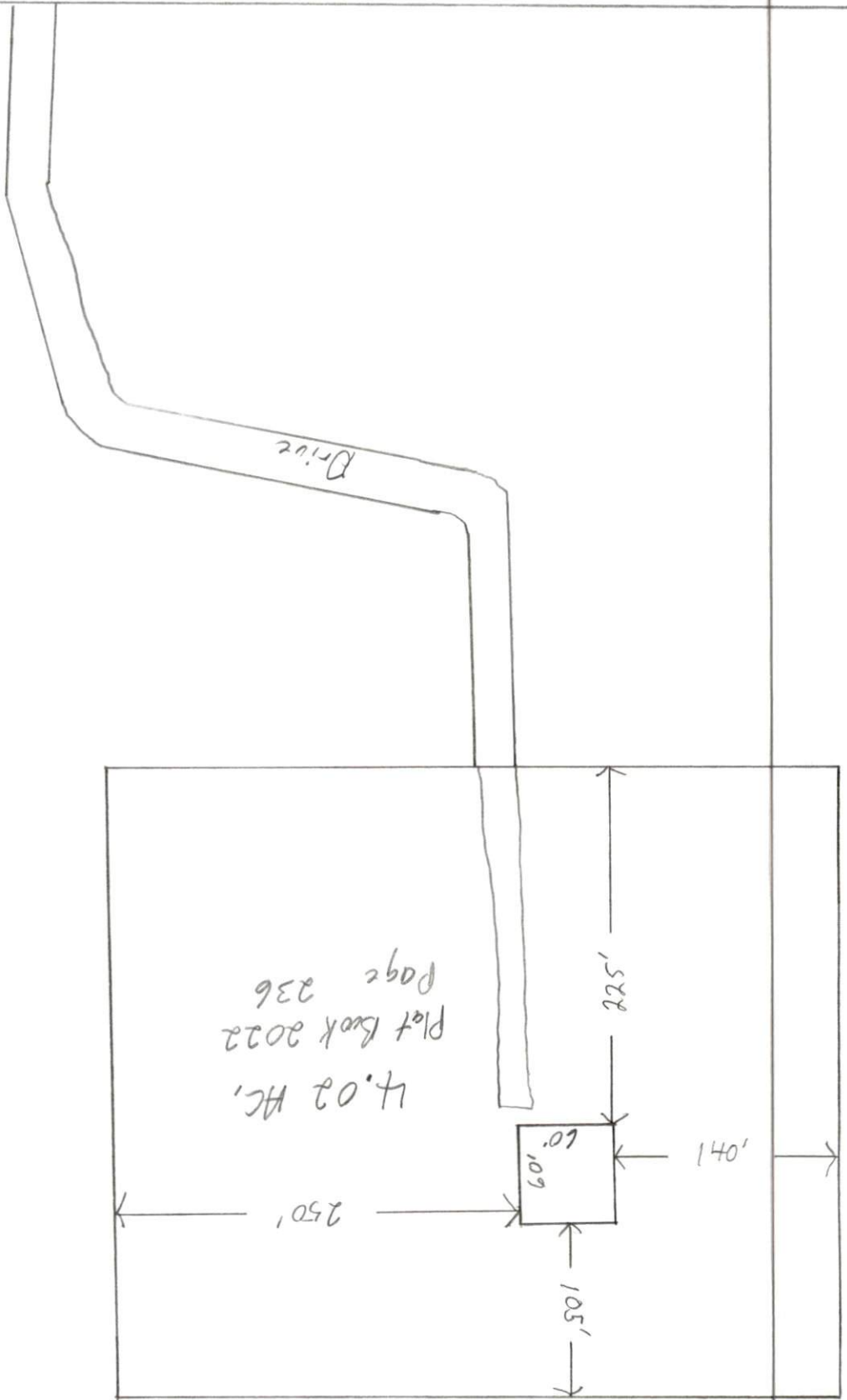


McDougal Rd.



