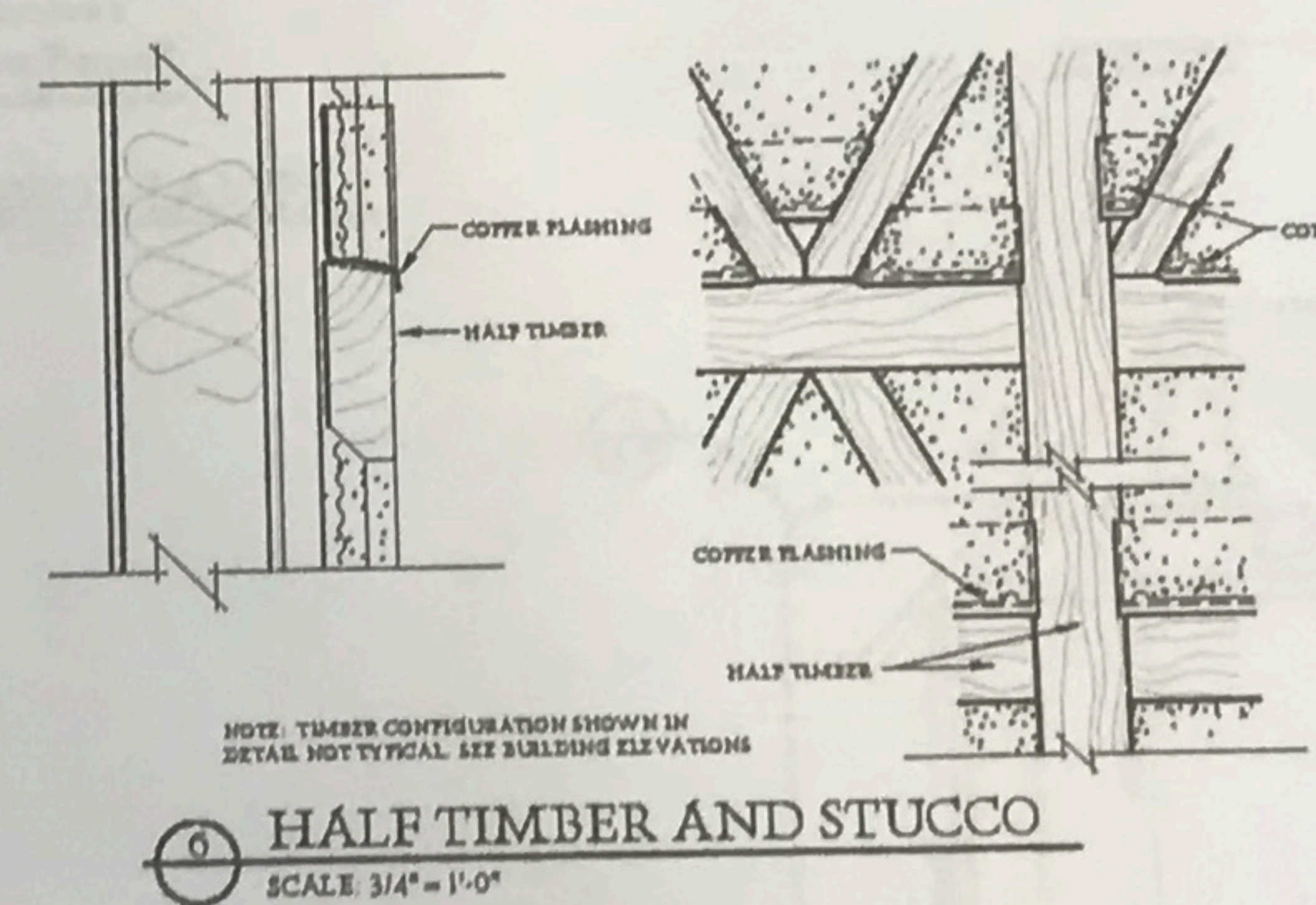
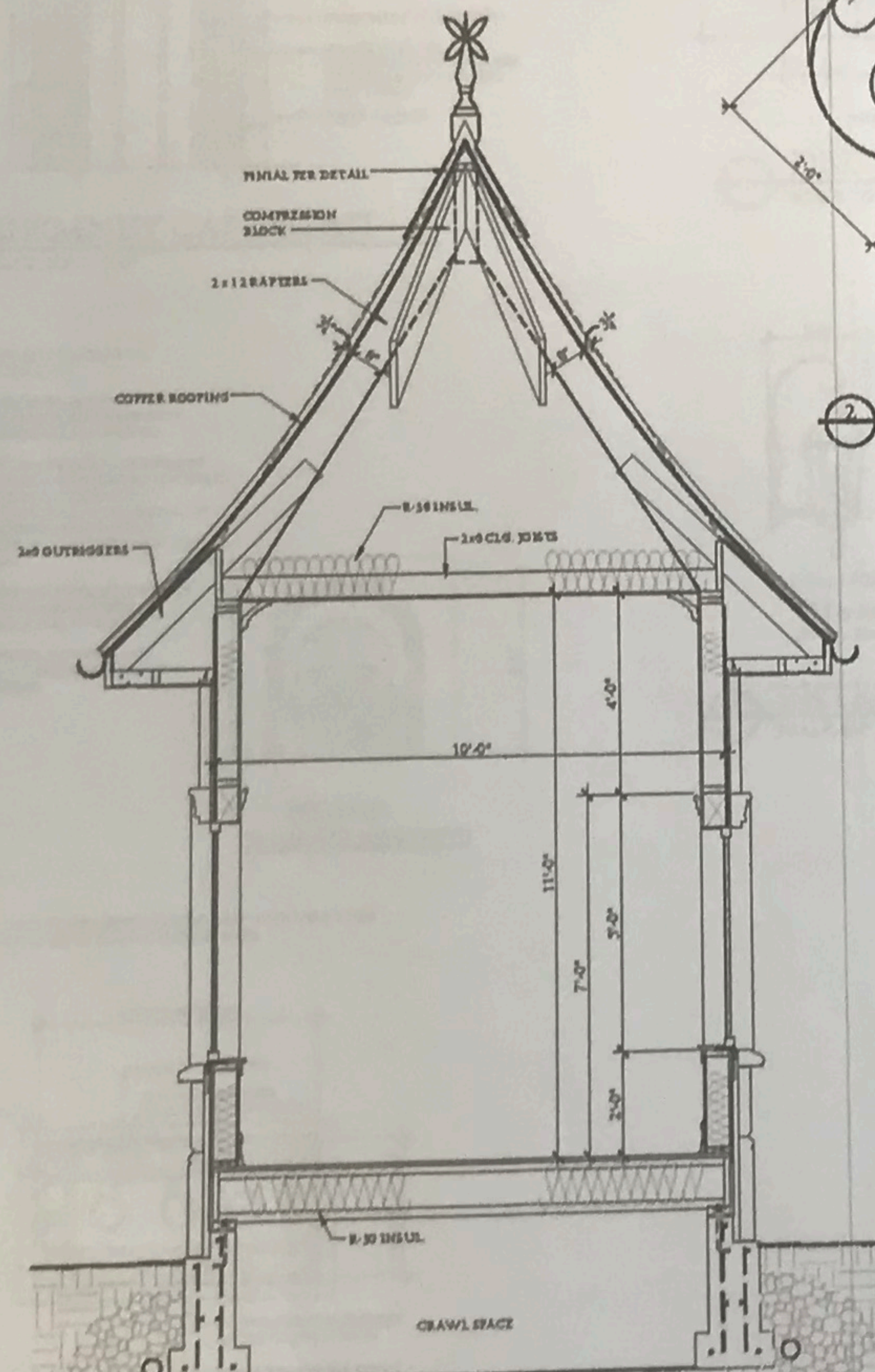
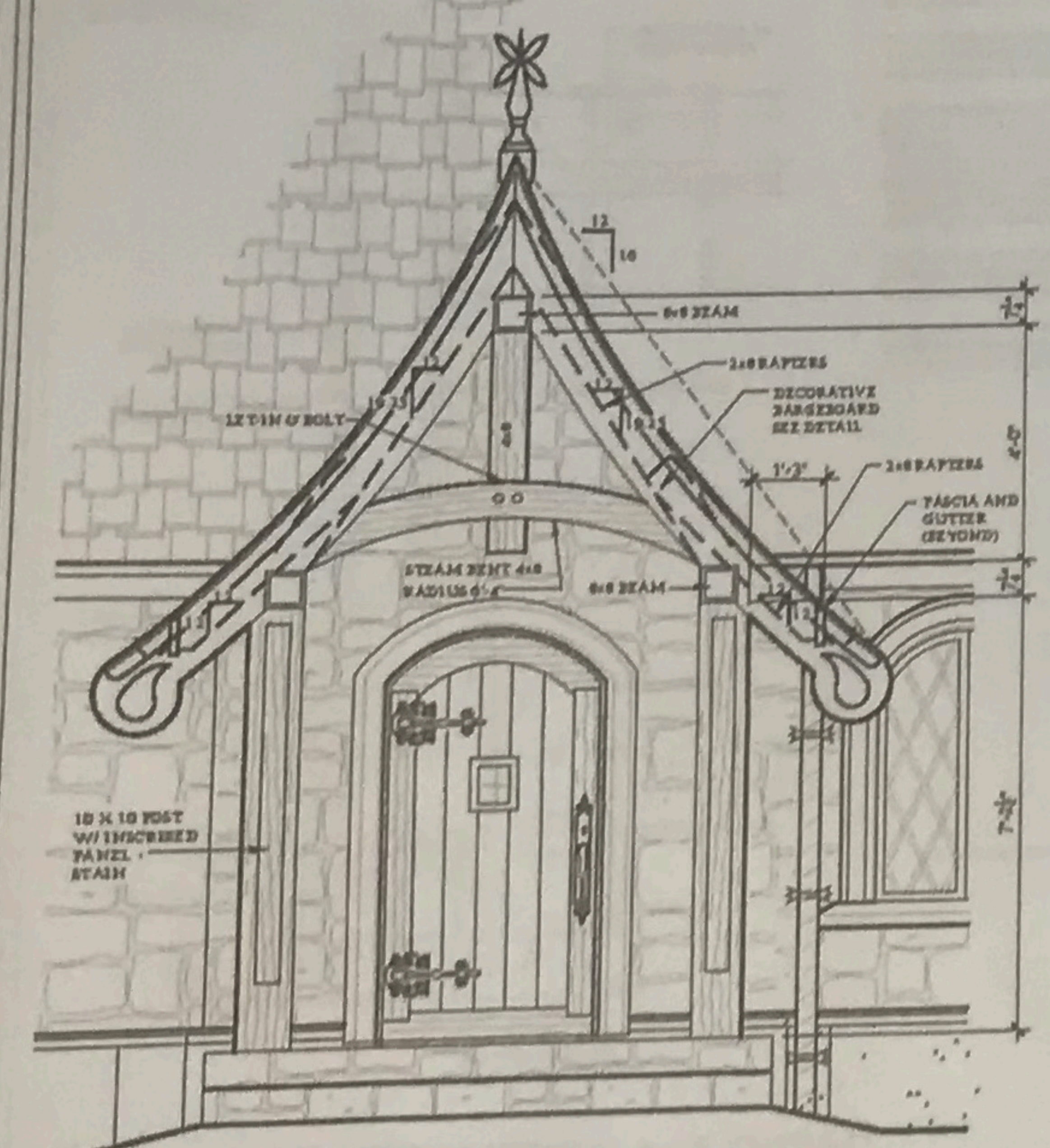
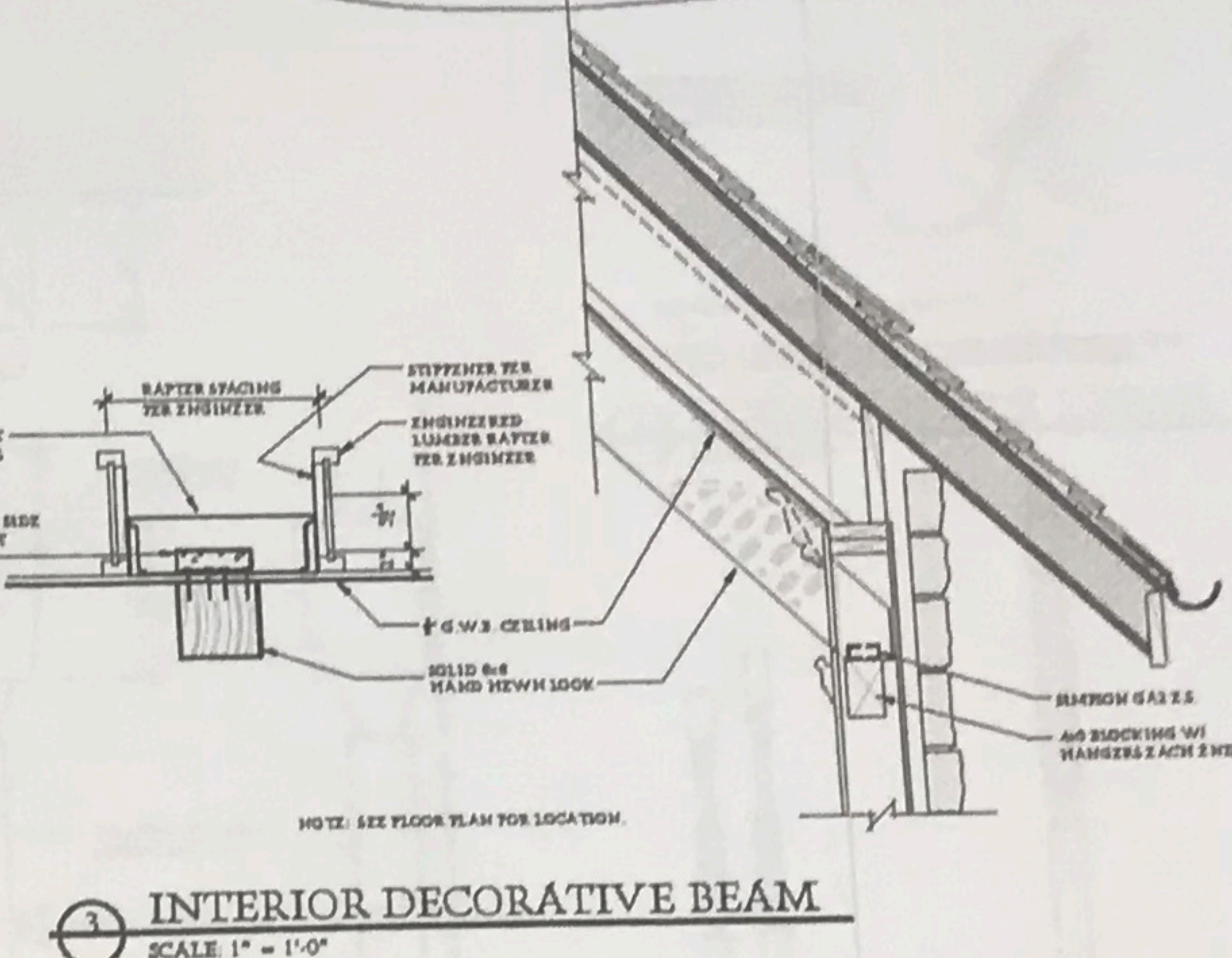
