

**CONSTRUCTION PLAN SHEET LIST**

SHEET NUMBER	SHEET NAME
C-0	COVER SHEET
E-1	FRONT & REAR ELEVATION
E-2	LEFT & RIGHT ELEVATION
E-3	ROOF OVERVIEW
F-1	FOUNDATION PLAN
F-1.1	BSMT FOUNDATION DETAILS
F-2	FIRST FLOOR PLAN
F-3	BONUS ROOM
H-1	FIRST FLOOR ELECTRICAL
S-1	WALL SECTION & DETAILS
S-2	SECTION
S-3	FRAMING DETAILS

**FOUNDATION NOTES**

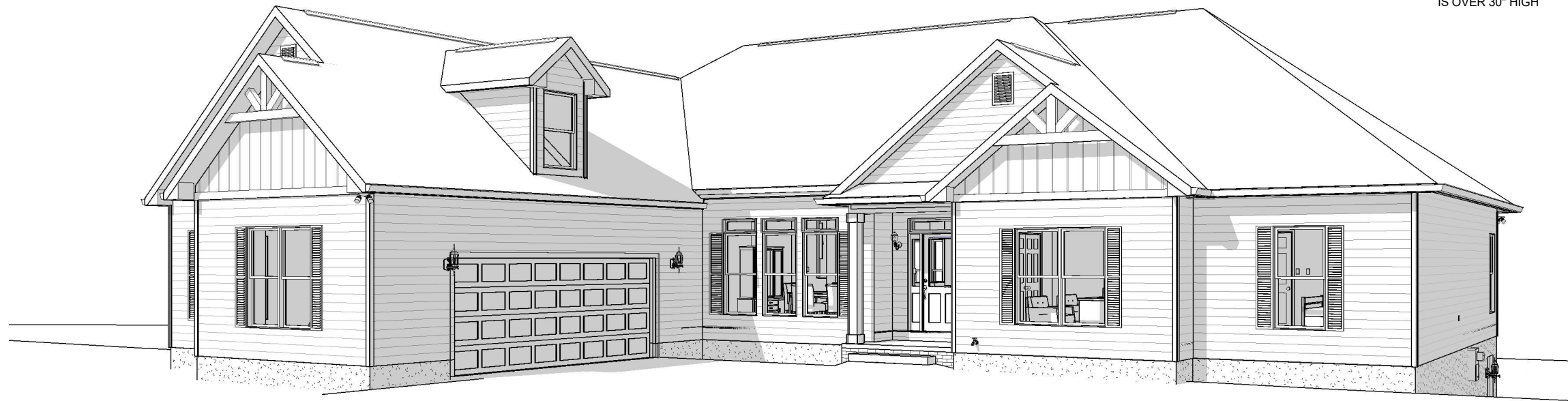
- TYPICAL FOUNDATION WALL: BASEMENT 8'-8" x 8" BLOCK (13-COURSES) - ON TOP OF 24"x 8" d POURED CONCRETE FOOTING
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- NOTCH SILL PLATE AROUND DROPPED BEAM
- FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
- GRAVEL REQ'D UNDER BASEMENT SLAB
- POLY REQ'D UNDER BASEMENT SLAB
- GRAVEL REQ'D UNDER GARAGE SLAB
- POLY REQ'D UNDER GARAGE SLAB

**FLOOR FRAMING NOTE**

- ADD SINGLE 2x10 JOIST UNDER WALLS ABOVE THAT RUN PARALLEL TO FLOOR JOIST
- P.T. 2 X 8 SILL PLATE

**GENERAL NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS OTHERWISE NOTED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:  
SINGLE - 68"  
DOUBLE - 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH



**FRONT PERSPECTIVE - CP**

Revision Number	Revision Description	Revision Date

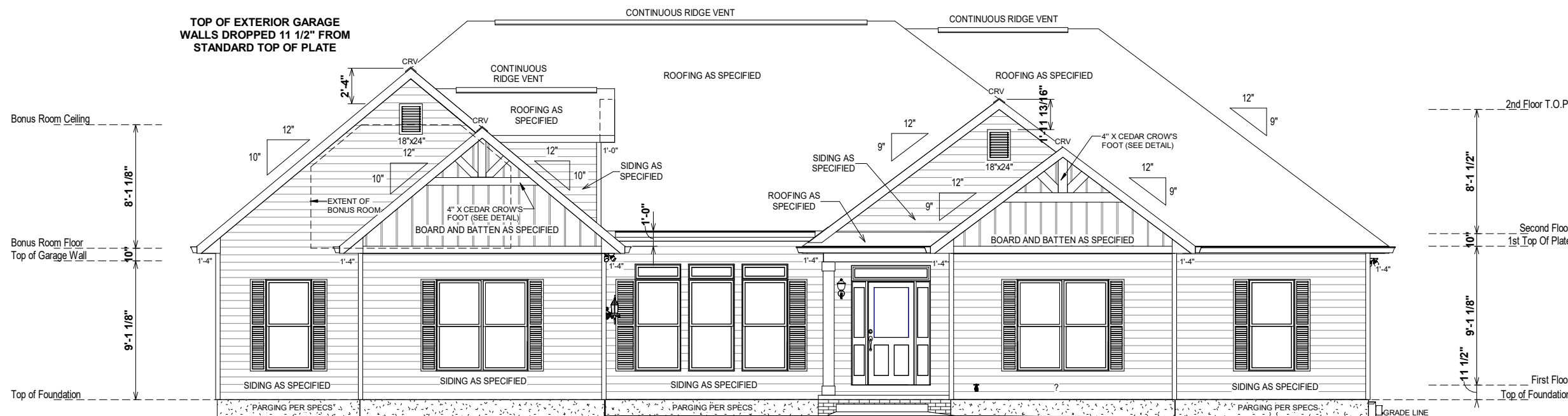
AREAS:	
FIRST FLOOR HEATED GARAGE	2,763 SF
FRONT PORCH	647 SF
BONUS ROOM	43 SF
TOTAL UNDER ROOF	301 SF
STOOP	3,764 SF
TOTAL UNCOVERED	20 SF

THE: <b>BROOKWOOD MFH</b>	FOR: <b>STACI &amp; JASON FLORENCE</b>
JOB#: <b>141-21-023</b>	FOUNDATION TYPE: <b>BASEMENT</b>
DRAWN BY: <b>AP</b>	CHECKED BY: <b>JS</b>
PRINT DATE: <b>4/4/2022 2:58:05 PM</b>	OFFICE: <b>FAYETTEVILLE SALES</b>
PROPERTY OF: <b>AMERICA'S HOME PLACE</b>	SOLD BY: <b>378 SKYCROFT DRIVE SANFORD, NC 27332</b>

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SHEET NUMBER: <b>C-0</b>	<b>COVER SHEET</b>

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**



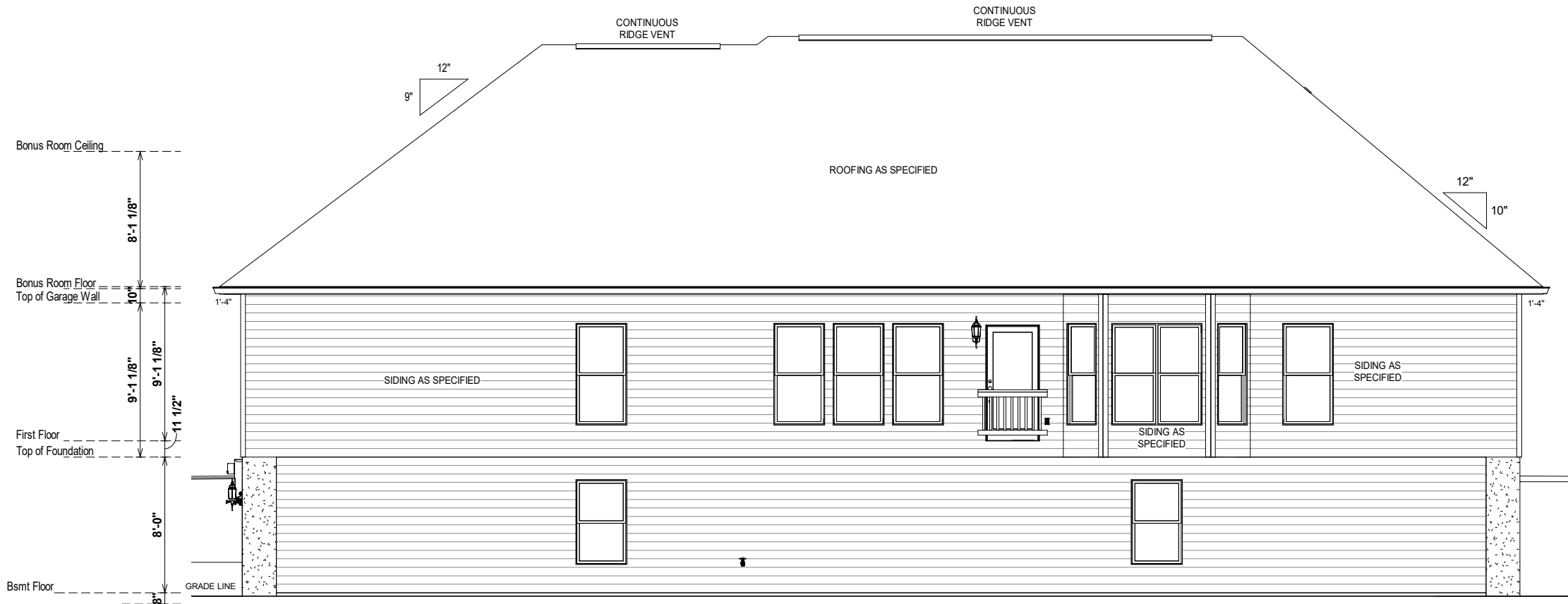
1 FRONT ELEVATION  
1/8" = 1'-0"

**ELEVATION NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- 7/16" O.S.B AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
- FINAL GRADE TO BE DETERMINED ON SITE
- FOUNDATION DRAWN AS REPRESENTATION ONLY

9:12 O.W.H. = 11 3/16"  
10:12 O.W.H. = 11 11/16"

NOTE: O.W.H. ADJUSTED TO ACCOMMODATE LVL BEAM AT REAR BAY



2 REAR ELEVATION  
1/8" = 1'-0"

GRADE IS TO BE DETERMINED

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

Revision Number	Revision Description	Revision Date

AREAS:	
FIRST FLOOR HEATED GARAGE	2,763 SF
FRONT PORCH	647 SF
BONUS ROOM	43 SF
TOTAL UNDER ROOF	3,011 SF
STOOP	3,764 SF
TOTAL UNCOVERED	20 SF

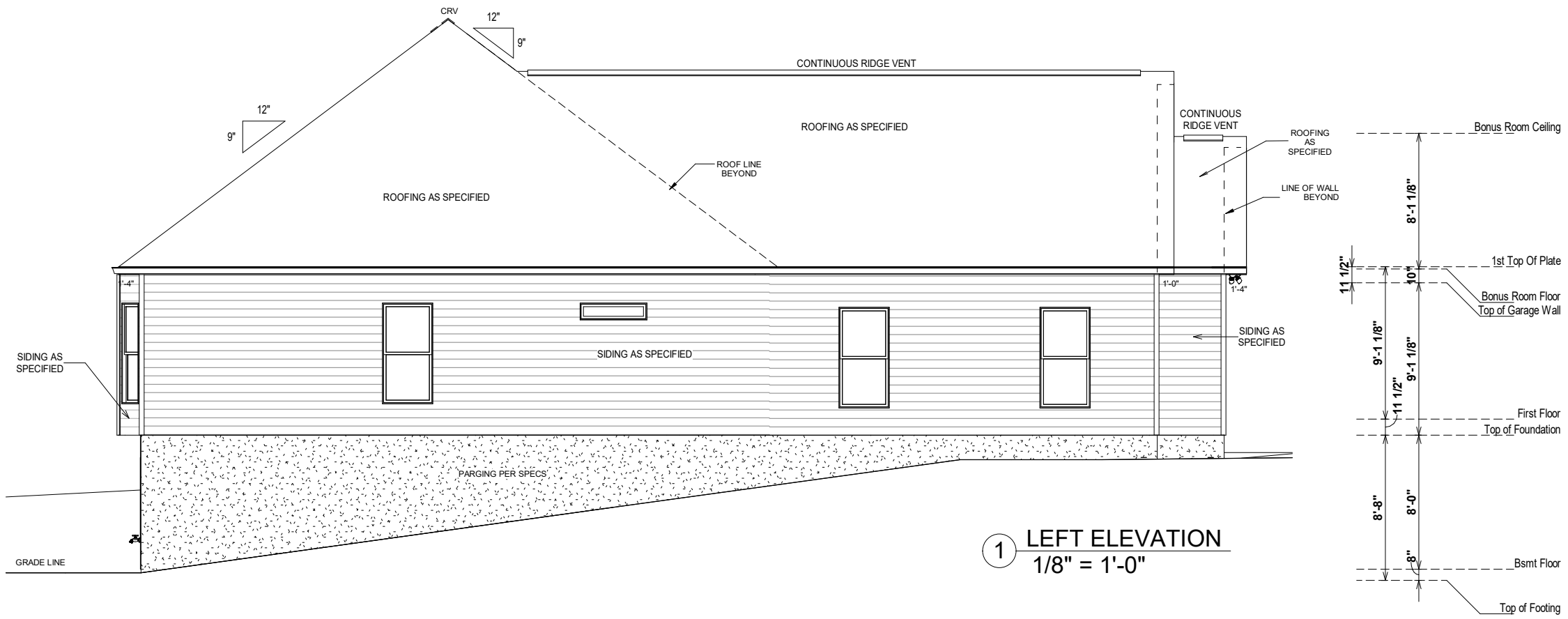
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<b>JOB#:</b> 141-21-023	<b>FOUNDATION TYPE:</b> BASEMENT
<b>ADDRESS:</b> 378 SKYCROFT DRIVE SANFORD, NC 27332	<b>SOLD BY:</b> FAYETTEVILLE SALES

