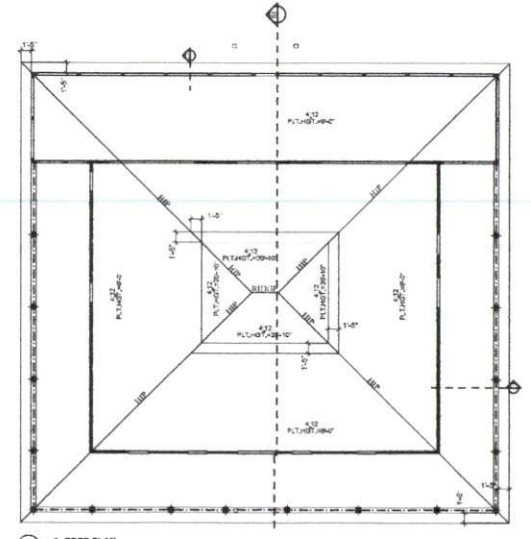
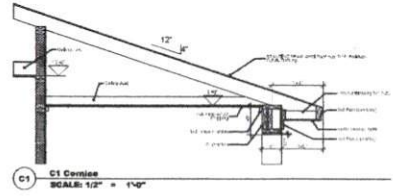
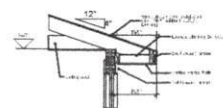
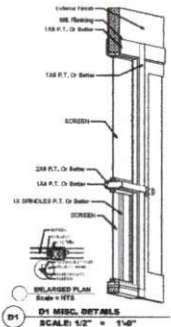
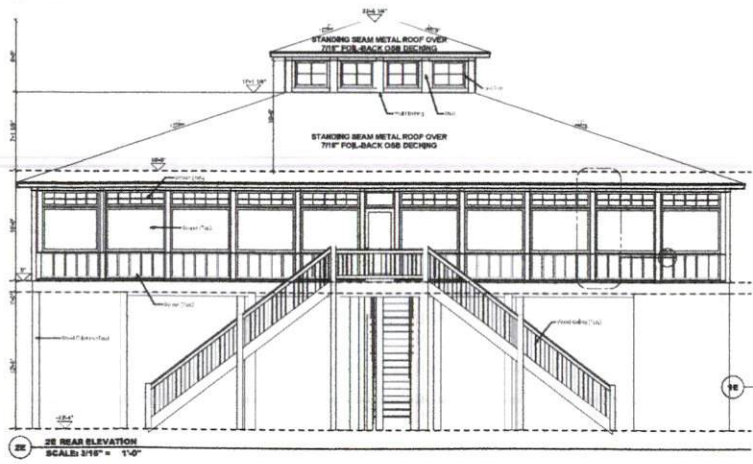
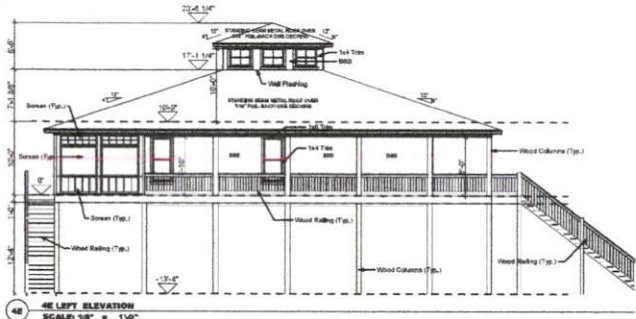
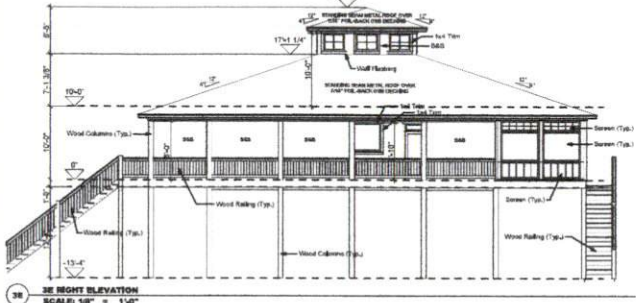
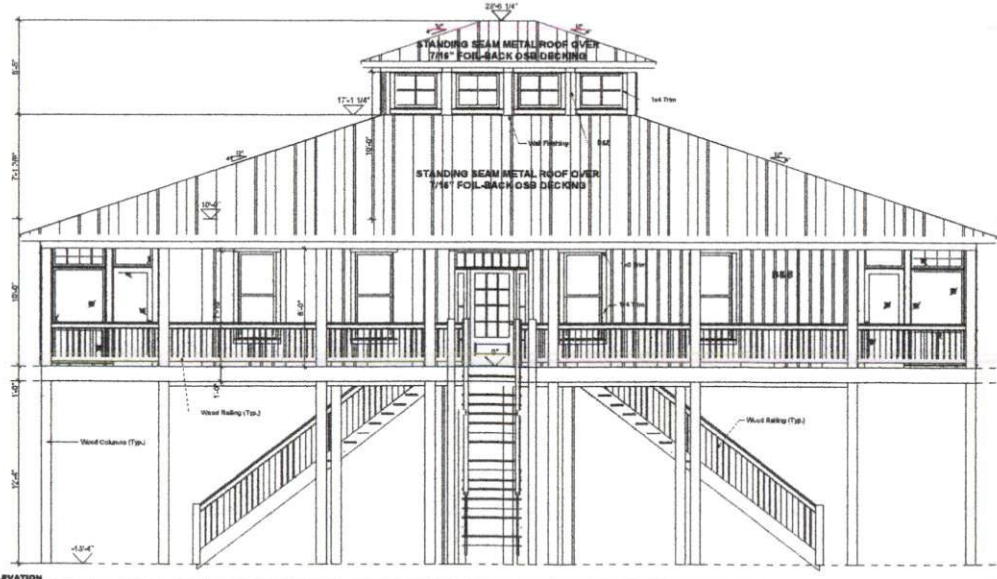


CONSTRUCTION NOTES:

1. THE DATA ON THE SET OF CONSTRUCTION DOCUMENTS IS SHOWN TO RELATE BASIC DESIGNS INTENT AND FRAMING DETAILS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A STRUCTURALLY SOUND AND WEATHER PROOF FINISHED PRODUCT. THE GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY ISSUES AND SPECIFIC ITEMS WHICH ARE PRECEDED AS POTENTIAL DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. THE STRUCTURAL DATA SHOWN ON THE PLANS IS FOR REFERENCE ONLY. THE GENERAL CONTRACTOR SHALL HAVE A LICENSED STRUCTURAL ENGINEER REVIEW ALL STRUCTURAL ELEMENTS SUCH AS JOIST SIZE AND SPACING, BEAM AND HEADER SIZES, BEAM CONNECTIONS, ETC.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK AND CONSTRUCTION MEETS OR EXCEEDS ALL APPLICABLE CODES AS PER THE LOCAL JURISDICTION.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK AND CONSTRUCTION MEETS OR EXCEEDS ALL SEISMIC CODES AS PER THE LOCAL JURISDICTION.
5. WINDOW SIZES INDICATED ON THE PLAN ARE NOTED BY GENERIC SASH SIZES. THE GENERAL CONTRACTOR SHOULD NOTIFY THE DESIGNER IF A SPECIFIED NOTE IS NOT AVAILABLE.
6. REFER TO FLOOR PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
7. ALL WINDOWS THAT DO NOT COMPLY WITH 4 (R15) 24" WITH WINDOW SILL HEIGHT AND MORE THAN 72" FROM FINISHED GRADE, SHALL BE EQUIPPED WITH FALL PREVENTION DEVICES (R612.3).
8. THE GENERAL CONTRACTOR SHALL ENSURE THAT PRE-FAB FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES.
9. THE GENERAL CONTRACTOR SHALL COORDINATE GAS AND/OR ELECTRIC SERVICE EQUIPMENTS WITH THE OWNER.
10. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION OF THE UTILITY METERS WITH LOCAL UTILITY PROVIDER TO BE LOCATED AWAY FROM THE PROMINENT VIEW.



ROOF SURFACE AREA	
Surface Sq. Ft.	Renovation Status
4,423.6	Existing



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PLAN:
A235-B1
Brown

DIMENSIONS:
WIDTH: 63'-08"
DEPTH: 59'-10"

FOOTAGE:
1st Floor: 1,988.6
TOTAL LIVING: 1,988.6
Porches: 1,903.7
TOTAL ROOFED: 3,794.3

ROOMS:
FLOORS: 1
BEDROOMS: 3
BATHS: 2
STORAGE: 0
GARAGE/PORCH: 0

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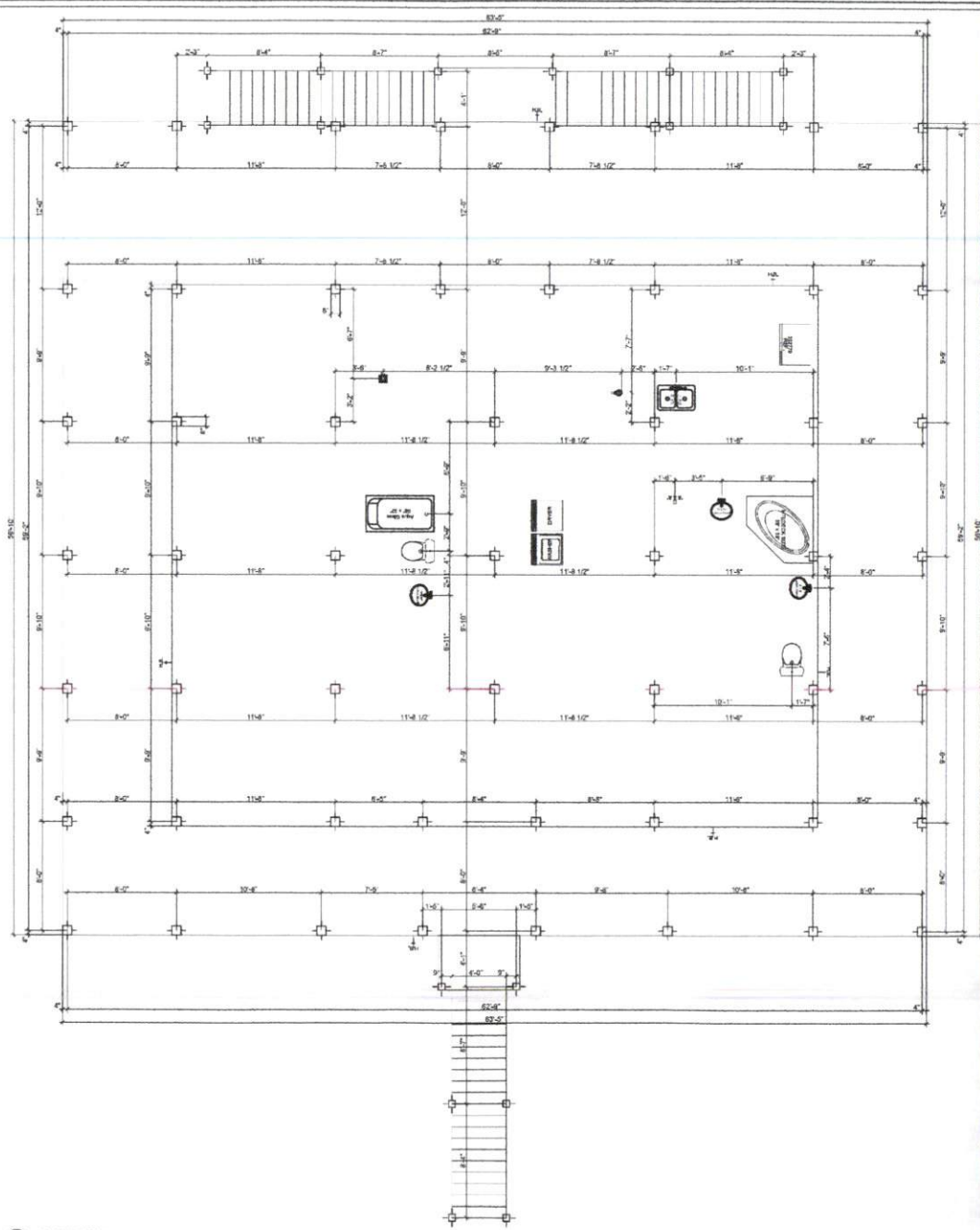
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Material Lists
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CONTACT:

A-2
Elevation

Final Set
3/1/2021



H.V.A.C. NOTES:

1. THE MECHANICAL SUBCONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL CODES AND SAFETY REQUIREMENTS.
2. THE H.V.A.C. SUBCONTRACTOR SHALL FULLY COORDINATE ALL SYSTEM DATA AND REQUIREMENTS WITH THE EQUIPMENT SUPPLIER. THE H.V.A.C. SUBCONTRACTOR SHALL PROVIDE FINAL SYSTEM LAYOUT DRAWING AND SUBMIT IT TO THE GENERAL CONTRACTOR, OWNER AND EQUIPMENT SUPPLIER FOR FINAL REVIEW AND APPROVAL.
3. ALL MECHANICAL VENT STACKS INCLUDING GAS PILES SHALL BE LOCATED TOGETHER IN THE ATTIC TO MINIMIZE ROOF PENETRATIONS. THEY SHALL BE LOCATED TO THE REAR OF THE HOUSE AWAY FROM PROMINENT VIEW. ALL VENT STACKS AND PILES SHALL BE PRIMED AND PAINTED TO CLOSELY MATCH THE ROOF COLOR.
4. PROVIDE DUCTING FOR ALL EXHAUST FANS, THE VENT-HOOD AND THE DRYER VENT.

FOUNDATION NOTES:

1. THE STRUCTURAL DATA SHOWN ON THE PLANS IS FOR REFERENCE ONLY. THE OWNER AND OR BUILDER SHALL HAVE A LICENSED STRUCTURAL ENGINEER REVIEW CONDITIONS OF SITE AND ENGINEER ALL STRUCTURAL ELEMENTS SUCH AS FOOTINGS, FOUNDATION WALLS, SLABS AND PROPER CROSS BRACING.
2. THE OWNER AND OR BUILDER SHALL REVIEW THE FOUNDATION PLAN WITH A PROFESSIONAL ENGINEER TO MEET LOCAL CODES AND SOIL CONDITIONS.
3. THE GENERAL CONTRACTOR SHALL REVIEW PLANS, ELEVATIONS AND DETAILS FOR DIMENSION OF FINISH FLOOR ABOVE TYPICAL GRADE. THE GENERAL CONTRACTOR SHALL COMPARE TO THE DIMENSIONS AND SITE CONDITIONS THAT REQUIRE MODIFICATIONS TO DIMENSIONS INDICATED ON PLANS, SECTIONS, OR EXTERIOR ELEVATIONS.
4. ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF BLOCK WALL TO OUTSIDE FACE OF BLOCK WALL AND TO CENTER LINE OF BLOCK PIERS OR LOAD BEARING WALLS UNLESS NOTED OTHERWISE.
5. THE GENERAL CONTRACTOR SHALL INSTALL ALUMINUM SHEET METAL TERMITE SHIELDS BETWEEN ALL WOOD SURFACES THAT ARE EXPOSED TO CONCRETE OR MASONRY SURFACES.
6. THE GENERAL CONTRACTOR SHALL REVIEW ALL FINISH FLOOR MATERIALS. ALL FINISH FLOORS SHALL BE INSTALLED TO BE FLUSH WITH ADJACENT FLOORS OF SIMILAR OR DISMILAR MATERIALS. THE GENERAL CONTRACTOR SHALL ADJUST THE FOUNDATIONS AS REQUIRED TO ENSURE THAT ALL FLOORS ARE FLUSH.
7. PROVIDE DOUBLE FLOOR JOIST UNDER ALL WALLS WHICH ARE PARALLEL TO FLOOR JOIST SPAN DIRECTION.
8. THE GENERAL CONTRACTOR SHALL COORDINATE WITH A LICENSED BONDED INSTALLER TO PROVIDE TERMITE TREATMENT WHICH COMPLIES WITH ALL LOCAL SUBDIVISION CODES.
9. PROVIDE 1:0 BLOF IN SLAB AT ALL GARAGE DOOR ENTRIES.

**-1- FOUNDATION PLAN
SCALE: 1/4" = 1'-0"**

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PLAN:
A235-B1
Brown

DIMENSIONS:
WIDTH: 63'-05"
DEPTH: 92'-10"

FOOTAGE:
1 First Floor 1,888.8
TOTAL LINING 1,888.8
Porches 1,920.7
TOTAL ROOFED 3,794.5

ROOMS:
FLOORS 1
BEDROOMS 3
BATHS 2
STORAGE 2
GARAGE/PORCH 0

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CONTACT:
Name: _____
Phone: _____
Email: _____

A-3
Foundation

Final Set
3/1/2021

FRAMING NOTES:

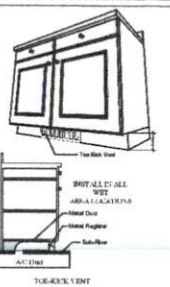
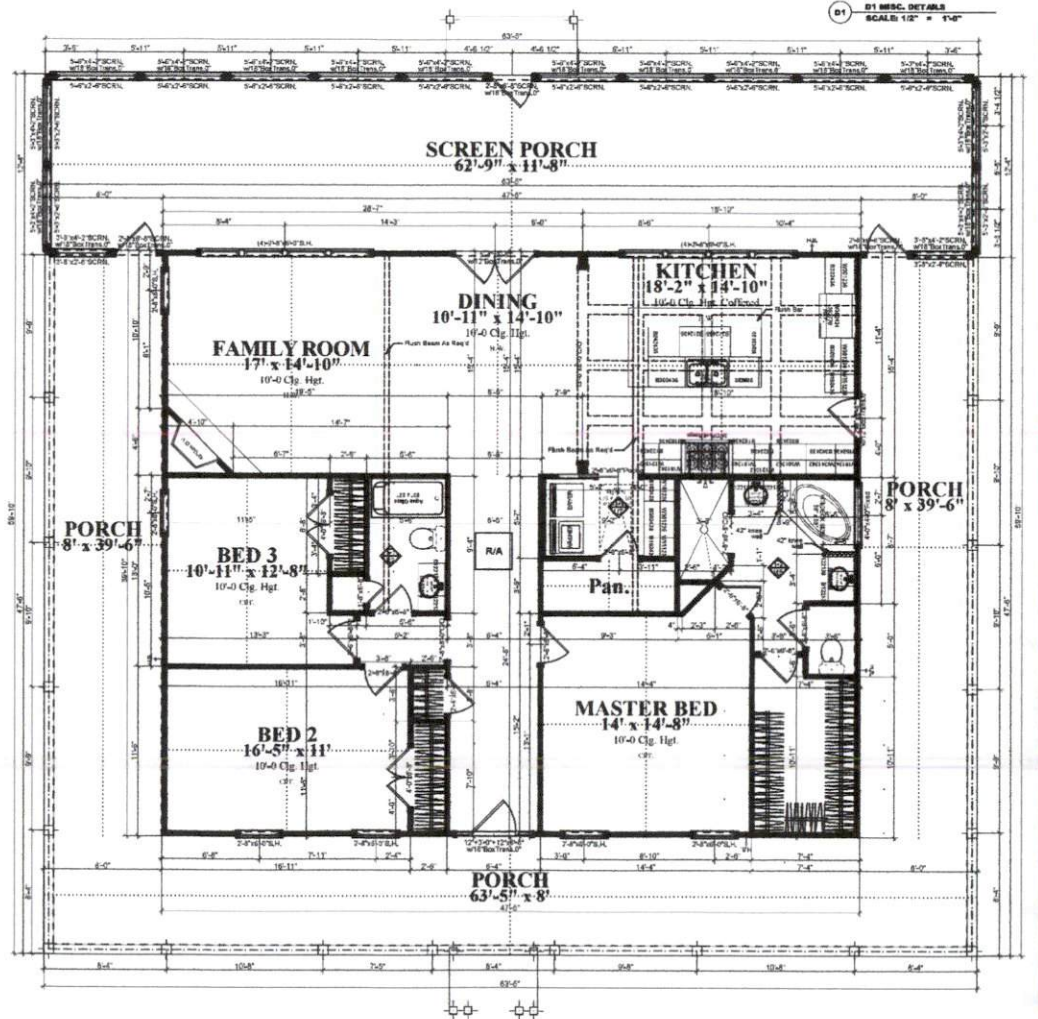
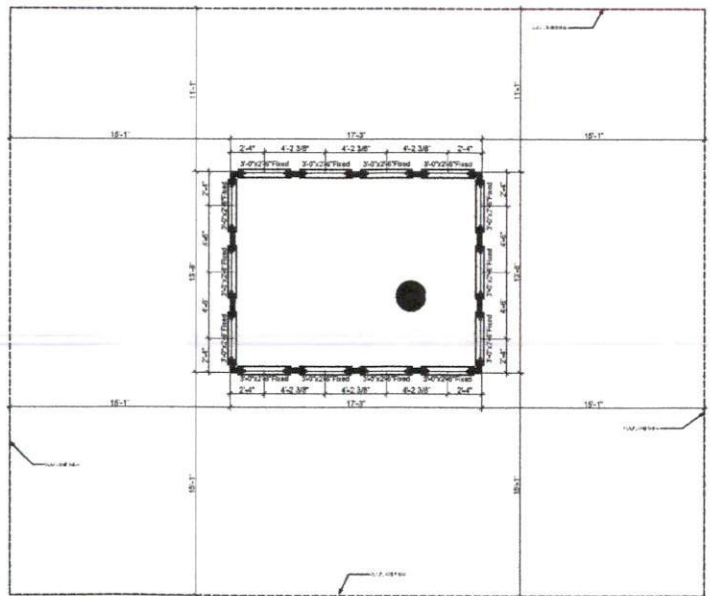
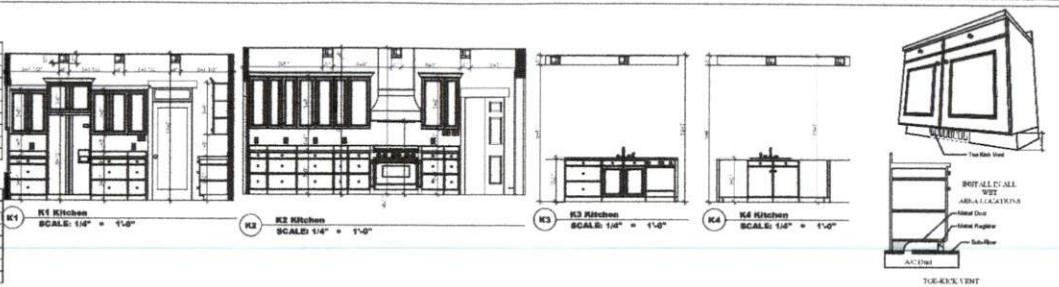
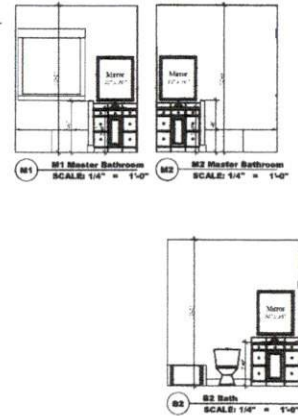
1. ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF STUD WALL TO OUTSIDE FACE OF STUD WALL AND CENTER OF INTERIOR WALLS UNLESS OTHERWISE NOTED. WALLS NOT NOTED AND/OR DIMENSIONS ARE TYPICALLY 4" DEEP NOMINAL (2x4s and 2" for 2x6)
2. ALL FRAMING MATERIAL SHALL BE #2 KD MINIMUM.
3. ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
4. PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS WHICH ARE PARALLEL TO FLOOR JOIST SPAN/DIRECTION.
5. PROVIDE "X" BRACING OR SOILD BLOCKING AT A MAXIMUM OF 8'-0" O.C. AT ALL FLOOR JOIST.
6. GLUE AND SCREW PLYWOOD DECKING TO FLOOR JOIST TO ENSURE A "NON-SQUARE" FLOOR SYSTEM.
7. ALL STUD WALLS SHALL BE FRAMED @ 16" O.C.
8. ALL ANGLED WALLS SHALL BE FRAMED AT A 45 DEGREE ANGLE UNLESS OTHERWISE NOTED.
9. BRACE ALL EXTERIOR CORNERS OF STUD WALLS WITH EXTERIOR GRADE PLYWOOD FROM PLATE TO PLATE.
10. TYPICAL EXTERIOR 2x4 AND 2x6 STUD WALLS SHALL BE SHEATHED WITH 1/2" FOAM BOARD FOR BRICK APPLICATION ONLY AND EXTERIOR APPROVED PLYWOOD, OTHER.
11. ALL WALLS OVER 12'0" HIGH SHALL BE 2x6 AT 16" O.C. AND RECEIVE 2 ROWS OF 2x6 BLOCKING AT 10' POINTS OF HEIGHT.
12. PROVIDE BLOCKING AT ALL CABINET LOCATIONS.
13. PROVIDE SOLID STUD UNDER ALL BEAM BEARING POINTS AND BE A MIN. TRIPLE 2x10.
14. ALL BEAMS AND JOIST INTERSECTIONS SHALL RECEIVE GALVANIZED BEAM HANDERS.
15. PROVIDE DOUBLE 2x6 STRONBACK BRACING AT CENTER OF JOIST SPANS OVER 10'-0"
16. PROVIDE 2x6 COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOIST.
17. PROVIDE 2x4 RAFTER TIES AT ALL PLATES WHERE JOIST RUN PERPENDICULAR TO RAFTERS.
18. HP VALLEY RAFTERS AND RIDGE BOARDS SHALL BE ONE SIZE LARGER THAN TYPICAL RAFTERS.

