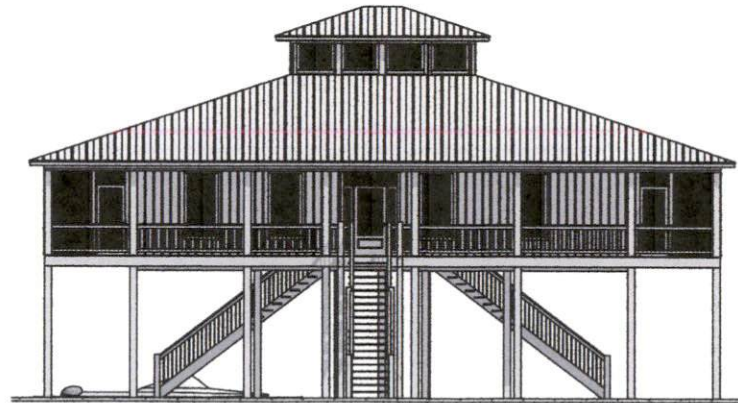
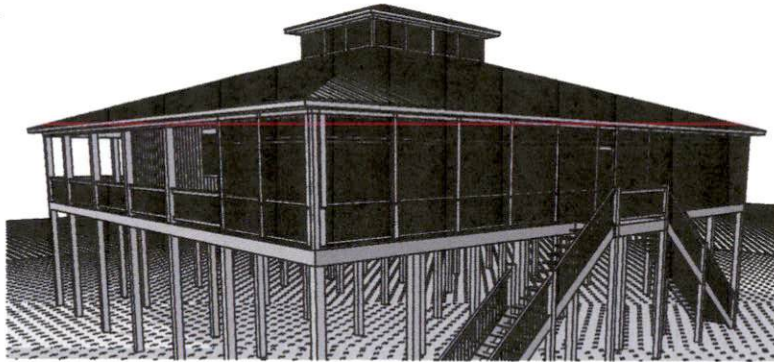
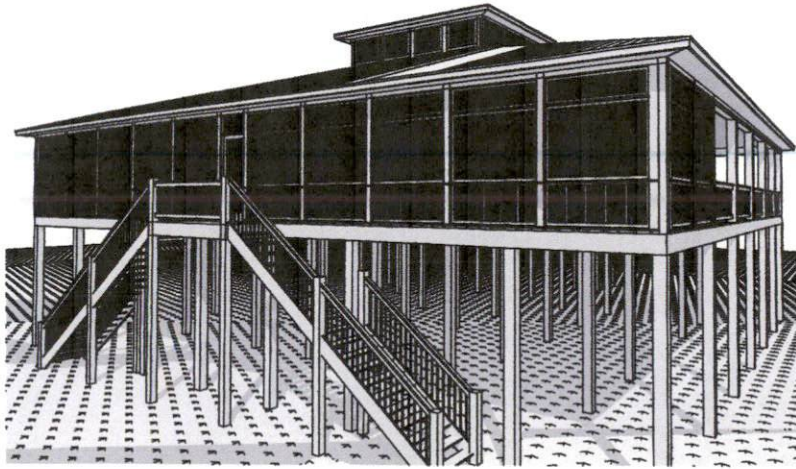


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SITE PLAN NOTES:

- BEFORE ANY CONSTRUCTION, SITE PLAN MUST BE CHECKED AGAINST CURRENT RECORD PLATE. SITE PLANS SHOULD NEVER BE ASSUMED CORRECT.
- IF THE HOUSE AND OR OUT BUILDING IS WITHIN 3'-0" OF ANY SET BACKS OR BUILDING FOOT PRINT OCCUPIES MORE THAN 1/3 OF THE LOT SIZE THEN THE GENERAL CONTRACTOR SHALL HAVE A LICENSED SURVEYOR STAKE OUT AND OR VERIFY THE HOUSE LOCATION TO ENSURE THAT THE HOUSE DOES NOT ENCRoACH ON ANY SETBACKS OR EASEMENTS UNLESS THE ENCROACHMENT IS ALLOWED BY ZONING AND BUILDING CODES. THE GENERAL CONTRACTOR SHALL COMMUNICATE TO THE OWNER AND DESIGNER ANY ENCROACHMENT ISSUES THAT MAY NEED TO BE RESOLVED.
- THE GENERAL CONTRACTOR SHALL VERIFY THE EXISTING TOPOGRAPHIC GRADE LEVELS, LOCATIONS OF TREES AND THE PROPOSED HOUSE. THE GENERAL CONTRACTOR SHALL COMMUNICATE TO THE OWNER AND DESIGNER ANY RECOMMENDED CHANGES BEFORE THE START OF ANY WORK.
- THE GENERAL SHALL LOCATE ALL UTILITY SERVICES I.E. WATER SERVICES, GAS, ELECTRIC, TELEPHONE, CABLE TV AND COORDINATE THE EXISTENCES TO THE HOUSE WITH THE APPROPRIATE INSTALLER. ALL CONNECTIONS, METERS, CLEAN OUTS, ETC. SHALL BE LOCATED AWAY FROM ANY PROMINENT VIEW.
- THE GENERAL CONTRACTOR SHALL COORDINATE FINISH TOPOGRAPHIC GRADINGS AND PAVING WALKS, DRIVEWAYS, PATIOS, ETC. AS REQUIRED FOR POSITIVE DRAINAGE AWAY FROM THE HOUSE.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL LANDSCAPING WITH THE OWNER AND DETERMINE WHETHER THE LANDSCAPING PACKAGE SHALL BE PROVIDED BY THE GENERAL CONTRACTOR OR BY OTHERS.
- TYPICAL CONTROL JOISTS AND OR KEYWAYS IN SLABS OR GRADE SHALL BE SPACED 18" TO 15" WITH A MIN. 1" DEEP.



APPROVED
 NOTICE TO CONTRACTOR
 All construction shall comply with current NC Building Codes and a permit from the inspector and architect.

08/31/2022




ABBREVIATIONS

ACC	AIR CONDITIONING	DEP	DISPOSAL OR DEBRIS	H.W.	HARDWOOD OR HOT WATER	POLY	POLYETHYLENE	S/TR	STRUCTURAL
ANB	ANCHOR BOLT	DN	DOWN	I.C.F.	INSULATED CONCRETE FORM	PR	POUNDS PER SQUARE FOOT	SYL	SYNTHETICAL
ABV	ABOVE	DN	DOWN	INSUL	INSULATION	P/S	POUNDS PER SQUARE INCH	SYL	SYSTEM
ADJ	ADJUSTABLE	DR	DR	INT	INTERIOR	P/S	POUNDS PER SQUARE INCH	T&B	TOP AND BOTTOM
APP	ABOVE FINISHED FLOOR	DW	DRAINWASHER	JST	JOIST	P.T.	PRESSURE TREAT	T&G	TONGUE AND GROOVE
ALT	ALTERNATE	DRM	DRAINER	KCHN	KITCHEN	RA	RETURN AIR	T.B.	TOWEL BAR
APPROX	APPROXIMATE	EHL	EXHAUST FAN	LAM	LAMINATE OR LAMINATED	RAL	RACE	TEMP	TEMPORARY
BBB	BOARD & BATTEN	ELV	ELEVATION	LBL	LABEL	RACZ	RACE	THC	THICK OR THICKNESS
BLOD	BLOOD	ELEC	ELECTRIC OR ELECTRICAL	LFG	LINGERS FOOT	REC	RECESSED	THL	THICK
BLK	BLOCK	ELEV	ELEVATOR	LDG	LANDING	REBAR	REINFORCING BAR	T.O.M.	TOP OF MASONRY
BLNG	BLOCKING	ENCL	ENCLOSURE	LGT	LIGHT	REF	REFERENCE REFRIGERATOR	TPL	TOP OF PLATE
BL-TN	BUILT-IN	EXT	EXTENSION	LIT	LIT	REG	REGISTER	TYP	TYPICAL
BM	BEAM	FDR	FLOOR DRAIN	LVR	LOUVER	REQD	REQUIRED	UNF	UNFINISHED
BCIT	BOTTOM	F.F.E.	FINISHED FLOOR ELEVATION	MCH	MECHANICAL	REV	REVISION	V.B.	VERTICAL
BRK	BRICK	FXT	FIXTURE	MFR	MANUFACTURER	RFD	ROOFING	VENT	VENTILATION
BSMT	BASEMENT	FLO	FLOOR	MIN	MINIMUM	ROF-IN	ROUGH-IN	VERT	VERTICAL
BTWN	BETWEEN	FND	FOUNDATION	MTR	METRIC	RND	ROUGH	W/B	WITHOUT
CB	CABINET	FRP	FRONT	MSC	MISCELLANEOUS	RO	ROUGH OPENING	W/B	WOOD BASE
CBV	CABLE TELEVISION	FTG	FOOTING	MAR	MARBLE	R/O	ROUGH OPENING	W/C	WATER CLOSET
C.D.	CEDING	FUT	FUTURE	MTE	MOUNTED	R/V	ROUGH VENT	W/L	WATER HEATER
C.M.L.	CONCRETE MASONRY UNIT	GAS	GLUED AND SCREWED	N.F.C.	NOT FOR CONSTRUCTION	SCN	SCHEDULE	W/W	WOOD WARE
COL	COLUMN	C.D.	CORNER DOOR	N.T.S.	NOT TO SCALE	SCRN	SCREEN	W/C	WATER CLOSET
CONC	CONCRETE	O.B.	ORBIT BAR	O.C.	ON CENTER	SEC	SECTION	W/H	WATER HEATER
CONT	CONTINUOUS	CLL	CLUE LAMINATED	OSB	OSB	S.F.	SQUARE FOOT	W/W	WOOD WARE
CPT	CARPET	G.L.A.M	GYP-SUM	O.F.B.	OUTSIDE FACE OF BRICK	SH	SH	W/W	WOOD WARE
CSMT	CASEMENT	GYP	GYP-SUM	O.F.S.	OUTSIDE FACE OF STUD	SHT	SHEET	W/P	WATERPROOFING
C.T.	CERAMIC TILE	H.C.	HANDICAP OR HANDICAPPED	OSB	OSB	SHP	STRUCTURAL INSULATED PANEL	W/W	WOOD WARE
CULT-MRB	CULTURED MARBLE	H.R.	HOLE REE	OPNG	OPENING	SKLT	SKYLIGHT	W/W	WOOD WARE
CULT-TN	CULTURED TONE	H.C.C.	HOLLOW CORE	P.B.	PUSH BUTTON	SPEC	SPECIFICATIONS	W/W	WOOD WARE
DET	DETAIL	HDR	HEADER	P.L.	PROPERTY LINE	SPEK	SPEAKER	W/W	WOOD WARE
DL	DOUBLE HUNG	HORZ	HORIZONTAL	P.L.	PROPERTY LINE	SQ	SQUARE	W/W	WOOD WARE
DAG	DIAGONAL	HRT	HIP RAFTER	P.L.A.M.	PLASTIC LAMINATE	STD	STANDARD	W/W	WOOD WARE
DM	DIMENSION	H.V.A.C.	HEATING, VENTILATION AND AIR	PLT	POUNDS PER LINEAR FOOT	STOR	STORAGE	W/W	WOOD WARE

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PLAN:
A235-B1
Brown

DIMENSIONS:
WIDTH: 63'-05"
DEPTH: 89'-10"

FOOTAGE:
 1st Floor 1,888.8
TOTAL LIVING 1,888.8
 Porches 1,905.7
TOTAL ROOFED 3,794.5

ROOMS:
 FLOORS: 1
 BEDROOMS: 3
 BATHS: 2
 STORAGE: 0
 GARAGE/POR: 0

HUDSON HOME DESIGNS

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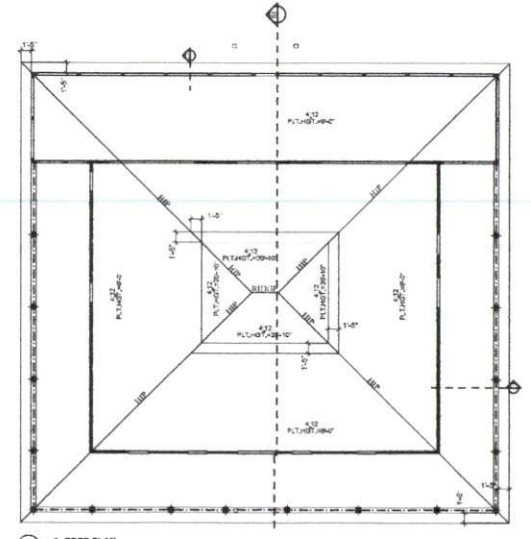
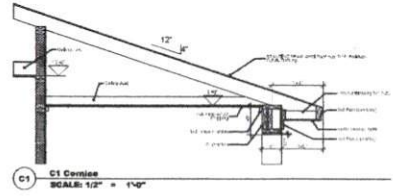
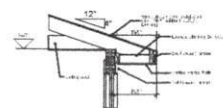
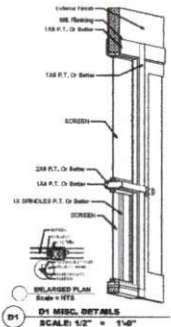
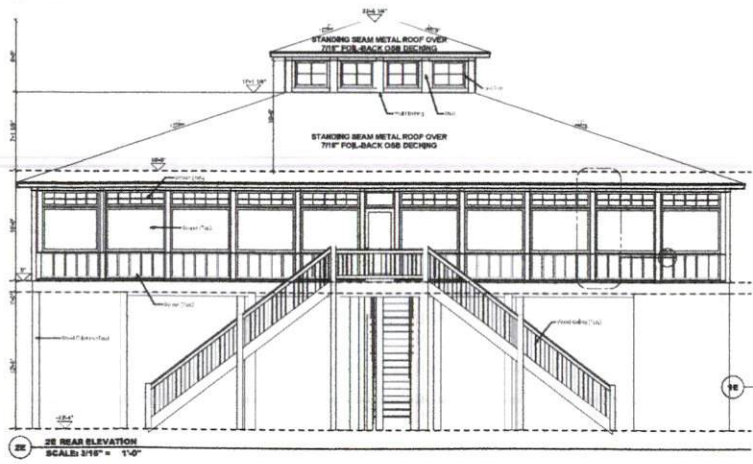
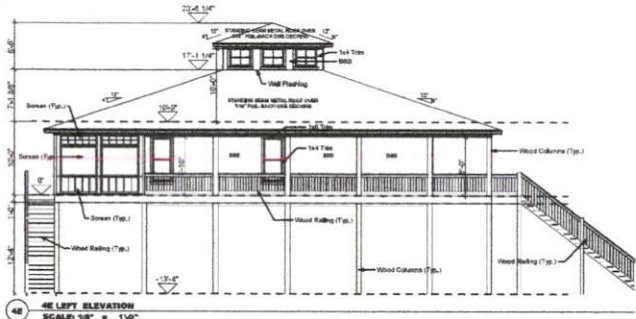
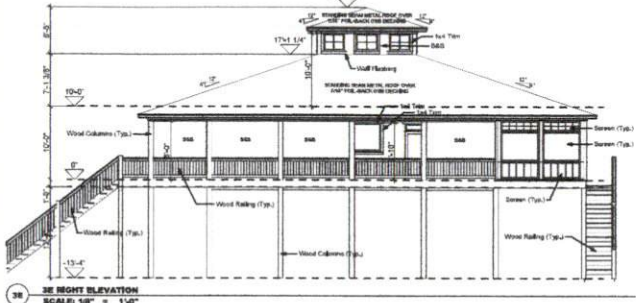
A-1
 Cover