<b>DRAWN BY:</b> AP	<b>CHECKED BY:</b> JS	<b>PRINT DATE:</b> 4/4/2022 2:58:06 PM
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SHEET NUMBER: **E-1**

© COPYRIGHT - 2021 FRONT & REAR ELEVATION



**1 LEFT ELEVATION**  
1/8" = 1'-0"

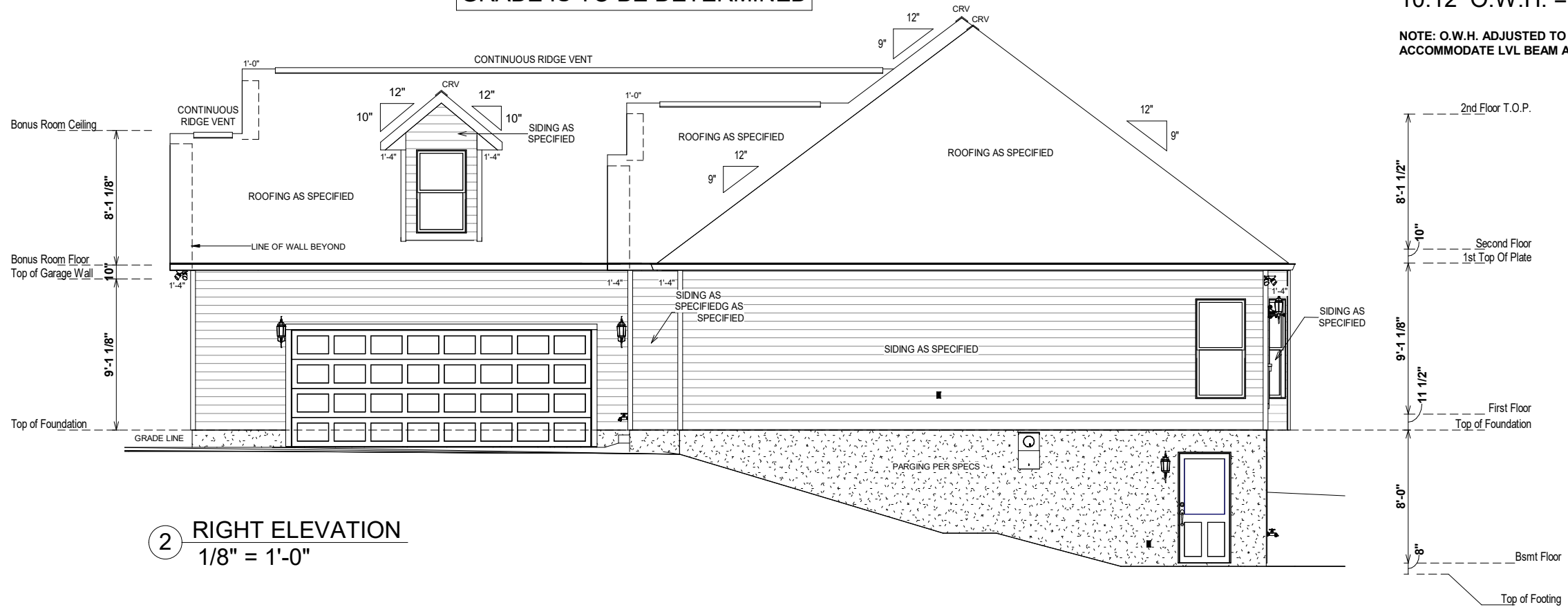
**ELEVATION NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- 7/16" O.S.B AND HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NOTED, ARE FROM WALL SHEATHING TO OUTSIDE OF FASCIA
- FINAL GRADE TO BE DETERMINED ON SITE
- FOUNDATION DRAWN AS REPRESENTATION ONLY

9:12 O.W.H. = 11 3/16"  
10:12 O.W.H. = 11 11/16"

NOTE: O.W.H. ADJUSTED TO ACCOMMODATE LVL BEAM AT REAR BAY

**GRADE IS TO BE DETERMINED**



**2 RIGHT ELEVATION**  
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

Revision Number	Revision Description	Revision Date

AREAS:	FIRST FLOOR HEATED GARAGE	BONUS ROOM	TOTAL UNDER ROOF	TOTAL UNCOVERED
	2,763 SF	647 SF	43 SF	3,053 SF
		301 SF	3,764 SF	20 SF

<b>TITLE:</b> BROOKWOOD MFH	<b>FOR:</b> STACI & JASON FLORENCE	<b>OFFICE:</b> 378 SKYCROFT DRIVE SANFORD, NC 27332	<b>SOLD BY:</b> FAYETTEVILLE SALES
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<b>JOB#:</b> 141-21-023	<b>FOUNDATION TYPE:</b> BASEMENT
<b>2x4 EXTERIOR WALLS</b>	

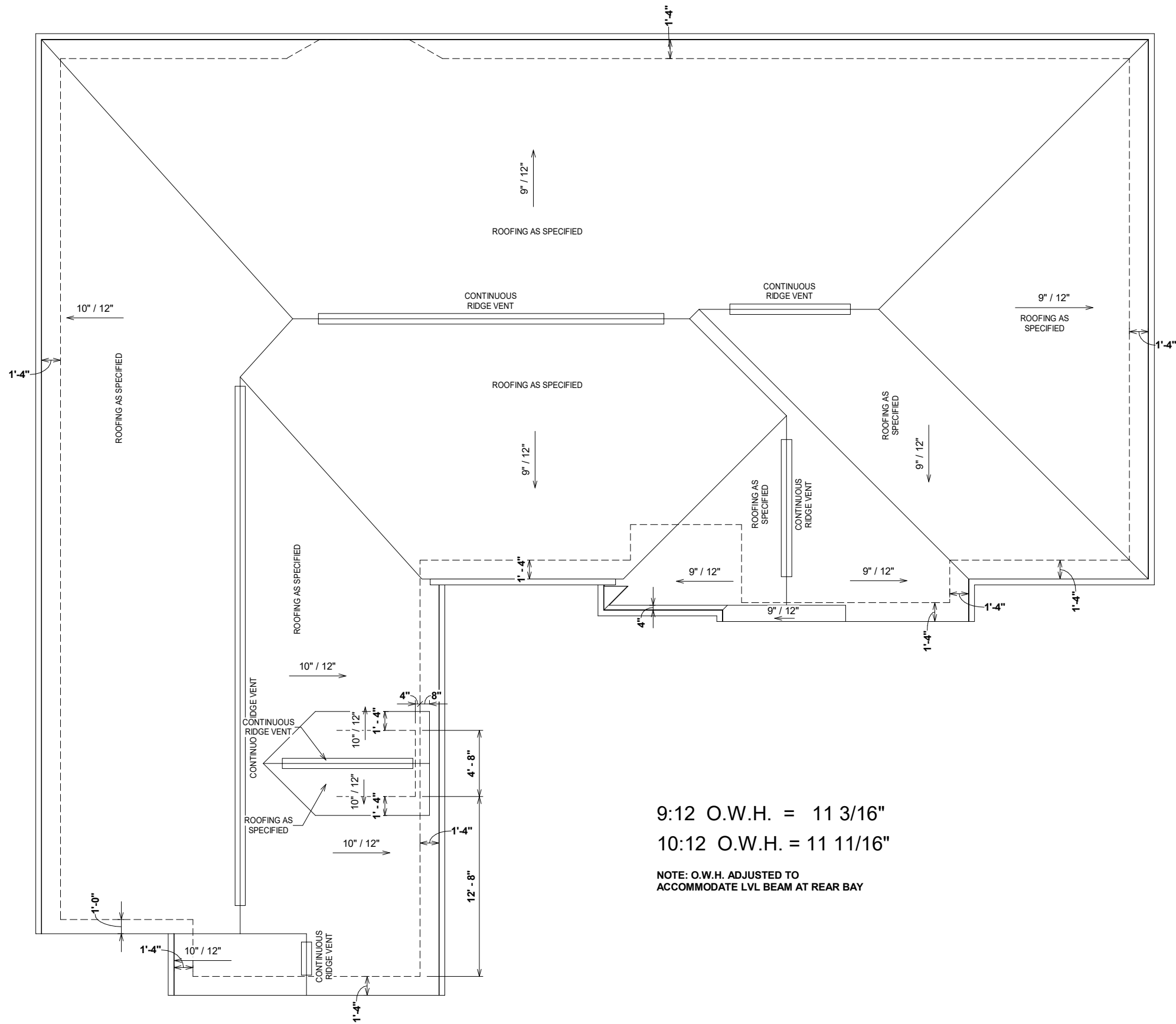
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**SHEET NUMBER:** E-2

**LEFT & RIGHT ELEVATION**



9:12 O.W.H. = 11 3/16"

10:12 O.W.H. = 11 11/16"

NOTE: O.W.H. ADJUSTED TO ACCOMMODATE LVL BEAM AT REAR BAY

1 ROOF OVERVIEW  
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%


**FINAL CONSTRUCTION PLANS**

Revision Number	Revision Description	Revision Date

AREAS:		2,763 SF
FIRST FLOOR HEATED GARAGE	647 SF	2,763 SF
FRONT PORCH	43 SF	647 SF
BONUS ROOM	301 SF	43 SF
TOTAL UNDER ROOF	3,764 SF	301 SF
STOOP	20 SF	3,764 SF
TOTAL UNCOVERED	20 SF	20 SF

TITLE: <b>BROOKWOOD MFH</b>	FOR: <b>STACI &amp; JASON FLORENCE</b>
JOB#: <b>141-21-023</b>	OFFICE: <b>FAYETTEVILLE SALES</b>
CHECKED BY: <b>US</b>	SOLD BY:
PRINT DATE: <b>4/4/2022 2:58:08 PM</b>	378 SKYCROFT DRIVE SANFORD, NC 27332