Header Key	Location	Qty	Type	Product ID Name	Manufacturer	Model Number	Product Note	Replacement Size
KL1	KL1	1	Door	KL1	KL1	KL1	KL1	KL1
KL2	KL2	1	Window	KL2	KL2	KL2	KL2	KL2
KL3	KL3	1	Window	KL3	KL3	KL3	KL3	KL3
KL4	KL4	1	Window	KL4	KL4	KL4	KL4	KL4
KL5	KL5	1	Window	KL5	KL5	KL5	KL5	KL5
KL6	KL6	1	Window	KL6	KL6	KL6	KL6	KL6
KL7	KL7	1	Window	KL7	KL7	KL7	KL7	KL7
KL8	KL8	1	Window	KL8	KL8	KL8	KL8	KL8
KL9	KL9	1	Window	KL9	KL9	KL9	KL9	KL9
KL10	KL10	1	Window	KL10	KL10	KL10	KL10	KL10

Header Key	Location	Qty	Type	Product ID Name	Manufacturer	Model Number	Product Note	Replacement Size
KL11	KL11	1	Window	KL11	KL11	KL11	KL11	KL11
KL12	KL12	1	Window	KL12	KL12	KL12	KL12	KL12
KL13	KL13	1	Window	KL13	KL13	KL13	KL13	KL13
KL14	KL14	1	Window	KL14	KL14	KL14	KL14	KL14
KL15	KL15	1	Window	KL15	KL15	KL15	KL15	KL15
KL16	KL16	1	Window	KL16	KL16	KL16	KL16	KL16
KL17	KL17	1	Window	KL17	KL17	KL17	KL17	KL17
KL18	KL18	1	Window	KL18	KL18	KL18	KL18	KL18
KL19	KL19	1	Window	KL19	KL19	KL19	KL19	KL19
KL20	KL20	1	Window	KL20	KL20	KL20	KL20	KL20

PLUMBING NOTES:

1. THE PLUMBING SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
2. PROVIDE GAS SERVICE TO ALL WATER HEATERS AND HVAC EQUIPMENT AS REQUIRED.
3. IF WALL PLATE OR JOISTS ARE CUT DURING THE INSTALLATION OF PLUMBING FIXTURES OR EQUIPMENT PROVIDE BRACING TO THE TIE FRAMING BACK TOGETHER.
4. PROVIDE METAL PAN AND AUXILIARY DRAIN TO OUTSIDE FOR POSSIBLE OVERFLOW FOR TANK WATER HEATERS.
5. ALL GAS WATER HEATERS TO BE VENTED AT ROOFTOP.
6. ALL PLUMBING VENT STACKS SHALL BE LOCATED CLOSE TOGETHER IN THE ATTIC. THEY SHALL BE LOCATED TO THE REAR OF THE HOUSE AWAY FROM PROMINENT VIEW. ALL VENT STACKS SHALL BE PRIMED AND PAINTED TO CLOSELY MATCH ROOF COLOR.
7. PROVIDE HOSE BIBS AS PER FOUNDATION AND FIRST FLOOR PLAN LOCATIONS.
8. PLUMBING CONTRACTORS SHALL BE RESPONSIBLE FOR INSULATING EXPOSED PIPES IN ATTIC.