Final Set
 3/1/2021

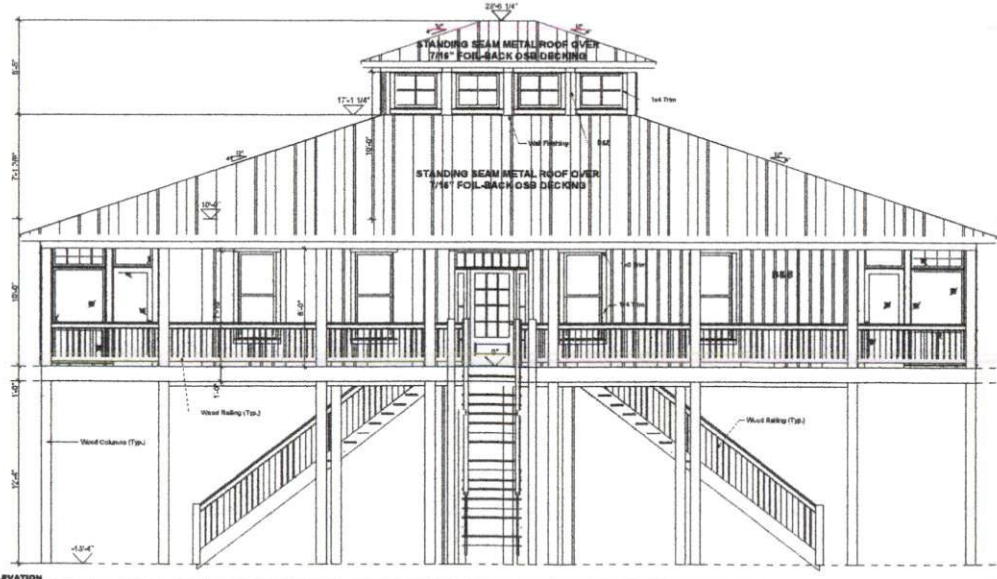
Monday, March 01, 2021

CONSTRUCTION NOTES:

1. THE DATA ON THE SET OF CONSTRUCTION DOCUMENTS IS SHOWN TO RELATE BASIC DESIGNS INTENT AND FRAMING DETAILS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A STRUCTURALLY SOUND AND WEATHER PROOF FINISHED PRODUCT. THE GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY ISSUES AND SPECIFIC ITEMS WHICH ARE PRECEDED AS POTENTIAL DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. THE STRUCTURAL DATA SHOWN ON THE PLANS IS FOR REFERENCE ONLY. THE GENERAL CONTRACTOR SHALL HAVE A LICENSED STRUCTURAL ENGINEER REVIEW ALL STRUCTURAL ELEMENTS SUCH AS JOIST SIZE AND SPACING, BEAM AND HEADER SIZES, BEAM CONNECTIONS, ETC.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK AND CONSTRUCTION MEETS OR EXCEEDS ALL APPLICABLE CODES AS PER THE LOCAL JURISDICTION.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK AND CONSTRUCTION MEETS OR EXCEEDS ALL SEISMIC CODES AS PER THE LOCAL JURISDICTION.
5. WINDOW SIZES INDICATED ON THE PLAN ARE NOTED BY GENERIC SASH SIZES. THE GENERAL CONTRACTOR SHOULD NOTIFY THE DESIGNER IF A SPECIFIED NOTE IS NOT AVAILABLE.
6. REFER TO FLOOR PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
7. ALL WINDOWS THAT DO NOT COMPLY WITH 4 (R15) 2' 0" WITH WINDOW SILL HEIGHT AND MORE THAN 72" FROM FINISHED GRADE, SHALL BE EQUIPPED WITH FALL PREVENTION DEVICES (R612.3).
8. THE GENERAL CONTRACTOR SHALL ENSURE THAT PRE-FAB FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES.
9. THE GENERAL CONTRACTOR SHALL COORDINATE GAS AND/OR ELECTRIC SERVICE EQUIPMENTS WITH THE OWNER.
10. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION OF THE UTILITY METERS WITH LOCAL UTILITY PROVIDER TO BE LOCATED AWAY FROM THE PROMINENT VIEW.



ROOF SURFACE AREA	
Surface Sq. Ft.	Renovation Status
4,423.6	Existing



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PLAN:
A235-B1
Brown

DIMENSIONS:
WIDTH: 63'-08"
DEPTH: 59'-10"

FOOTAGE:
1st Floor: 1,988.6
TOTAL LIVING: 1,988.6
Porches: 1,903.7
TOTAL ROOFED: 3,794.3

ROOMS:
FLOORS: 1
BEDROOMS: 3
BATHS: 2
STORAGE: 0
GARAGE/PORCH: 0

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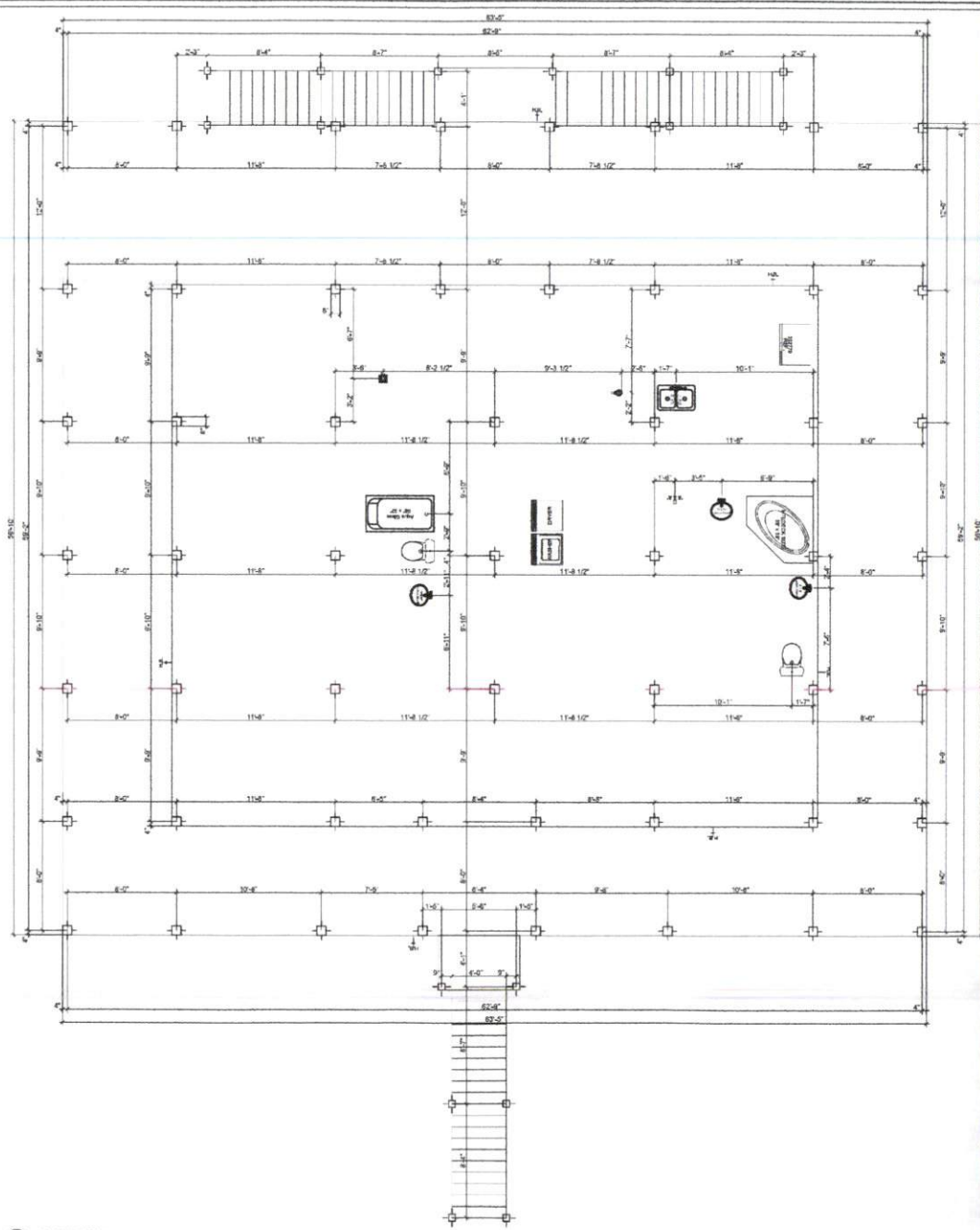
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CONTACT:

A-2
Elevation

Final Set
3/1/2021



H.V.A.C. NOTES:

1. THE MECHANICAL SUBCONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL CODES AND SAFETY REQUIREMENTS.
2. THE H.V.A.C. SUBCONTRACTOR SHALL FULLY COORDINATE ALL SYSTEM DATA AND REQUIREMENTS WITH THE EQUIPMENT SUPPLIER. THE H.V.A.C. SUBCONTRACTOR SHALL PROVIDE FINAL SYSTEM LAYOUT DRAWING AND SUBMIT IT TO THE GENERAL CONTRACTOR, OWNER AND EQUIPMENT SUPPLIER FOR FINAL REVIEW AND APPROVAL.
3. ALL MECHANICAL VENT STACKS INCLUDING GAS PILES SHALL BE LOCATED TOGETHER IN THE ATTIC TO MINIMIZE ROOF PENETRATIONS. THEY SHALL BE LOCATED TO THE REAR OF THE HOUSE AWAY FROM PROMINENT VIEW. ALL VENT STACKS AND PILES SHALL BE PRIMED AND PAINTED TO CLOSELY MATCH THE ROOF COLOR.
4. PROVIDE DUCTING FOR ALL EXHAUST FANS, THE VENT-HOOD AND THE DRYER VENT.

FOUNDATION NOTES:

1. THE STRUCTURAL DATA SHOWN ON THE PLANS IS FOR REFERENCE ONLY. THE OWNER AND OR BUILDER SHALL HAVE A LICENSED STRUCTURAL ENGINEER REVIEW CONDITIONS OF SITE AND ENGINEER ALL STRUCTURAL ELEMENTS SUCH AS FOOTINGS, FOUNDATION WALLS, SLABS AND PROPER CROSS BRACING.
2. THE OWNER AND OR BUILDER SHALL REVIEW THE FOUNDATION PLAN WITH A PROFESSIONAL ENGINEER TO MEET LOCAL CODES AND SOIL CONDITIONS.
3. THE GENERAL CONTRACTOR SHALL REVIEW PLANS, ELEVATIONS AND DETAILS FOR DIMENSION OF FINISH FLOOR ABOVE TYPICAL GRADE. THE GENERAL CONTRACTOR SHALL COMPARE TO THE DIMENSIONS AND SITE CONDITIONS THAT REQUIRE MODIFICATIONS TO DIMENSIONS INDICATED ON PLANS, SECTIONS, OR EXTERIOR ELEVATIONS.
4. ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF BLOCK WALL TO OUTSIDE FACE OF BLOCK WALL AND TO CENTER LINE OF BLOCK PIERS OR LOAD BEARING WALLS UNLESS NOTED OTHERWISE.
5. THE GENERAL CONTRACTOR SHALL INSTALL ALUMINUM SHEET METAL TERMITE SHIELDS BETWEEN ALL WOOD SURFACES THAT ARE EXPOSED TO CONCRETE OR MASONRY SURFACES.
6. THE GENERAL CONTRACTOR SHALL REVIEW ALL FINISH FLOOR MATERIALS. ALL FINISH FLOORS SHALL BE INSTALLED TO BE FLUSH WITH ADJACENT FLOORS OF SIMILAR OR DISMILAR MATERIALS. THE GENERAL CONTRACTOR SHALL ADJUST THE FOUNDATIONS AS REQUIRED TO ENSURE THAT ALL FLOORS ARE FLUSH.
7. PROVIDE DOUBLE FLOOR JOIST UNDER ALL WALLS WHICH ARE PARALLEL TO FLOOR JOIST SPAN DIRECTION.
8. THE GENERAL CONTRACTOR SHALL COORDINATE WITH A LICENSED BONDED INSTALLER TO PROVIDE TERMITE TREATMENT WHICH COMPLIES WITH ALL LOCAL SUBDIVISION CODES.
9. PROVIDE 1:0 BLOF IN SLAB AT ALL GARAGE DOOR ENTRIES.

1. FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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PLAN:
A235-B1
Brown

DIMENSIONS:
WIDTH: 63'-05"
DEPTH: 92'-10"

FOOTAGE:
1 First Floor 1,888.8
TOTAL LINING 1,888.8
Porches 1,925.7
TOTAL ROOFED 3,784.5

ROOMS:
FLOORS 1
BEDROOMS 3
BATHS 2
STORAGE 2
GARAGE/PORCH 0

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CONTACT:

A-3
Foundation

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3/1/2021

FRAMING NOTES:

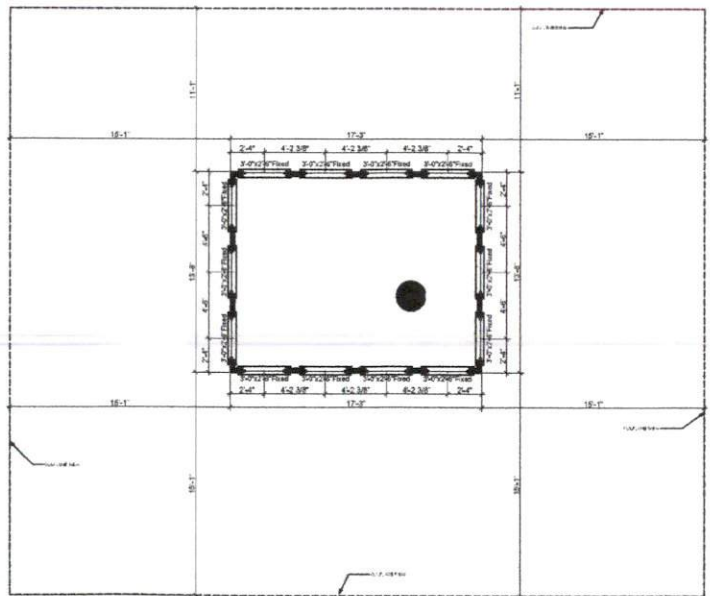
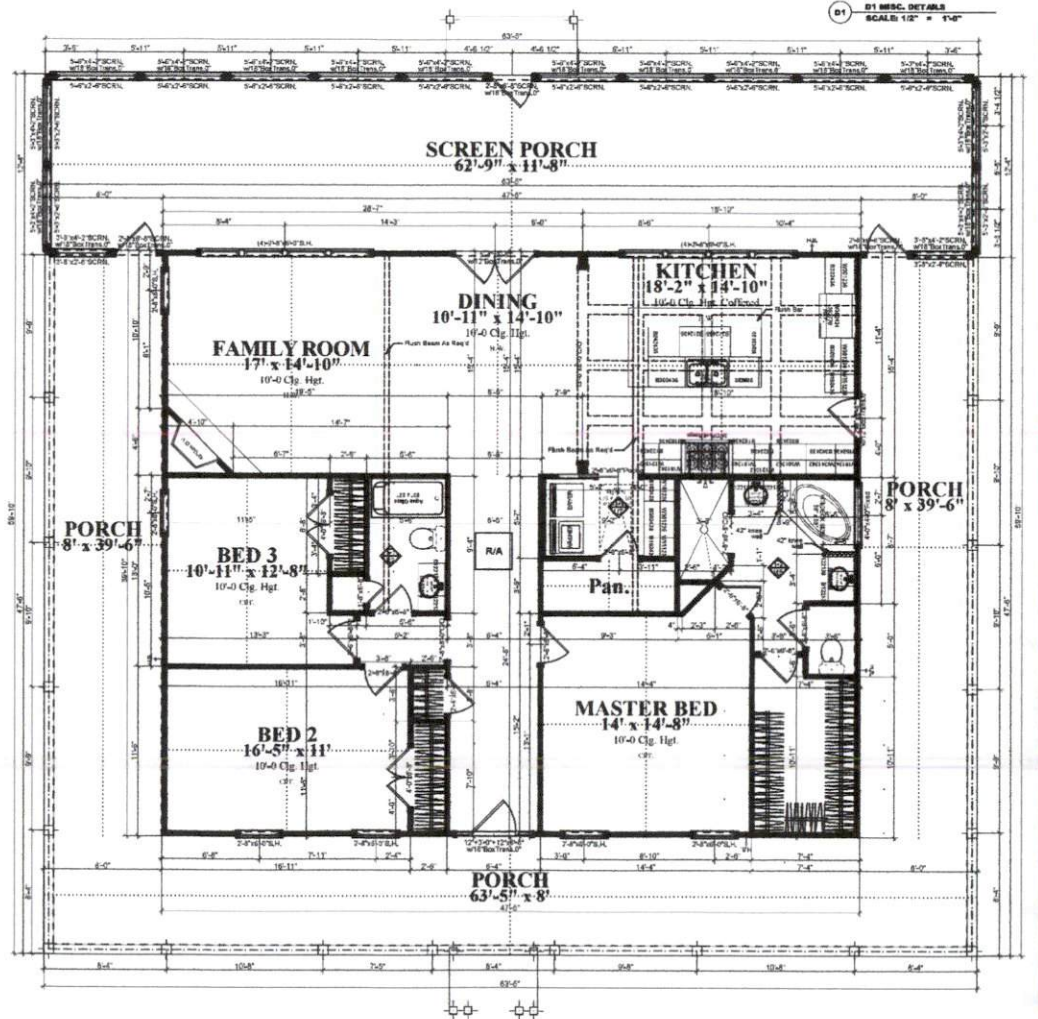
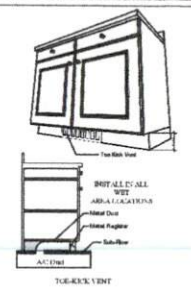
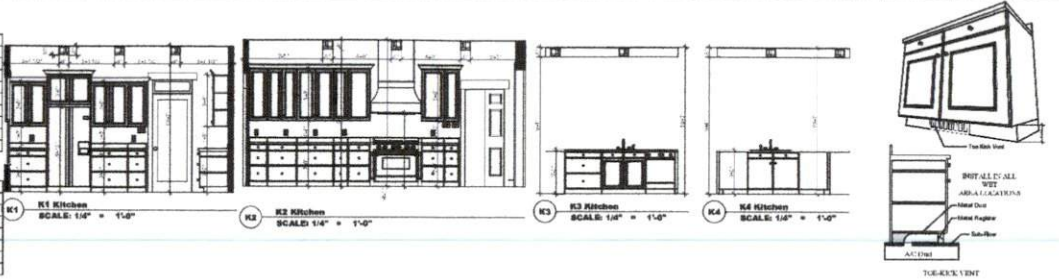
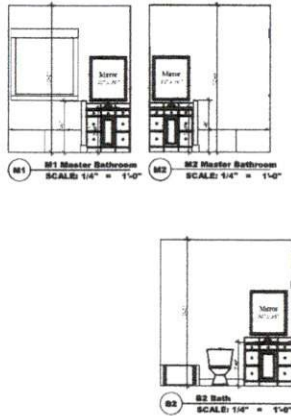
- ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF STUD WALL TO OUTSIDE FACE OF STUD WALL AND CENTER OF INTERIOR WALLS UNLESS OTHERWISE NOTED. WALLS NOT NOTED AND/OR DIMENSIONS ARE TYPICALLY 4" DEEP NOMINAL (2x4s and 2" for 2x6)
- ALL FRAMING MATERIAL SHALL BE #2 KD MINIMUM.
- ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS WHICH ARE PARALLEL TO FLOOR JOIST SPAN/DIRECTION.
- PROVIDE "X" BRACING OR SOILD BLOCKING AT A MAXIMUM OF 8'-0" O.C. AT ALL FLOOR JOIST.
- GLUE AND SCREW PLYWOOD DECKING TO FLOOR JOIST TO ENSURE A "NON-SQUARE" FLOOR SYSTEM.
- ALL STUD WALLS SHALL BE FRAMED @ 16" O.C.
- ALL ANGLED WALLS SHALL BE FRAMED AT A 45 ANGLE UNLESS OTHERWISE NOTED.
- BRACE ALL EXTERIOR CORNERS OF STUD WALLS WITH EXTERIOR GRADE PLYWOOD FROM PLATE TO PLATE.
- TYPICAL EXTERIOR 2x4 AND 2x6 STUD WALLS SHALL BE SHEATHED WITH 1/2" FOAM BOARD FOR BRICK APPLICATION ONLY AND EXTERIOR APPROVED PLYWOOD, OTHER.
- ALL WALLS OVER 12'6" HIGH SHALL BE 2x6 AT 16" O.C. AND RECEIVE 2 ROWS OF 2x6 BLOCKING AT 10' POINTS OF HEIGHT.
- PROVIDE BLOCKING AT ALL CABINET LOCATIONS.
- PROVIDE SOLID STUD UNDER ALL BEAM BEARING POINTS AND BE MIN. TRIPLE 2x6.
- ALL BEAMS AND JOIST INTERSECTIONS SHALL RECEIVE GALVANIZED BEAM HANDERS.
- PROVIDE DOUBLE 2x6 STRONBACK BRACING AT CENTER OF JOIST SPANS OVER 10'-0"
- PROVIDE 2x6 COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOIST.
- PROVIDE 2x4 RAFTER TIES AT ALL PLATES WHERE JOIST RUN PERPENDICULAR TO RAFTERS.
- HP VALLEY RAFTERS AND RIDGE BOARDS SHALL BE ONE SIZE LARGER THAN TYPICAL RAFTERS.

PLUMBING NOTES:

- THE PLUMBING SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
- PROVIDE GAS SERVICE TO ALL WATER HEATERS AND HVAC EQUIPMENT AS REQUIRED.
- IF WALL PLATE OR JOISTS ARE CUT DURING THE INSTALLATION OF PLUMBING FIXTURES OR EQUIPMENT PROVIDE BRACING TO THE TIE FRAMING BACK TOGETHER.
- PROVIDE METAL PAN AND AUXILIARY DRAIN TO OUTSIDE FOR POSSIBLE OVERFLOW FOR TANK WATER HEATERS.
- ALL GAS WATER HEATERS TO BE VENTED AT ROOFTOP.
- ALL PLUMBING VENT STACKS SHALL BE LOCATED CLOSE TOGETHER IN THE ATTIC. THEY SHALL BE LOCATED TO THE REAR OF THE HOUSE AWAY FROM PROMINENT VIEW. ALL VENT STACKS SHALL BE PRIMED AND PAINTED TO CLOSELY MATCH ROOF COLOR.
- PROVIDE HOSE BIBS AS PER FOUNDATION AND FIRST FLOOR PLAN LOCATIONS.
- PLUMBING CONTRACTORS SHALL BE RESPONSIBLE FOR INSULATING EXPOSED PIPES IN ATTIC.

Header Key	Location	Qty	Type	Product ID Name	Manufacturer	Model Number	Product Notes	Annotation Scale
K1	Kitchen	1	Shower Head	40111000	DELTA	40111000	Shower Head	1/4" = 1'-0"
K2	Kitchen	1	Shower Head	40111000	DELTA	40111000	Shower Head	1/4" = 1'-0"
K3	Kitchen	1	Shower Head	40111000	DELTA	40111000	Shower Head	1/4" = 1'-0"
K4	Kitchen	1	Shower Head	40111000	DELTA	40111000	Shower Head	1/4" = 1'-0"

Header Key	Location	Qty	Type	Product ID Name	Manufacturer	Model Number	Product Notes	Annotation Scale
M1	Master Bathroom	1	Shower Head	40111000	DELTA	40111000	Shower Head	1/4" = 1'-0"
M2	Master Bathroom	1	Shower Head	40111000	DELTA	40111000	Shower Head	1/4" = 1'-0"



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PLAN:
A235-B1
Brown

DIMENSIONS:
WIDTH: 83'-05"
DEPTH: 89'-10"

FOOTAGE:
1st Floor: 1,888.0
TOTAL LIVING: 1,888.0
TOTAL ROOFED: 3,744.0

ROOMS:
FLOORS: 1
BEDROOMS: 3
BATHS: 2
STORAGE: 2
GARAGE/PORCH: 0

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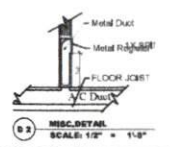
CONTACT:

1-4
Floor Plan(s)

Final Set
3/1/2021

ELECTRICAL LEGEND

- RECEPTACLE 110V DUPLEX
- RECEPTACLE 220V
- RECEPTACLE GROUND FAULT INTERRUPT D.U.P.
- RECEPTACLE WATERPROOF DUPLEX
- RECEPTACLE DUPLEX IN FLOOR
- SWITCH SINGLE POLE
- SWITCH THREE WAY
- SWITCH FOUR WAY
- SWITCH DIMMER
- SWITCH OVER
- SWITCH TIMER
- PHONE JACK FLOOR
- CABLE TV JACK
- CABLE TV JACK FLOOR
- SMOKE DETECTOR
- CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED FIXTURE
- RECESS MOUNTED CAN FIXTURE
- RECESS MOUNTED CAN FIXTURE W/ HEAT
- WATERPROOF RECESS MOUNTED CAN
- RECESS MOUNTED EYEBALL SPOT FIXTURE
- PORCELAIN FIXTURE
- WALL SCOOPE
- FLOOD LIGHTS
- EXHAUST FAN
- EXHAUST FAN W/ HEAT
- EXHAUST FAN W/ LIGHT
- EXHAUST FAN W/ LIGHT AND HEAT
- FLOUORESCENT STRIP LIGHT
- FLOUORESCENT STRIP LIGHT
- UNDER CABINET LIGHTING
- CEILING FAN
- CEILING FAN W/ LIGHT



ELECTRICAL NOTES:

- THE ELECTRICAL PLANS ILLUSTRATE BASIC DESIGN INTENT ONLY. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL CODES AND SAFETY REQUIREMENTS.
- THE GENERAL CONTRACTOR OR HOME OWNER AND ELECTRICAL SUBCONTRACTOR SHALL REVIEW THE PLANS AND WALK THROUGH THE JOB TO VERIFY THAT THE DESIGN INTENT IS MAINTAINED.
- GAS OR ELECTRICAL SERVICE SHALL BE PROVIDED AS REQUIRED FOR ALL APPLIANCES AND EQUIPMENT SUCH AS REFRIGERATORS, DISH WASHER, DISPOSAL, FREEZER, COOKTOP, WASHER DRYER, OVEN, HVAC EQUIPMENT, ALARM PANEL, ETC.
- ALL OUTLETS THAT ARE NEAR ANY WATER CONDITION SHALL BE G.F.I. TYPE.
- THE GENERAL CONTRACTOR SHALL VERIFY WITH THE OWNER ALL LOCATIONS OF PHONE, CABLE, COMPUTER OUTLETS, SWITCHES AND ELECTRONIC DEVICES SHOWN ON PLANS.
- ELECTRICAL CONTRACTOR SHALL VERIFY TRIM SIZE FOR ALL DOORS AND WINDOWS BEFORE SWITCHES ARE LOCATED.
- LOCATE SWITCHES CLOSE TO TRIM AND ALIGN WITH EACH OTHER IF THERE ARE MULTIPLE SWITCHES.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE DISCONNECT SWITCHES FOR DISHWASHERS, GARBAGE DISPOSAL, A/C AND TUBS THAT ARE EQUIPPED WITH PUMP MOTORS.
- THE PANEL BOX SHALL BE SIZED TO ACCOMMODATE ALL CALCULATED LOADS.
- THE ELECTRIC AND GAS METERS SHALL BE LOCATED AWAY FROM ANY PROMINENT VIEW IF POSSIBLE.
- ELECTRICAL CONTRACTOR SHALL PROVIDE LIGHT SWITCHES AND APPLICABLE SERVICE OUTLETS AT ALL ATTIC ENTRY POINTS.
- LOCATE SMOKE DETECTORS ABOVE ENTRY DOORS IF FEASIBLE.
- ALL SMOKE DETECTOR SHALL BE WIRED ON SAME CIRCUIT. (S-105 OR GREATER).

CONCRETE LIST (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	CONCRETE	4" THICK	SMOOTH		
2	1	EA	CONCRETE	4" THICK	SMOOTH		

MISC. LIST (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	MISC.				

WALL MOUNTED (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	WALL MOUNTED				

APPLIANCE ACCESSIBLE (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	APPLIANCE ACCESSIBLE				

FLOOR FINISH ACCESSIBLE (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	FLOOR FINISH ACCESSIBLE				

MISC. LIST (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	MISC.				

MISC. LIST (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	MISC.				

MISC. LIST (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	MISC.				

MISC. LIST (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	MISC.				

MISC. LIST (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	MISC.				

MISC. LIST (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	MISC.				

MISC. LIST (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

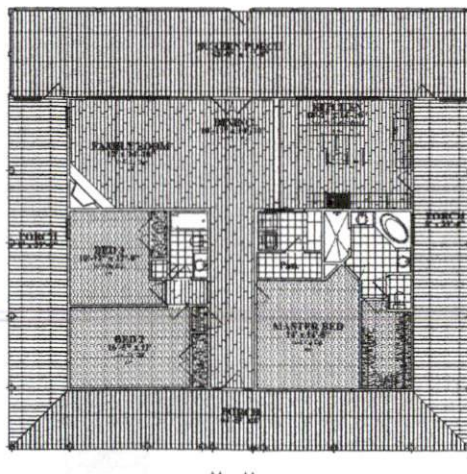
Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	MISC.				

MISC. LIST (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	MISC.				