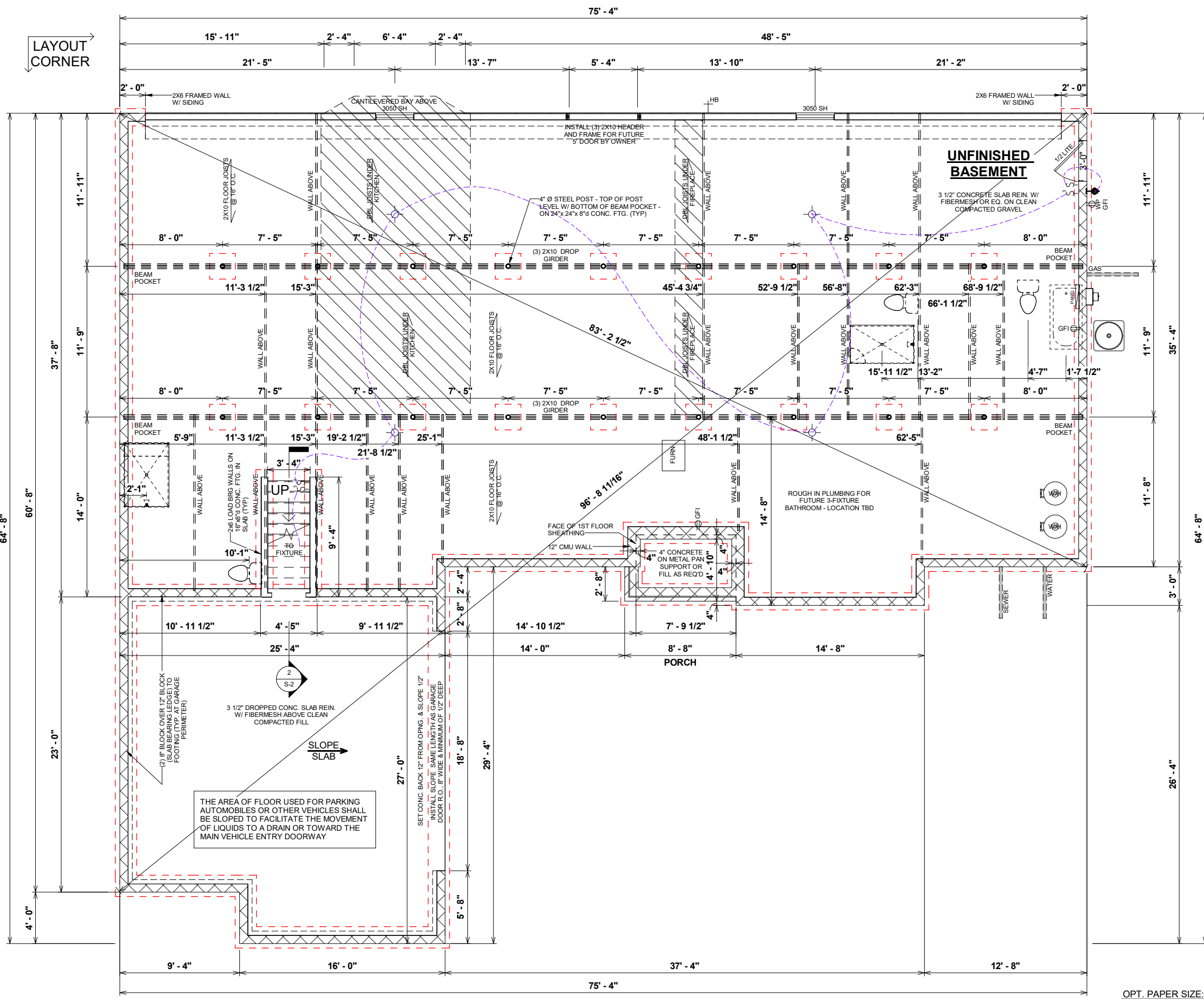
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CHECKED BY: <b>US</b>	
PRINT DATE: <b>4/4/2022 2:58:08 PM</b>	

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SHEET NUMBER: **E-3**

**ROOF OVERVIEW**



**FOUNDATION NOTES**

- TYPICAL FOUNDATION WALL: BASEMENT 8'-8" x 8" BLOCK (13-COURSES) - ON TOP OF 24"x 8" POURED CONCRETE FOOTING
- ALL GIRDER BREAKS MUST BE ON PIERS OR POSTS
- NOTCH SILL PLATE AROUND DROPPED BEAM
- FILL ALL CELLS SOLID UNDER BEAM POCKET BEARING POINT
- GRAVEL REQ'D UNDER BASEMENT SLAB
- POLY REQ'D UNDER BASEMENT SLAB
- GRAVEL REQ'D UNDER GARAGE SLAB
- POLY REQ'D UNDER GARAGE SLAB

**FLOOR FRAMING NOTE**

- ADD SINGLE 2x10 JOIST UNDER WALLS ABOVE THAT RUN PARALLEL TO FLOOR JOIST
- P.T. 2 X 8 SILL PLATE

1 FOUNDATION PLAN  
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%  
**FINAL CONSTRUCTION PLANS**

Revision Number	Revision Description	Revision Date

AREAS:		2,763 SF	647 SF	43 SF	301 SF	3,764 SF	20 SF	20 SF
FIRST FLOOR HEATED GARAGE								
FRONT PORCH								
BONUS ROOM								
TOTAL UNDER ROOF								
STOOP								
TOTAL UNCOVERED								

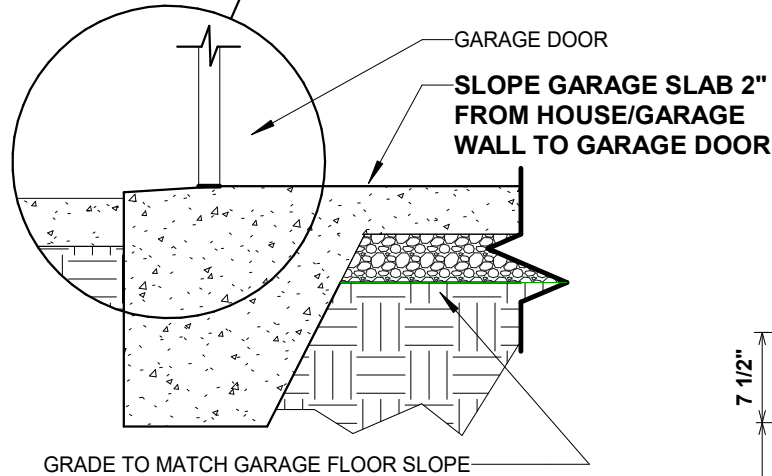
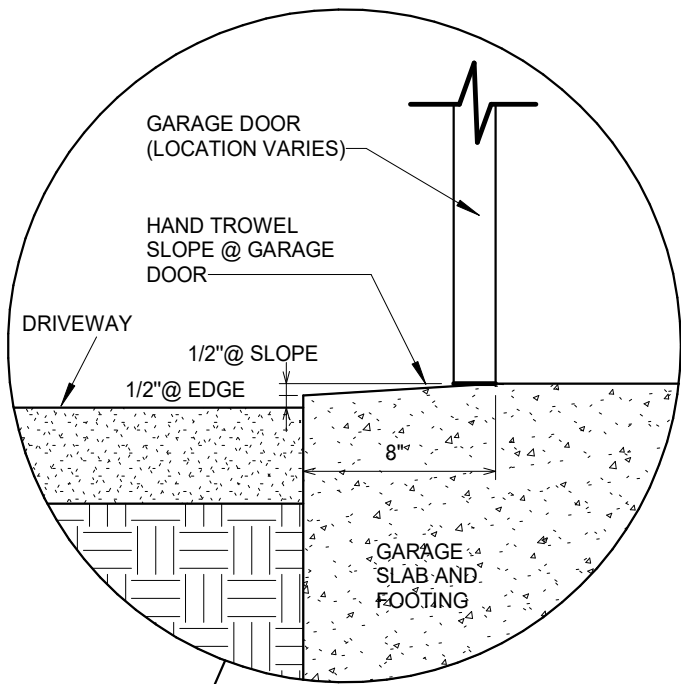
THE: **BROOKWOOD MFH**  
FOR: **STACI & JASON FLORENCE**  
378 SKYCROFT DRIVE  
SANFORD, NC 27332  
OFFICE: FAYETTEVILLE SALES  
SOLD BY:

JOB#: **141-21-023**  
2x4 EXTERIOR WALLS  
FOUNDATION TYPE: **BASEMENT**

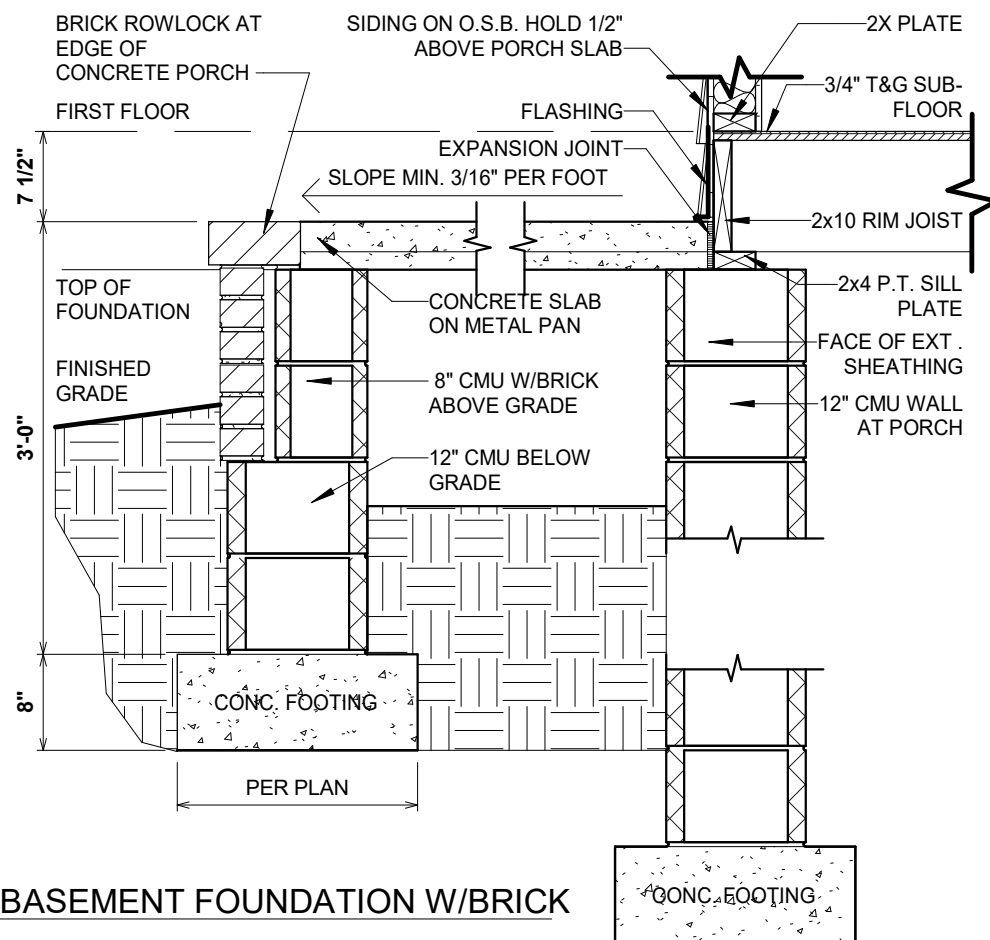
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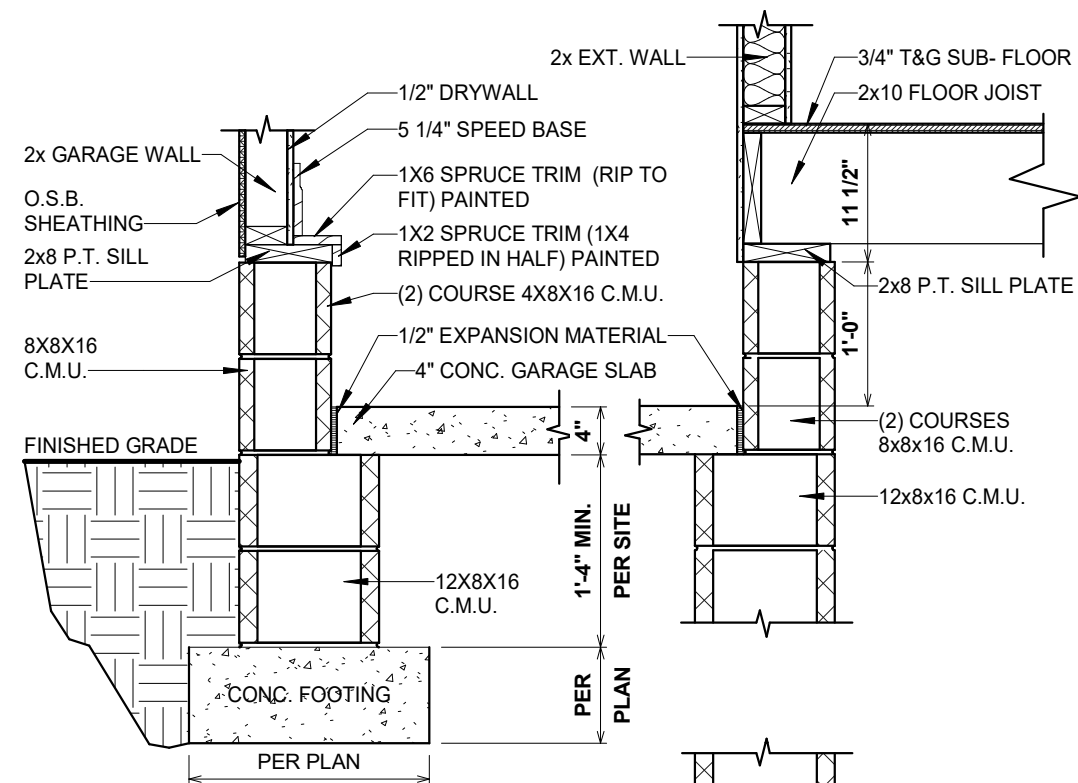
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SHEET NUMBER: **F-1**  
**FOUNDATION PLAN**