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PLAN:
A235-B1
Brown

DIMENSIONS:
WIDTH: 83'-05"
DEPTH: 89'-10"

FOOTAGE:
1st Floor: 1,888.0
TOTAL LIVING: 1,888.0
TOTAL ROOFED: 3,744.0

ROOMS:
FLOORS: 1
BEDROOMS: 3
BATHS: 2
STORAGE: 2
GARAGE/PORCH: 0

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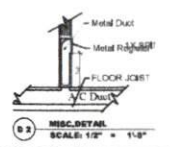
CONTACT:

1-4
Floor Plan(s)

Final Set
3/1/2021

ELECTRICAL LEGEND

- RECEPTACLE 110V DUPLEX
- RECEPTACLE 220V
- RECEPTACLE GROUND FAULT INTERRUPT (GFI)
- RECEPTACLE WATERPROOF DUPLEX
- RECEPTACLE DUPLEX IN FLOOR
- SWITCH SINGLE POLE
- SWITCH THREE WAY
- SWITCH FOUR WAY
- SWITCH DIMMER
- SWITCH OVER
- SWITCH TIMER
- PHONE JACK FLOOR
- CABLE TV JACK
- CABLE TV JACK FLOOR
- SMOKE DETECTOR
- CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED FIXTURE
- RECESS MOUNTED CAN FIXTURE
- RECESS MOUNTED CAN FIXTURE W/ HEAT
- WATERPROOF RECESS MOUNTED CAN
- RECESS MOUNTED EYEBALL SPOT FIXTURE
- PORCELAIN FIXTURE
- WALL SCOOPE
- FLOOD LIGHTS
- EXHAUST FAN
- EXHAUST FAN W/ HEAT
- EXHAUST FAN W/ LIGHT
- EXHAUST FAN W/ LIGHT AND HEAT
- FLOURESCENT STRIP LIGHT
- FLOURESCENT STRIP LIGHT
- UNDER CABINET LIGHTING
- CEILING FAN
- CEILING FAN W/ LIGHT



ELECTRICAL NOTES:

- THE ELECTRICAL PLANS ILLUSTRATE BASIC DESIGN INTENT ONLY. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL CODES AND SAFETY REQUIREMENTS.
- THE GENERAL CONTRACTOR OR HOME OWNER AND ELECTRICAL SUBCONTRACTOR SHALL REVIEW THE PLANS AND WALK THROUGH THE JOB TO VERIFY THAT THE DESIGN INTENT IS MAINTAINED.
- GAS OR ELECTRICAL SERVICE SHALL BE PROVIDED AS REQUIRED FOR ALL APPLIANCES AND EQUIPMENT SUCH AS REFRIGERATORS, DISH WASHER, DISPOSAL, FREEZER, COOKTOP, WASHER DRYER, OVENS, HVAC EQUIPMENT, ALARM PANEL, ETC.
- ALL OUTLETS THAT ARE NEAR ANY WATER CONDITION SHALL BE G.F.I. TYPE.
- THE GENERAL CONTRACTOR SHALL VERIFY WITH THE OWNER ALL LOCATIONS OF PHONE, CABLE, COMPUTER OUTLETS, SWITCHES AND ELECTRONIC DEVICES SHOWN ON PLANS.
- ELECTRICAL CONTRACTOR SHALL VERIFY TRIM SIZE FOR ALL DOORS AND WINDOWS BEFORE SWITCHES ARE LOCATED.
- LOCATE SWITCHES CLOSE TO TRIM AND ALIGN WITH EACH OTHER IF THERE ARE MULTIPLE SWITCHES.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE DISCONNECT SWITCHES FOR DISHWASHERS, GARBAGE DISPOSAL, A/C AND TUBS THAT ARE EQUIPPED WITH PUMP MOTORS.
- THE PANEL BOX SHALL BE SIZED TO ACCOMMODATE ALL CALCULATED LOADS.
- THE ELECTRIC AND GAS METERS SHALL BE LOCATED AWAY FROM ANY PROMINENT VIEW IF POSSIBLE.
- ELECTRICAL CONTRACTOR SHALL PROVIDE LIGHT SWITCHES AND APPLICABLE SERVICE OUTLETS AT ALL ATTIC ENTRY POINTS.
- LOCATE SMOKE DETECTORS ABOVE ENTRY DOORS IF FEASIBLE.
- ALL SMOKE DETECTOR SHALL BE WIRED ON SAME CIRCUIT. (S-105 OR GREATER).

CONCRETE LIST (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	CONCRETE	CONCRETE	CONCRETE		
2	1	EA	CONCRETE	CONCRETE	CONCRETE		

MISC. LIST (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	MISC.	MISC.	MISC.		

WALL MOUNTED (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	WALL MOUNTED	WALL MOUNTED	WALL MOUNTED		

APPLIANCE ACCESSIBLE (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

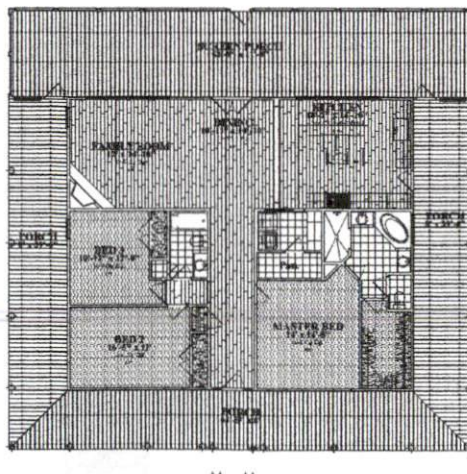
Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	APPLIANCE ACCESSIBLE	APPLIANCE ACCESSIBLE	APPLIANCE ACCESSIBLE		

FLOOR FINISH ACCESSIBLE (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	FLOOR FINISH ACCESSIBLE	FLOOR FINISH ACCESSIBLE	FLOOR FINISH ACCESSIBLE		