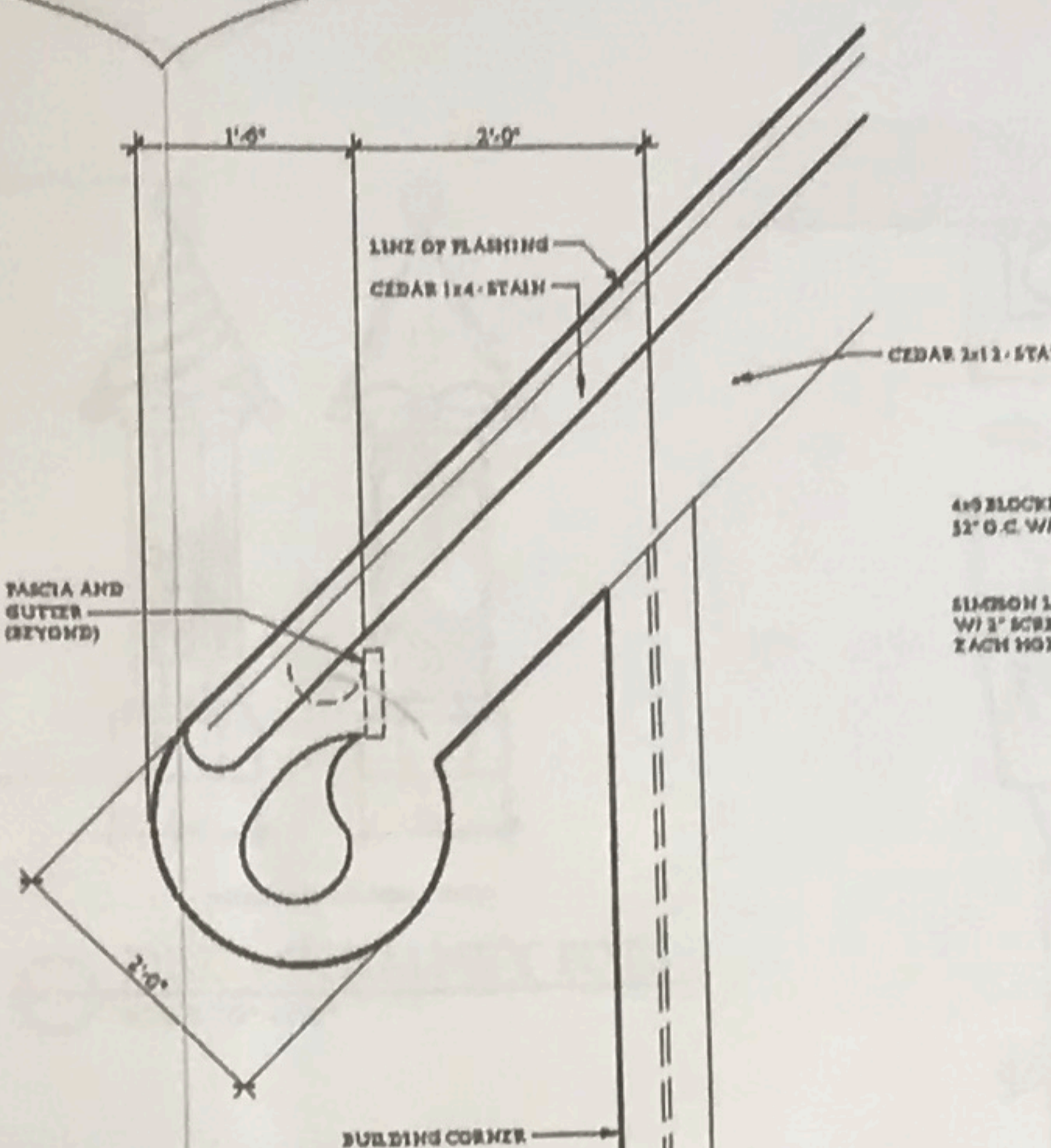
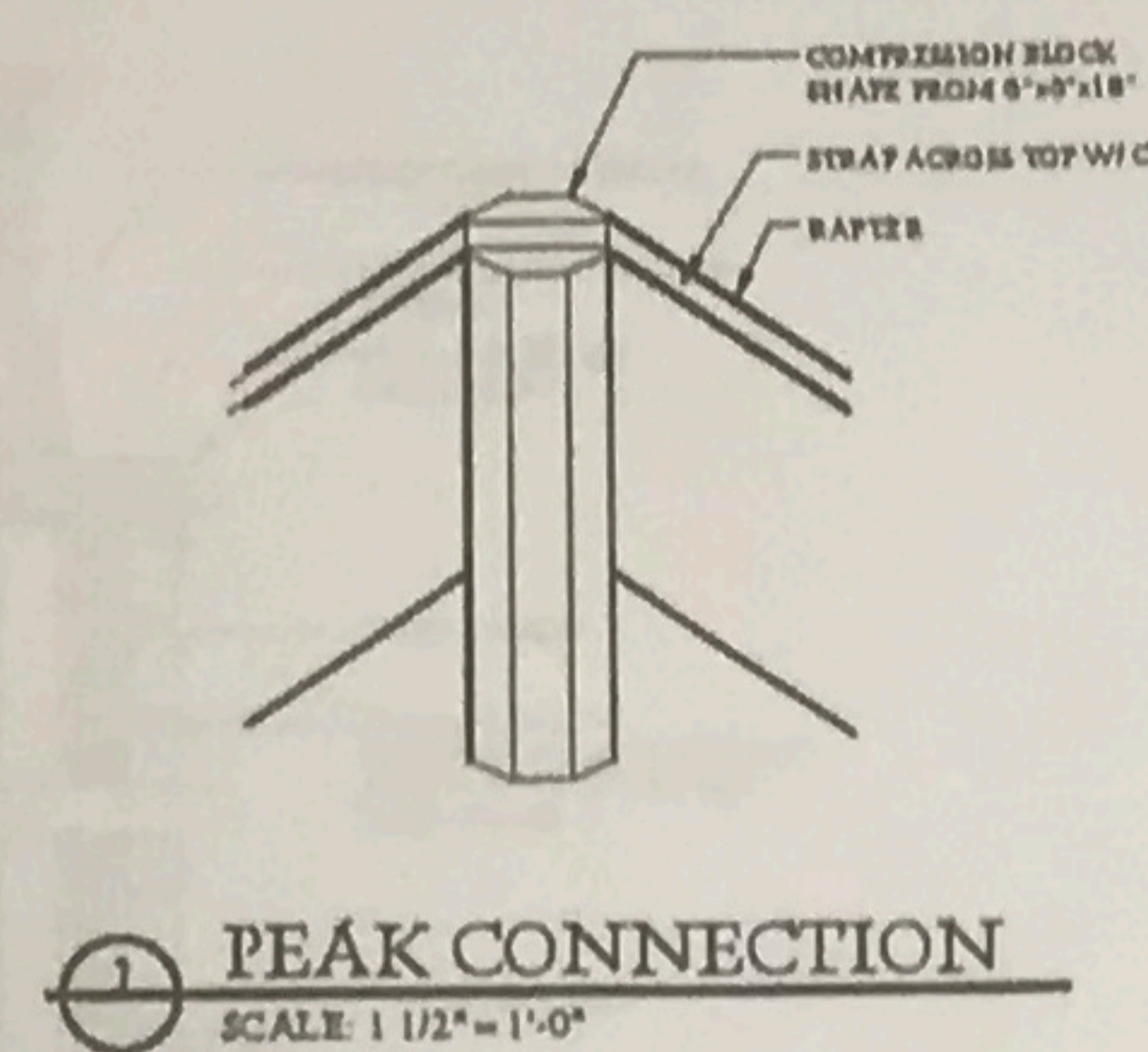
**VENTED CUPOLA DETAIL**  
 SCALE 3/4" = 1'-0"