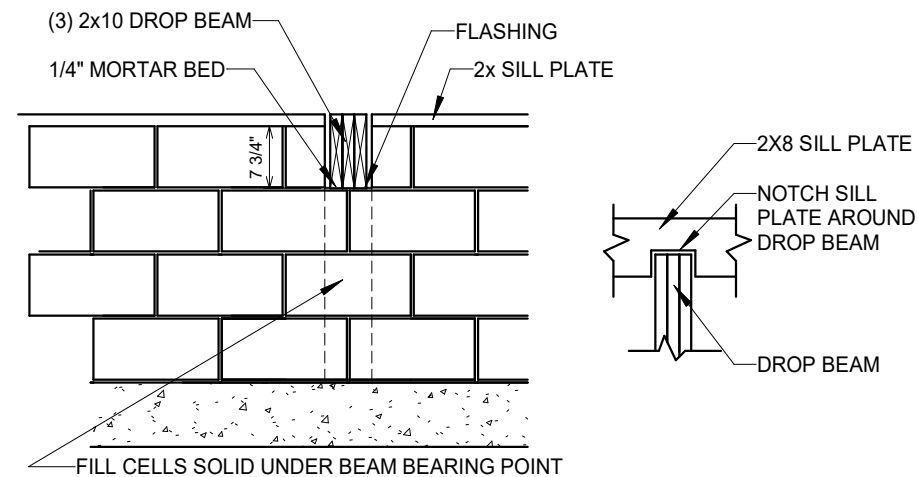
2 520.5 SLOPE AT GARAGE DOOR DETAIL  
3/4" = 1'-0"



3 CONCRETE PORCH BASEMENT FOUNDATION W/BRICK  
3/4" = 1'-0"



1 GARAGE BASEMENT FOUNDATION  
3/4" = 1'-0"



4 BEAM POCKET DETAIL  
1/2" = 1'-0"

Revision Number	Revision Description	Revision Date

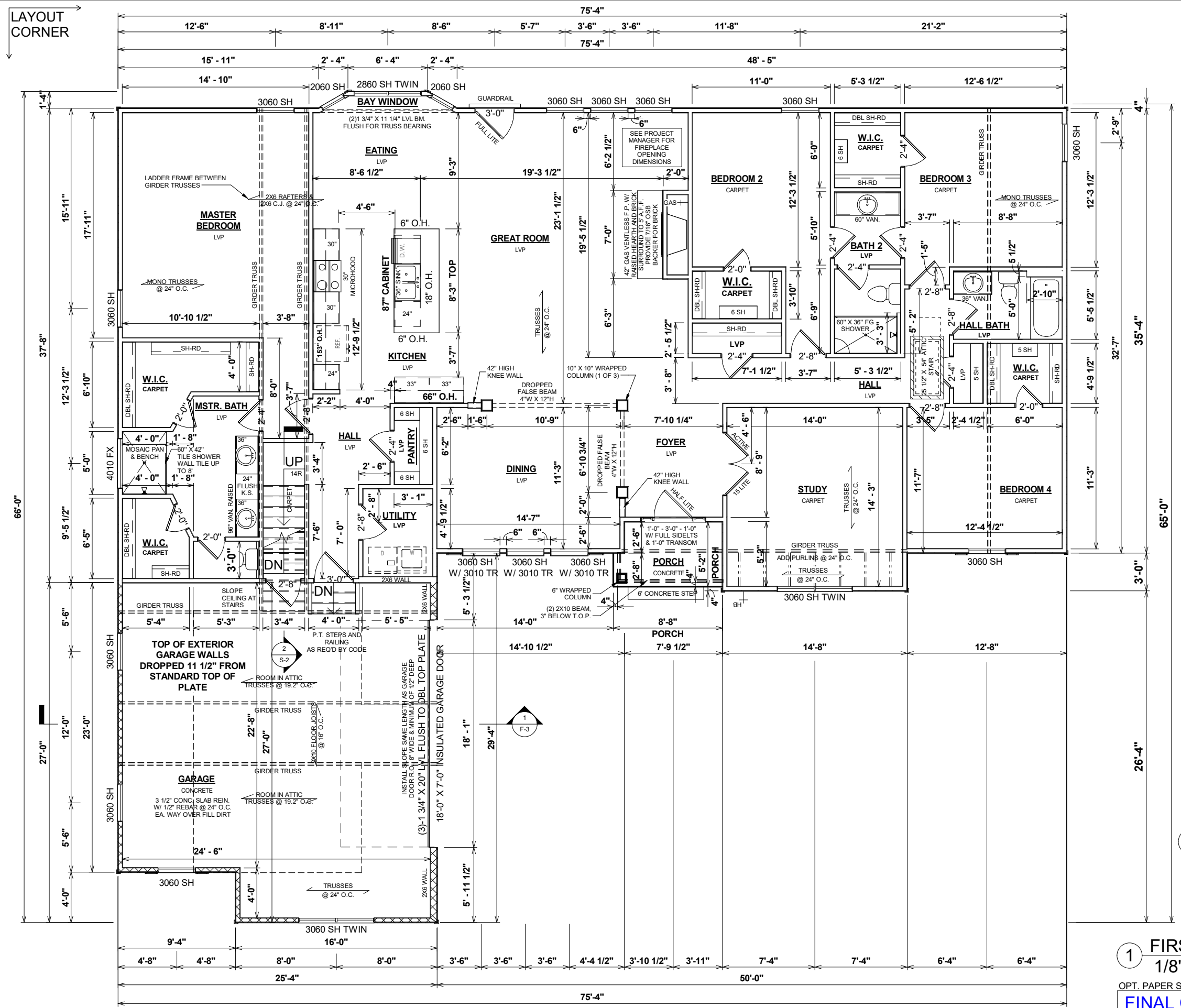
AREAS:	2,763 SF	647 SF	43 SF	301 SF	3,764 SF	20 SF	20 SF
FIRST FLOOR HEATED GARAGE	2,763 SF	647 SF	43 SF	301 SF	3,764 SF	20 SF	20 SF
FRONT PORCH							
BONUS ROOM							
TOTAL UNDER ROOF							
STOOP							
TOTAL UNCOVERED							

TITLE: **BROOKWOOD MFH**  
FOR: **STACI & JASON FLORENCE**  
378 SKYCROFT DRIVE  
SANFORD, NC 27332  
OFFICE: FAYETTEVILLE SALES  
SOLD BY:

JOB#: **141-21-023**  
JOB#: **2x4 EXTERIOR WALLS**  
FOUNDATION TYPE: **BASEMENT**  
DRAWN BY: **AP**  
CHECKED BY: **JS**  
PRINT DATE: **4/4/2022 2:58:09 PM**

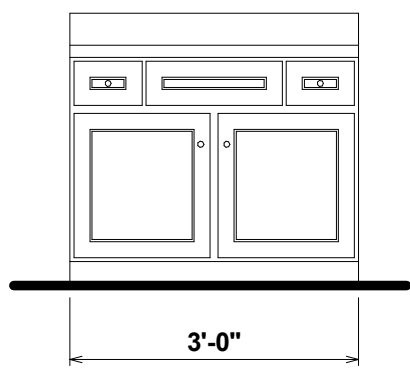
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SHEET NUMBER: **F-1.1**  
BSMT FOUNDATION DETAILS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%  
**FINAL CONSTRUCTION PLANS**



**GENERAL NOTES**

- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS OTHERWISE NOTED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED
- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF EXTERIOR OR GARAGE STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR:  
SINGLE - 68"  
DOUBLE - 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH



② 891.1 36" VANITY ELEVATION  
1/2" = 1'-0"

① FIRST FLOOR PLAN - CP  
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%  
**FINAL CONSTRUCTION PLANS**

Revision Number	Revision Description	Revision Date

AREAS:		FIRST FLOOR HEATED	2,763 SF
GARAGE		647 SF	
FRONT PORCH		43 SF	
BONUS ROOM		301 SF	
TOTAL UNDER ROOF		3,764 SF	
STOOP		20 SF	
TOTAL UNCOVERED		20 SF	

TITLE:	<b>BROOKWOOD MFH</b>
FOR:	<b>STACI &amp; JASON FLORENCE</b>
ADDRESS:	378 SKYCROFT DRIVE SANFORD, NC 27332
OFFICE:	FAYETTEVILLE SALES
SOLD BY:	

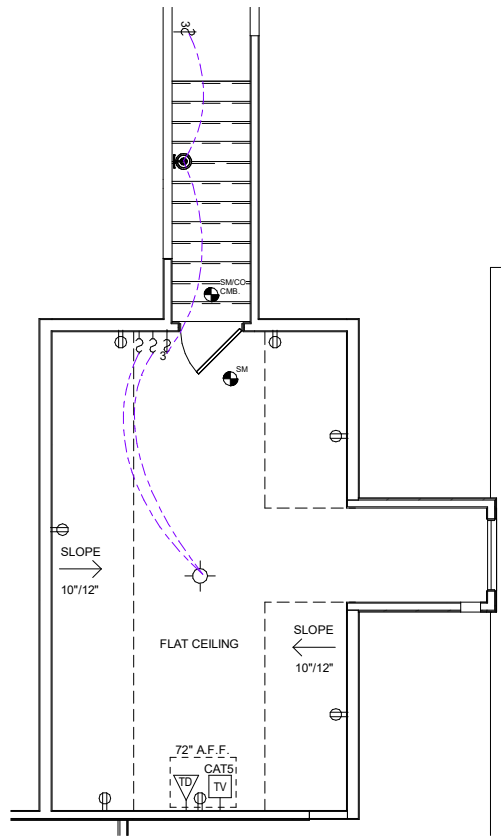
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FOUNDATION TYPE:	BASEMENT