Larry to Paul + Amy

Larry + Nancy

**CERTIFICATION OF OWNERSHIP, DEDICATION AND JURISDICTION**

I, Mikeby R. Bennett, PL S hereby certify that I am (the owner) the owner(s) or agent of the property shown and described herein and that (we) hereby accept this lot recombination with my (our) free consent, establish the necessary building setback lines, and dedicate all streets, alleys, paths and other sites and easements to public or private use as noted, and all the land shown herein to within the zoning regulation jurisdiction of Harnett County.

Date 6/19/2022  
 Mikeby R. Bennett  
 Owner/Agent



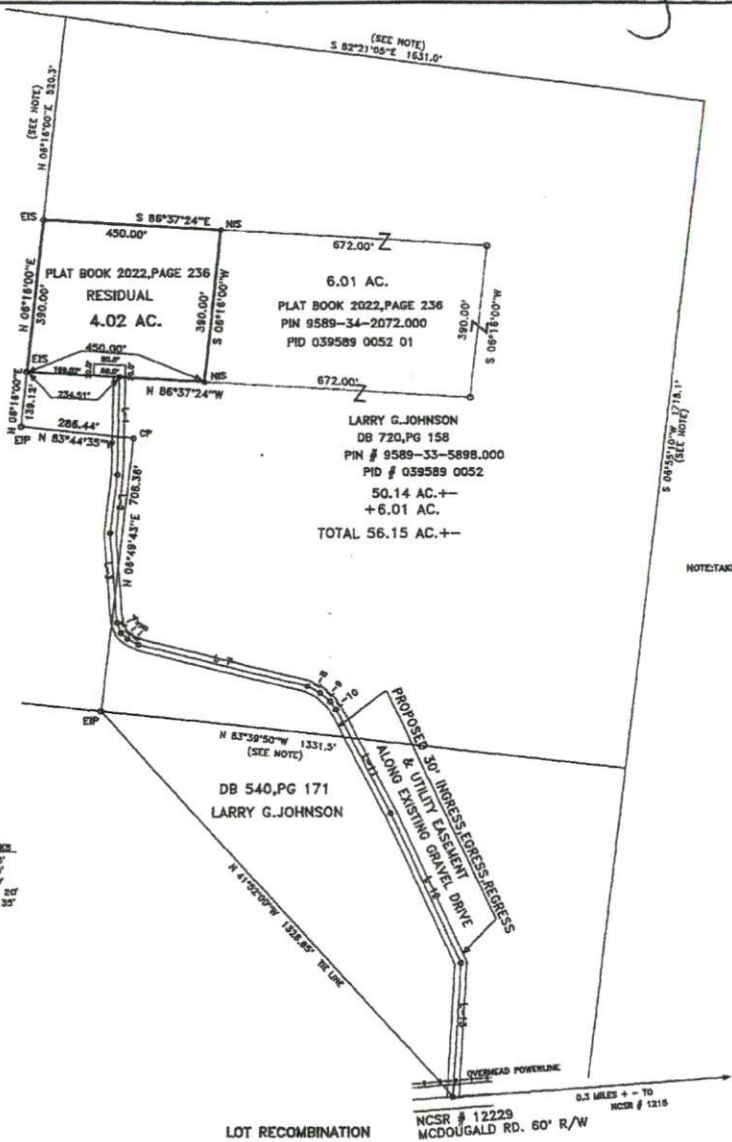
**NORTH CAROLINA HARNETT COUNTY**

I, Mikeby R. Bennett, PL S do certify that this plat was drawn under my supervision and description recorded in Book SEE, Page SEE, etc., that the boundaries not surveyed are clearly indicated as drawn from information found in Book SEE, Page REF., that the ratio of precision as calculated is 1:10000; that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, registration number and seal this 06 TH day of JUNE, A.D. 2022.



I, Mikeby R. Bennett, hereby certify that this survey is of accurate bearing and area, and that the recombination of existing parcels, a clear record survey, a division of lands or other operation to the definition of subdivision.