**MOLDINGS**  
 SCALE

Dee & Teresa  
 Langdon

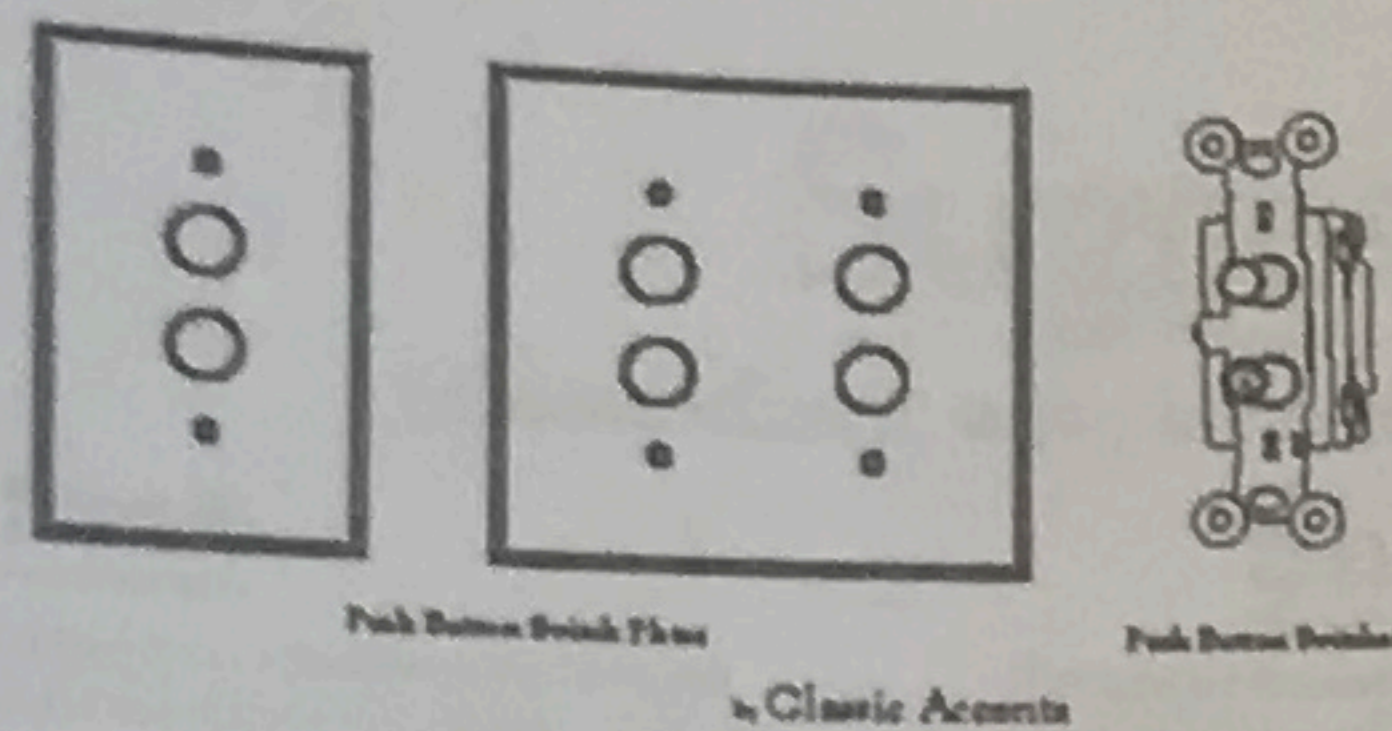
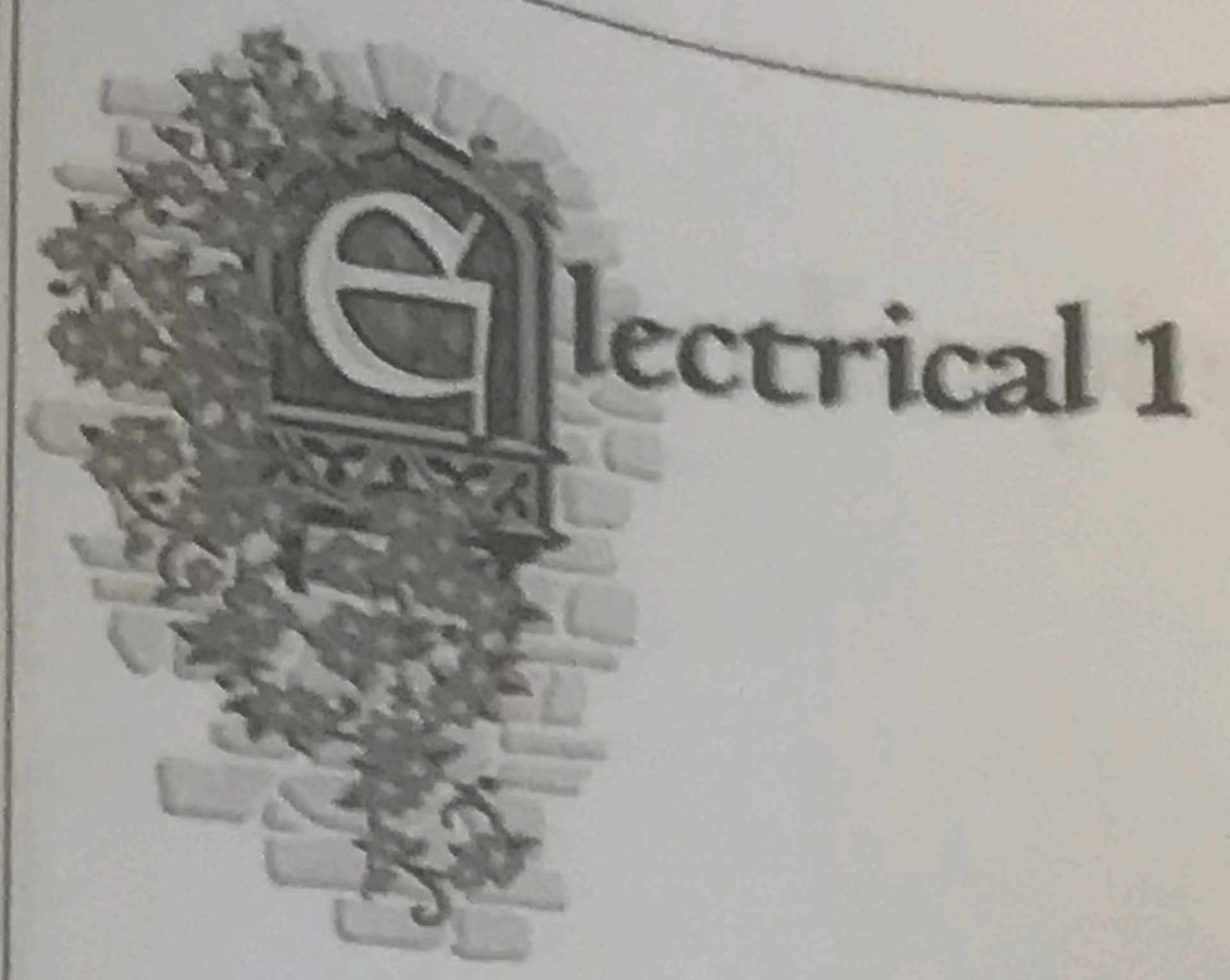
# Details 2



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 Langdon

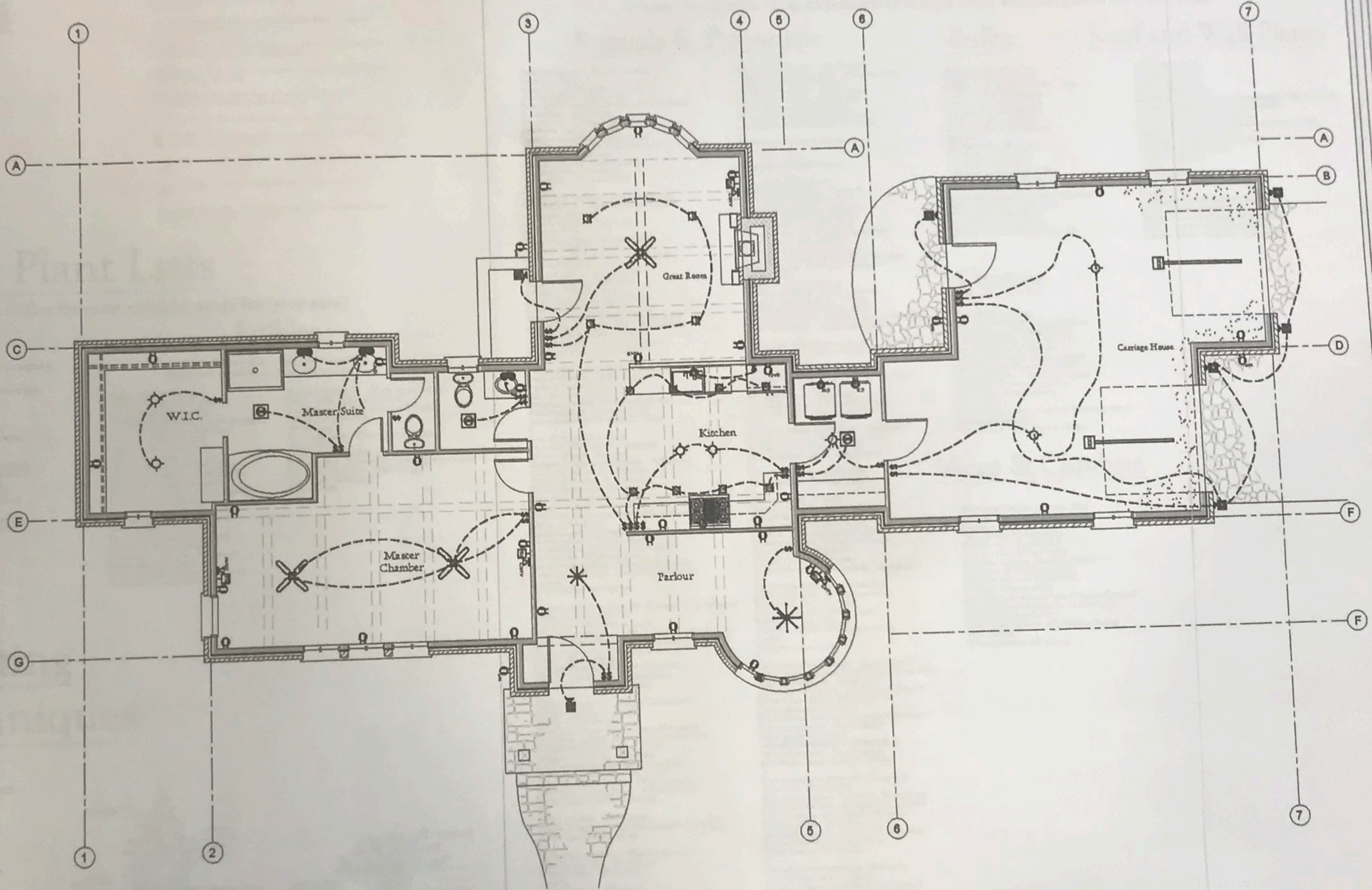


Suggested Plant List



Push Button Switch Floor  
 Classic Accents  
 Push Button Switch

Electrical Legend			
Exterior Light			
Exterior Light (round)			
Out 5' Out TV Cable			
Filter-Optic Jack			
GFCI Outlet			
Weather-Proof 110 V Outlet			
110 V Outlet			
120 V Outlet			
Clothes Dryer Outlet			
Clothes Washer Outlet			
Dishwasher Outlet			
Range Outlet			
4-Way Switch			
3-Way Switch			
Switch			
Light			
Smoke Detector			
Recessed Can Light			
Alarm			
Door Bell (ring)			
Door Bell (double)			
Vanity Light Bar			
Exitway Sign			
Alarm Re-wire			
		Ceiling Fan	
		Recessed Chandelier	
		Chandelier	
		Track Lighting (m)	
		Track Lighting (l)	
		Fluorescent Light	
		Garage Door Opener	



Suggested Electrical Plan  
 Scale: 3/4" = 1'-0"