MISC. LIST (To Be Provided) - Base Options (Shaded) - First Options (Stippled) - Everything Else

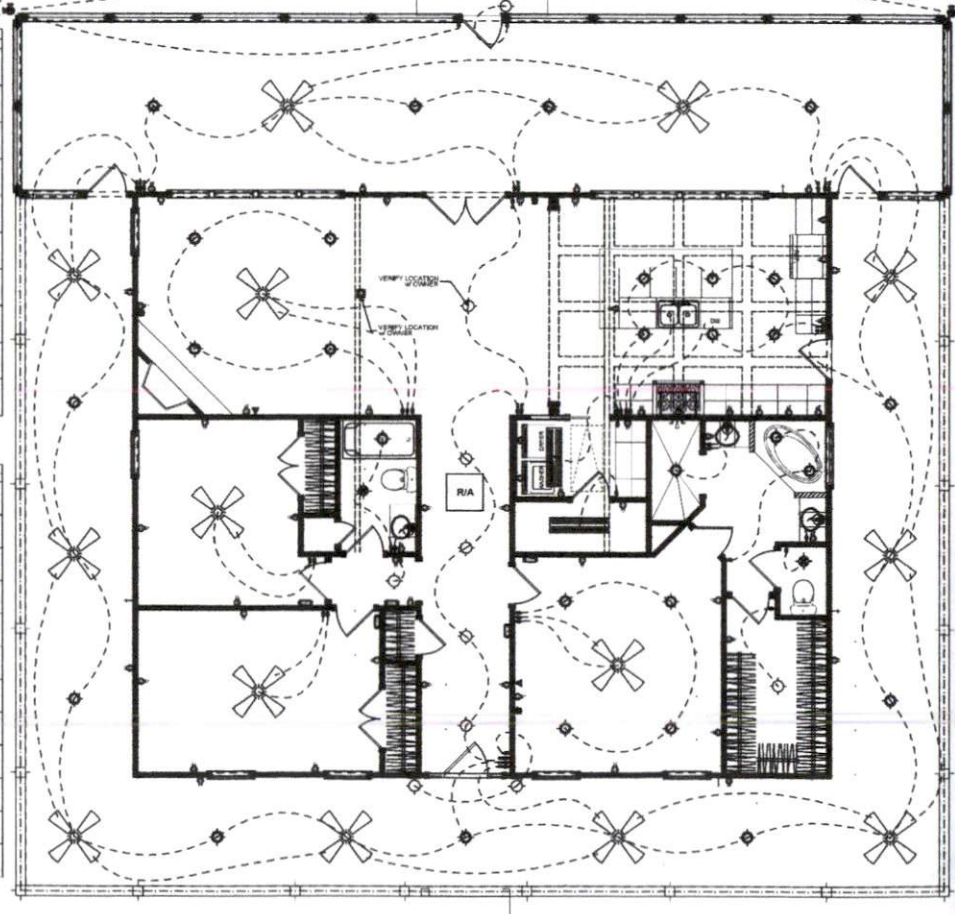
Item No.	Qty	Unit	Description	Material	Finish	Notes	Remarks
1	1	EA	MISC.				



1st FLOOR FINISH FLOORING LEGEND

- FL-DECK-03V
- FL-DECK-03D
- FL-TILE-12H
- FL-CPT-000
- FL-TILE-08D
- FL-HW-08H
- FL-HW-08D2
- FL-DECK-08H
- FL-DECK-08D2
- FL-TILE-12D
- FL-TILE-08H
- FL-HW-08V
- FL-HW-08D
- FL-CONC.

1st FLOOR ELECTRICAL
SCALE: 1/4" = 1'-0"



PLAN: A235-B1
Brown

DIMENSIONS:
WIDTH: 62'-05"
DEPTH: 59'-10"

FOOTAGE:
1st Floor: 1,885.8
Porches: 1,900.7
TOTAL LIVING: 3,786.5
TOTAL ROOFED: 3,786.5

ROOMS:
BEDROOMS: 3
BATHS: 2
STORAGE: 6
GARAGE/PORCH: 0

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Plymouth, AL 36864
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FAX: 205.836.1322
Email: hhd@hhdplans.com

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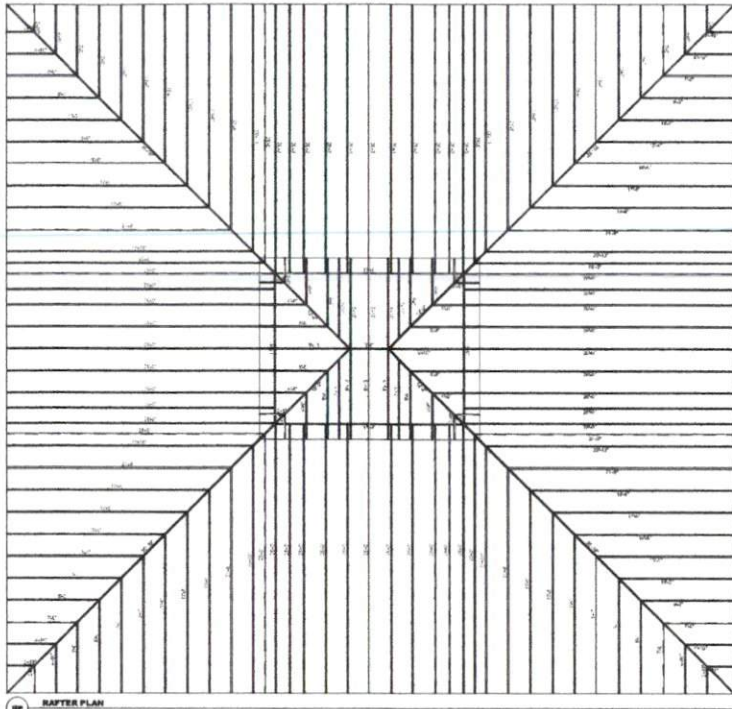
AI BD
ASSOCIATION OF INTERIOR DESIGNERS

CONTACT:

A-S
Electrical

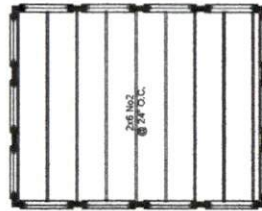
Final Set
3/1/2021

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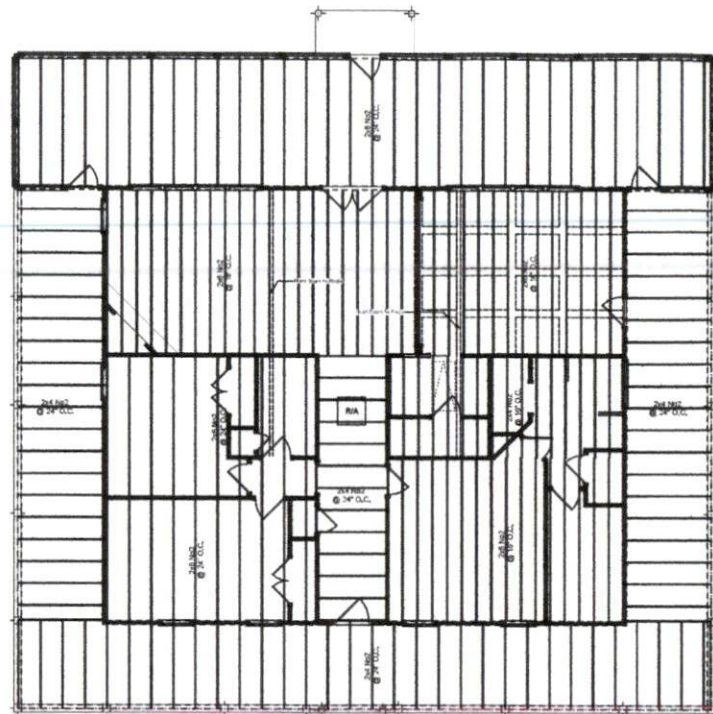


B0 RAFTER PLAN
SCALE: 3/16" = 1'-0"

RAFTER TAKEOFF (verify allowable spans)			
Quantity	Rafter Call Length	Rafter Pitch	Removal Status
16	2X6X10	4:12	Existing
8	2X6X12	4:12	Existing
8	2X6X14	4:12	Existing
8	2X6X16	4:12	Existing
8	2X6X18	4:12	Existing
8	2X6X20	4:12	Existing
8	2X6X22	4:12	Existing
8	2X6X24	4:12	Existing
48	2X6X6	4:12	Existing
16	2X6X4	4:12	Existing
36	2X6X8	4:12	Existing
8	2X6X12	4:12	Existing
2	2X6X18	4:12	Existing
4	2X6X24	4:12	Existing
1	2X6X4	4:12	Existing

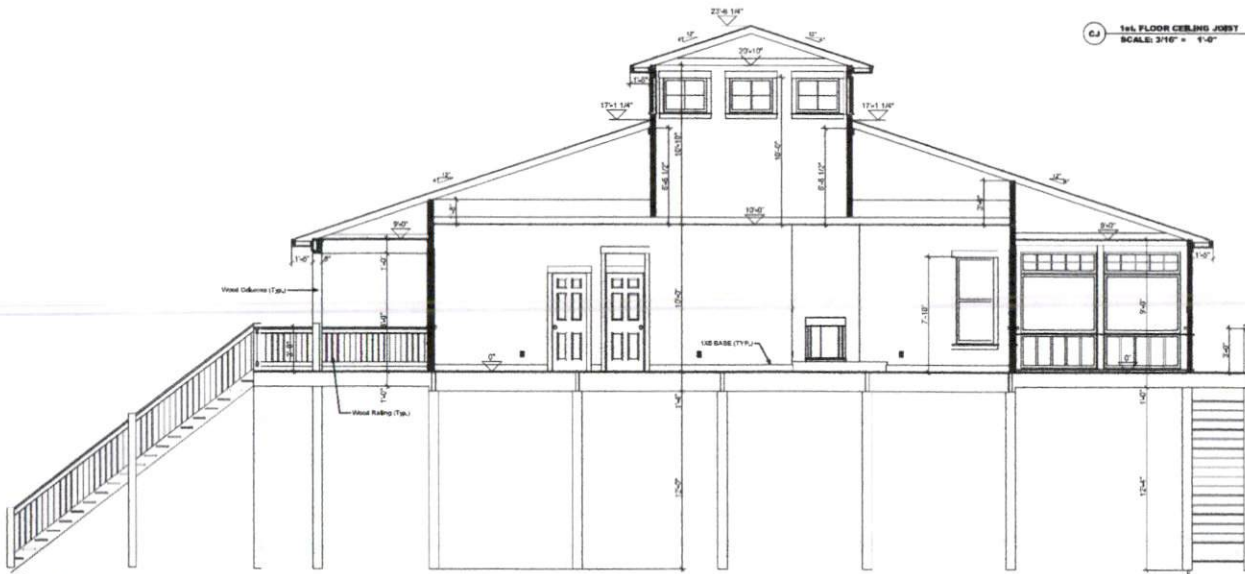


B1 2ND FLOOR CEILING JOIST
SCALE: 1/4" = 1'-0"



B2 1st FLOOR CEILING JOIST
SCALE: 3/16" = 1'-0"

CEILING FRAMING LIST (Verify by Structural Eng.)							
Item (Notes)	Product	Species	Count	Qty	Notes	Item Length	Remarks/Notes
1. 2x10	2x10	SP	16	16	10'-0"	10'-0"	P-1
2. 2x12	2x12	SP	8	8	12'-0"	12'-0"	P-2
3. 2x14	2x14	SP	4	4	14'-0"	14'-0"	P-3
4. 2x16	2x16	SP	2	2	16'-0"	16'-0"	P-4
5. 2x18	2x18	SP	1	1	18'-0"	18'-0"	P-5
6. 2x20	2x20	SP	1	1	20'-0"	20'-0"	P-6
7. 2x22	2x22	SP	1	1	22'-0"	22'-0"	P-7
8. 2x24	2x24	SP	1	1	24'-0"	24'-0"	P-8
9. 2x26	2x26	SP	1	1	26'-0"	26'-0"	P-9
10. 2x28	2x28	SP	1	1	28'-0"	28'-0"	P-10
11. 2x30	2x30	SP	1	1	30'-0"	30'-0"	P-11
12. 2x32	2x32	SP	1	1	32'-0"	32'-0"	P-12
13. 2x34	2x34	SP	1	1	34'-0"	34'-0"	P-13
14. 2x36	2x36	SP	1	1	36'-0"	36'-0"	P-14
15. 2x38	2x38	SP	1	1	38'-0"	38'-0"	P-15
16. 2x40	2x40	SP	1	1	40'-0"	40'-0"	P-16



B1 S1 Section
SCALE: 3/16" = 1'-0"

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PLAN:
A235-B1
Brown

DIMENSIONS:
WIDTH: 61'-05"
DEPTH: 69'-10"

FOOTAGE:
1st Floor: 1,988.6

TOTAL LIVING: 1,988.6

Porches: 1,905.7

TOTAL ROOFED: 3,794.5

ROOMS:
FLOORS: 1
BEDROOMS: 3
BATHS: 2
STORAGE: 0
GARAGE/PORCH: 0



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CONTACT:

A-6
FRAMING

Final Set
3/1/2011

Monday, March 01, 2011

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NO.	DATE
0	07/20/2022
	FOR SUBMITTAL DESCRIPTIONS

FOUNDATION PLAN

SITE ADDRESS:
80 BAY ST.,
FUQUAY-VARINA, NC 27526

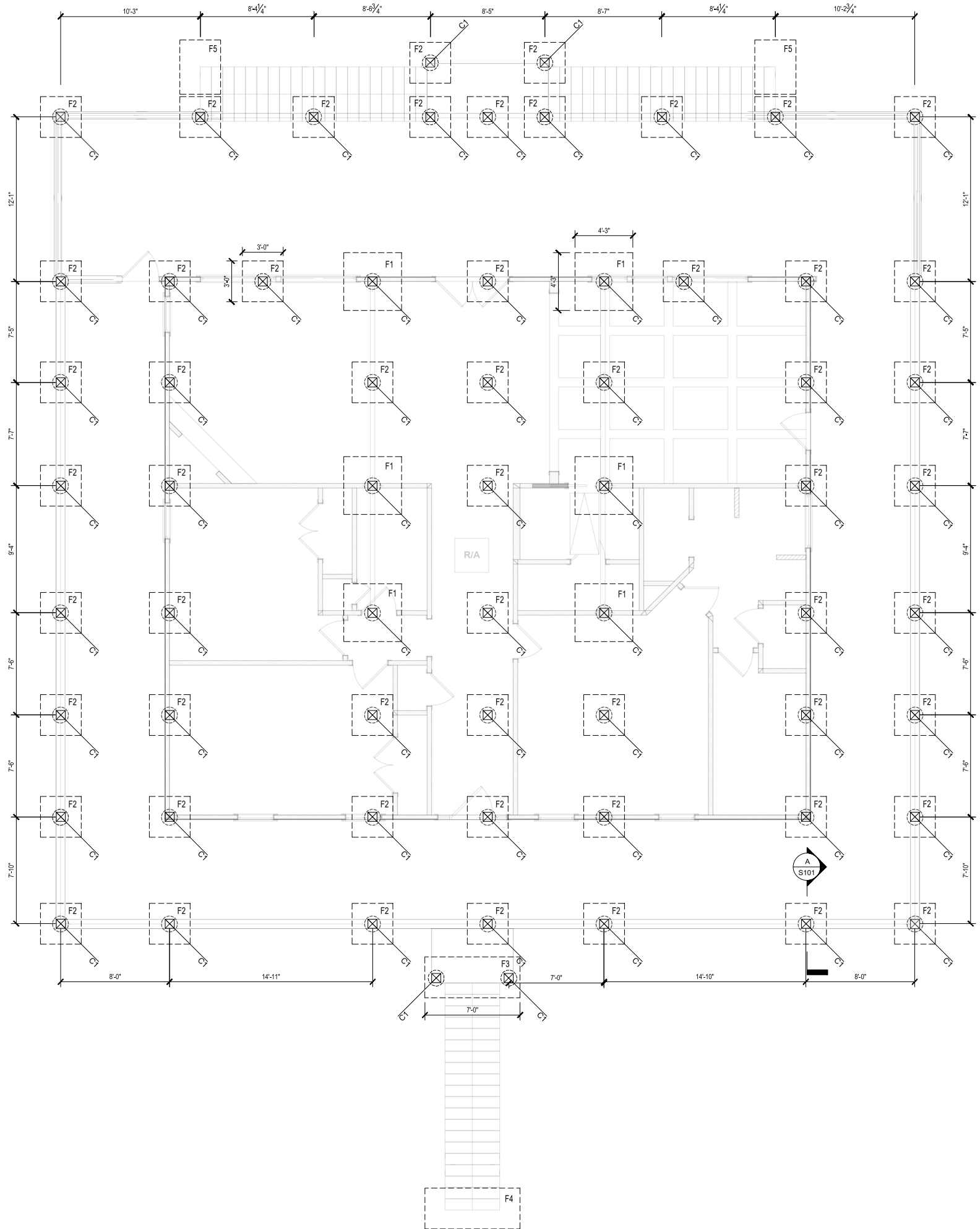


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DRAWN BY:	DG
CHECKED BY:	MKC
DATE:	07/20/2022
SCALE:	AS SHOWN
S101	22-3009