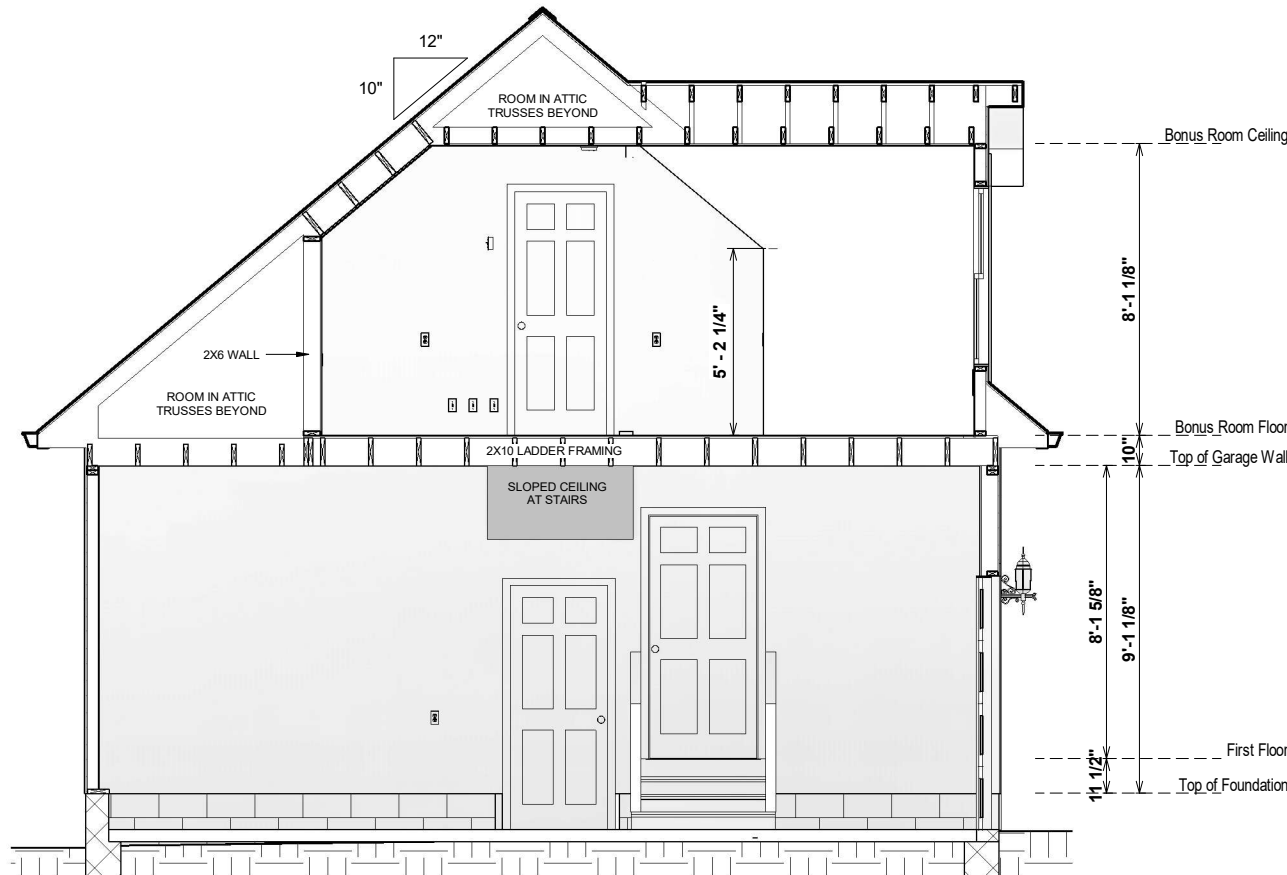
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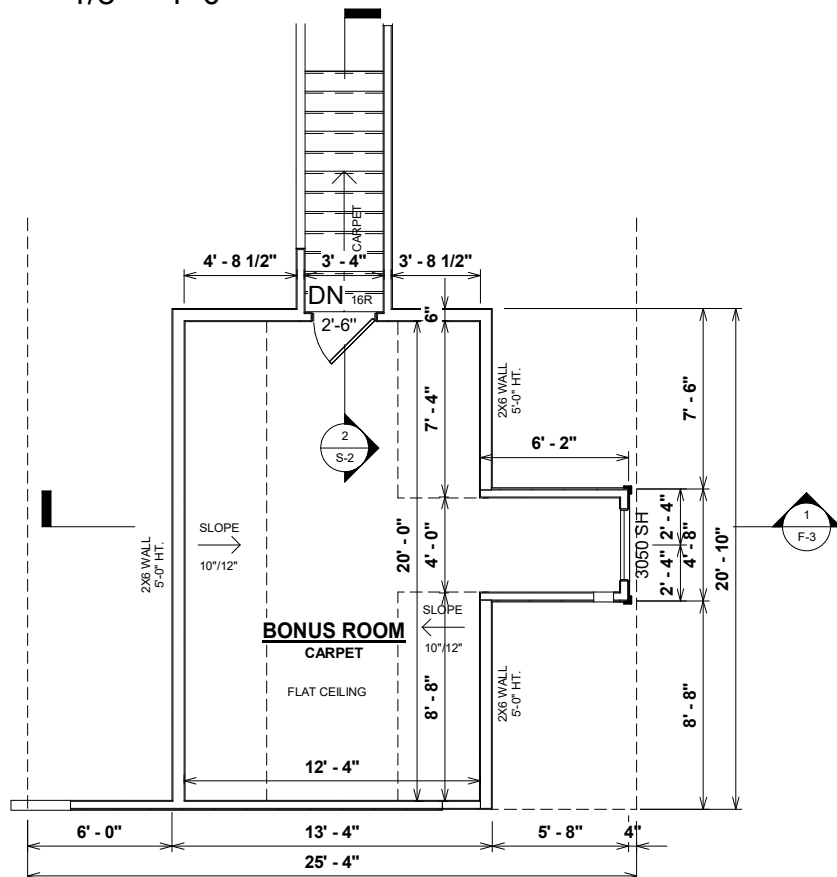
SHEET NUMBER:	<b>F-2</b>
FIRST FLOOR PLAN	



3 BONUS ROOM ELECTRICAL- CP  
1/8" = 1'-0"



1 BONUS ROOM SECTION  
3/16" = 1'-0"



4 BONUS ROOM-CP  
1/8" = 1'-0"

ELECTRICAL LEGEND	
LIGHTING FIXTURES	
Ceiling Fan	
Ceiling Fan w/ Light	
Ceiling Mounted Light	
Recessed Ceiling Light	
Pendent Ceiling Light	
Fluorescent Ceiling Light	
Ceiling Exhaust Fan/Light Combo	
Ceiling Exhaust Fan/Light Combo	
Emergency Exit Light	
Junction Box for Future Fixture	
Fluorescent Wall Mounted Light	
Wall Mounted Vanity 3 Light	
Wall Mounted Vanity 4 Light	
Wall Mounted Interior Sconce Light	
Wall Mounted Exterior Coach Light	
Exterior Flood Light	
ELECTRICAL FIXTURES	
Duplex Outlet	
Duplex Outlet - GFI	
Duplex Outlet - Water Proof GFI	
Duplex Outlet - 220v	
Duplex Outlet - Ceiling Mounted	
Duplex Outlet - Floor Mounted	
4-plex Outlet	
4-plex Outlet - Floor Mounted	
Outlet, Light and Switch (AtticCrawl)	
2-Way Switch	
3-Way Switch	
4-Way Switch	
Dimmer Switch	
Rocker Switch	
Smoke Detector	
Smoke Detector/Carbon Monoxide	
Thermostat	
Door Bell	
Door Bell Chime	
Telephone Jack	
Television / Cable Jack	
Telephone / Data Jack	

**ELECTRICAL NOTES:**

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE AND WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

Revision Number	Revision Description	Revision Date

AREAS:	FIRST FLOOR HEATED GARAGE	FRONT PORCH	BONUS ROOM	TOTAL UNDER ROOF	STOOP	TOTAL UNCOVERED
	2,763 SF	647 SF	43 SF	3,011 SF	3,764 SF	20 SF

THE: **BROOKWOOD MFH**  
 FOR: **STACI & JASON FLORENCE**  
 378 SKYCROFT DRIVE  
 SANFORD, NC 27332  
 OFFICE: FAYETTEVILLE SALES SOLD BY:

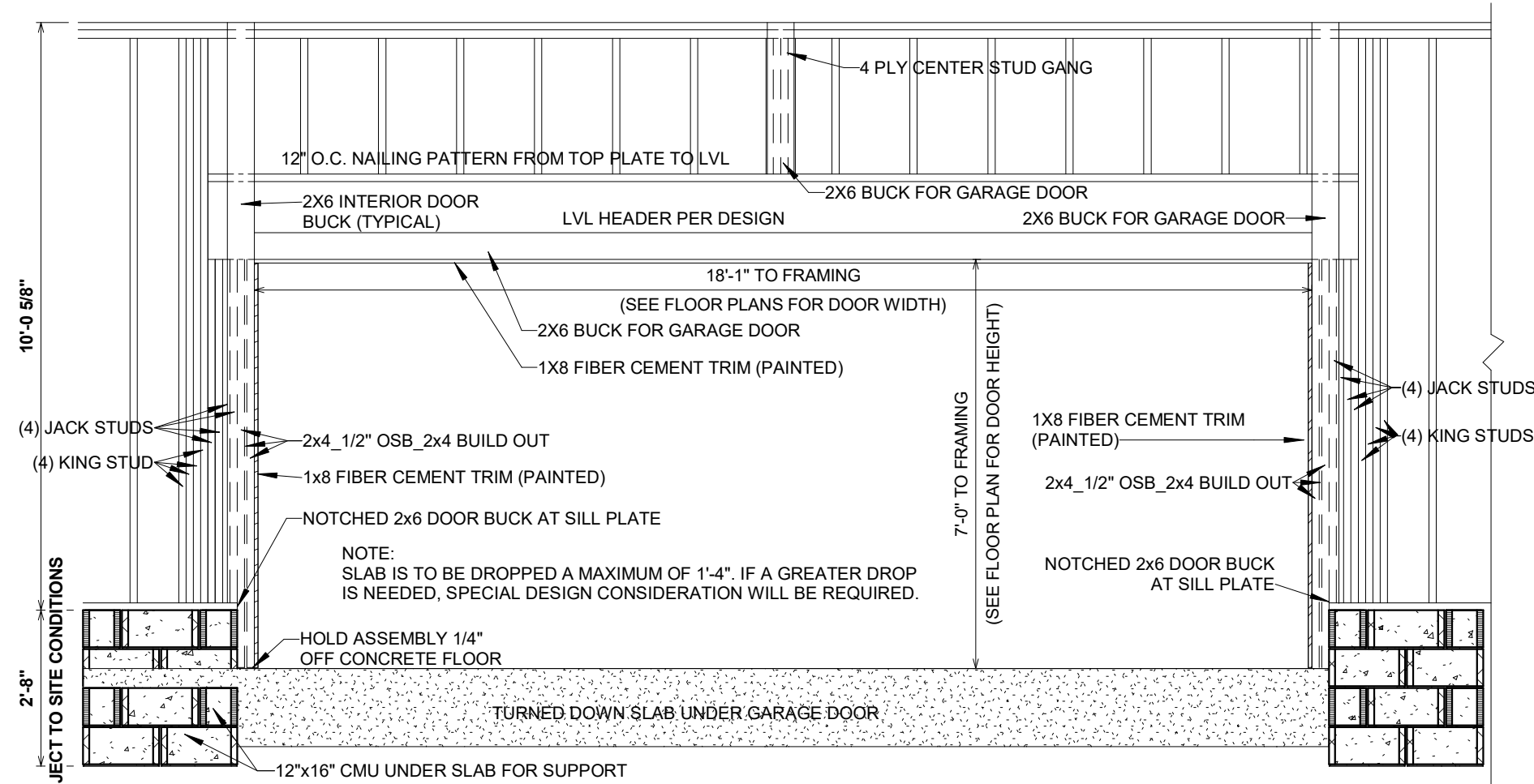
JOB#: **141-21-023**  
**2x4 EXTERIOR WALLS**  
 FOUNDATION TYPE: **BASEMENT**

DRAWN BY: **AP**  
 CHECKED BY: **JS**  
 PRINT DATE: **4/4/2022 2:58:10 PM**

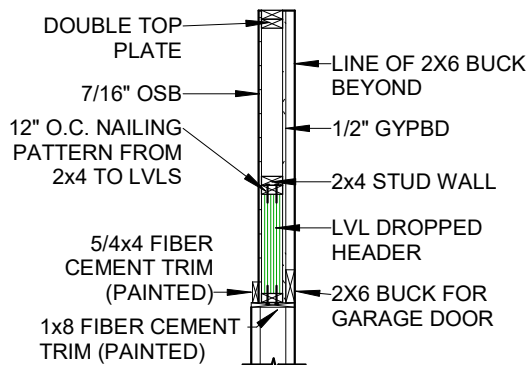


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 SHEET NUMBER: **F-3**  
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75.7a GARAGE DOOR OPENING NOT FULL LENGTH  
HDR ALWAYS DROPPED HEADER  
3/8" = 1'-0"



75.7b GARAGE BEAM DROPPED  
3/8" = 1'-0"

Revision Number	Revision Description	Revision Date

AREAS:		2,763 SF	647 SF	43 SF	301 SF	3,764 SF	20 SF	20 SF
FIRST FLOOR HEATED GARAGE								
FRONT PORCH								
BONUS ROOM								
TOTAL UNDER ROOF								
STOOP								
TOTAL UNCOVERED								

THE: <b>BROOKWOOD MFH</b>	FOR: <b>STACI &amp; JASON FLORENCE</b>
JOB#: <b>141-21-023</b>	FOUNDATION TYPE: <b>BASEMENT</b>
OFFICE: <b>FAYETTEVILLE SALES</b>	
SOLD BY: <b>378 SKYCROFT DRIVE SANFORD, NC 27332</b>	

DRAWN BY: <b>AP</b>	CHECKED BY: <b>JS</b>	PRINT DATE: <b>4/4/2022 2:58:10 PM</b>
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SHEET NUMBER: **GD-1**  
GARAGE DOOR FRAMING @ TYPICAL CRAWL