Dee & Teresa  
 Langdon

P.O. Box 60  
 Lynden, WA 98264  
 1-800-001-3870  
 www.storybookhomes.com

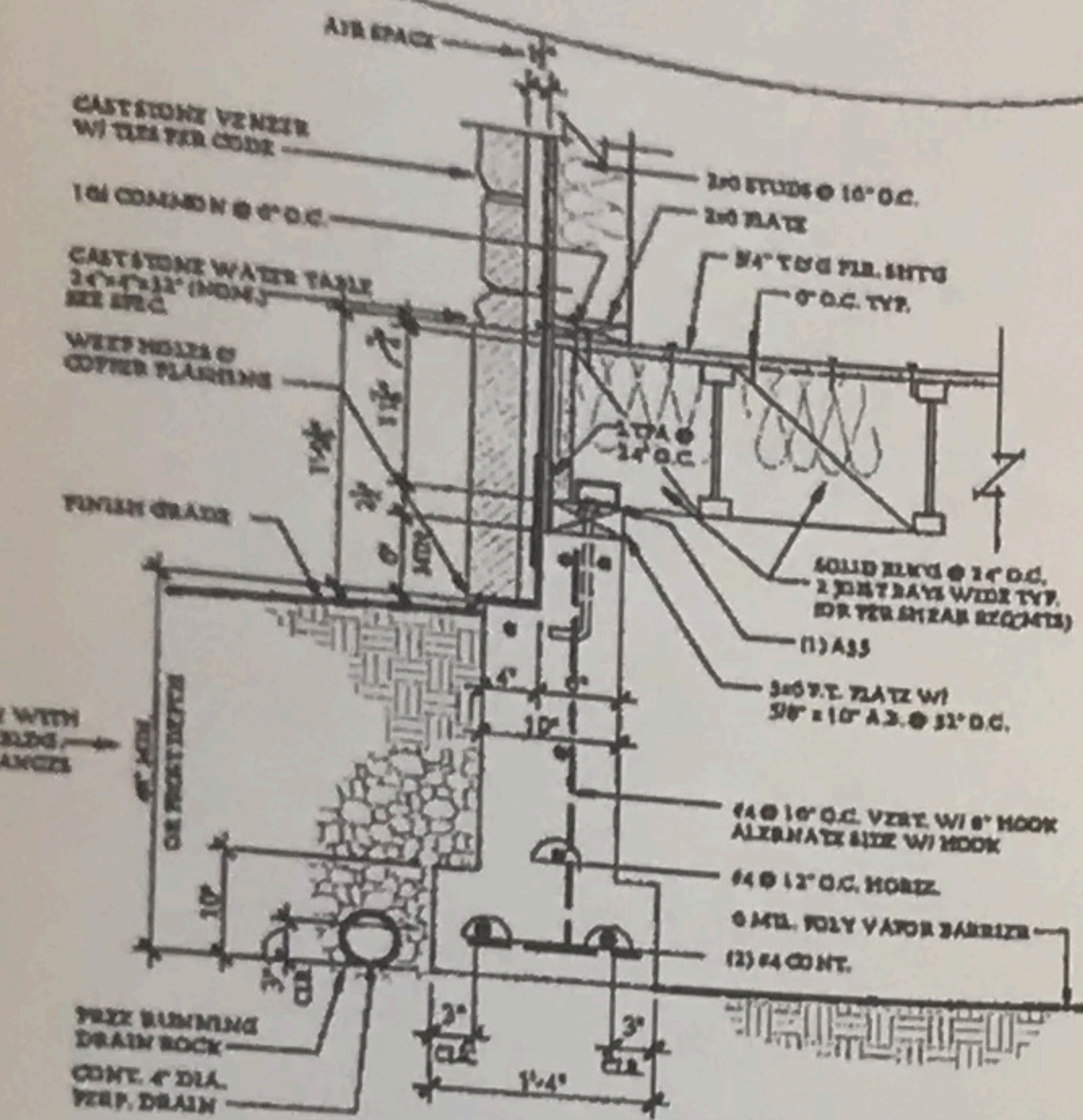
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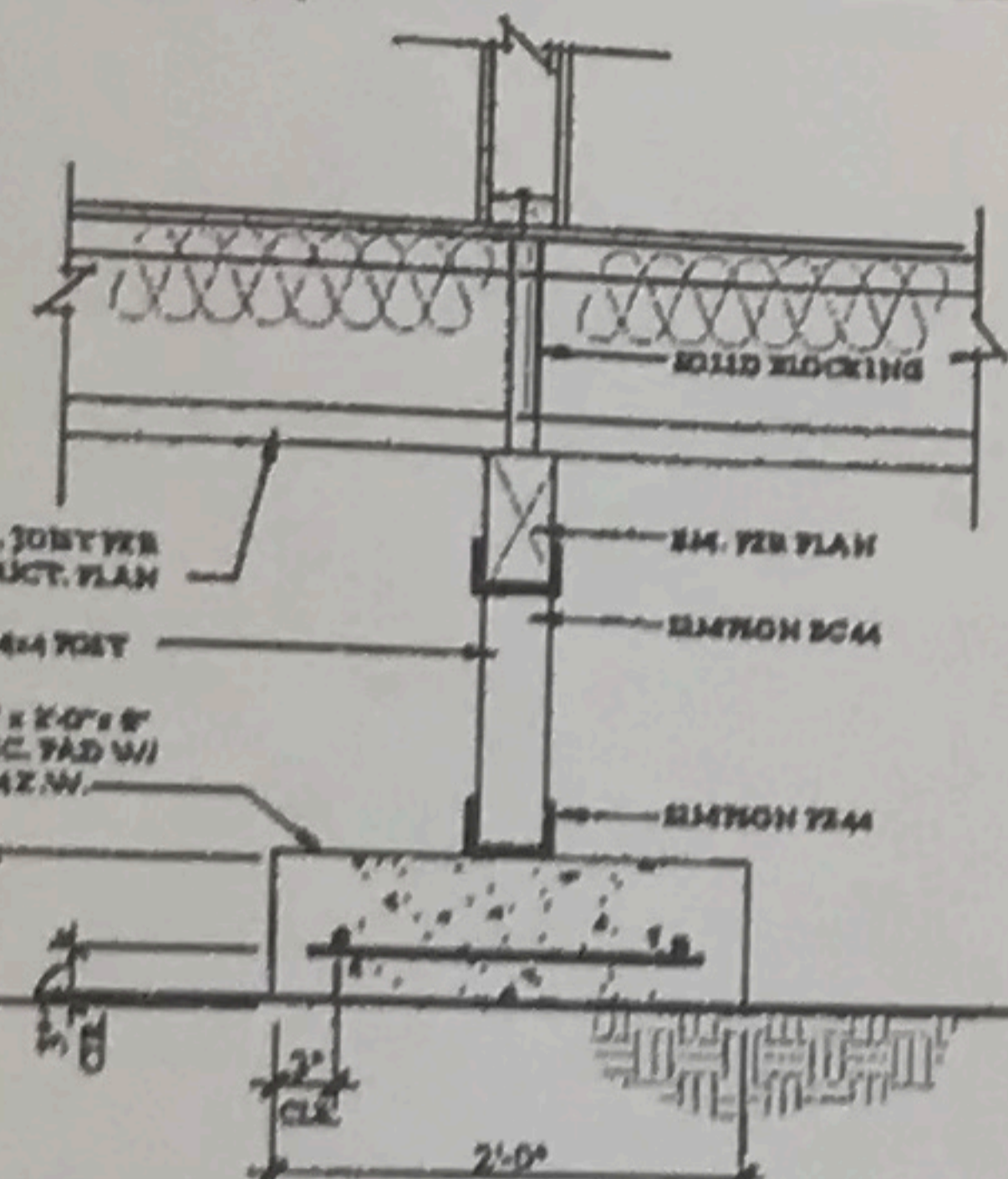
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E-1

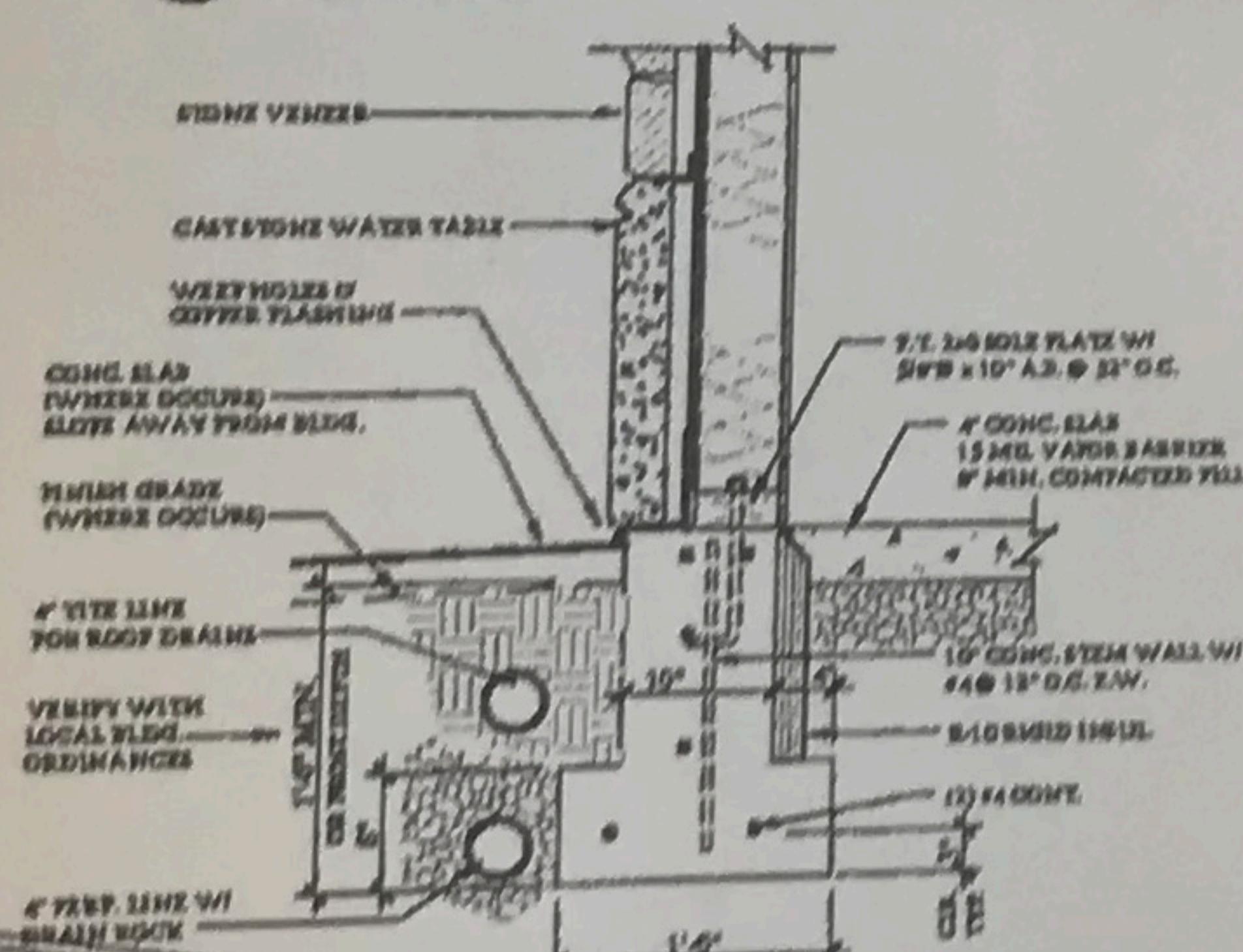
Plans Designed  
 Especially for:  
 Dee and Teresa Langdon  
 4338 Old Stage road North  
 Angier, NC 27501



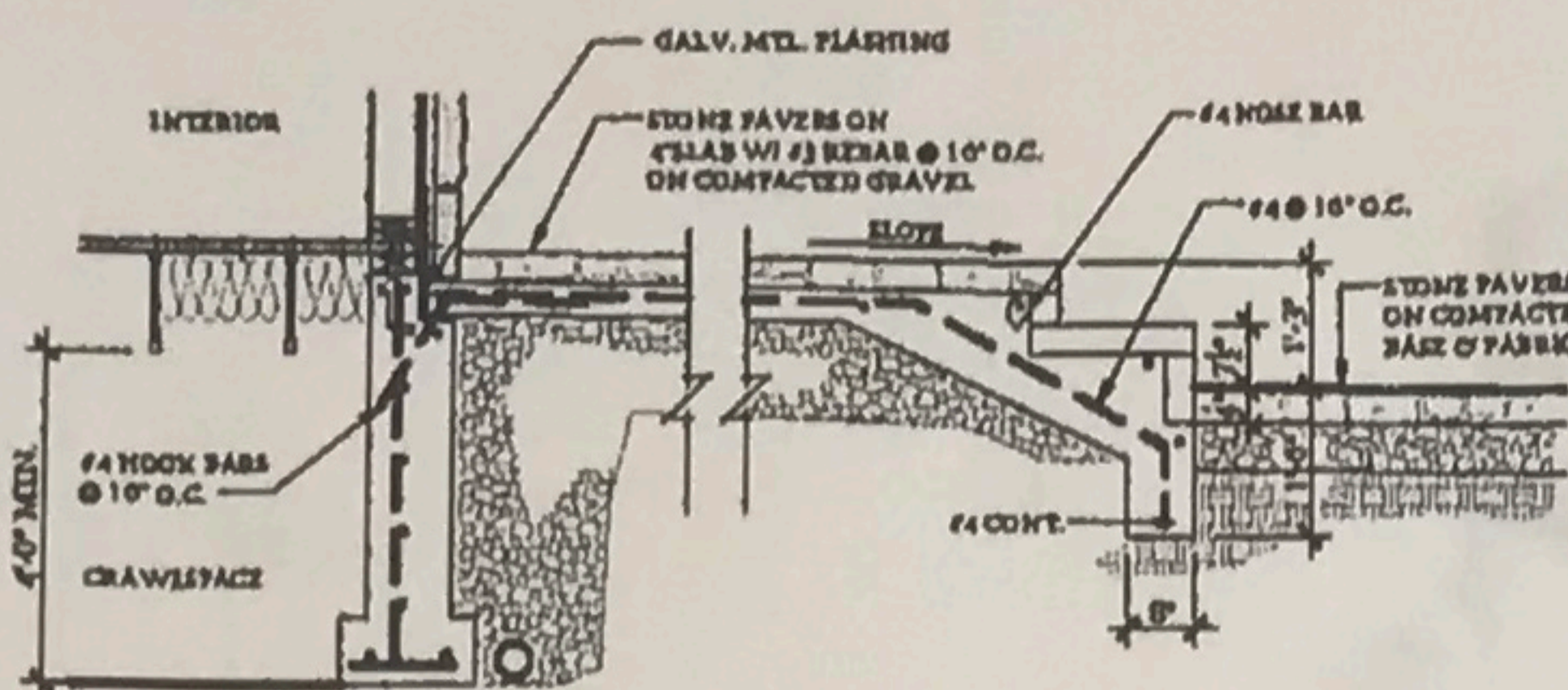
1 DETAIL - TYP. FOOTING  
 SCALE: 1" = 1'-0"