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

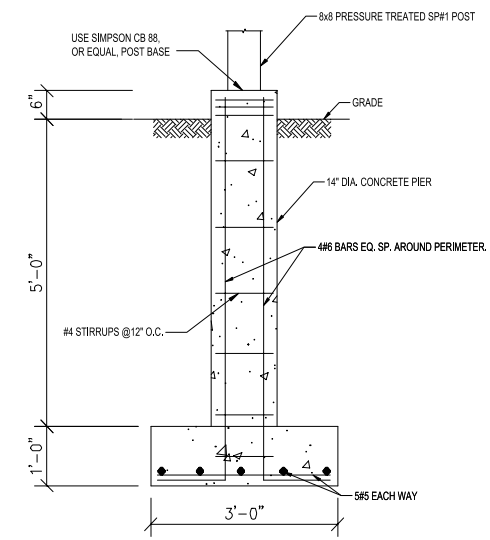
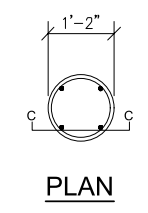
- NOTES:**
- USE SIMPSON CB88, OR EQUAL, POST BASE FOR ALL POSTS.
 - THE BOTTOM OF ALL FOOTINGS ARE 6'-0" BELOW GRADE.

SCHEDULE OF POSTS

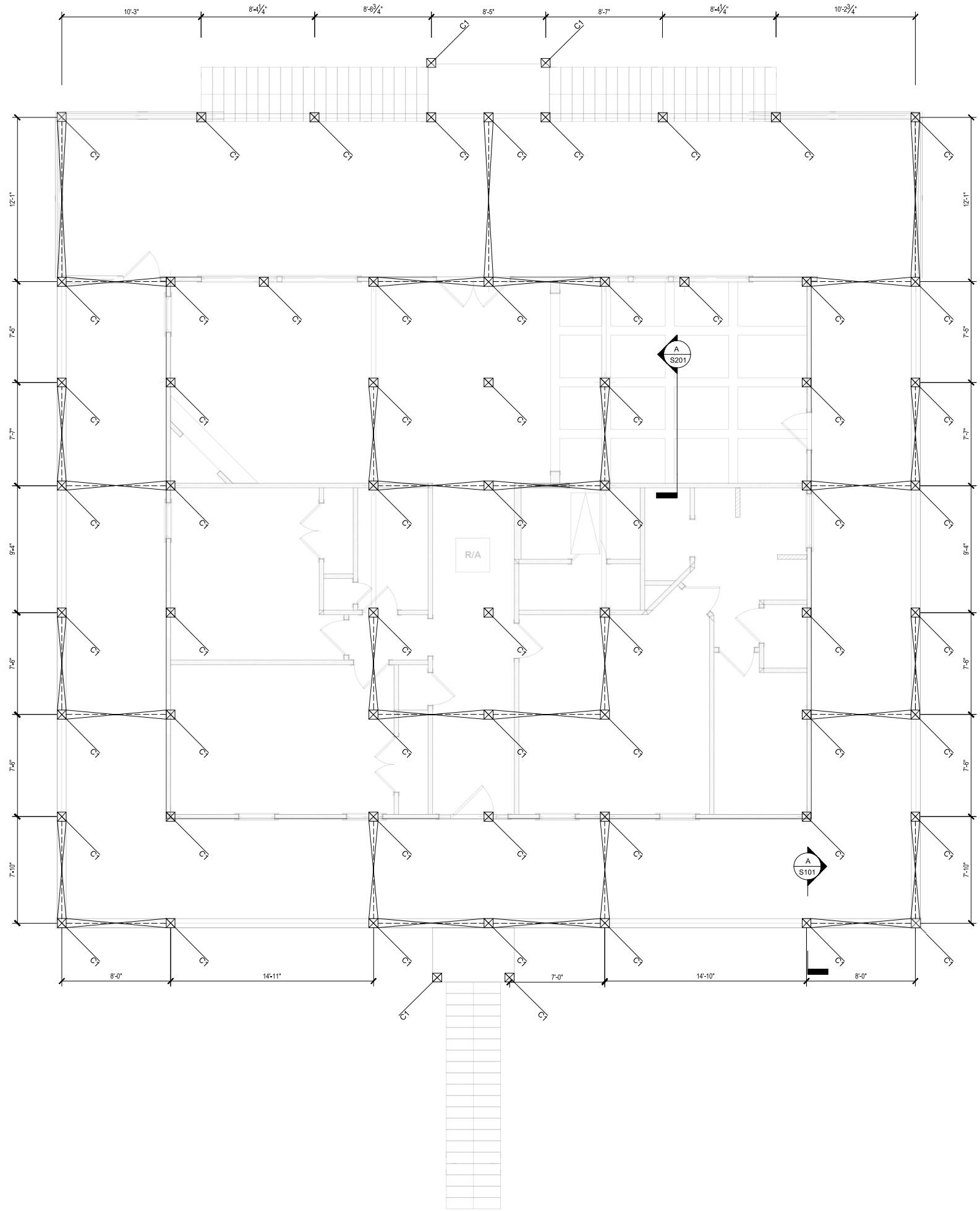
MARK	SIZE	REMARK
C1	8 x 8	PRESSURE TREATED, SP#1 OR BETTER

FOOTING SCHEDULE

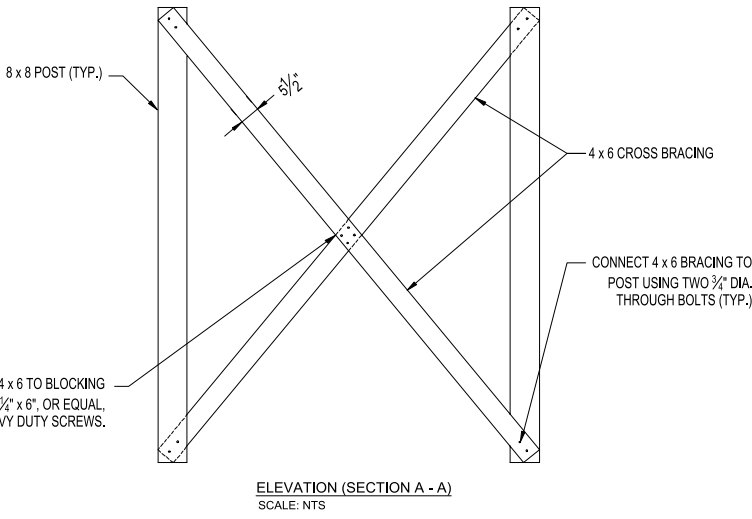
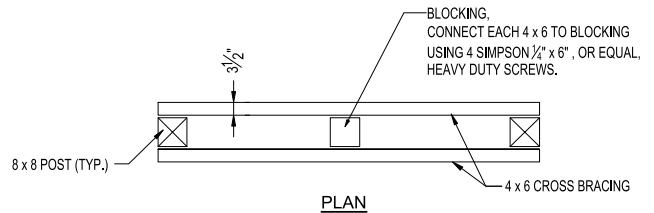
TYPE	DIMENSION	DEPTH	REINF. (BOT) EW
F1	4'-0" X 4'-0"	1'-0"	7 #5 EACH WAY
F2	3'-0" X 3'-0"	1'-0"	5 #5 EACH WAY
F3	3'-0" X 7'-0"	1'-0"	4 #5 SHORT WAY, 10 #5 LONG WAY
F4	3'-0" X 7'-0"	0'-4"	CONCRETE SLAB ON GROUND W/ ONE LAYER 66 - W2.0 x W2.0 WWF
F5	3'-0" X 4'-0"	0'-4"	CONCRETE SLAB ON GROUND W/ ONE LAYER 66 - W2.0 x W2.0 WWF



SECTION A - A
SCALE: NTS



1 BRACING OF POSTS UNDERNEATH FIRST FLOOR
SCALE: 1/4" = 1'-0"



CROSS BRACING DETAILS

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BRACING PLAN

SITE ADDRESS:
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PROFESSIONAL SEAL

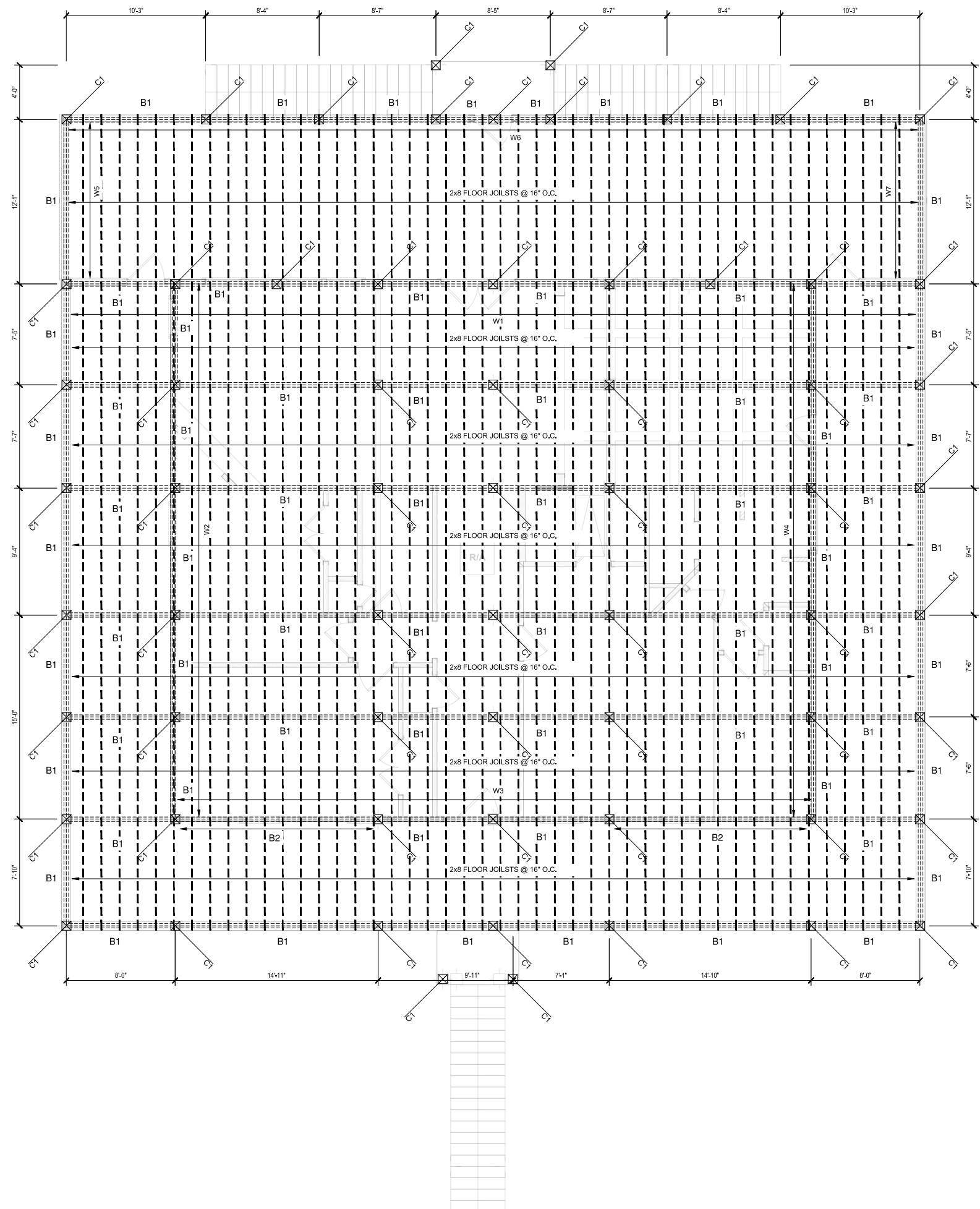
Hussein Dormohammadi
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S201	22-3009



1 FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

NOTES:

- CONNECT 2x8 JOISTS TO BEAMS USING SIMPSON IUS28, OR EQUAL, HANGERS.
- ALL POSTS BELOW SHALL BE PRESSURE TREATED SP#1.
- USE SIMPSON POST CAPS, OR APPROVED EQUAL, FOR DIFFERENT CONFIGURATION AS FOLLOWS:

CCQ 48 SDS 2.5	B1 ===== C1 ===== B1
CCQ 7.1-8 SDS 2.5 (USE SHM AS NEEDED)	B1 ===== C1 ===== B2
CCTQ -8 SDS 2.5 (NEED TO ORDER)	B1 ===== C1
CCTQ -SDS 2.5 (NEED TO ORDER)	B1 ===== B2 ===== C1
ECC LRQ -SDS 2.5 (NEED TO ORDER)	B1 ===== C1
CCQ -SDS 2.5 (NEED TO ORDER)	===== B1

- ON ALL WALLS W1 TO W7, USE SIMPSON MSTA18, OR EQUAL, STRAP TIE TO TIE THE BOTTOM OF EACH STUD TO BEAM BELOW.

SCHEDULE OF BEAMS AND POST

MARK	SIZE	REMARK
B1	(2) 1 1/2" x 11 1/2"	FLUSH BEAM (SEE WOOD NOTES FOR ATTACHMENT)
B2	(4) 1 1/2" x 11 1/2"	FLUSH BEAM (SEE WOOD NOTES FOR ATTACHMENT)
C1	8 x 8	PRESSURE TREATED SP#1 OR BETTER POST BELOW.