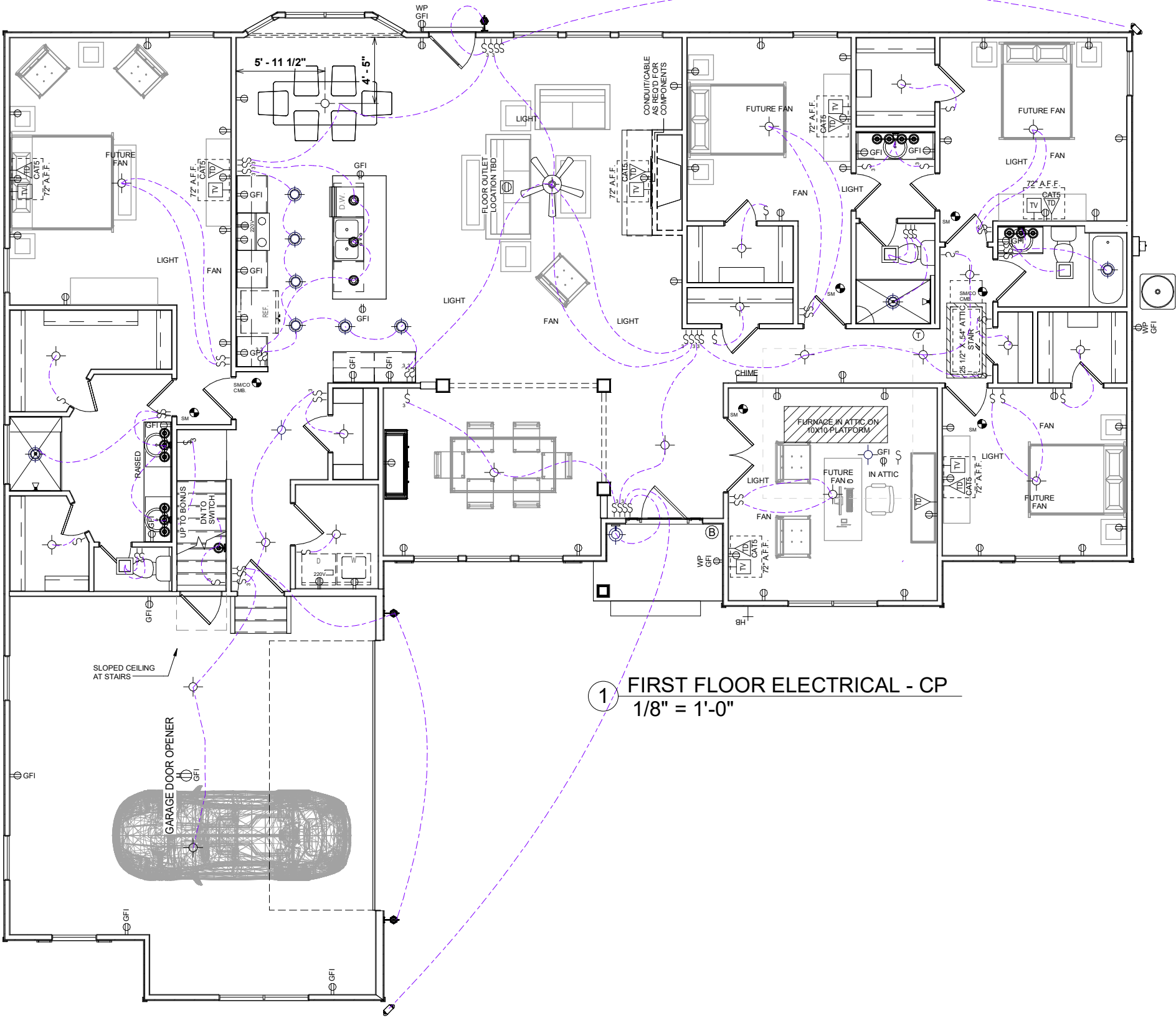
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

ELECTRICAL LEGEND	
<b>LIGHTING FIXTURES</b>	
Ceiling Fan	
Ceiling Fan w/ Light	
Ceiling Mounted Light	
Recessed Ceiling Light	
Pendent Ceiling Light	
Fluorescent Ceiling Light	
Ceiling Exhaust Fan/Light Combo	
Ceiling Exhaust Fan/Light Combo	
Emergency Exit Light	
Junction Box for Future Fixture	
Fluorescent Wall Mounted Light	
Wall Mounted Vanity 3 Light	
Wall Mounted Vanity 4 Light	
Wall Mounted Interior Sconce Light	
Wall Mounted Exterior Coach Light	
Exterior Flood Light	
<b>ELECTRICAL FIXTURES</b>	
Duplex Outlet	
Duplex Outlet - GFI	
Duplex Outlet - Water Proof GFI	
Duplex Outlet - 220v	
Duplex Outlet - Ceiling Mounted	
Duplex Outlet - Floor Mounted	
4-plex Outlet	
4-plex Outlet - Floor Mounted	
Outlet, Light and Switch (AtticCrawl)	
2-Way Switch	
3-Way Switch	
4-Way Switch	
Dimmer Switch	
Rocker Switch	
Smoke Detector	
Smoke Detector/Carbon Monoxide	
Thermostat	
Door Bell	
Door Bell Chime	
Telephone Jack	
Television / Cable Jack	
Telephone / Data Jack	

**ELECTRICAL NOTES:**

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN ALL ROOMS AS REQUIRED BY CODE, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT N.C. ELECT.CODE SECT.210.12(b)
- CONFORM ELECT. WIRING & COMPONENTS TO CURRENT NEC PROVISIONS FOR 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE AND WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS
- SERVICE DISCONNECT REQUIRED
- CONDENSATE PUMP REQUIRED



• OUTLET, FIXTURE, & COMPONENT LOCATIONS ARE APPROXIMATE. ACTUAL WILL VARY DUE TO DESIGN AND CODE RESTRICTIONS & REQUIREMENTS  
 • BUILDER AND HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS AND/OR LINES TO ACCOMMODATE OPTIMUM USAGE AND RESTRICTIONS DUE TO CODE & DESIGN REQUIREMENTS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%  
**FINAL CONSTRUCTION PLANS**

Revision Number	Revision Description	Revision Date

AREAS:	FIRST FLOOR HEATED	2,763 SF
GARAGE	647 SF	
FRONT PORCH	43 SF	
BONUS ROOM	301 SF	
TOTAL UNDER ROOF	3,764 SF	
STOOP	20 SF	
TOTAL UNCOVERED	20 SF	

**THE:** BROOKWOOD MFH  
**FOR:** STACI & JASON FLORENCE  
 378 SKYCROFT DRIVE SANFORD, NC 27332  
**OFFICE:** FAYETTEVILLE SALES  
**SOLD BY:** FAYETTEVILLE SALES

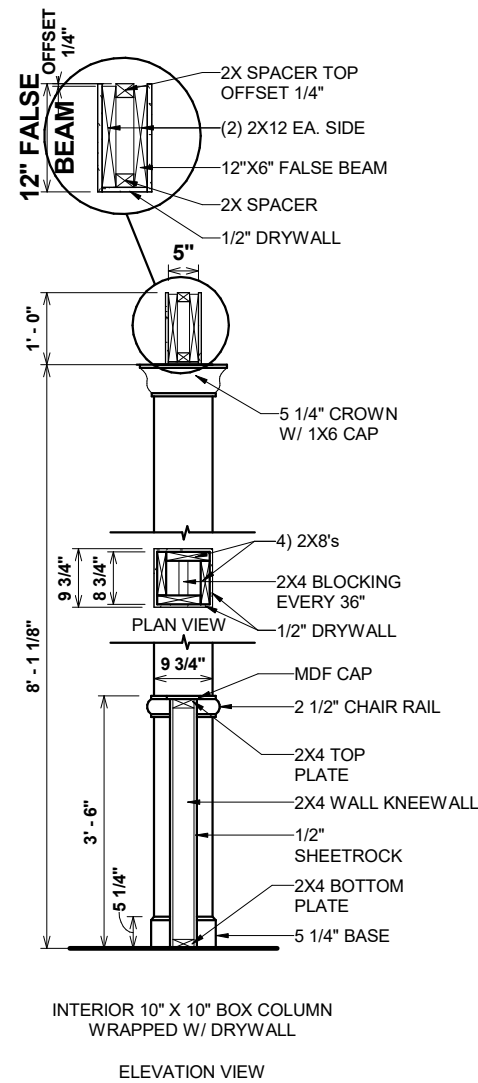
**JOB#** 141-21-023  
**2x4 EXTERIOR WALLS**  
**FOUNDATION TYPE:** BASEMENT

**DRAWN BY:** AP  
**CHECKED BY:** JS  
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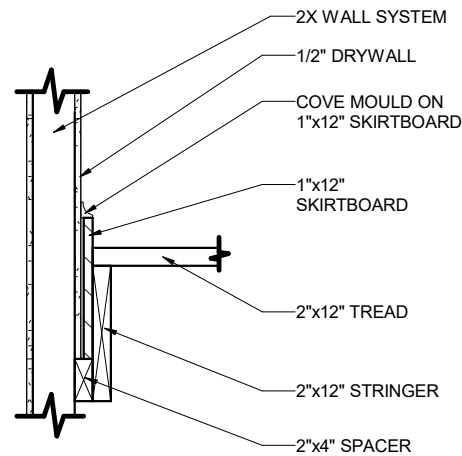
**PROPERTY OF:** AMERICA'S HOME PLACE

**SHEET NUMBER:** **H-1**

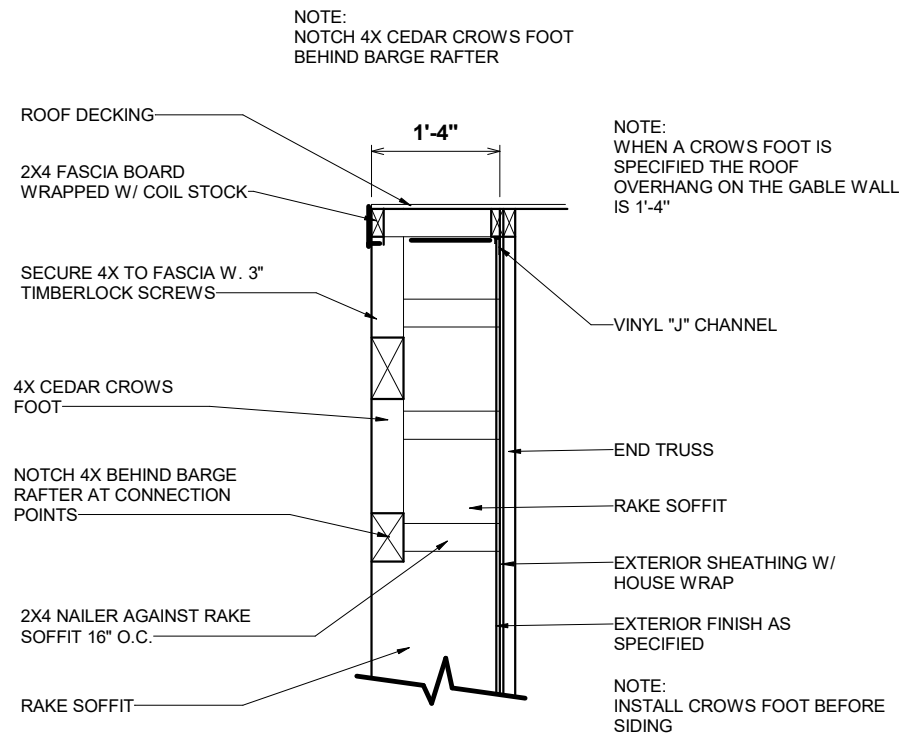
© COPYRIGHT - 2021  
**FIRST FLOOR ELECTRICAL**