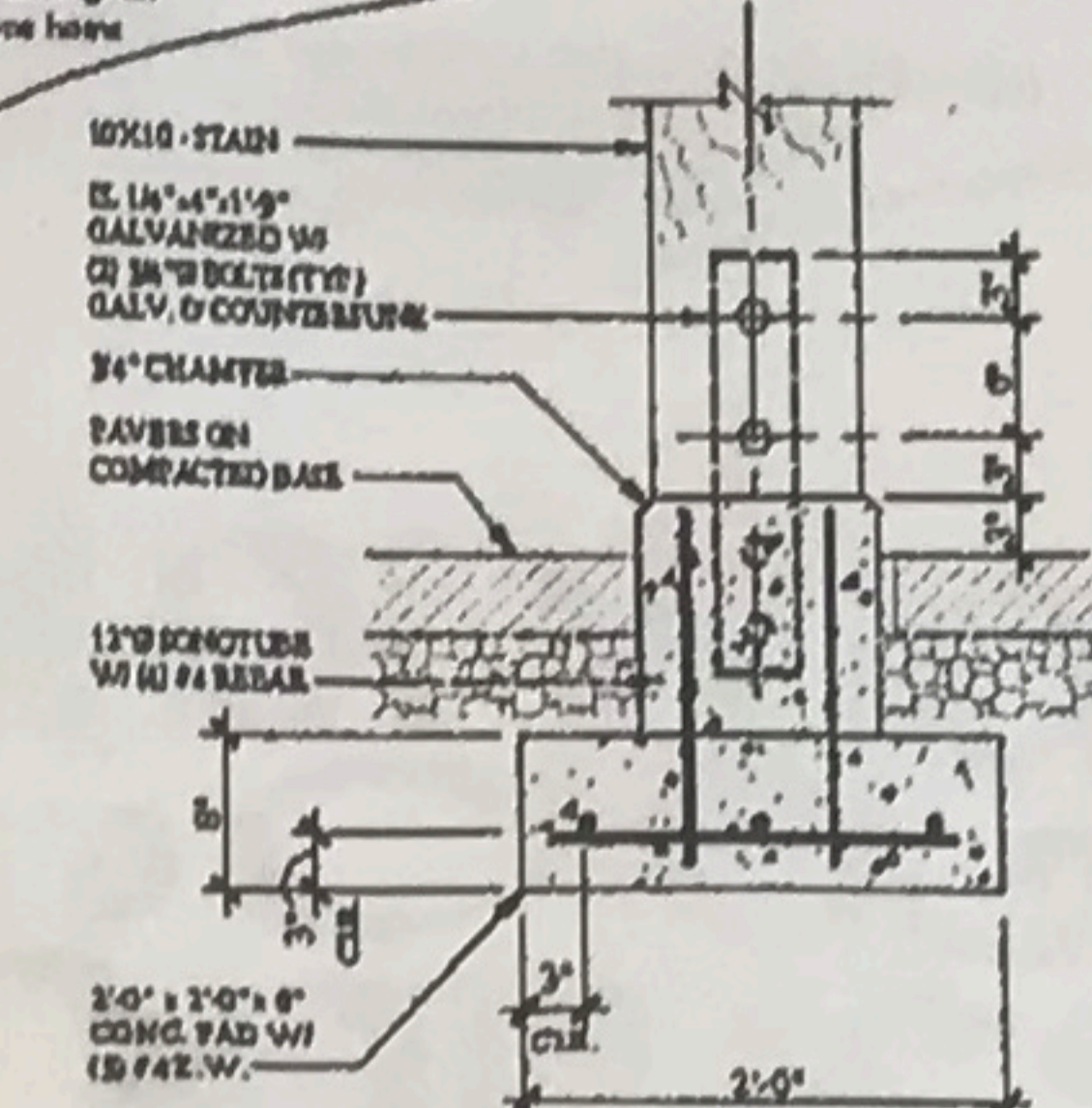
4 POST / BEAM DETAIL  
 SCALE: 1" = 1'-0"



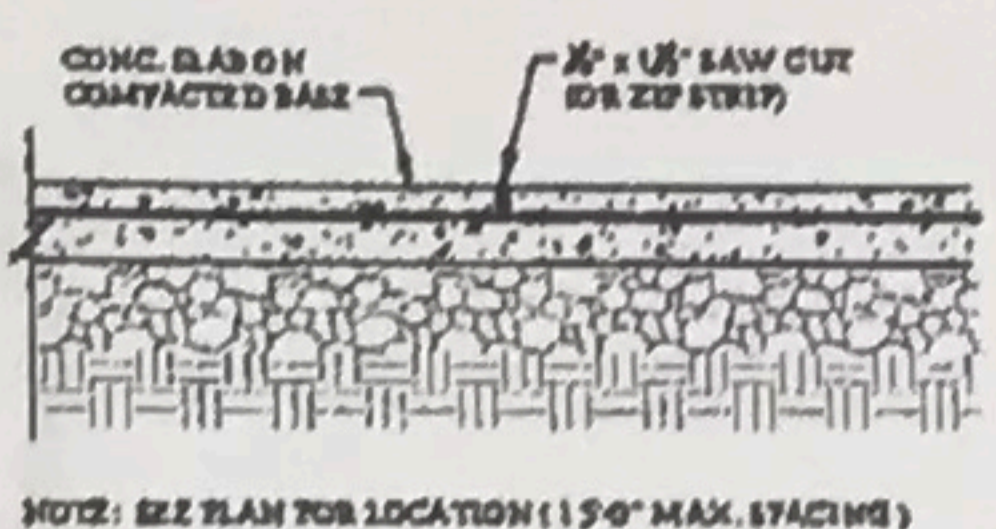
5 FND. @ GARAGE  
 SCALE: 1" = 1'-0"



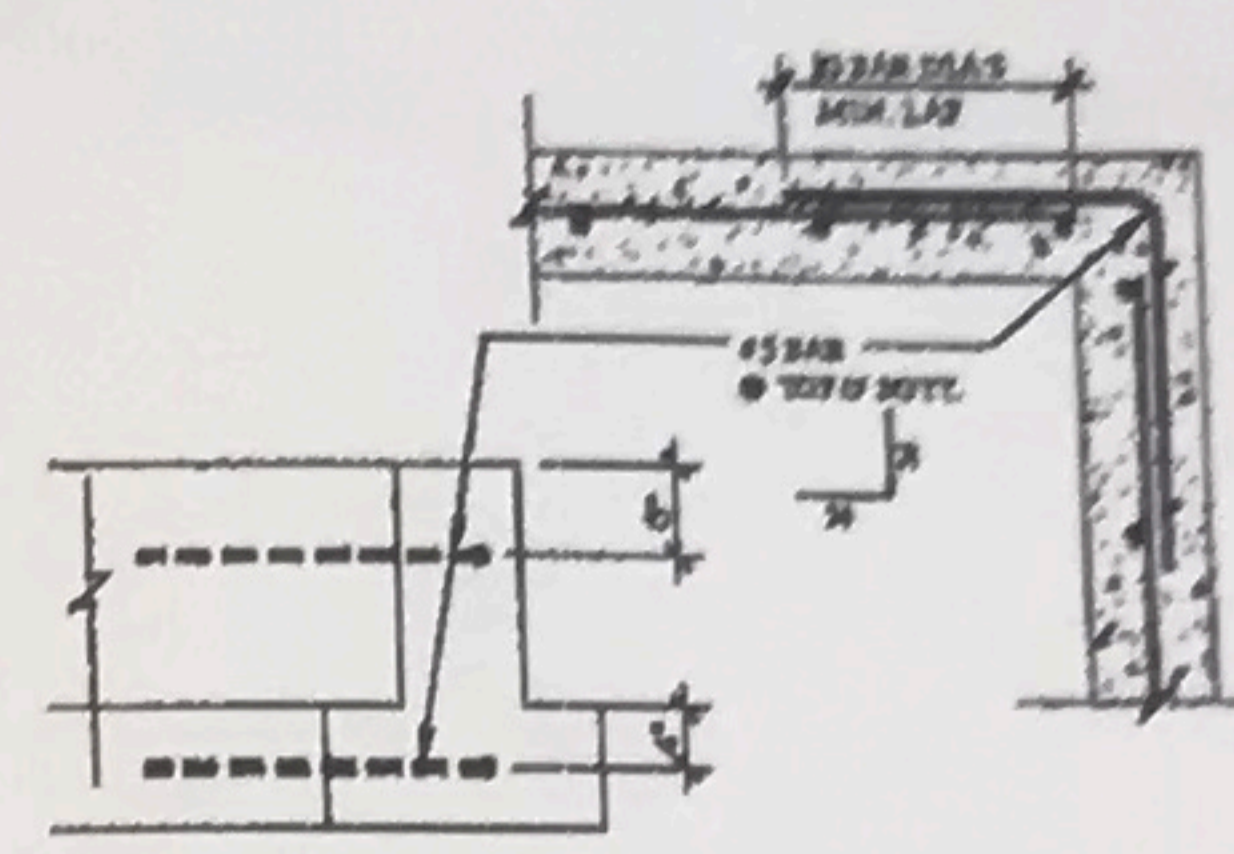
2 SECTION @ ENTRY PORCH  
 SCALE: 1" = 1'-0"



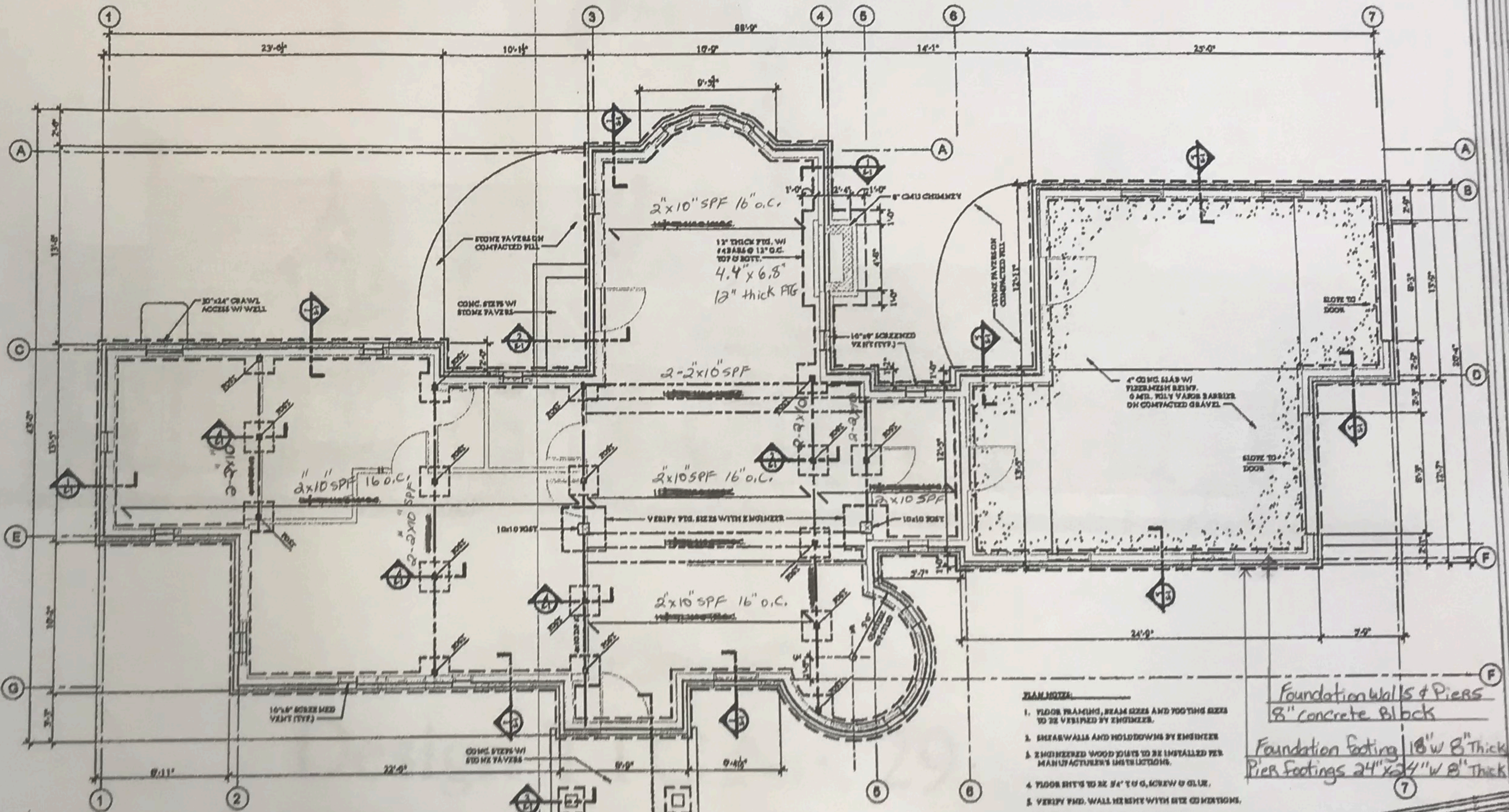
3 10x10 POST FOOTING DETAIL  
 SCALE: 1" = 1'-0"



CONTROL JOINT  
 SCALE: 3/4" = 1'-0"



TYP. CORNER LAP  
 SCALE: 3/4" = 1'-0"

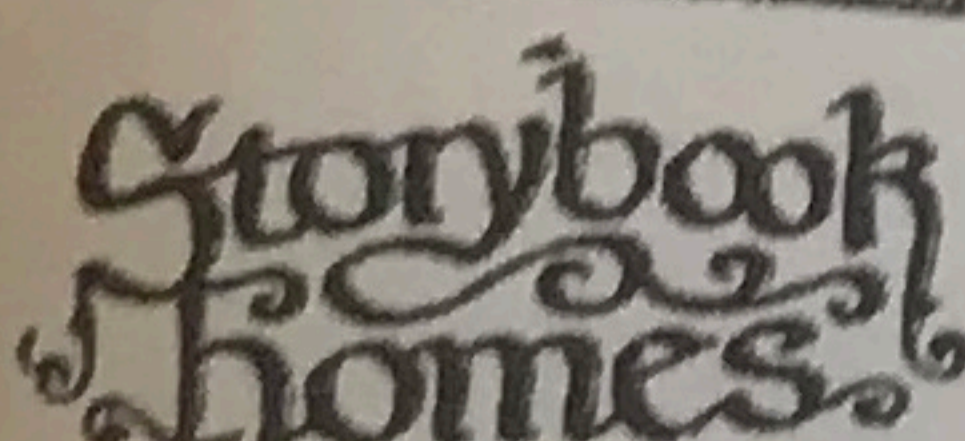


Foundation Plan  
 Scale: 3/4" = 1'-0"

PLAN NOTES:

- FLOOR FRAMING, BEAM SIZES AND FOOTING SIZES TO BE VERIFIED BY ENGINEER.
- SHEARWALLS AND HOLD-DOWNS BY ENGINEER.
- ENGINEERED WOOD JOISTS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- FLOOR JOISTS TO BE 24" O.C., SCREW & GLUE.
- VERIFY FND. WALL HEIGHT WITH SITE CONDITIONS.
- CHEMICALLY TREATED FOR TERMITES.