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1ST FLOOR FRAMING PLAN

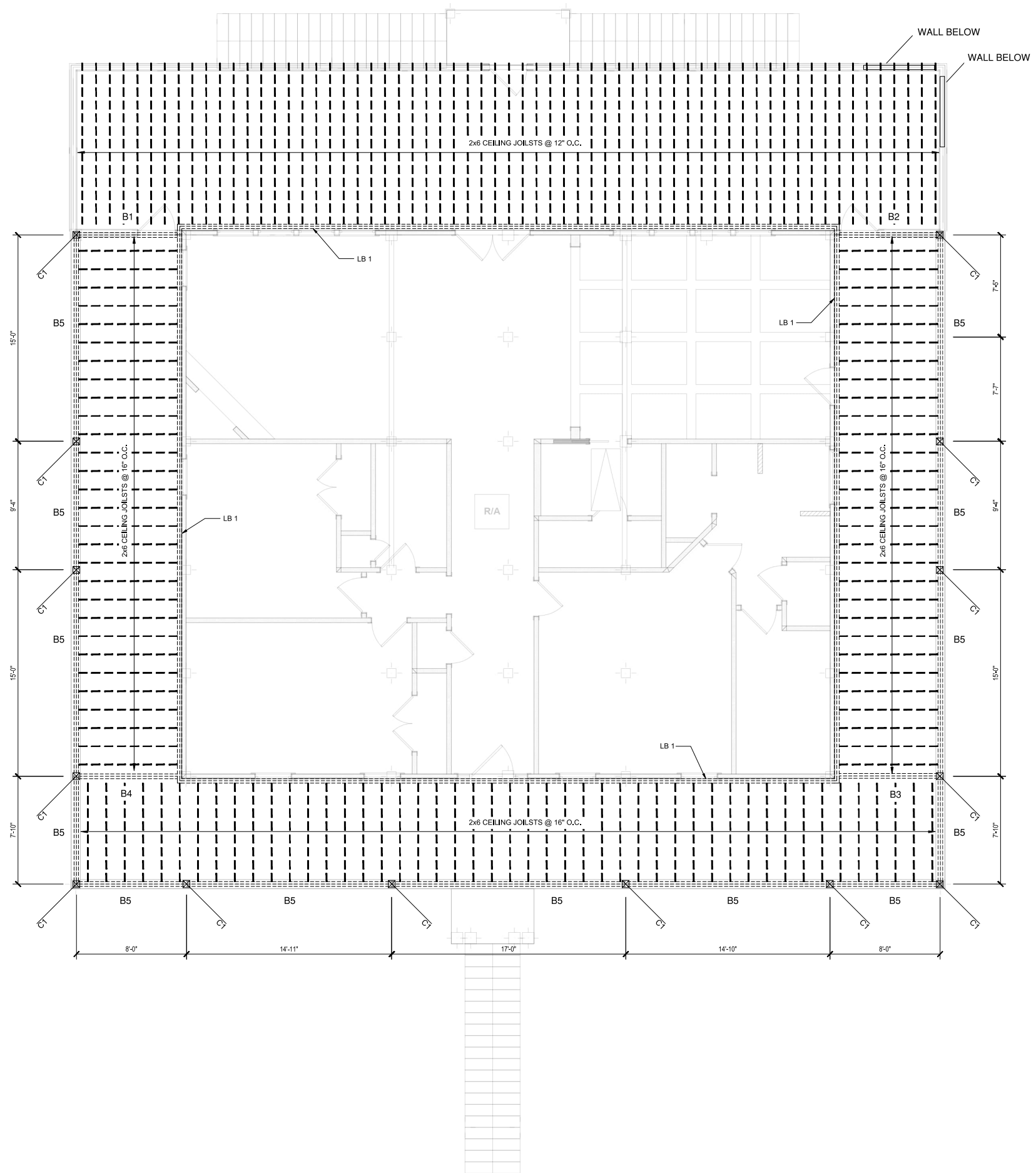
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SCALE:	AS SHOWN
S301	22-3009



1 CEILING FRAMING PLAN (PORCHES' AREA)
SCALE: 1/4" = 1'-0"

- NOTES:**
- CONNECT LB1 TO 4x4 POSTS IN THE WALL USING TWO 3" THROUGH BOLTS WITH WASHERS AND NUTS, AND CONNECT LB1 TO WALL STUDS USING TWO ROWS OF SIMPSON 1/2" x 4 1/2" SDS, OR EQUAL, SCREWS. SEE " CEILING FRAMING PLAN (HOME AREA) FOR LOCATIONS OF 4x4 POSTS.
 - USE SIMPSON LUS 26, OR EQUAL, HANGER TO CONNECT 2x6 JOISTS TO BEAMS.
 - USE SIMPSON LCE4Z, OR EQUAL, COLUMN CAPS FOR THE CORNERS, AND USE SIMPSON CQ46 SDS 2.5, OR EQUAL, COLUMN CAPS FOR OTHER LOCATIONS.
 - USE SIMPSON HUS210-2, OR EQUAL, HANGERS TO CONNECT B1, B2, B3, B4 TO BEAMS ON EACH END.

SCHEDULE OF BEAMS AND POST		
MARK	SIZE	REMARK
B1, B2, B3, B4	(2) 2x 12	FLUSH BEAM (SEE WOOD NOTES FOR ATTACHMENT)
B5	(2) 1 1/2" x 11 1/2"	LVL FLUSH BEAM (SEE WOOD NOTES FOR ATTACHMENT)
C1	6 x 6	POST BELOW
LB1	1 1/2" x 11 1/2"	LVL

REVISIONS	
NO.	DATE
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	DESCRIPTIONS

**CEILING FRAMING PLAN
(PORCHES' AREAS)**

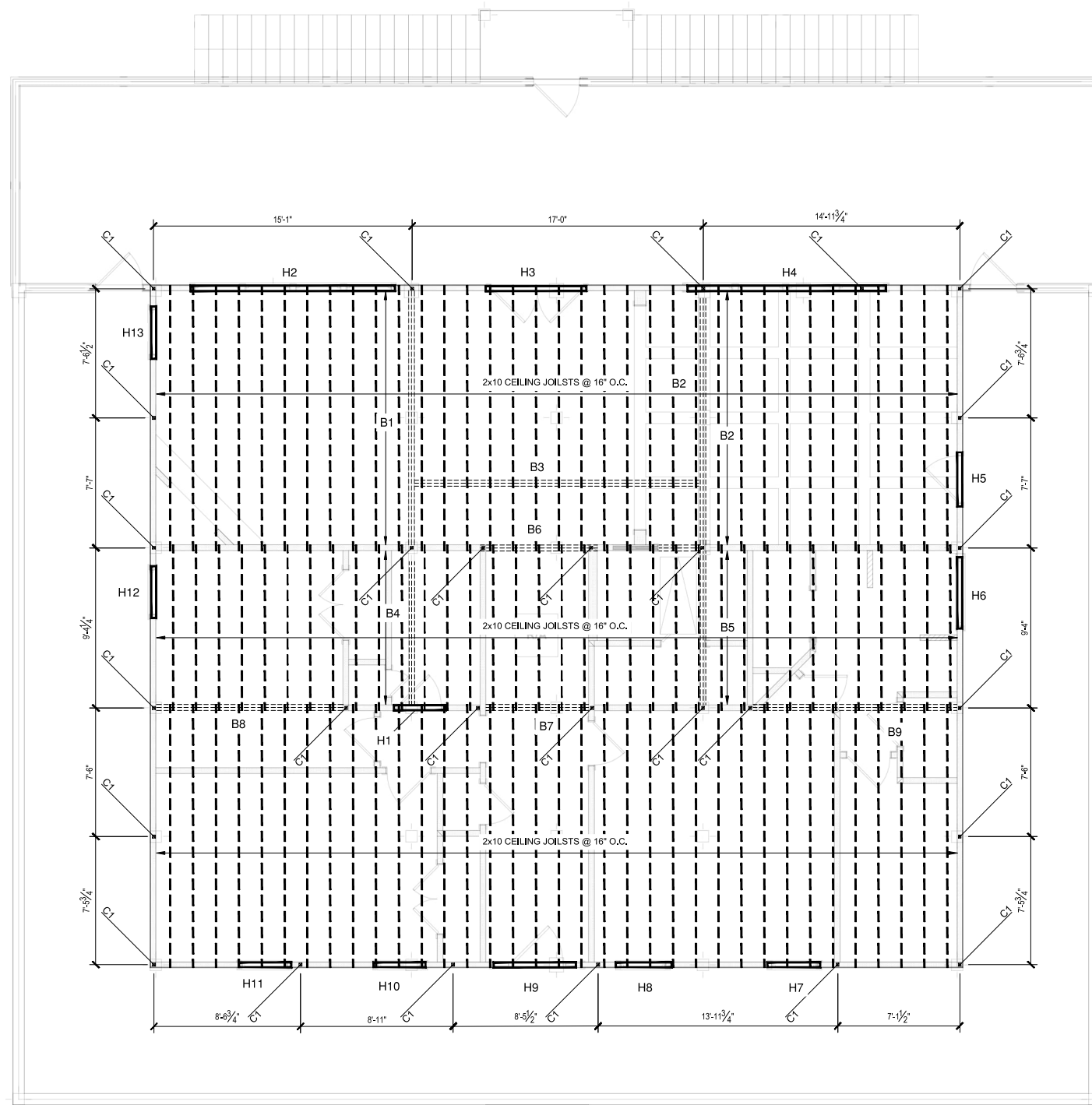
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SCALE:	AS SHOWN
S401	22-3009



1 CEILING FRAMING PLAN (HOUSE AREA)
SCALE: 1/4" = 1'-0"

- GENERAL ROOF FRAMING PLAN NOTES:**
- CONNECT JOISTS TO BEAMS/HEADER USING SIMSON LUS210, OR EQUAL, HANGER.
 - CONNECT B3 TO B1 AND B2 USING SIMPSON HHGU5.5-SDS, OR APPROVED EQUAL, HIGH CAPACITY GIRDER HANGER.
 - USE SIMPSON CCQ64SD2.5, OR APPROVED EQUAL, COLUMN CAPS AT THE LOCATIONS B1 & B4 AND B2 & B5 SIT ON 4x4 POST. FOR THE OTHER LOCATIONS WHERE B1, B2, B4, B5 SIT ON A 4x4 POST, USE ECCQ64SD2.5, OR APPROVED EQUAL, COLUMN CAPS.
 - TO SATISFY LATERAL STABILITY OF HEADERS, USE SIMPSON H2.5A, OR EQUAL HURRICANE TIE TO CONNECT JOISTS TO HEADERS.
 - FOR H2 AND H4: USE (3) 2x4 JACK STUDS AND (6) 2x4 KING STUDS. FOR OTHER HEADERS, USE (2) 2x4 JACK STUDS AND (3) 2x4 KING STUDS.

SCHEDULE OF HEADER BELOW

MARK	SIZE	REMARKS
H1, H3, H5, H14	(2) 1 1/2" x 9 1/2"	LVL (SEE WOOD NOTES FOR ATTACHMENT)
H2, H4	(2) 1 1/2" x 16"	LVL (SEE WOOD NOTES FOR ATTACHMENT)

SCHEDULE OF BEAMS AND POST

MARK	SIZE	REMARK
B1, B2, B3, B4, B5	(3) 1 1/2" x 16"	LVL, FLUSH BEAM (SEE WOOD NOTES FOR ATTACHMENT)
B6, B7, B8, B9	(2) 1 1/2" x 9 1/2"	LVL, FLUSH BEAM (SEE WOOD NOTES FOR ATTACHMENT)
C1	4 x 4	(TYP.) POST BELOW

NO.	DATE	FOR SUBMITTAL DESCRIPTIONS
0	07/20/2022	

REVISIONS

CEILING FRAMING PLAN (HOME AREA)

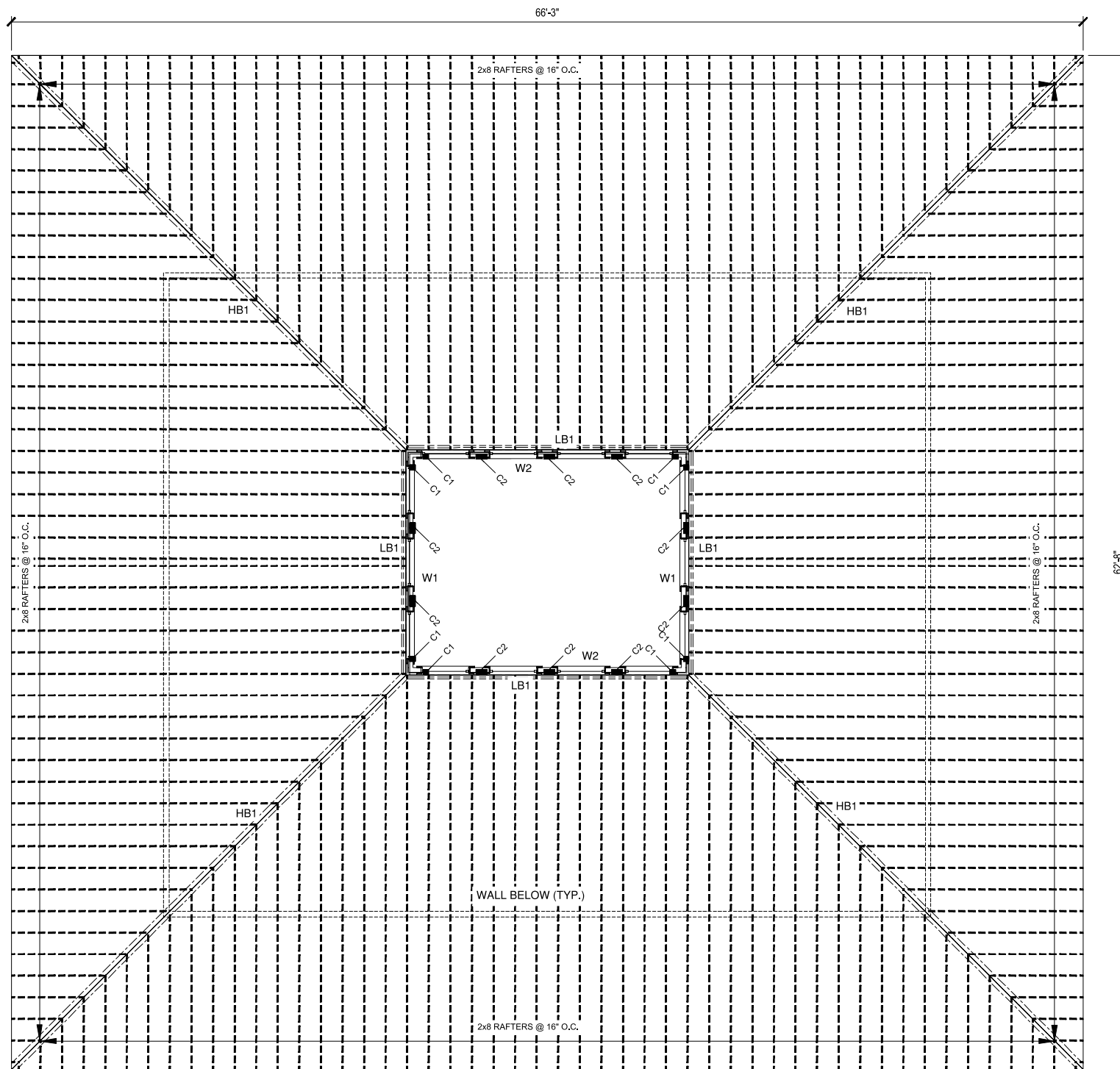
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SCALE:	AS SHOWN
S501	22-3009



1 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

GENERAL ROOF FRAMING PLAN NOTES:

- AS SHOWN IN "ATTIC FLOOR FRAMING PLAN (TOP LEVEL ROOF)", INSTALL (6) 4x4 ALONG EACH WALL 1 AND (8) 4x4 ALONG EACH WALL. CONNECT LB1 TO EACH 4x4 USING TWO 3/4" DIA. THROUGH BOLTS WITH WASHERS AND NUTS.
- USE SIMPSON LRU2BZ, OR EQUAL, HANGERS TO CONNECT RAFTERS TO LB1. USE (6) SD# 10x2 1/2 CONNECTORS ON FACE AND (5) SD# 10x2 1/2 ON JOIST.
- THE 2x8 RAFTERS ARE SITTING ON "WALL BELOW", I.E. TRANSFERRING LOADS.
- USE SIMPSON H2.5A, OR EQUAL, HURRICANE TIE ON "EACH" RAFTER TO CONNECT RAFTERS TO ALL WALLS "AND" BEAMS BELOW.
- AT THE BOTTOM OF ALL W1 & W2 WALLS, USE SIMPSON PSQ218, OR EQUAL, STRAP TIES TO TIE ALL 4x4 POSTS TO BEAMS BELOW WALLS, ALSO, USE SIMPSON MSTA18 OR EQUAL, STRAPS TO TIE ALL POSTS AND STUDS TO WALL BELOW.