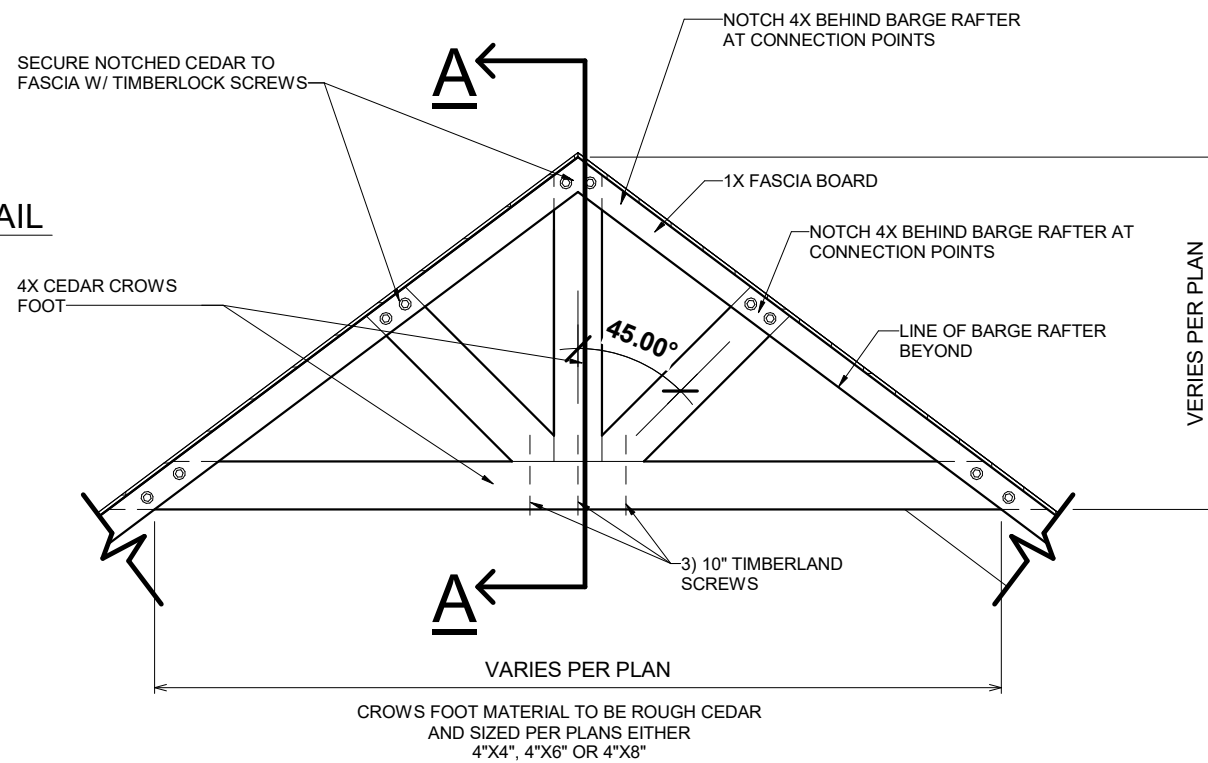
4 890.1a INTERIOR 10" BOX COLUMN DETAIL  
3/8" = 1'-0"



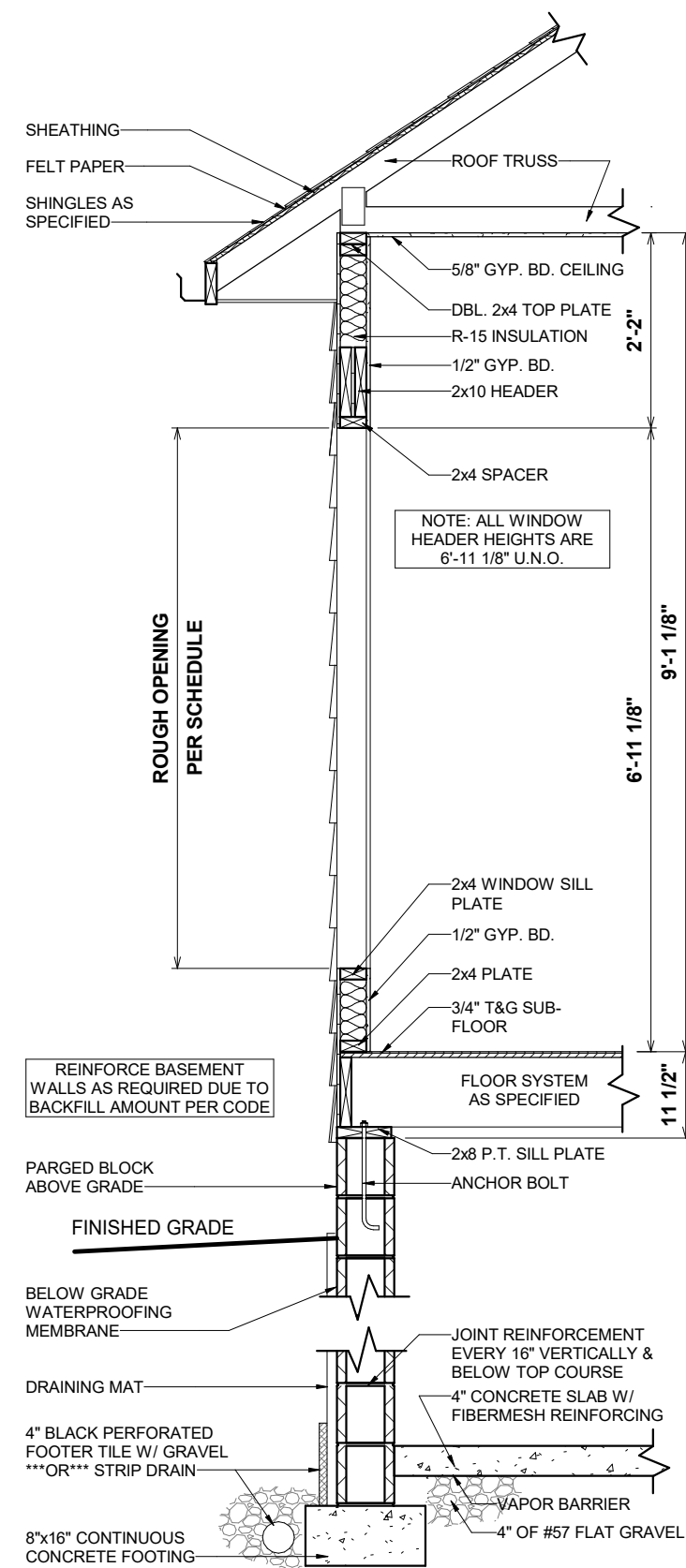
3 900.5 STAIR SECTION THRU STRINGER  
3/4" = 1'-0"



**SECTION A-A**



1 485.1 CROWS FOOT DETAIL at VINYL SIDING  
1/2" = 1'-0"



2 1-STORY-BSMT W/2X4-SIDING-WALL SECTION2  
1/2" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

**FINAL CONSTRUCTION PLANS**

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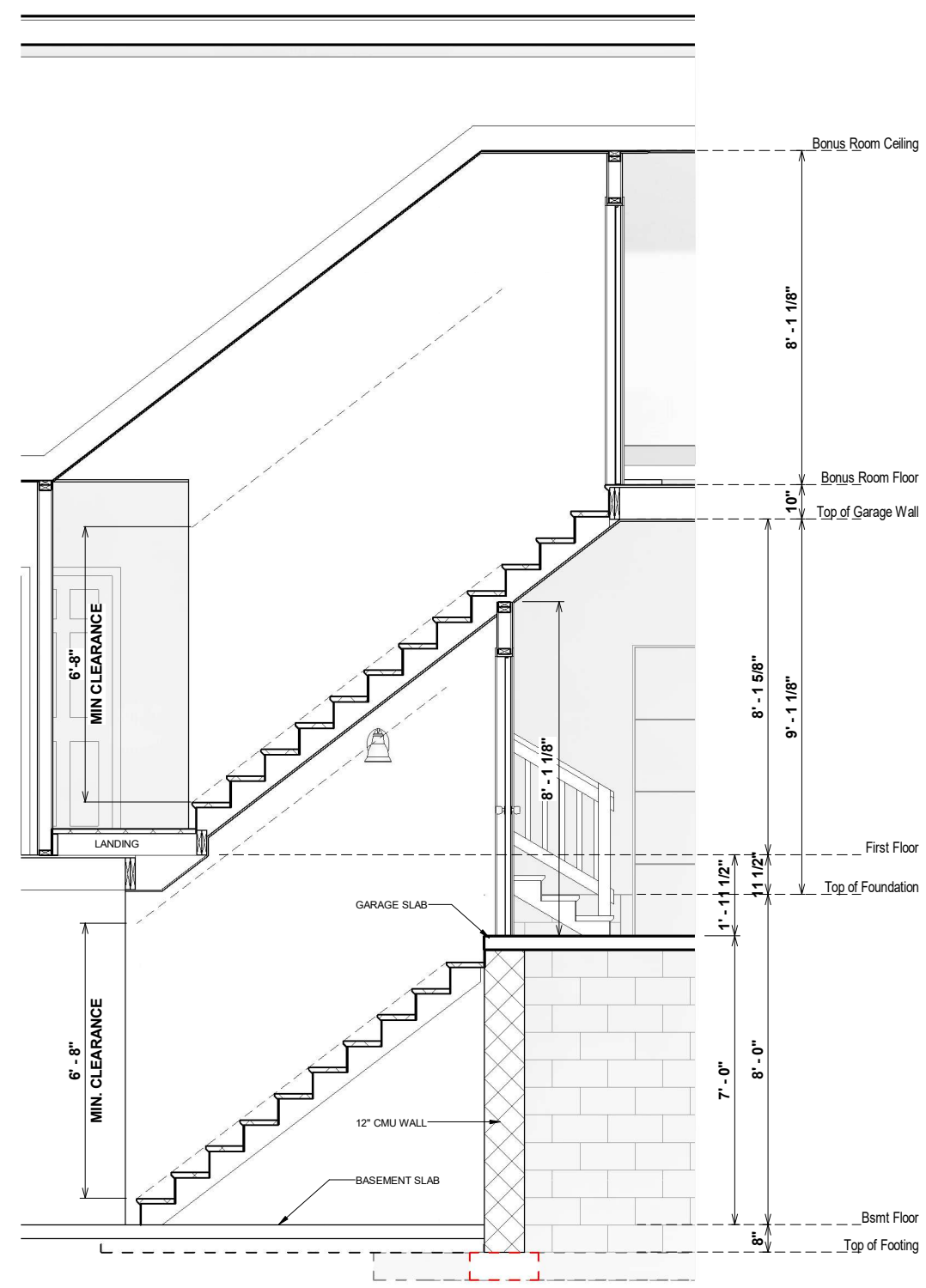
TITLE:	<b>BROOKWOOD MFH</b>
FOR:	<b>STACI &amp; JASON FLORENCE</b>
OFFICE:	378 SKYCROFT DRIVE SANFORD, NC 27332
SOLD BY:	FAYETTEVILLE SALES

JOB#:	141-21-023
FOUNDATION TYPE:	BASEMENT

DRAWN BY:	AP
CHECKED BY:	JS
PRINT DATE:	4/4/2022 2:58:17 PM




SHEET NUMBER:	<b>S-1</b>
WALL SECTION & DETAILS	



2 STAIR SECTION  
1/4" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

SHEET NUMBER: <b>S-2</b>	PROPERTY OF:  © COPYRIGHT - 2018	DRAWN BY: AP	JOB# 141-21-023	THE: <b>BROOKWOOD MFH</b>	AREAS:	Revision Schedule
	CHECKED BY: JS	2x4 EXTERIOR WALLS UNLESS OTHERWISE NOTED	FOR: <b>STACI &amp; JASON FLORENCE</b>	FIRST FLOOR HEATED GARAGE 2,763 SF FRONT PORCH 43 SF BONUS ROOM 301 SF TOTAL UNDER ROOF 3,764 SF	Rev. #	Revision Description
PRINT DATE: 4/4/2022 2:58:17 PM	FOUNDATION TYPE: BASEMENT	378 SKYCROFT DRIVE SANFORD, NC 27332	OFFICE: FAYETTEVILLE SALES	TOTAL UNCOVERED STOOP 20 SF TOTAL UNCOVERED 20 SF		
		SOLD BY:				

ROUGH OPENINGS FOR PLY-GEM VINYL S/H WINDOWS

**SINGLE WINDOW UNITS**

CALL SIZE	ACTUAL SIZE	ROUGH OPENING SIZE
2-0 X 3-0	23 1/2" X 35 1/2"	24" X 36"
2-0 X 4-0	23 1/2" X 47 1/2"	24" X 48"
2-8 X 4-0	31 1/2" X 47 1/2"	32" X 48"
2-8 X 5-0	31 1/2" X 59 1/2"	32" X 60"
2-8 X 6-0	31 1/2" X 71 1/2"	32" X 72"
3-0 X 3-0	35 1/2" X 35 1/2"	36" X 36"
3-0 X 4-0	35 1/2" X 47 1/2"	36" X 48"
3-0 X 5-0	35 1/2" X 59 1/2"	36" X 60"
3-0 X 5-2	35 1/2" X 61 1/2"	36" X 62"
3-0 X 6-0	35 1/2" X 71 1/2"	36" X 72"
3-0 X 6-2	35 1/2" X 73 1/2"	36" X 74"
3-4 X 4-0	39 1/2" X 47 1/2"	40" X 48"
4-0 X 4-0	47 1/2" X 47 1/2"	48" X 48"