LARRY G. JOHNSON  
 DB 3838, PG 261  
 MAP NO. 98-399



**PROPOSED 30' EASEMENT CENTERLINE CALLS**

COURSE	BEARING	DISTANCE
L-1	S 01°23'39"W	248.87'
L-2	S 07°09'54"W	150.89'
L-3	S 04°02'30"E	231.81'
L-4	S 22°12'42"E	28.28'
L-5	S 48°25'50"E	22.24'
L-6	S 62°18'38"E	32.23'
L-7	S 79°45'11"E	437.81'
L-8	S 62°48'54"E	38.88'
L-9	S 47°42'34"E	34.83'
L-10	S 30°09'53"E	25.20'
L-11	S 27°29'39"E	296.51'
L-12	S 24°35'58"E	424.22'
L-13	S 03°30'23"W	342.72'

DEED REFERENCE: DEED BK 720, PAGE 158

MAP REFERENCE: MAP NO. 2022-236  
 MAP NO. 98-399  
 MAP NO. 98-52

THIS PROPERTY IS EXEMPT FROM HARNETT COUNTY SUBDIVISION REGULATION.

Sarah M. Nease 6/19/2022  
 HARNETT COUNTY PLANNER

**MINIMUM BUILDING SETBACKS**  
 FRONT YARD — 30'  
 REAR YARD — 25'  
 SIDE YARD — 10'  
 CORNER LOT SIDE YARD — 20'  
 MAXIMUM HEIGHT — 35'

**STATE OF NORTH CAROLINA COUNTY OF HARNETT**

I, Clara Williams, REVIEW OFFICER OF HARNETT COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS APPLIED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

DATE: 6/19/2022  
 Clara Williams  
 REVIEW OFFICER

**LEGEND**

- \_\_\_\_ LINES NOT SURVEYED
- \_\_\_\_ LINES SURVEYED
- EP — EXISTING IRON PIPE
- ECM — EXISTING CONCRETE MONUMENT
- ES — EXISTING IRON STAKE
- EPK — EXISTING P.C. NAIL
- EL — EXISTING LIGHTWOOD STAKE
- NS — NEW IRON STAKE
- NSP — NEW IRON PIPE
- NSC — NEW CONCRETE SET
- ESBS — EXISTING BALLBEAD SPIKE
- NSBS — NEW BALLBEAD SPIKE
- ESM — EXISTING MAGNETIC NAIL
- NSM — NEW MAGNETIC NAIL
- NSC — EXISTING COTTON SPIRICLE
- NSC — NEW COTTON SPIRICLE
- EP/ES — (CONTROL CORNER)
- EL/ES — (CONTROL CORNER)
- C/L — CENTER LINE 1/2" — NOW OR FORMALLY
- CP — CALCULATED POINT
- CS — CHAIN SURVEY AND DISTANCE
- D.E. — DRAINAGE EASEMENT R/W — RIGHT OF WAY
- DC — DESTROYED AC — ADJES T — TOTAL

**NORTH CAROLINA HARNETT COUNTY**

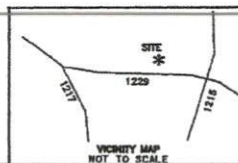
This Map/Plat was presented for registration and recorded in this office at Plat Book 2022-264

This 9th day of JUNE, 2022.

at 7:46 o'clock P.

Matthew S. Willis Register of Deeds

By: Kayla B. Core  
 Assistant Deputy Register of Deeds



SURVEY FOR: <b>PAUL A. JOHNSON AND AMY G. JOHNSON</b>	
TOWNSHIP BARBECUE	COUNTY HARNETT
STATE: NORTH CAROLINA	DATE: JUNE 06, 2022
ZONED RA-20R	WATERSHED DISTRICT P10 B SEE PLAT

<b>BENNETT SURVEYS</b> F-1304 1662 CLARK RD., LILLINGTON, N.C. 27546 (910) 893-5252	
100' 0 200'	SURVEYED BY: RVB
SCALE: 1" = 200'	DRAWN BY: RVB
CHECKED & CLOSURE BY: MRB	FIELD BOOK FOCUS 30/35
	DRAWING NO. 22260B

MAP NO. 2022-236

NOTETAKEN FROM DEED NOT SURVEYED.

**LOT RECOMBINATION**

OWNER: LARRY G. JOHNSON  
 13018 MCDUGALD RD.  
 SANFORD, NC 27330

NCSR # 12229  
 MCDUGALD RD. 60' R/W