SCHEDULE OF BEAMS		
MARK	SIZE	REMARK
LB1	(2) 1 1/2 x 14"	LVL (SEE WOOD NOTES FOR ATTACHMENT)
HB1	(4) 2 x 12	SEE WOOD NOTES FOR ATTACHMENT.

REVISIONS	
NO.	DATE DESCRIPTIONS
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**ROOF FRAMING PLAN
(LOWER LEVEL ROOF)**

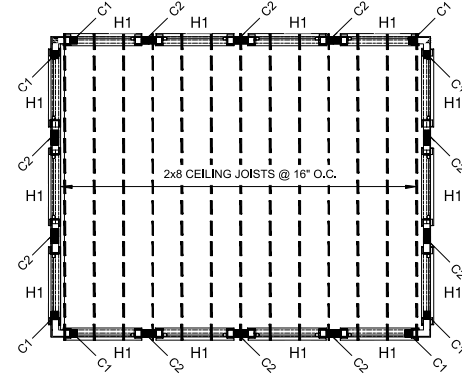
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SCALE:	AS SHOWN

S601 22-3009



1 ATTIC FLOOR FRAMING PLAN (TOP LEVEL ROOF)
 SCALE : 1/4" = 1'-0"

- NOTES:**
- SEE NOTE 1 OF "ROOF FRAMING PLAN (LOWER LEVEL ROOF)" FOR CONNECTION OF C1 & C2 POSTS TO L1.
 - AS SHOWN IN "ATTIC FLOOR FRAMING PLAN (TOP LEVEL ROOF)", INSTALL (6) 4X4 ALONG EACH WALL 1 AND (8) 4X4 ALONG EACH WALL 2. CONNECT L1 TO EACH 4X4 USING TWO "C" DR. THROUGH BOLTS WITH WASHERS AND NUTS.

SCHEDULE OF POSTS AND HEADER		
MARK	SIZE	REMARK
C1	4 x 4	POST BELOW
C2	(2) 4 x 4	POST BELOW
H1	(2) 2 x 10	HEADER BELOW (SEE WOOD NOTES FOR ATTACHMENT)

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**ATTIC FLOOR FRAMING PLAN
 (TOP LEVEL ROOF)**

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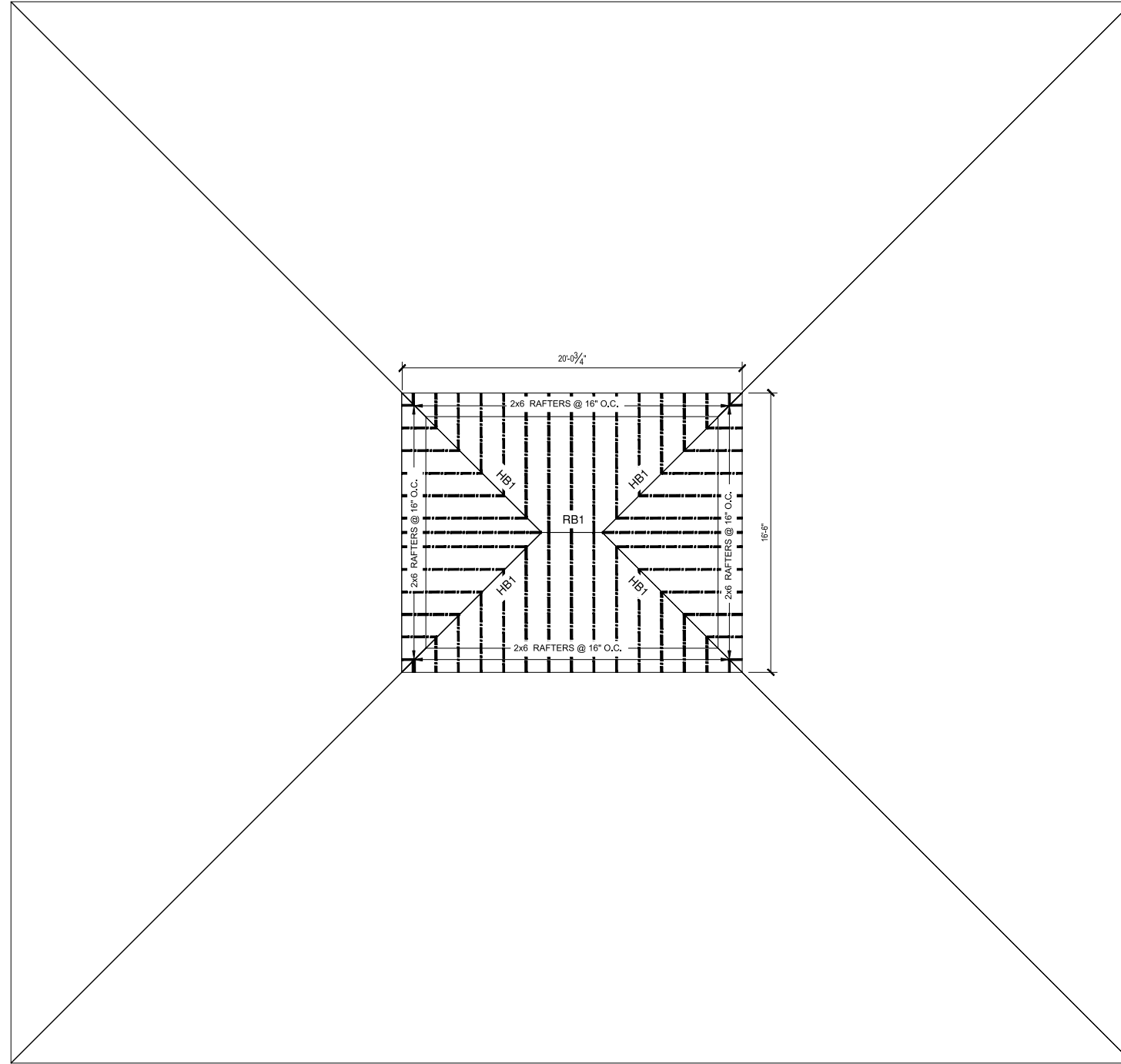
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REVISIONS



1 ROOF FRAMING PLAN (TOP LEVEL)
SCALE: 1/4" = 1'-0"

NOTES:

- USE SIMPSON H2.5A, OR EQUAL, HURRICANE TIE ON "EACH" RAFTER TO FASTEN RAFTERS TO THE TOP OF WALLS BELOW.

SCHEDULE OF BEAMS		
MARK	SIZE	REMARK
RB1	2X8	RIDGE
HB1	(2) 2X8	HIP (SEE WOOD NOTES FOR ATTACHMENT)

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ROOF FRAMING PLAN
(TOP LEVEL)

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WALL BRACING PER IRC 2015 PRESCRIPTIVE METHOD

LOCAL WIND / SEISMIC DESIGN CATEGORY: B

BRACED WALL PANEL LEGEND:

WSP (XX)
LENGTH OF WALL PANEL IN INCHES
AT EXTERIOR FACE OF WALL:
WOOD STRUCTURAL PANEL 7/16" OSB WALL SHEATHING w/ 8d COMMON NAILS (2 1/2"x0.131") AT 4" OC AT EDGES & 12" OC AT INTERMEDIATE SUPPORTS
AN ALTERNATIVE:
16 GAUGE x 1 3/4" STAPLES AT 3" OC AT EDGES & 6" OC AT INTERMEDIATE SUPPORTS
AT INTERIOR FACE OF WALL:
1/2" GYPSUM BOARD/SHEATHING WITH 5d COOLER NAILS AT 4" OC AT EDGES AND INTERMEDIATE SUPPORTS.

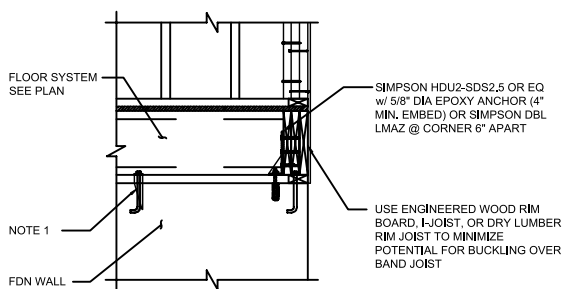
GB (XX)
LENGTH OF WALL PANEL IN INCHES
1/2" GYPSUM SHEATHING W/ 13 GAUGE, 1 3/8" LONG, 19/64" HEAD NAIL OR 0.098" DIA, 1 1/4" LONG, ANNULAR-RINGED NAIL OR 5d COOLER NAIL, 0.086" DIA, 1 5/8" LONG, 15/64" HEAD, OR GYPSUM BOARD NAIL, W/ 0.086" DIA, 1 5/8" LONG, 3/32" HEAD @ 4" OC AT EDGES AND INTERMEDIATE SUPPORTS, OR 1 1/4" SCREWS TYPE W OR S, 12" OC W/ 4" AT EDGES AND INTERMEDIATE SUPPORTS W/ MIN 5/8" PENETRATION TO WOOD FRAMING.

NOTE:
WSP = WOOD STRUCTURAL PANEL | CS = CONTINUOUSLY SHEATHED
PF = PORTAL FRAME | GB = GYPSUM BOARD

FOR CONTINUOUS SHEATHING BRACED WALL METHOD, PROVIDE:

- AT EXTERIOR FACE OF WALL:
7/16" OSB WITH 8d NAILS AT 4" OC ON EDGES AND 12" OC ON FIELD.
- AT INTERIOR FACE OF WALL:
1/2" GYPSUM BOARD/SHEATHING WITH 5d COOLER NAILS AT 4" OC AT EDGES AND INTERMEDIATE SUPPORTS.

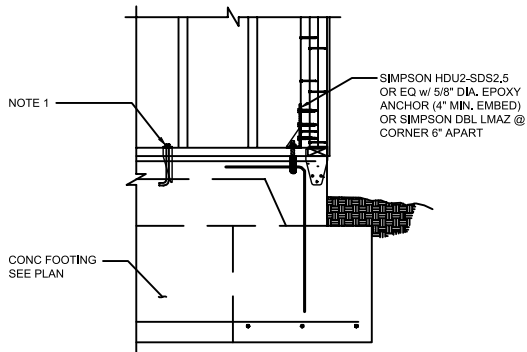
SHEATHING SHALL BE EXTENDED CONTINUOUS 12" ABOVE AND BELOW THE FLOOR SYSTEM.



FOUNDATION WALL CONDITION

NOTE 1:
1/2" DIA ANCHOR BOLTS (7" MIN EMBED) w/ 2"x2"x3/16" WASHER PLATES @ 4'-0" OC MAX AT 12" MAX FROM EA END OF WALL.

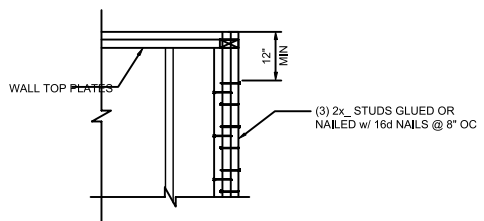
AN ALTERNATIVE: USE SIMPSON STRAPS LMA4/LMA6 @ 3'-0" OC, TYP.