Foundation Walls & Piers  
 8" concrete block  
 Foundation Footing 18" w 8" Thick  
 Pier Footings 24" x 24" w 8" Thick



by Samuel Hackwell & Andrew Perkins

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 www.storybookhomes.com

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Plot Date: JAN. 10, 2023

IMPORTANT:

Floor Framing  
 Flush Girders 2- 2"x10" SPF  
 Floor Joist 2"x10" SPF  
 Floor Sheeting 3/4" T&G Plywood

Plans designed especially for  
 Dee and Teresa Langdon  
 4388 Old Stage Road North  
 Angier, NC 27001

S-1

Dee & Teresa  
 Langdon

**RE: 4338 Old stage road north,Angier**

From: Brad Sutton (bsutton@harnett.org)  
To: dclthl@aol.com  
Date: Thursday, February 16, 2023, 7:57 AM EST

Dee,

These are the issues I see with the plan. I used a combination of the plan you marked up, plus the plan you sent.

1. Floor joists over spanned through parlor/kitchen/great room.
2. All vaulted ceilings must have ridge beams (typically LVL)
3. No ceiling layout for flat ceilings?
4. Need calculation cutsheets for all LVLs from supplier to verify loads/footing sizes.

Please resubmit this info through central permitting, and they will put the plan review back into my que.

Thanks,

Brad

**From:** dl dl <dclthl@aol.com>  
**Sent:** Thursday, February 16, 2023 6:55 AM  
**To:** Brad Sutton <bsutton@harnett.org>  
**Subject:** 4338 Old stage road north,Angier

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brad-

This is the pdf. that the plan company sent to me- material sizing is not included on this pdf. If you have any questions, please don't hesitate to call me.

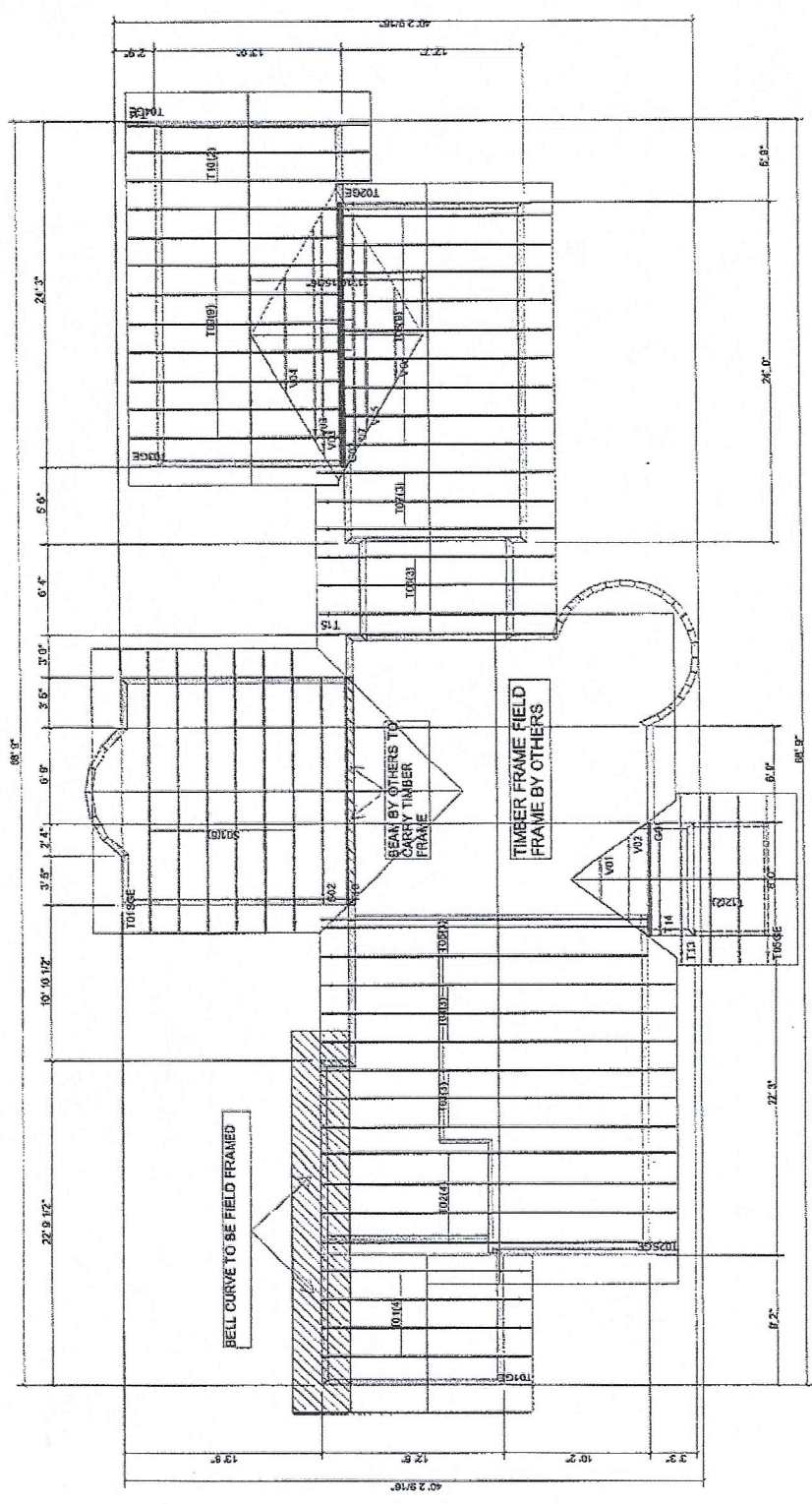
Thank you so much.

Dee Langdon  
919-427-5234

Sent from my iPhone

Begin forwarded message:

**From:** dl dl <dclthl@aol.com>  
**Date:** January 16, 2023 at 8:55:55 AM EST  
**To:** Elizabeth Rhodes <ejmrhodes@yahoo.com>  
**Subject:** Re: Weestone Blueprints



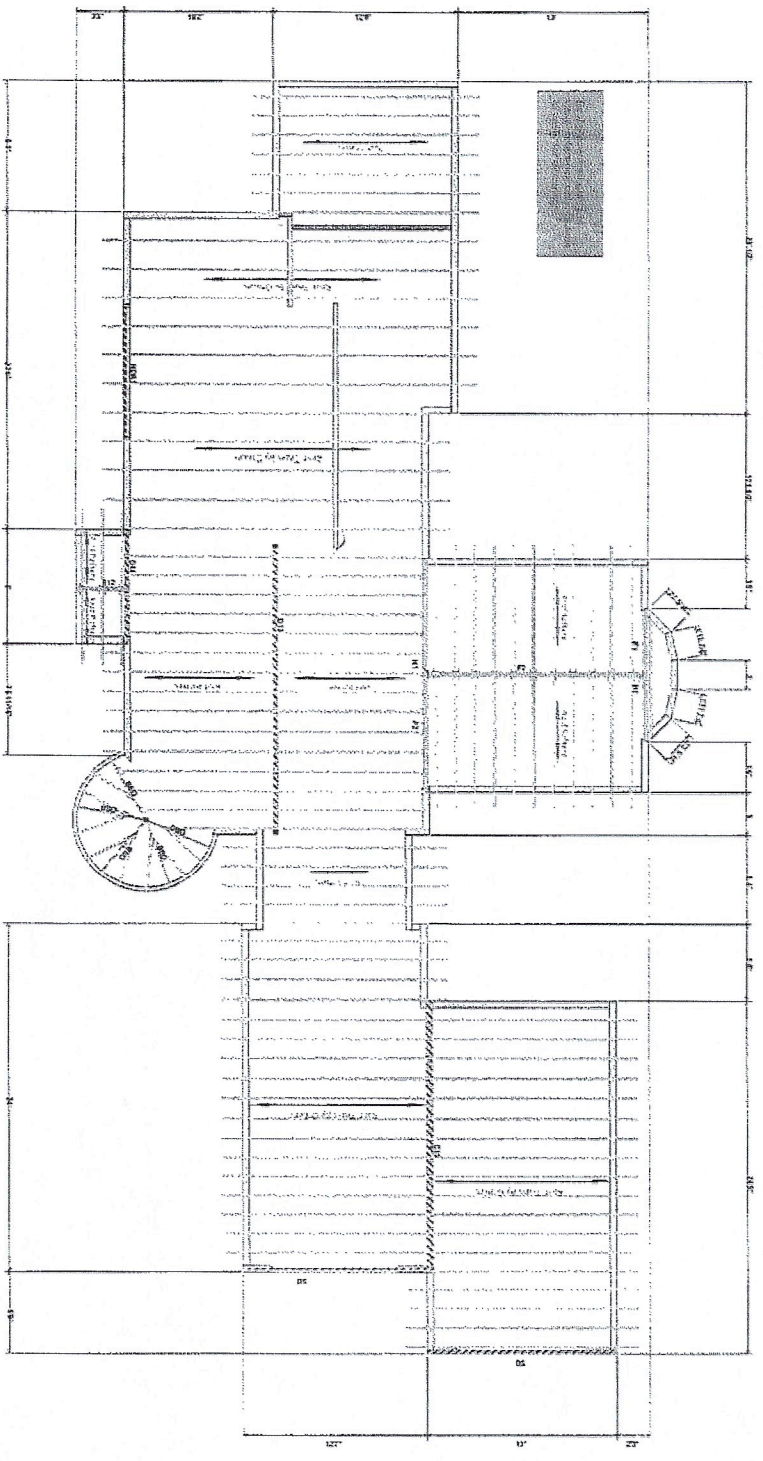
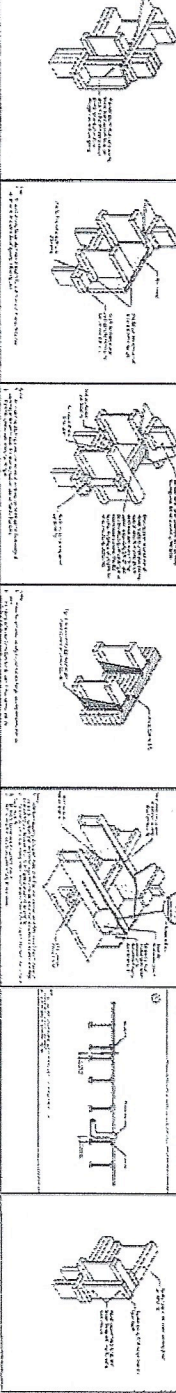
Floor Area: 0 SF  
 Floor Plywood: 0  
 Roof Area: 3578 sq SF  
 Roof Plywood: 90 sheets  
 Roof Strips: 48 Sheets

**ROOF TRUSS LAYOUT**  
 1/4" = 1'-0"

Client: J. E. WOMBLE AND SONS  
 Project: DEE LANGDON  
 Address:  
 Order #:  
 Designer:  
 Date: / /

**ONLEAF RUSS CO.**  
 4476 Hwy. 21 W  
 West End, NC 27376  
 (919) 673-4711

**NOTE**  
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# Preliminary Layout

\* For Review Only - Not For Construction Use \*  
All framing to be verified. Need to verify all dimensions.

**Roof Framing**

Note: Dimensions shown on this drawing are subject to change without notice. All framing to be verified. Need to verify all dimensions.