MISC. ACCESSIBLE (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

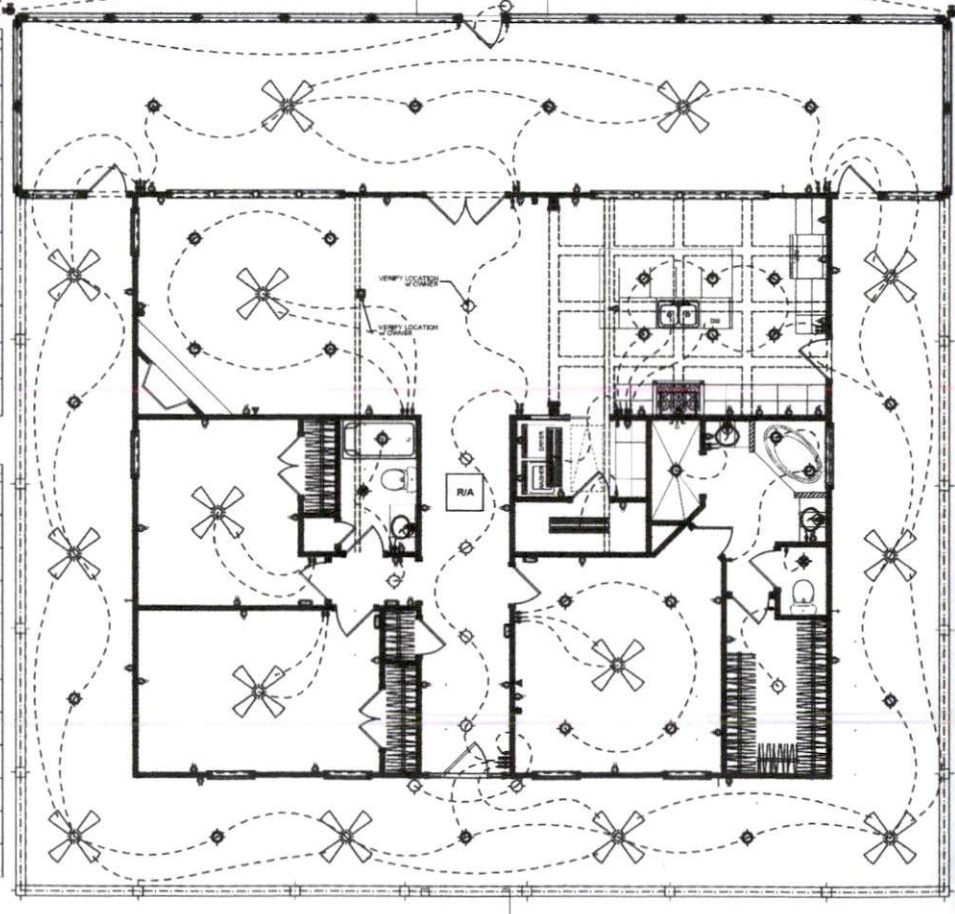
Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	MISC. ACCESSIBLE	MISC. ACCESSIBLE	MISC. ACCESSIBLE		



1st FLOOR FINISH FLOORING LEGEND

- FL-DECK-03V
- FL-DECK-03D
- FL-TILE-12H
- FL-CPT-000
- FL-TILE-08D
- FL-HW-08H
- FL-HW-08D2
- FL-DECK-08H
- FL-DECK-08D2
- FL-TILE-12D
- FL-TILE-08H
- FL-HW-08V
- FL-HW-08D
- FL-CONC.

1st FLOOR ELECTRICAL SCALE: 1/4" = 1'-0"



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PLAN: A235-B1 Brown

DIMENSIONS: WIDTH: 62'-05" DEPTH: 59'-10"

FOOTAGE: 1st Floor 1,885.8 Porches 1,900.7

TOTAL LIVING 1,885.8 Porches 1,900.7

TOTAL ROOFED 3,786.5

ROOMS: BATHS 2 BEDROOMS 3 STORAGE GARAGE/PORCH 0

HUDSON HOME DESIGNS
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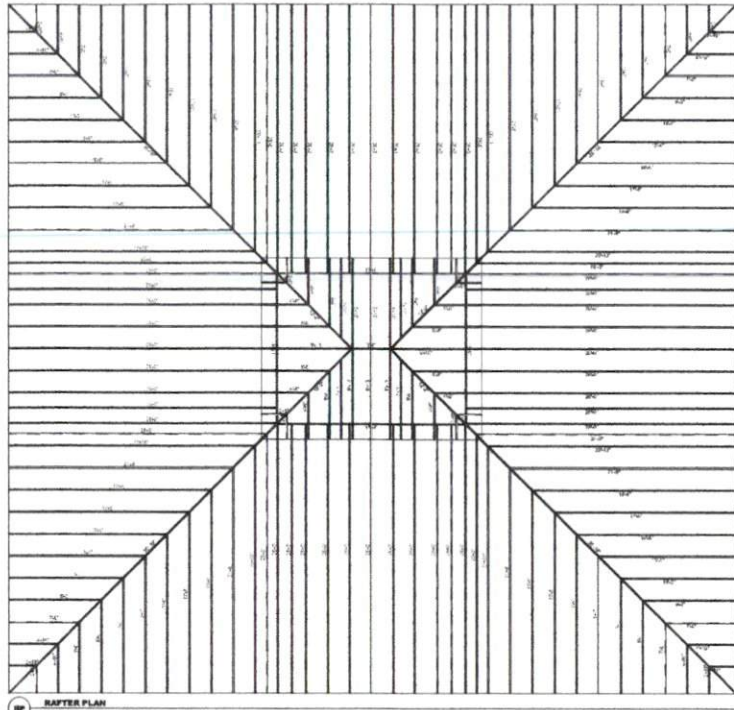
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A-S Electrical

Final Set 3/1/2021

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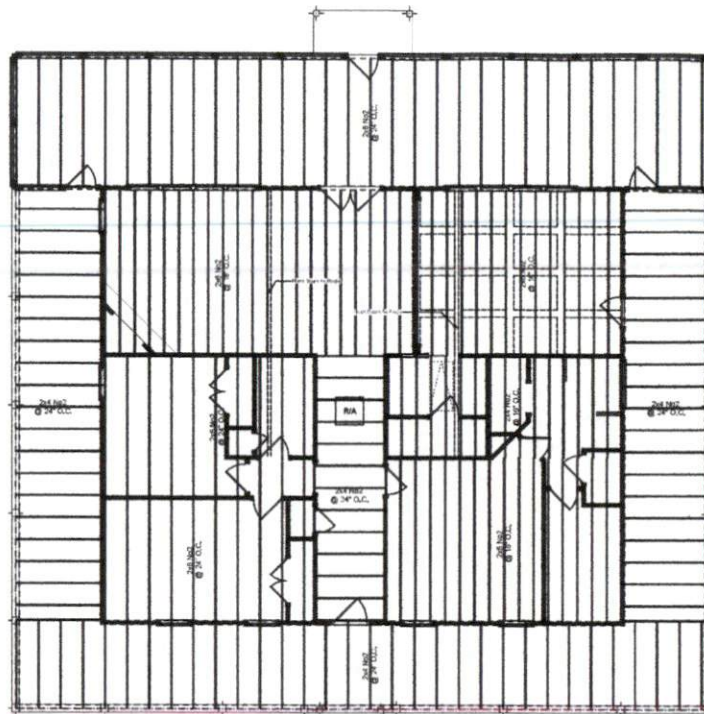
BA RAFTER PLAN
SCALE: 3/16" = 1'-0"