SLAB ON GRADE CONDITION

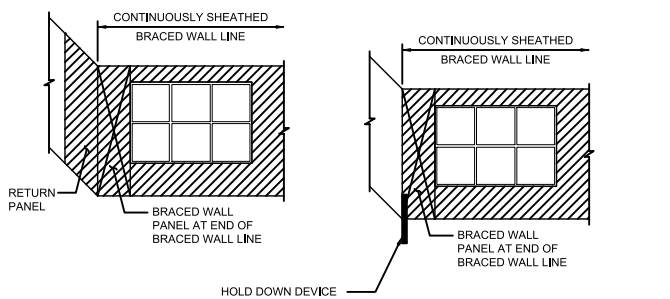
1 HOLD-DOWN DETAIL

SCALE : NTS AT CONCRETE FOUNDATION



2 HOLD-DOWN DETAIL

SCALE : NTS AT RAISED WOOD FLOOR



END CONDITION - 1

END CONDITION - 2

END CONDITION - 3

END CONDITION - 4

END CONDITION - 3

END CONDITION - 4

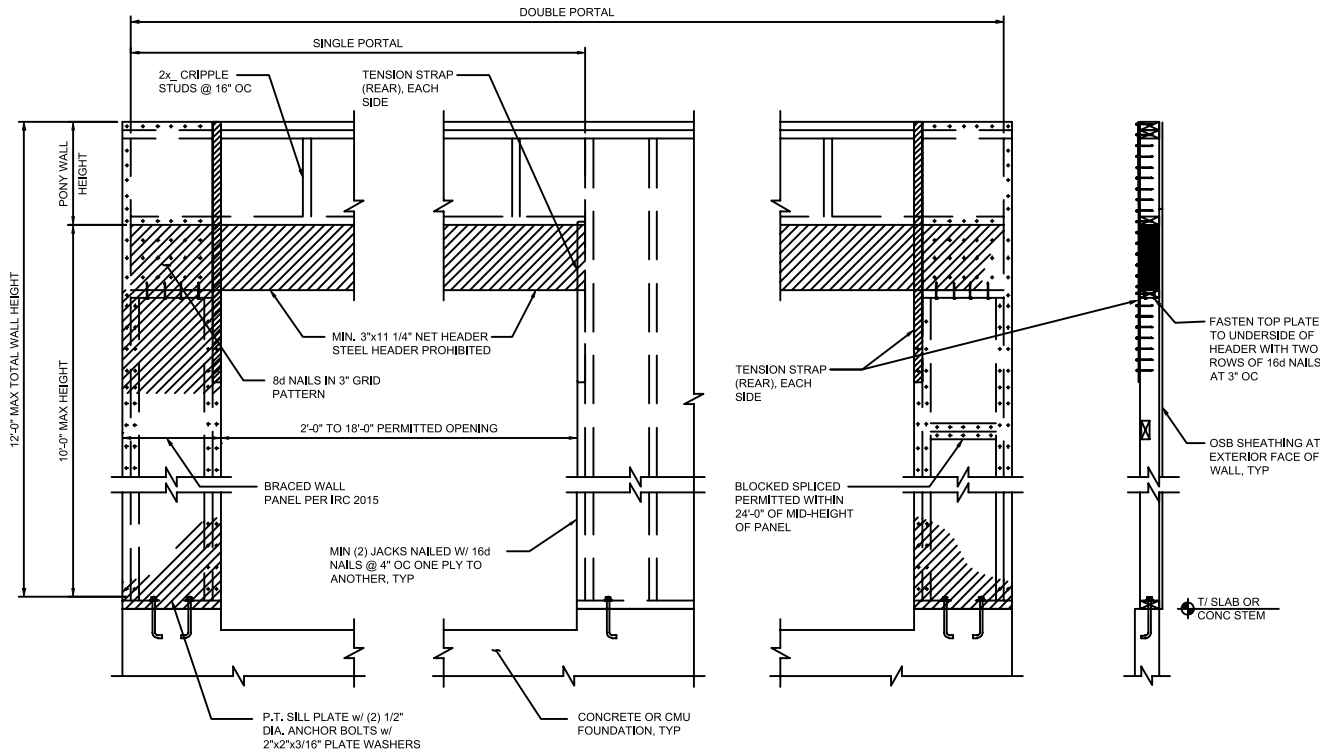
END CONDITION - 3

END CONDITION - 4

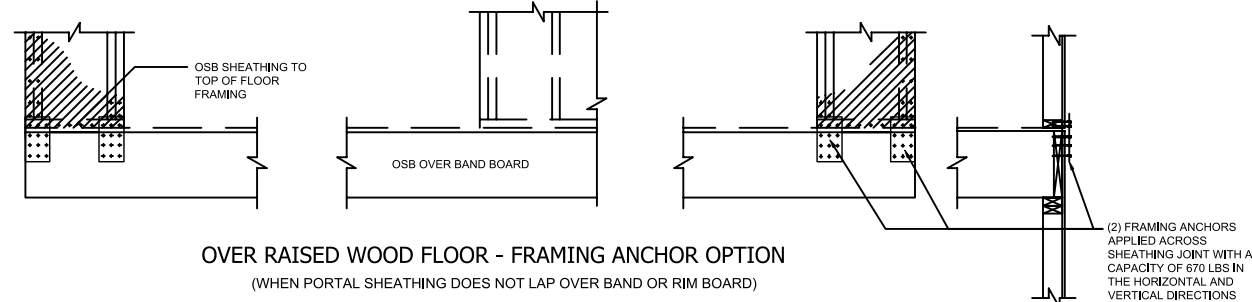
END CONDITION - 5

3 END CONDITIONS FOR BRACED WALL LINES WITH CONTINUOUS SHEATHING METHOD

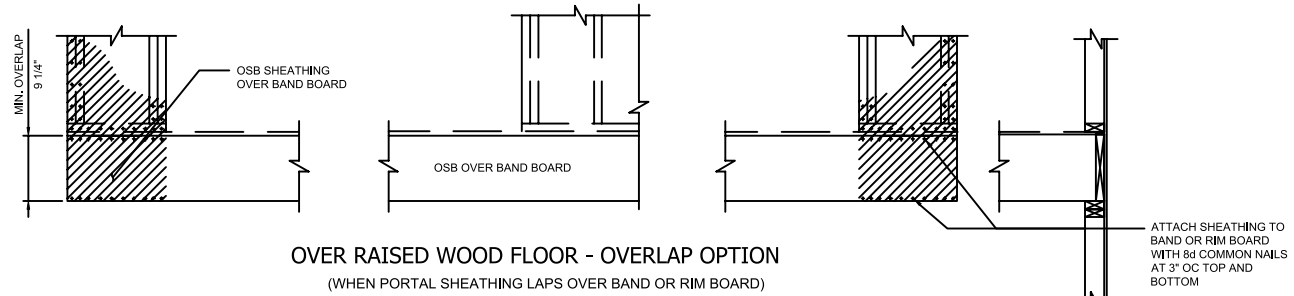
SCALE : NTS



OVER CONCRETE OR MASONRY BLOCK FOUNDATION



OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION
(WHEN PORTAL SHEATHING DOES NOT LAP OVER BAND OR RIM BOARD)



OVER RAISED WOOD FLOOR - OVERLAP OPTION
(WHEN PORTAL SHEATHING LAPS OVER BAND OR RIM BOARD)

FRONT ELEVATION

SECTION

4 CONTINUOUS SHEATHING PORTAL FRAME (CS-PF)

SCALE : NTS

REFERENCE: IRC 2015 FIG. R602.10.6.4

PORTAL FRAME REQUIREMENTS										
MIN. SIZE & GRADE OF WALL STUDS	MAX. PONY WALL HEIGHT (FEET)	MAX. TOTAL WALL HEIGHT (FEET)	MAX. OPENING WIDTH (FEET)	REQUIRED TENSION CAPACITY OF STRAP (LBS)	MIN. SIZE & GRADE OF WALL STUDS	MAX. PONY WALL HEIGHT (FEET)	MAX. TOTAL WALL HEIGHT (FEET)	MAX. OPENING WIDTH (FEET)	REQUIRED TENSION CAPACITY OF STRAP (LBS)	
2x4 SPF #1/#2 GRADE	0	10	18	1000	2x4 #2 GRADE	2	12	18	3850	
			9	1000				9	2350	
			16	1000				16	DESIGN REQUIRED	
			18	1200				9	1000	
	2	10	10	9	1000	2x6 STUD GRADE	2	12	16	2050
				16	2025				18	2450
				18	2400				9	1500
				9	1200				16	3150
2	12	12	9	1200	4	12	12	16	3675	
			16	3200				18	3675	

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TYPICAL WALL BRACING DETAILS

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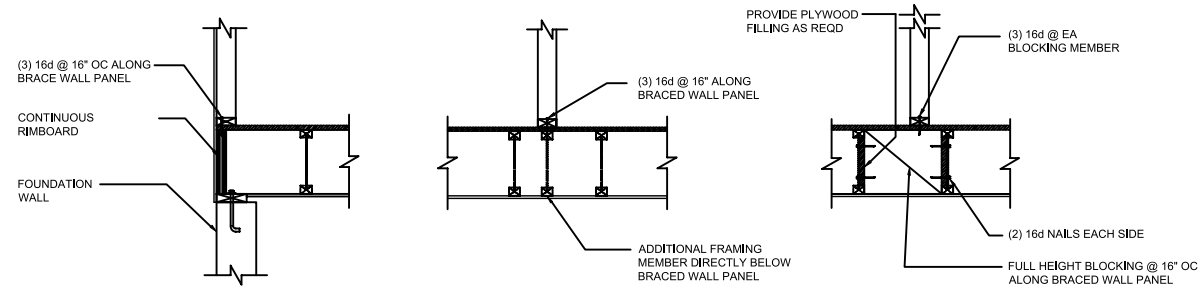
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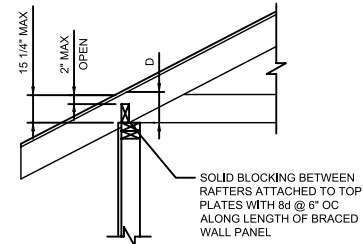
S901 22-3009



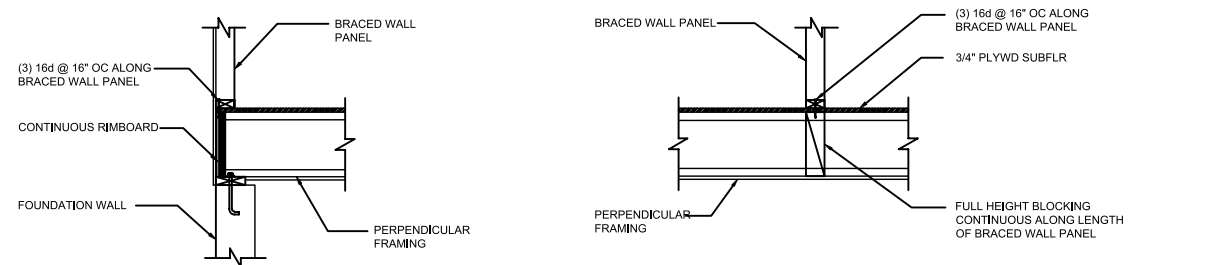
1 BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING
SCALE : NTS TYPICAL FLOOR/CEILING FRAMING CONNECTIONS

ROOF FRAMING BLOCKING		
DISTANCE, D	REQUIREMENT	REF. DETAIL
0 - 9 1/4"	NO BLOCKING REQUIRED	NONE
9 1/4" - 11 1/4"	SOLID 2x BLOCKING BETWEEN RAFTERS OR TRUSSES	DETAIL 3
11 1/4" - 48"	SOFFIT BLOCKING OR VERTICAL BLOCKING PANEL	DETAIL 4 OR DETAIL 5
OVER 48"	ENGINEERED DESIGN REQUIRED	NONE

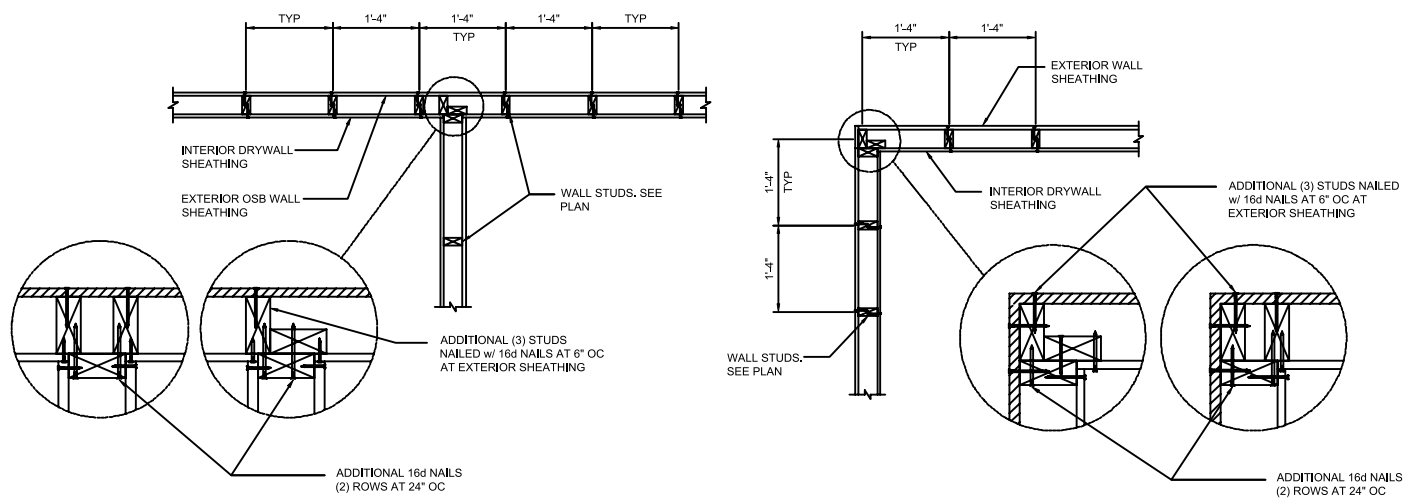
NOTE:
D: DISTANCE FROM TOP OF BRACING UNIT TO TOP OF ROOF SHEATHING



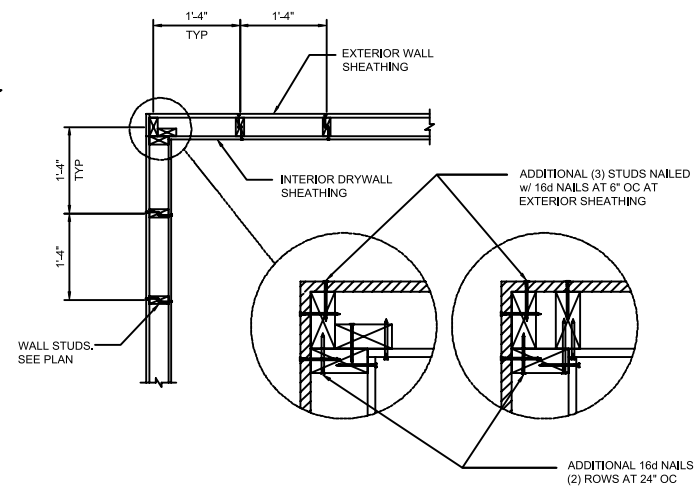
3 BLOCKING BETWEEN ROOF FRAMING MEMBERS
SCALE : NTS TYPICAL ROOF FRAMING CONNECTIONS



2 BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING
SCALE : NTS TYPICAL FLOOR/CEILING FRAMING CONNECTIONS



6 FRAMING DETAIL AT WALL INTERSECTIONS
SCALE : NTS



7 FRAMING DETAIL AT WALL CORNERS
SCALE : NTS

NOTE: USE WOOD TO METAL SCREWS @ 2" o.c. FOR CORNER HSS POST AND STUD WALL CONNECTION

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TYPICAL WALL BRACING & TYPICAL ROOF DETAILS

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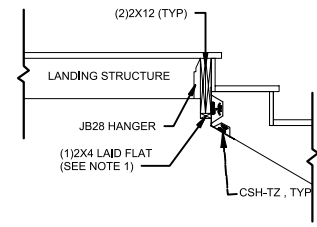


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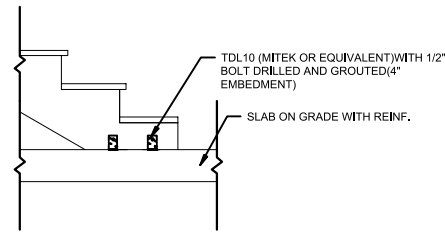
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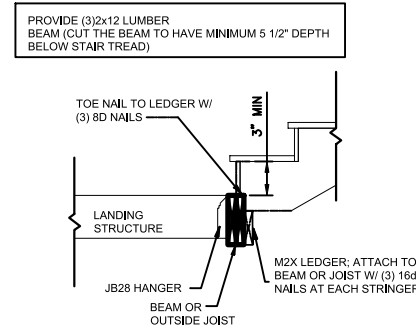
NOTE:
1. PROVIDE (4) 1/4" LAG SCREWS TO CONNECT (1) 2x4 TO BS2 AT BS3/BS4 LOCATION. IN BETWEEN PROVIDE (2) 1/4" LAG SCREWS

1 STRINGER BEAM CONN. TO GIRDER
SCALE: NTS



NOTE: SEE DETAIL 05 FOR EXTENT OF STRINGER BEAM TO BE NOTCHED

2 STRINGER BEAM SUPPORT AT FIRST FLOOR LVL
SCALE: NTS



3 STRINGER BEAM DETAIL -2
SCALE: NTS

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TYPICAL DETAILS

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