Label	Part	Description	Species	Size	Qty	Notes
Roof Framing	LVL/SL (Flush)	10	2x8	12'	1	1
		11	2x8	12'	1	1
		12	2x8	12'	1	1
LVL/SL (Diagonal)	13	2x8	12'	1	1	
	14	2x8	12'	1	1	
	15	2x8	12'	1	1	
	16	2x8	12'	1	1	
	17	2x8	12'	1	1	

(800) 700-4788  
Eastern Insulation

Installation Guide  
For Insulation Batts

Eastern Insulation, Inc.  
1000 Eastman Drive  
Easton, PA 18042

www.easterninsulation.com



**Description**  
WOODWORK - GREAT WORKMAN  
C.E. WOODWORK & SON'S  
SALES REP  
ROBERT LUSHK  
Designer  
KIMBERLY  
Checker  
ADAMS, 2023

**Revisions:**

Scale 1/4" = 1'-0"

Sheet No. 150  
DWG

Project: 23-1820MO

1/23/23



**Main Floor Framing**

Beam Designation	Width	Depth	Sp. C	Span	End Length
10	15"	18"	1	2	120"
20	15"	18"	1	3	120"
30	15"	18"	1	2	120"
40	15"	18"	1	2	120"
50	15"	18"	1	2	120"
60	15"	18"	1	2	120"
70	15"	18"	1	2	120"
80	15"	18"	1	2	120"
90	15"	18"	1	2	120"
100	15"	18"	1	2	120"



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1000 N. 1st St.  
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Phone: (918) 761-4788  
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info@easterneng.com

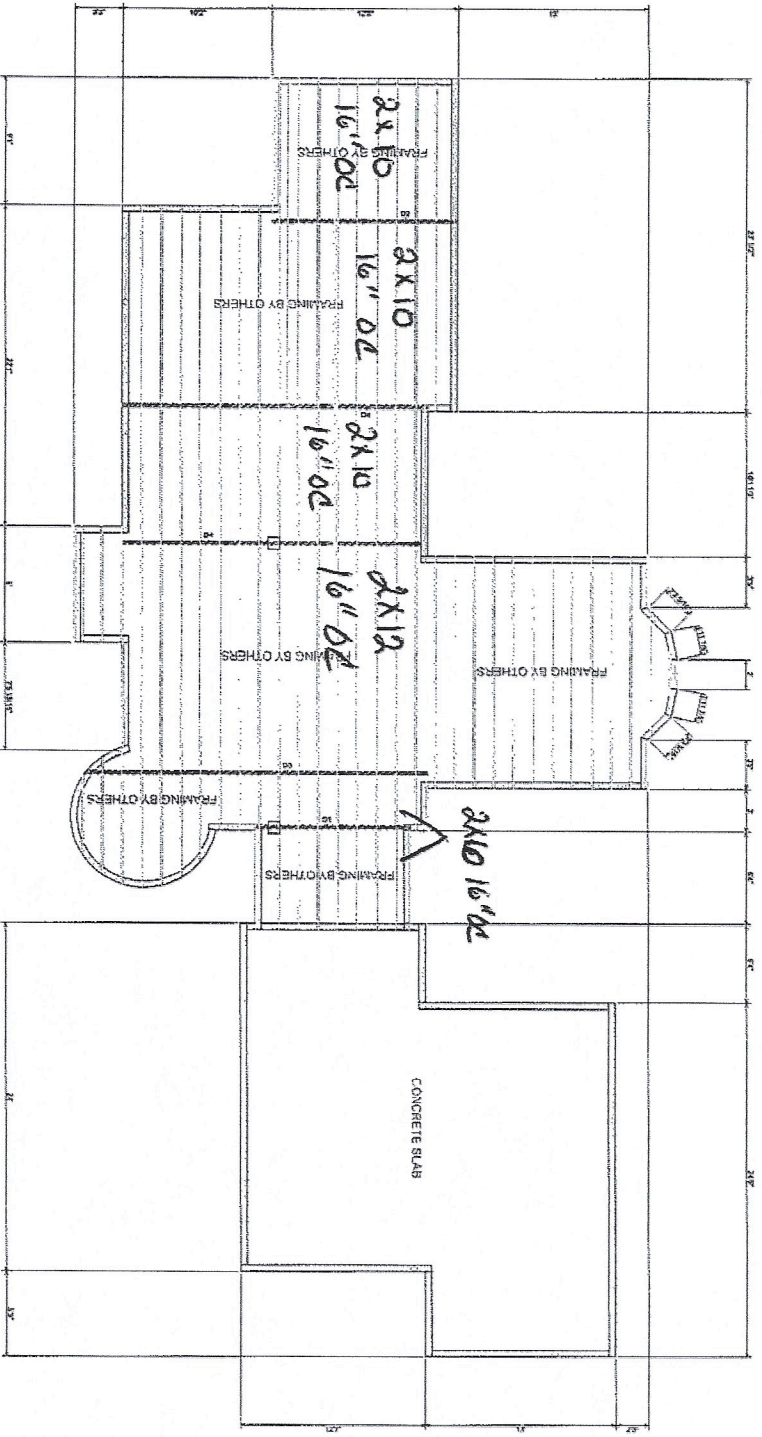


**NOTES:**

1. All framing to be in place prior to concrete placement.
2. All framing to be in place prior to concrete placement.
3. All framing to be in place prior to concrete placement.
4. All framing to be in place prior to concrete placement.
5. All framing to be in place prior to concrete placement.
6. All framing to be in place prior to concrete placement.
7. All framing to be in place prior to concrete placement.
8. All framing to be in place prior to concrete placement.
9. All framing to be in place prior to concrete placement.
10. All framing to be in place prior to concrete placement.

**REVISIONS:**

Rev.	Date	Description
1	06/22/2023	Created
2	06/22/2023	Revised



# Preliminary Layout

\* For Review Only - Not For Construction Use \*  
All framing to be verified. Need to verify all dimensions.

Project: 23-1860WO  
Client: H&A

Scale: 1/4" = 1'-0"  
Date: 06/22/2023  
Author: JAS  
Checker: REC

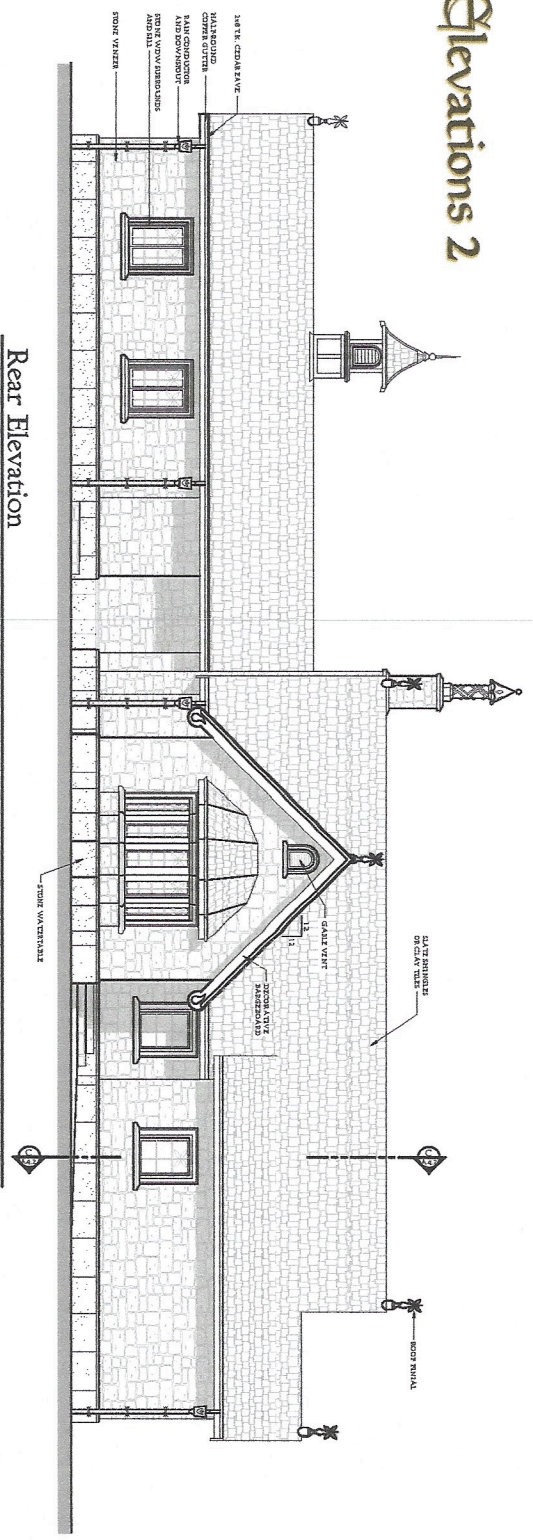




# Exterior Elevations 2

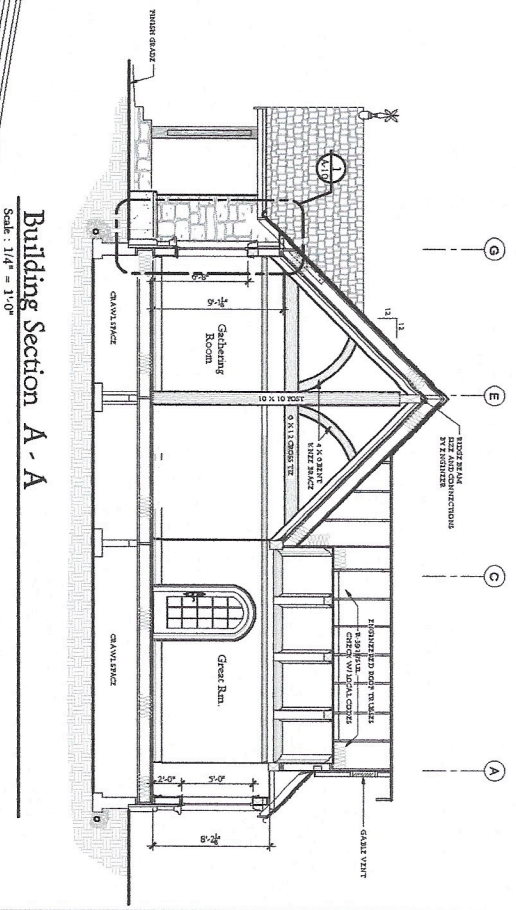
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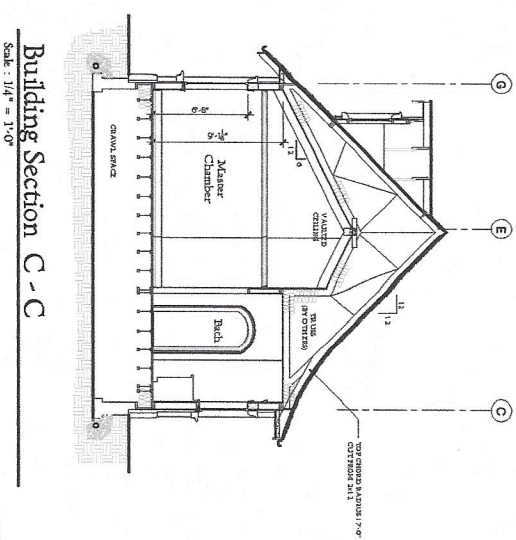
Rear Elevation

Scale : 1/4" = 1'-0"



Building Section A - A

Scale : 1/4" = 1'-0"



Building Section C - C

Scale : 1/4" = 1'-0"



By Samuel Haddock & Andrew Parkins

1480023 2/23  
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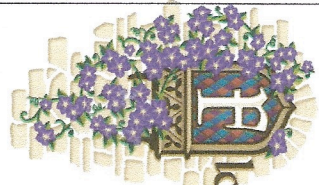
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Plot Date : JAN. 10. 2023

# A-4.2

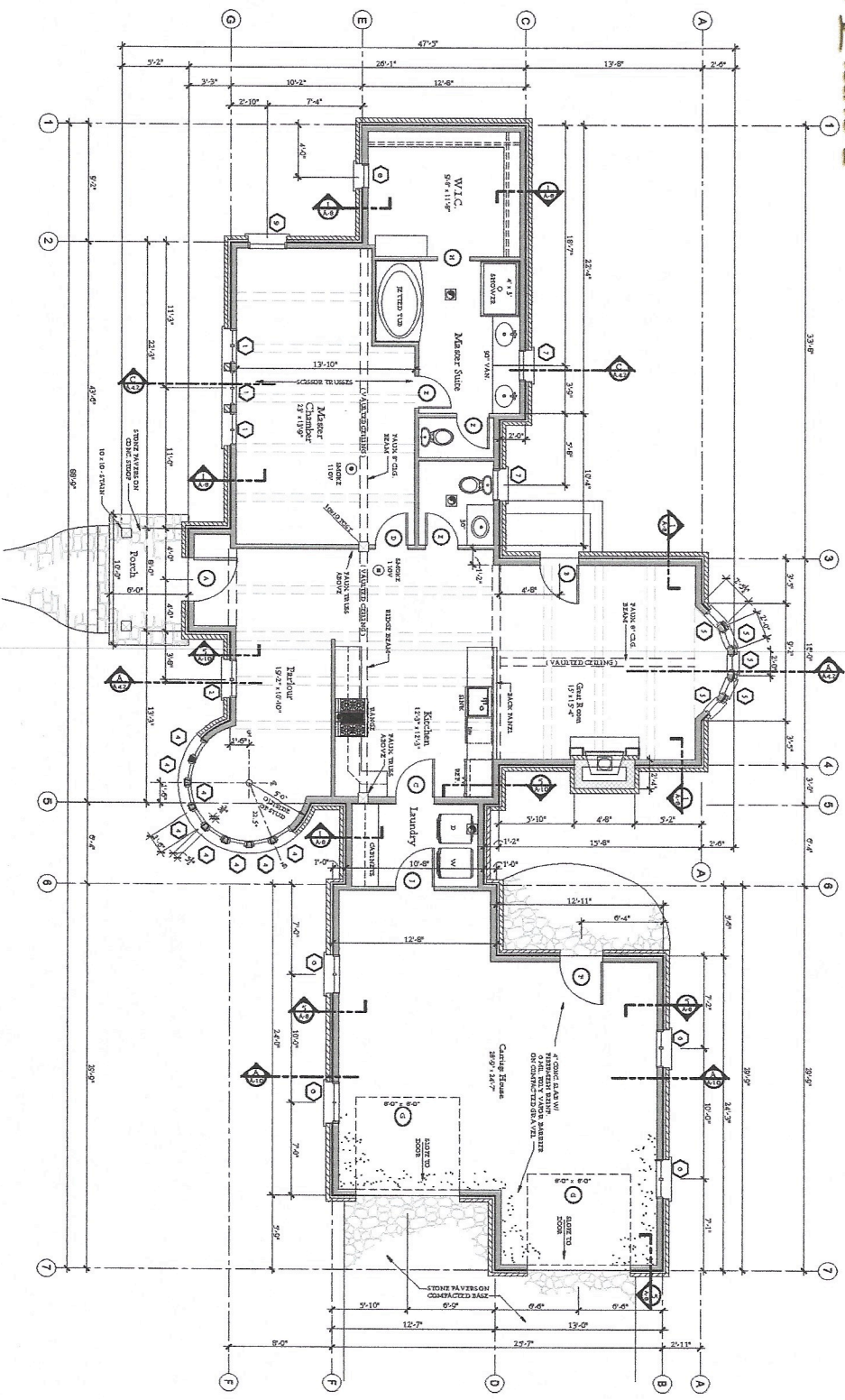




# Floor Plans I

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Approved for construction of one home.