**TWIN/TRIPLE WINDOW UNITS**

2-8 X 5-0 TWIN	63 1/2" X 59 1/2"	64" X 60"
2-8 X 6-0 TWIN	63 1/2" X 71 1/2"	64" X 72"
3-0 X 5-0 TWIN	71 1/2" X 59 1/2"	72" X 60"
3-0 X 6-0 TWIN	71 1/2" X 71 1/2"	72" X 72"
3-0 X 5-0 TRIPLE	107 1/2" X 59 1/2"	108" X 60"
3-0 X 6-0 TRIPLE	107 1/2" X 71 1/2"	108" X 72"
1-8 / 3-0 / 1-8 X 6-0	75 1/2" X 71 1/2"	76" X 72"
2-0 / 3-0 / 2-0 X 6-0	83 1/2" X 71 1/2"	84" X 72"

**TRANSOM WINDOW UNITS**

3-0 HALF-ROUND (18" TALL)	CALL SIZE + 18" TO HGT. OF WINDOW
12" TRANSOM	CALL SIZE + 12" TO HGT. OF WINDOW
2-8 ARCH TRAN. (14" TALL)	CALL SIZE + 14" TO HGT. OF WINDOW
3-0 ARCH TRAN. (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 TW ARCH TRAN. (20" TALL)	CALL SIZE + 20" TO HGT. OF WINDOW
2-8 HALF-ROUND (16" TALL)	CALL SIZE + 16" TO HGT. OF WINDOW

**SPECIALTY WINDOWS**

4-0 X 5-0 EYEBROW	48" X 60"
3-0 X 4-0 PALLADIAN	36" X 48"
3-0 X 5-0 PALLADIAN	60" X 72"

1. TRANSOM SAMPLE. 3-0 X 6-0 W/ HALF-ROUND TRANSOM. CALL SIZE 3060 + 18" TALL TRANSOM EQUALS A ROUGH OPENING SIZE OF 36" X 90"
2. CALL SUPERINTENDENT FOR ANY WINDOW SIZE THAT IS NOT SHOWN HERE PRIOR TO FRAMING THE OPENING

ROUGH OPENINGS FOR MASONITE ENTRY DOORS

**INSWING UNITS**

2-8 X 6-8	34 1/2" X 82 1/2"
3-0 X 6-8	38 1/2" X 82 1/2"
3-0 X 6-8 W/ (2) 12" S.L.	65 1/4" X 82 1/2"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 96"
3-0 X 6-8 W/ (2) 12" S.L. & 12" TRAN	65 1/4" X 96"

**OUTSWING UNITS**

2-8 X 6-8	34 1/2" X 81"
3-0 X 6-8	38 1/2" X 81"
3-0 X 6-8 W (2) 12" S.L.	65 1/4" X 81"
3-0 X 6-8 W/ 12" TRAN.	38 1/2" X 94 1/2"
3-0 X 6-8 W (2) 12" S.L. & 12" TRAN.	65 1/4" X 94 1/2"

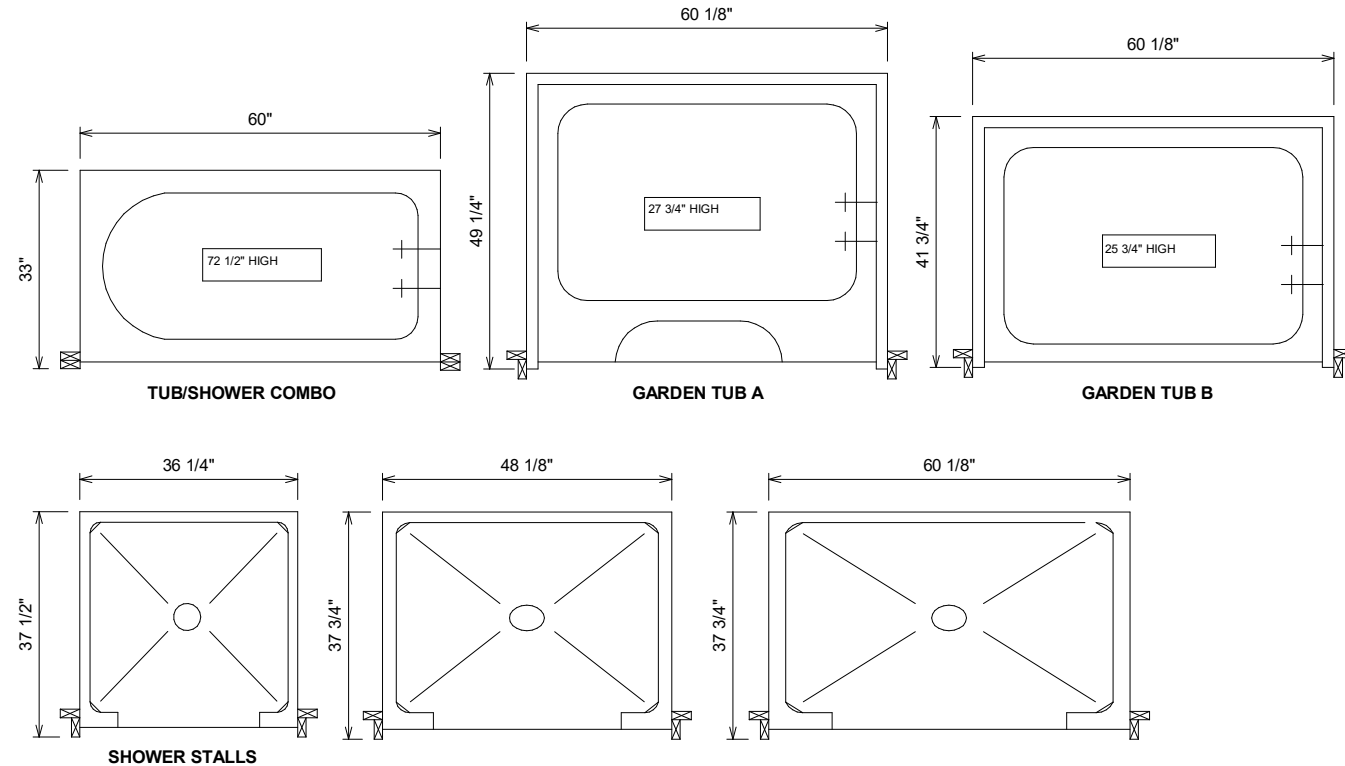
**CENTER HINGED/ FRENCH DOOR...**

6-0 X 6-8 CENTER HINGED(INSWING)	75 5/8" X 82 1/2"
6-0 X 6-8 FRENCH (INSWING)	75 1/4" X 82 1/2"
6-0 X 6-8 INSWING W/ 12" TRAN.	75 5/8" X 96"
6-0 X 6-8 FRENCH W/ 12" TRAN.	75 1/4" X 96"

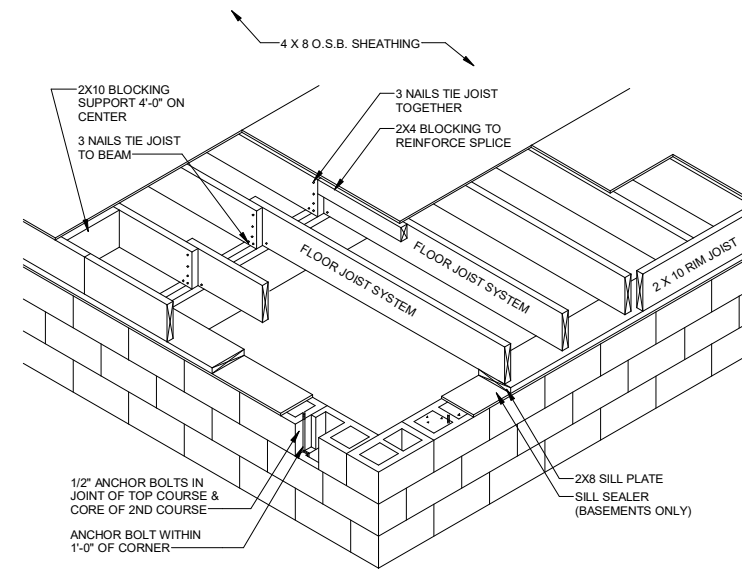
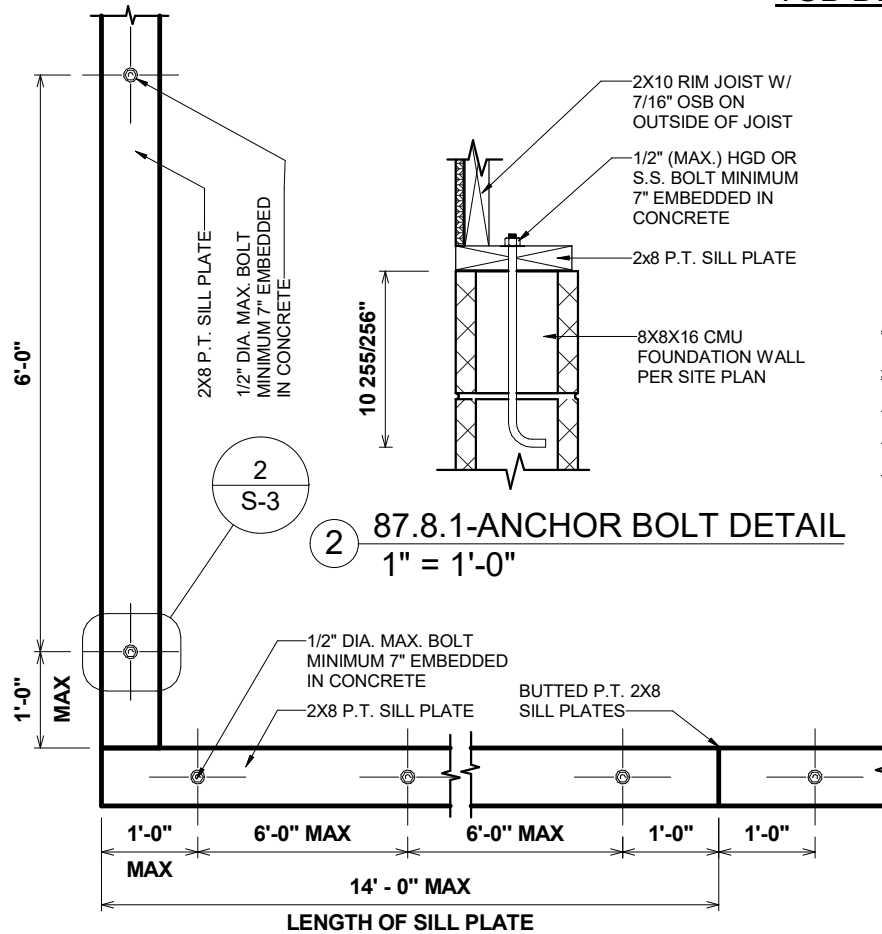
**SLIDING GLASS DOORS**

5-0 X 6-8 SLIDER	60 1/4" X 80 1/2"
6-0 X 6-8 SLIDER	72 1/4" X 80 1/2"

\*\*\* FOR OUTSWING DOORS, DEDUCT 1" FROM HEIGHT OF UNIT\*\*\*



**TUB DETAILS**



**GENERAL NOTES:**

- 1) MINIMUM ALLOWABLE BEARING FOR FLOOR JOIST IS 1 1/2".
- 2) ALL REQUIRED NAILING PATTERNS ARE PER PRINT AND/OR SPECS.

**FLOOR FRAMING DETAIL**

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

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TOTAL UNDER ROOF							
STOOP							
TOTAL UNCOVERED							

**BROOKWOOD MFH**

**STACI & JASON FLORENCE**

378 SKYCROFT DRIVE  
SANFORD, NC 27332

SOLD BY:  
FAYETTEVILLE SALES

JOB# **141-21-023**

**2x4 EXTERIOR WALLS**

FOUNDATION TYPE:  
**BASEMENT**

DRAWN BY:  
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**S-3**

**S-3**

**FRAMING DETAILS**