RAFTER TAKEOFF (verify allow-able spans)

Quantity	Rafter Call length	Rafter Pitch	Renovation Status
16	2X6X10	4:12	Existing
8	2X6X12	4:12	Existing
8	2X6X14	4:12	Existing
8	2X6X16	4:12	Existing
8	2X6X18	4:12	Existing
8	2X6X20	4:12	Existing
8	2X6X22	4:12	Existing
8	2X6X24	4:12	Existing
48	2X6X6	4:12	Existing
16	2X6X4	4:12	Existing
36	2X6X8	4:12	Existing
8	2X6X14	Existing	
3	2X6X18	Existing	
4	2X6X36	Existing	
1	2X6X4	Existing	



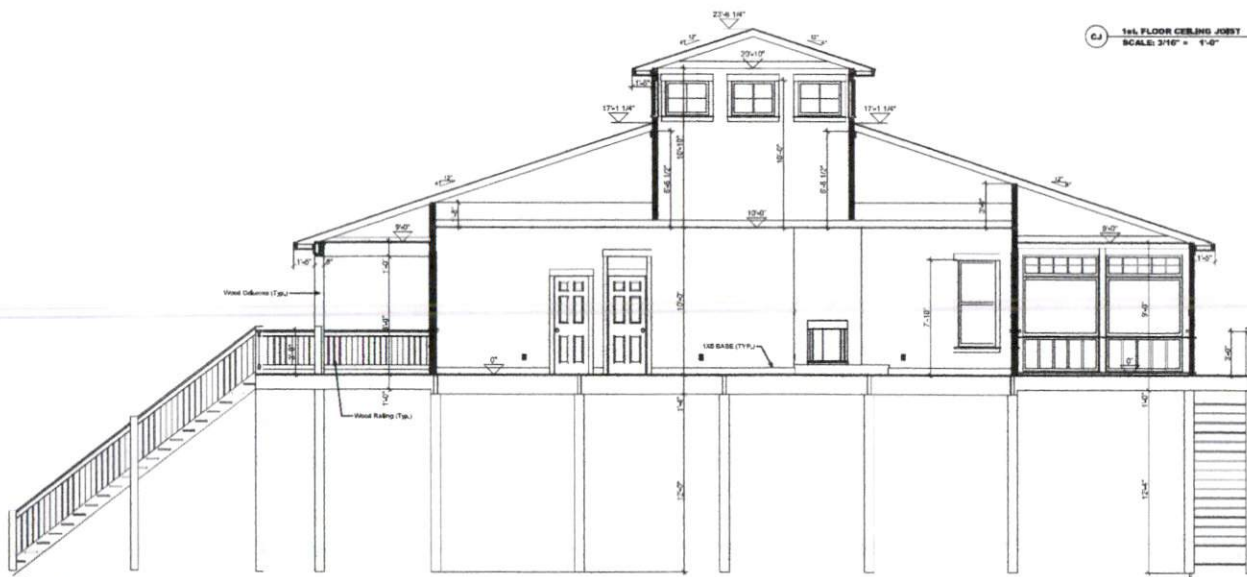
BB 2ND FLOOR CEILING JOIST
SCALE: 1/4" = 1'-0"



BB 1ST FLOOR CEILING JOIST
SCALE: 3/16" = 1'-0"

CEILING FRAMING LIST (Verify by Structural Eng.)

Item (Notes)	Product	Species	Count	Qty	Notes	Row Length	Profiled Notes	Remarks/Notes
1.0" X 10.0" N/A	Structural	2x10	38	11	11'0"	11'		P.A. - 2
1.0" X 12.0" N/A	Structural	2x12	11	11	11'0"	11'		P.A. - 2
1.0" X 14.0" N/A	Structural	2x14	11	11	11'0"	11'		P.A. - 2
1.0" X 16.0" N/A	Structural	2x16	11	11	11'0"	11'		P.A. - 2
1.0" X 18.0" N/A	Structural	2x18	11	11	11'0"	11'		P.A. - 2
1.0" X 20.0" N/A	Structural	2x20	11	11	11'0"	11'		P.A. - 2
1.0" X 22.0" N/A	Structural	2x22	11	11	11'0"	11'		P.A. - 2
1.0" X 24.0" N/A	Structural	2x24	11	11	11'0"	11'		P.A. - 2
1.0" X 26.0" N/A	Structural	2x26	11	11	11'0"	11'		P.A. - 2
1.0" X 28.0" N/A	Structural	2x28	11	11	11'0"	11'		P.A. - 2
1.0" X 30.0" N/A	Structural	2x30	11	11	11'0"	11'		P.A. - 2
1.0" X 32.0" N/A	Structural	2x32	11	11	11'0"	11'		P.A. - 2
1.0" X 34.0" N/A	Structural	2x34	11	11	11'0"	11'		P.A. - 2
1.0" X 36.0" N/A	Structural	2x36	11	11	11'0"	11'		P.A. - 2
1.0" X 38.0" N/A	Structural	2x38	11	11	11'0"	11'		P.A. - 2
1.0" X 40.0" N/A	Structural	2x40	11	11	11'0"	11'		P.A. - 2



S1 Section
SCALE: 3/16" = 1'-0"

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PLAN:
A235-B1
Brown

DIMENSIONS:
WIDTH: **61'-05"**
DEPTH: **69'-10"**

FOOTAGE:
1, First Floor 1,988.6

TOTAL LIVING 1,988.6
Porches 1,902.7
TOTAL ROOFED 3,791.5

ROOMS:
FLOORS 1
BEDROOMS 3
BATHS 2
STORAGE 0
GARAGE/PORCH 0



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CONTACT:

A-6
FRAMING

Final Set
3/1/2021