### Main Floor Plan

Heated Area: 1,456 sq. ft.  
 Garage: 613 sq. ft.  
 Total: 2,069 sq. ft.

**Storvbock Homes**  
 By Samuel Haddock & Andrew Perkins

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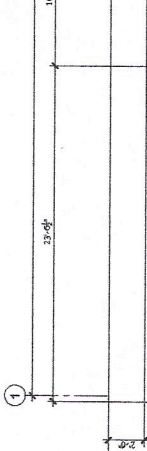
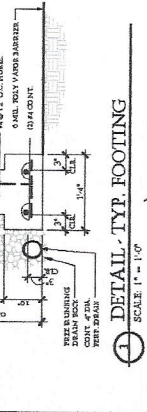
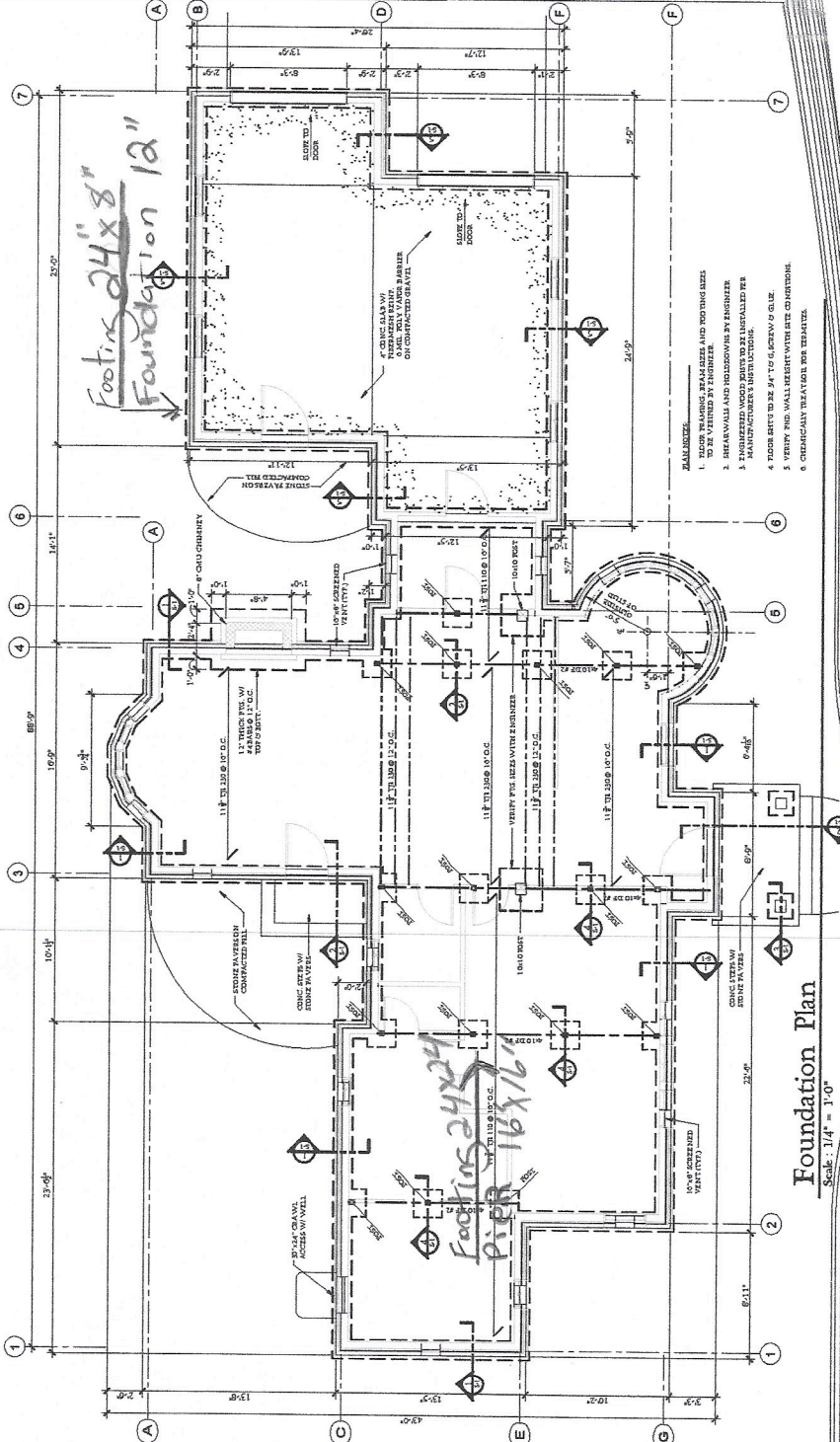
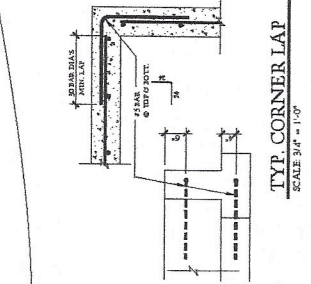
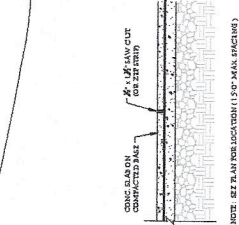
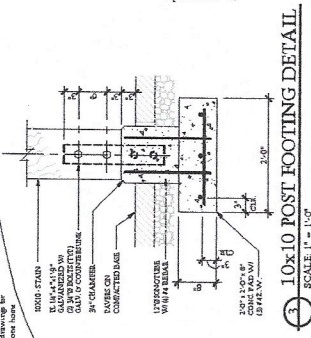
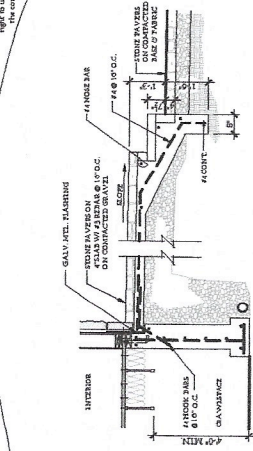
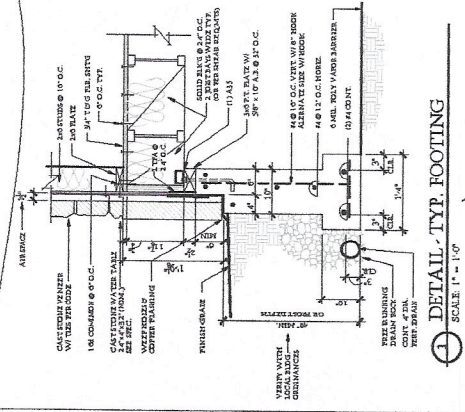
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Plot Date: JAN. 10, 2013

# A-5

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Plot Date : JAN. 10, 2023

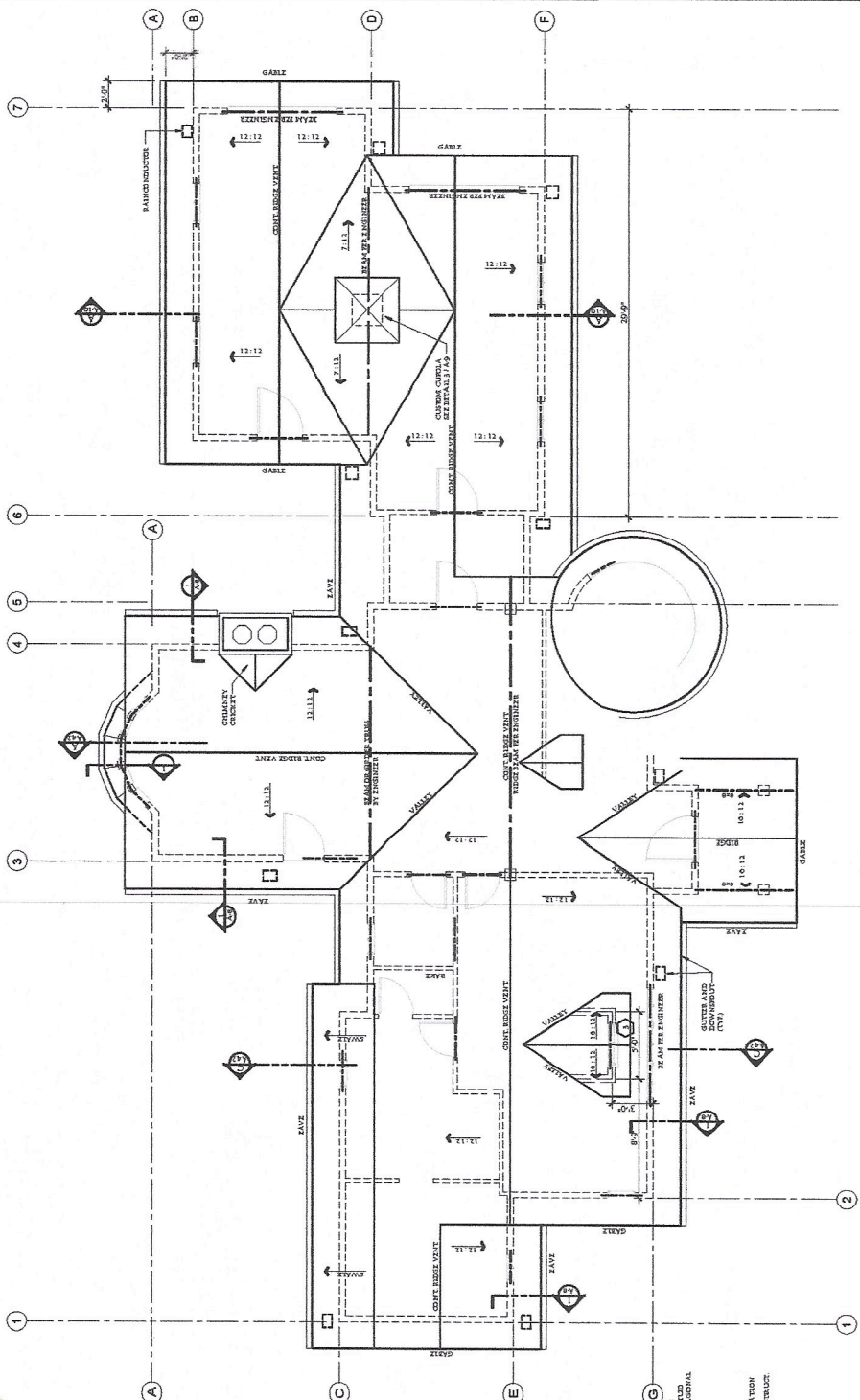
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Foundation walls 12"  
 Piers 16"x16"

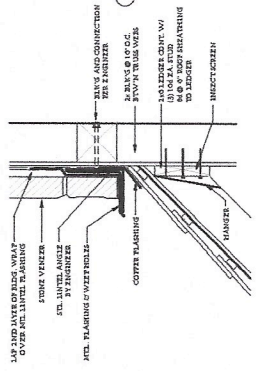
Foundation Footings 24" W X 8"  
 Pier Footings 24" X 24" W X 8" D

S-1

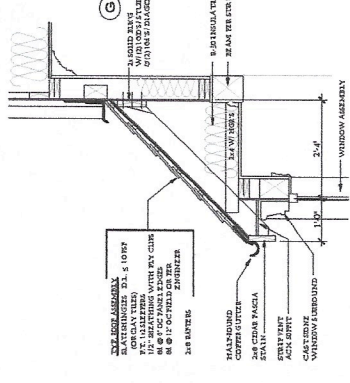
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**Roof Plan**  
 Scale: 1/4" = 1'-0"



**ROOF LEDGER DETAIL**  
 SCALE 1-1/2" = 1'-0"



**BAY WINDOW ROOF SECTION**  
 SCALE 3/4" = 1'-0"

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 Andrew Perkins